

From: Pamela and Gene Holifield <gpbholifield@msn.com>
Sent: Friday, August 18, 2017 5:38 PM
To: Len Kendall
Cc: Pamela and Gene Holifield
Subject: 4575 Burgess Road

Follow Up Flag: Follow up
Flag Status: Flagged

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Len,

Thank you for the two phone calls this past week. I never received a phone call regarding a neighborhood meeting on the above address, so I'll put my concerns in this email:

1. Based upon our discussion, my concern about dividing the property in to two separate parcels will not occur. The parcels are 5 acres and above and cannot change.
2. Based upon our discussions, the potential for renting out the property is not going to happen. The current owners will sign an affidavit stating the property will only be used for the aging parents, visiting friends or relatives and cannot be leased or rented.

Other questions/concerns:

1. Is a second well going to be drilled on the property?
2. How do we guarantee future property owners won't attempt to subdivide the 5 acres?
3. How do we guarantee future property owners won't attempt to rent the new guest home?
4. How large will the home be?
5. Will it be visible from my property? As of today, their home is not visible.
6. Will there be impacts to property values in the area?

As I stated before, we get along great with the Flander's and have nothing but the highest

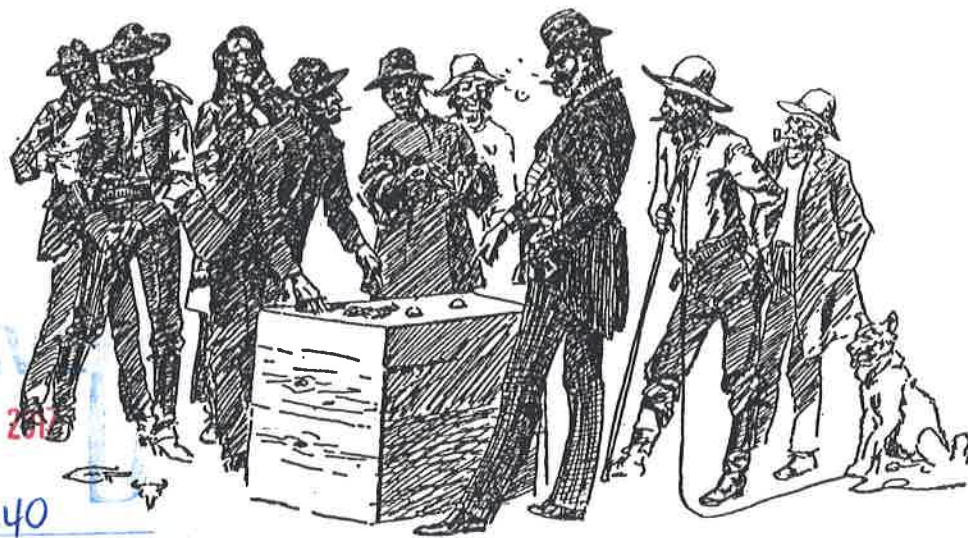
respect for them. However, we are concerned with unintended consequences that may arise from the building of the guest house. If you still wish to set up a separate meeting, feel free to contact us.

regards,

Pam and Gene Holifield
4540 Vale Road

Cell: 719-330-9154

RECEIVED
AUG 18 2017
BY: Jg 10:40



8-15-17

Dear Mr. Kendall,

This letter is to ask for a hearing regarding the building of a guest house at 4575 Burgess Rd. Co. Spgs. Co.

There are many questions as to how this will affect adjoining properties.

Please inform me regarding this request by mail as I do not have a computer at this time.

Respectfully,

Maxine Cowie
11450 S. 7th St. Rd.
Black Forest, Co 80908

From: Ann Felkey <annfelkey@yahoo.com>
Sent: Wednesday, August 16, 2017 11:01 AM
To: Len Kendall
Subject: Proposed guest house

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Len

This e-mail is concerning the proposed guest house at 4575 Burgess Road. I think that all the neighbors would be more comfortable about this proposal if we had a hearing to have it laid out in detail. There are just too many questions that need to be answered.

According to the proposal ; file AL -17-019, Parcel ID : 62230-00-067, there will be a new well and a new septic tank, there is no mention of where the leach field will be. Does acceptance of this proposal guarantee that we will all be aloud to build guest houses? Can we have that in writing for future plans ?

The size of the "guest house" is also being questioned. We would like a chance to go over this proposal.

Thanks

Ann Felkey

Sent from my iPad