

GENERAL SITE NOTES:

The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.

GENERAL CONSTRUCTION NOTES:

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GENERAL PLAN NOTES:

All dimensions of walls are from face of stud framing, unless otherwise noted. Unlabeled interior walls are 2x4, unless otherwise noted.

PROJECT TEAM:

HOMEOWNER: Tim Peterson, 4270 Spatz Rd, Monument, CO 80132, (310) 640-8620

LEGAL DESCRIPTION:

Lot 1, Torphy Sub, in El Paso County, State of Colorado. Site Address: 16484 Fallon Road, Monument, CO 80132

SCOPE OF WORK:

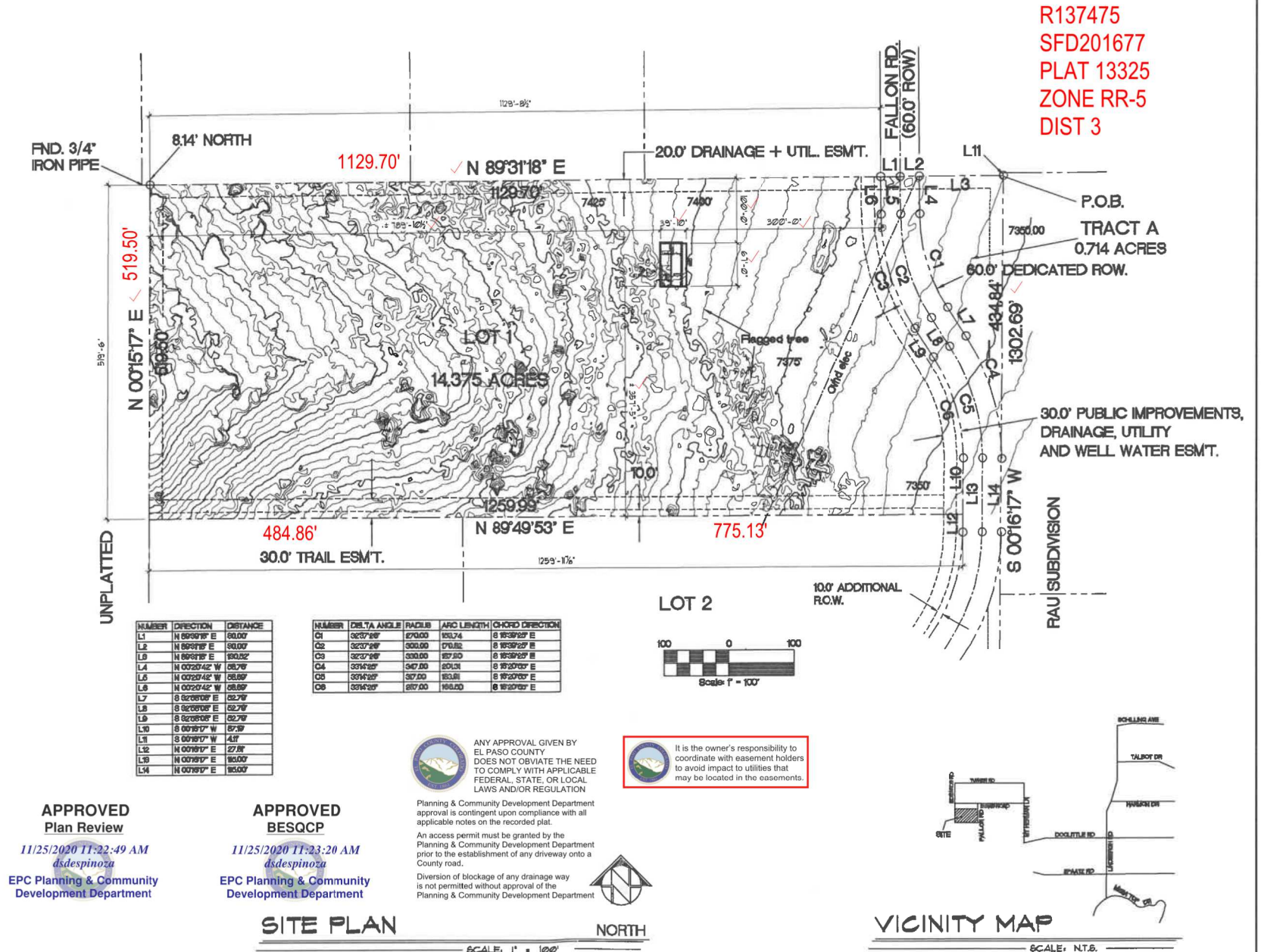
Residential Modular Home relocated on a New Full Basement Foundation with a Garage in the Basement. These plans designed to meet the 2009 IRC and the 2011 FFREC.

IS THIS THE CURRENT SET OF DRAWINGS?

IT IS THE RESPONSIBILITY OF THE PROJECT OWNER/CONTRACTOR/SUPERVISOR TO ENSURE THAT ALL APPLICABLE TRADES INVOLVED IN THE CONSTRUCTION OF THIS STRUCTURE ARE USING THE CORRECT AND MOST RECENT VERSION OF THIS DRAWING.

STANDARD ABBREVIATIONS:

Table of standard abbreviations including ANGLE STEEL, ANCHOR BOLT, ABOVE, AMERICAN CONCRETE INSTITUTE, etc.



R137475 SFD201677 PLAT 13325 ZONE RR-5 DIST 3

Released for Permit 11/23/2020 1:35:12 PM brent ENUMERATION

Table with 2 columns: MINIMUM INSULATION REQUIREMENTS and values like R-38 MIN, R-19 MIN, etc.

Table with 2 columns: AREA CALCULATIONS and values like 2,333 SQ. FT., 1,190 SQ. FT., etc.

Table with 2 columns: DRAWING INDEX and list of drawings like ARCHITECTURAL A1, A2, A3, A4, A5 and STRUCTURAL S1, S2, F1, F2, F3.

APPROVED Plan Review 11/25/2020 11:22:49 AM dsdespinoza EPC Planning & Community Development Department

APPROVED BESQCP 11/25/2020 11:23:20 AM dsdespinoza EPC Planning & Community Development Department

SITE PLAN

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

VICINITY MAP

Vertical sidebar containing ROCKY MOUNTAIN GROUP logo, RESIDENCE RELOCATED MODULAR HOME ON A NEW FOUNDATION, OAKRIDGE PROPERTIES, LLC, COVER SHEET and GENERAL NOTES, PERMIT SET, and ARCH/ENG: KEM/BMW, CHECKED: KEM/MAL, DATE: 7-19-2016, REVISION: DATE, JOB NO.: 149185, SHEET NO.: A-1 1 OF 5

RESIDENTIAL



2017 PPRBC

Address: 16484 FALLON RD, MONUMENT

Parcel: 7129001001

Plan Track #: 137475 

Received: 19-Nov-2020 (BECKYA)


Description:

RES MFG HSG - ON BASEMENT


Contractor: HOMEOWNER

Type of Unit:

Required PPRBD Departments (4)

<p>Enumeration</p> <p>Released for Permit 11/23/2020 1:35:57 PM  brent ENUMERATION</p>	<p>Floodplain</p> <p>(N/A) RBD GIS</p>
<p>Construction</p>	<p>Mechanical</p>

Required Outside Departments (1)

<p>County Zoning</p> <p>APPROVED Plan Review</p> <p>11/25/2020 11:28:31 AM  dsdespinoza EPC Planning & Community Development Department</p>

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.