GENERAL SITE NOTES:

The builder shall become familiar with the project ette and all existing ette conditions which might impact the proposed scope of work prior to beginning any construction related activities.

The builder shall be responsible for verifying existing site grades and natural land formations, existing sites and shubbery and proposed building location. The builder-may obtain a ficeneed surveyor for the purpose of recording accurate site conditions.

The builder shall confirm the location of any existing utility services and maters and coordinate any required extensions with the utility companies.

The builder shall be responsible for coordinating final grading and paving of ualks, chivesess and patios. Finished grades shall slope assy from the building a minimum of 10%, or one (1) foot per every ten (12) feet.

The builder and/or owner shall determine and coordinate all required final landscaping.

AGG AISC ANGI APRO ARCH ABPH ASIM

Concrete foundation walls, pads, piers, and retaining walls greater than 4-0' high, to be designed by a licensed Colorado engineer.

GENERAL CONSTRUCTION NOTES:

These plane are copyrighted 2014 by Geoertuct Engineers inc. clos Rocky Mountain Group - RMS, all rights reserved. Any sale, reproduction, creation of derivative univers besed on these plane, or use of these plane for any purpose utilitude proper compensation to and the sepresse unition consent of RMS, is strictly prohibited. These plane are subject to copyright protection as an architectural work under Section 102 of the Copyright Act, In 1950, a mended December 1, 1950, and known as Architectural Works Copyright. Protection Act of 1980, The protection heldes, but is not limited to, the overall form, as well as, the arrangement and composition of apaces and elements of the design. Under such protection unauthorized use of these plane, sock or forms represented, can legally result in the cessation of such construction or buildings being estized and/or razed.

All construction to be performed in accordance with all applicable codes and requirements of all regulators, agencies having jurisdiction over the project. Under no condition shall RMS have responsibility for the mann, enablode or tachinques used by the builder in the performance of the work or for conditions of affety at the job site.

The builder (owner or contractor) is responsible for payment and acquisition of all required permits and fees associated with this project.

The builder shall be responsible for ensuring that the plane being used for construction are the most current, and match the approved Building

It is the builder's responsibility to thoroughly revisus and become familiar with all pertinent documents negarding the construction of this project. Any antigipity, ontsetion or discrepancy discovered in the documents which may cause construction concerns whall be reported to RTG for immediate attention. Failure to discover and notify RTG of said ambiguity, onision or discrepancy prior to the start of construction shall not relieve the builder of responsibility relating to the matter.

The RTG's liability regarding errors, onlesions or discrepancies shall be limited to the correction of the original project drawings.

Changes or deviations from the original documents, nace by the builder or their supplier without the unitian consent of the designer, are unauthorized changes to the work and as such shall relieve Rita of all responsibility for any consequences arising therefrom.

All bracing, bettporary supports, shoring, etc. during construction is the soler responsibility of the bullder and shall conform to all applicable codes and shall conform to all applicable codes and safety requirements of all governing agencies. Design, reterials, ecuphems, and producte other than those indicated on the drawings may be considered for use only if prior approval is obtained from the owner, angineer, and governing codes authorities.

DO NOT SCALE THE DRAWINGS. If questions arise as to the dimensional requirements, contact RMS for clarification.

GENERAL PLAN NOTES

All dimensions of walls are from face of stud All difference of wells are from face of stud framing, unless otherwise noted. Unclimanishment interior wells are 2x4, unless otherwise noted. Building square rootages are calculated from the outside face of exterior stud wells. Door and window dimensione are noted in feet and inches. Doors are located 4° from adjacent corner or centered fund.

The builder shall coordinate all colors, l'infahes cabinets, countertops, plumbing fixtures, appliances, wholew and door manufacturers, built-in requirements, etc. with the owner.

বিশত্তি is not responsible for electrical, plumbing or mechanical system layouts.

Well bracing informations unless noted otherwise ell exterior wells will be done as per the well bracing method co-wep (comtinuous sheathing a structure) with 716° ost sheathing or as per the structural plans (Reference IRC RS-02.10A).

Provide 1 sq. ft. of attic ventilation per 50 sq. ft. or 300 sq. ft.of attic area sith 50% of the required ventilation to be located at the upper portion of the roof and the balance of the ventilation to be provided by a

Smoke detectors shall be harduited, interconnected and have a battery back-up. An approved carbon monoxide detector shall be installed within 5 it. of the entrance to all sleeping rooms, and be hardwised ut/ battery backup.

Safety glass shall be required within (8" of floor, 2" of doors, 36" of stairs, and 5" of a bathtub or shower chain. (Reference IRC R308A)

All receptacles within 6' of a water source shall be ground-fault circuit-interrupted. Provide a GFI outlet in garage and on front and rear of house.

Provide exhaust fans in all bathrooms without windows. Vent to exterior through wall or roof to

Cement, fiber cement, or glass has gypoun shall be used as backers for util title in tub and shouser rarea and util panels in shouser areas and util panels in shouser areas. Provide water resistant sheet rock at all other applications which may be aubject to the activerse affects of noteurs.

Provide agrees sinclose in all elsepting rooms, nathtals a 44" nax elli height. Mintaus silcht of opening shall be 30" and min height shall be 24", sith the net opening being at least 5.1 ap, ft. Provide a 3. 2-03-2-0" in exterior agrees sinchou sell' if top of sinchou sill is below gracie. Provide a pernanently secured lacidor if usel is despert than 44".

Provide fire blocking at 10'-0" intervals, horizontal

Float all non-load bearing walls over concrete slabe per the soils report and the detail on these plans.

A sufer rod is required to be provided in location and namer consistent with applicable codes.

PROJECT TEAM:

HOMEOUNER:

Tim Peterson 427@ Spaatz Rd. Monument, CO 80132 (310) 640-8620

CONTRACTOR:

Oakridge Properties, LLC Monument, CO 80132

DESIGN GROUP/ENGINEERING

Rock Mountain Group - RMG 2910 Austin Bluffe Parkway Colorado Springs, Colorado 80918 Phone: (719) 548-0600, Fax: (719) 548-0223

GOVERNING AGENCIES
PIKES PEAK REGIONAL BUILDING DEPARTMENT 2880 International Circle Colorado Springe, Colorado 80910 (19) 327-2880

If additional governing agencies are required to be involved, it is the responsibility of the owner/ contractor to contact the proper authorities.

LEGAL DESCRIPTION:

Lot I, Torphy Sub., in El Paso County, State of Colorado.

Site Address: 16484 Fajion Road Monument, CO 80132

Schedule No.: 12300100 712900100

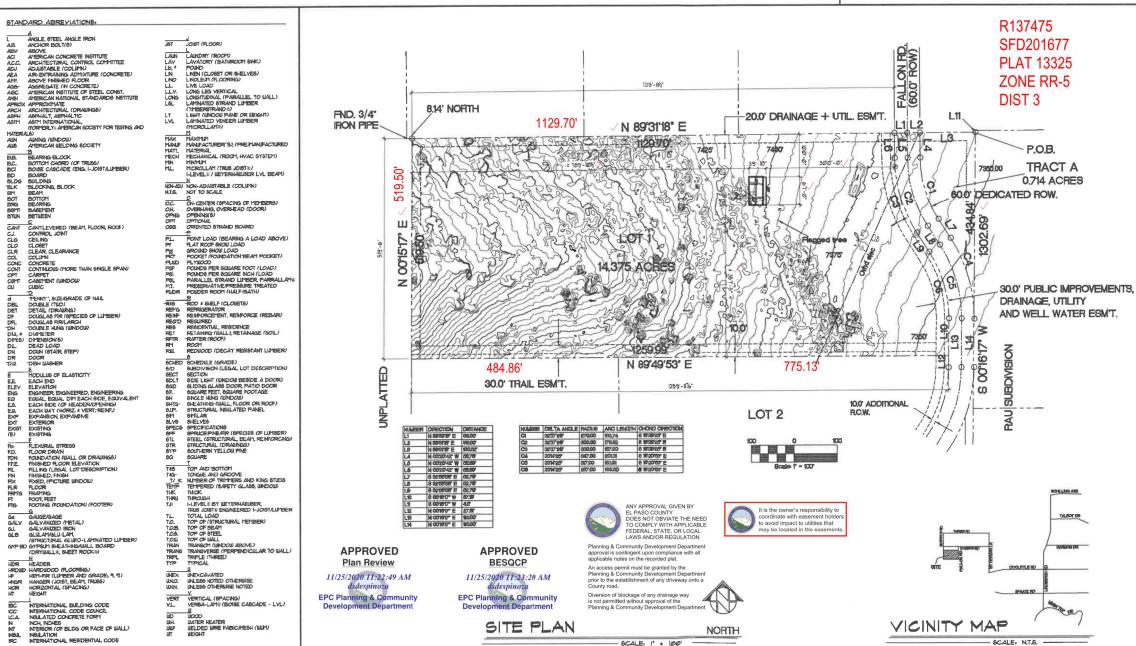
RMG.

SCOPE OF WORK :

Residential Modular Home relocated on a, New Full Basement Foundation with a Garage in the Basement. These plans designed to meet the 2003 IRC and the 2011 PPRBC.

IS THIS THE CURRENT SET OF DRAWINGS 2

IT IS THE RESPONSIBILITY OF THE PROJECT OUNER/CONTRACTOR/SUPERVISOR TO ENSURE THAT ALL APPLICABLE TRADES INVOLVED IN THE CONSTRUCTION OF THIS STRUCTURE ARE USING THE VERSION OF THIS DRAWING.



- SCALE, I' . 100'

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11/23/2020 1:35:12 PM

ENUMERATION

MINIMUM INSULATION REQUIREMENTS

CEILING INSULATION R-36 MIN EXTERIOR 2x6 WALL INSULATION P-19 MIN EXTERIOR 2x4 WALL INSULATION R-13 MIN. FLOOR OVER UNHEATED SPACE R-19 MIN. FLOOR OVER EXTERIOR SPACE R-38 MIN. BASEMENT FOUNDATION INSULATION R-9 MN BLAB PERMETER (3' HORIZ OR VERT) R-6 MIN CRAIL SPACE INSULATION R-13 MIN. RIM JOIST INSULATION R-22 MIN. (REFER TO ENERGY CODE CERTIFICATE OR

AREA CALCULATIONS

MAIN FLOOR (EXISTING); 2,133 SQ. FT. BASEMENT (FINISHED) 1/90 SQ. FT. BASEMENT (LINEIN.) 436 SQ. FT. GARAGE (BSMT.): 1,040 SQ. FT. 533 SQ.FT. OPEN DECK : TOTAL PROPOSED 5,333 SQ. FT.

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1	Α2	BASEMENT/FON PLAN
1	A3	MAIN FLOOR PLAN
١	Δ4	ELEVATIONS and
1		BUILDING SECTIONS
1	A5	SIDE ELEVATIONS

STRICTURAL

SCALE: NT.S.

	21)	KULTURAL S	
	61		DECK FRAMING,
			MODULAR HOME
			SUPPORT and NOTES
	62		FRAMING DETAILS
	FI		FOUNDATION DESIGN
	F2		FOUNDATION DETAILS
	F 3		FOUNDATION NOTES
- 1			

COVER SHE GENERAL PERMIT

RESIDENCE MODULAR HOME ON A NEV

RELOCATED

7-19-2016 REVISION 149185

A-1

RESIDENTIAL

Received: 19-Nov-2020

2017 PPRBC

Parcel: 7129001001

Address: 16484 FALLON RD, MONUMENT

Description:

RES MFG HSG - ON BASEMENT

Contractor: HOMEOWNER

Type of Unit:

Required PPRBD Departments (4)

(BECKYA)

Enumeration

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11/23/2020 1:35:57 PM
brent
ENUMERATION

Floodplain

(N/A) RBD GIS

Construction

Mechanical

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

11/25/2020 11:28:31 AM dsdespinoza

EPC Planning & Community Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.