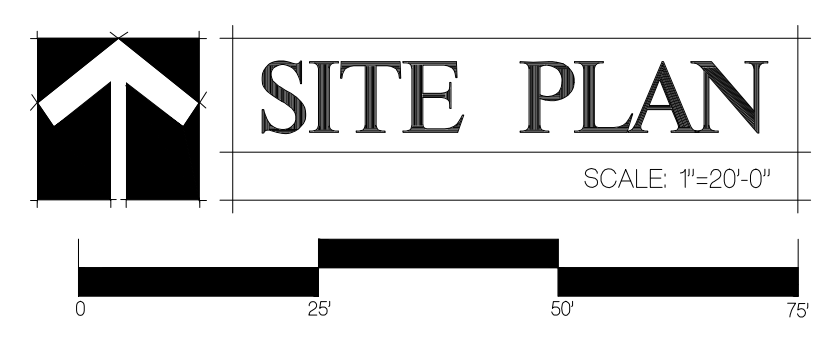


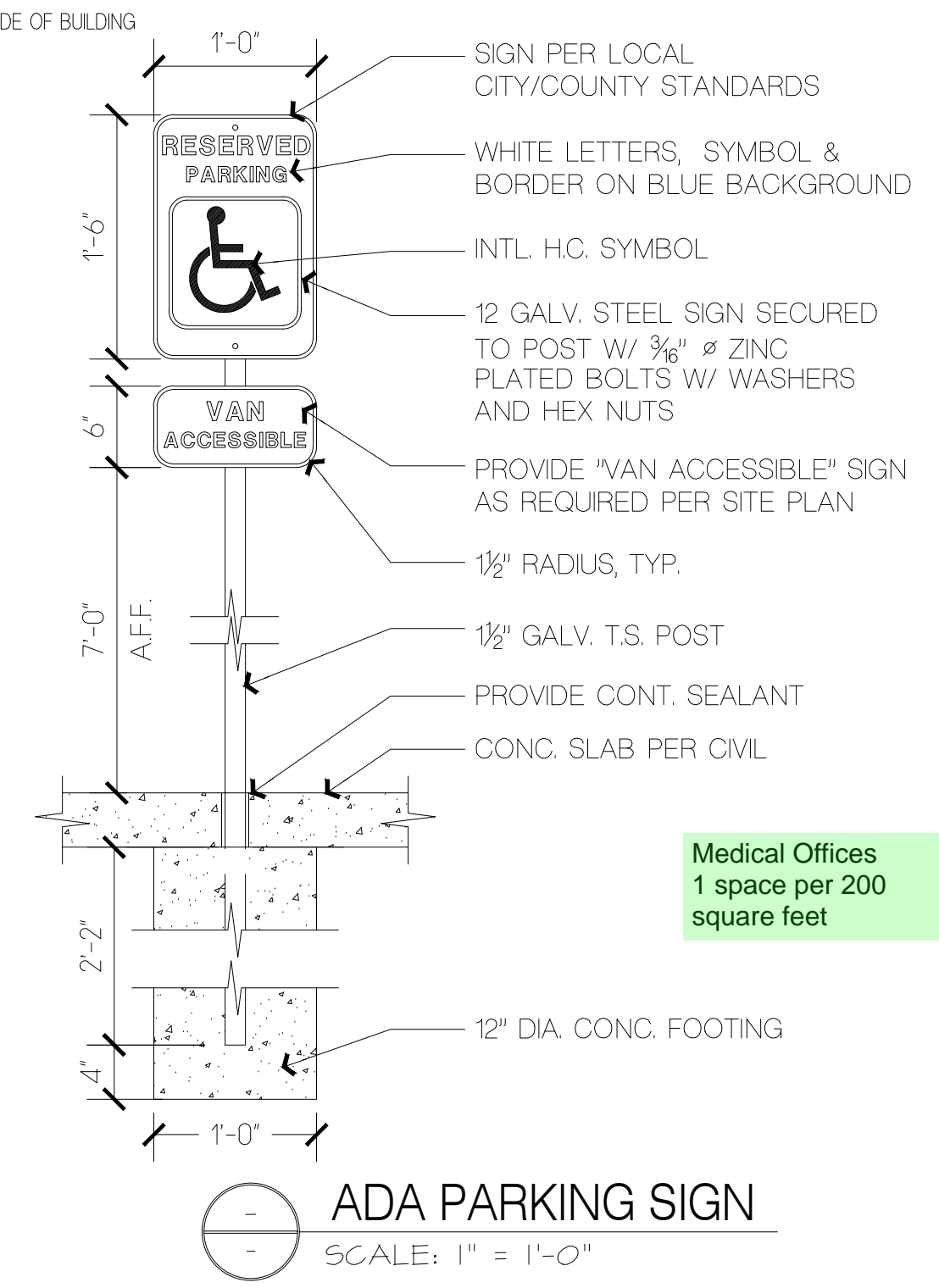
2.4.1.F.2 Access clearance from intersections: please ensure that this access is a minimum of 50 feet from the tangency of the curb line at the intersection



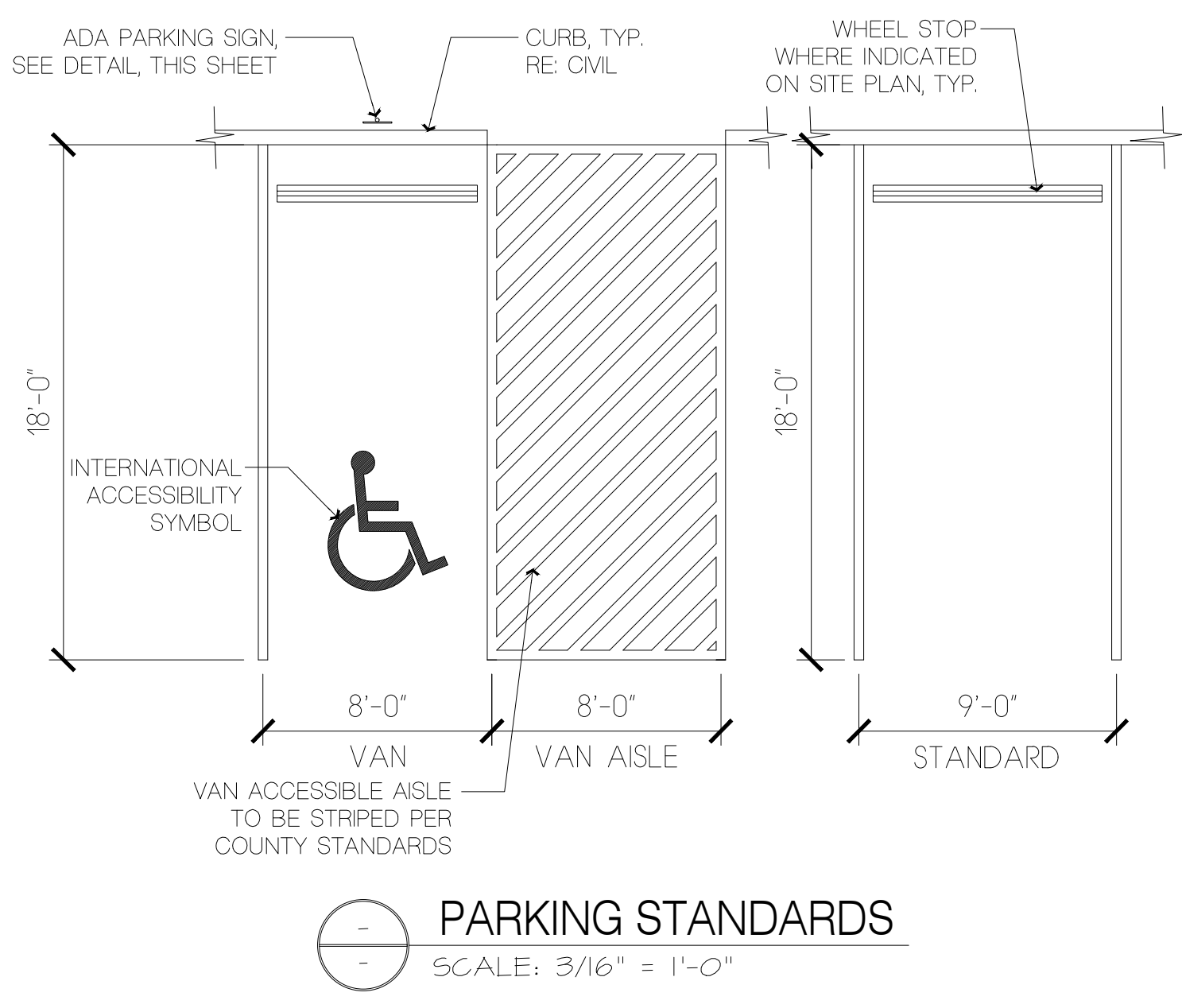
GENERAL NOTES

- THIS PROJECT IS LOCATED IN THE ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002) & PUD AMENDMENT FILED UNDER RECEPTION #22165352.
- FIRE PROTECTION: FALCON FIRE DISTRICT.
- OWNERSHIP AND MAINTENANCE OF PRIVATE ROADS, PRIVATE DETENTION PONDS/PERMANANT WATER QUALITY BMPS AND DRAINAGE AREAS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION (POA).
- DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE THE ROLLING THUNDER BUSINESS PARK PUD (PUD-08-002) & PUD AMENDMENT FILED UNDER RECEPTION #22165352. MODIFICATIONS SHALL BE SUBJECT TO THE LIMITATIONS CONTAINED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- PARKING LOT LIGHTING SHALL BE TWENTY FEET (20') MAXIMUM HEIGHT, ALL WALL PACK, UPWARD AND SIGN LIGHTING SHALL NOT IMPACT ADJACENT PROPERTIES.
- SIGNS SHALL CONFORM TO SECTION 62.10 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE AS AMENDED.
- LANDSCAPING SHALL FOLLOW THE CONCEPT LANDSCAPE PLAN IN THE APPROVED PUD AND MEET THE EL PASO COUNTY LANDSCAPING REQUIREMENTS IN THE LAND DEVELOPMENT CODE AS AMENDED.
- HANDICAPPED PARKING SPACE DESIGN SHALL MEET ALL COUNTY AND ADA CRITERIA:
 - RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE
 - H/C STALLS AND ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION, TYP.
 - HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 1:2.
 - MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- SITE IS NOT WITHIN A FEMA DESIGNATED FLOODPLAIN PER FLOOD MAP NUMBER 08041C0535G, EFFECTIVE ON 12/07/2018.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- INSTALL BUILDING ADDRESS AND UNIT NO. VISIBLE ON STREET SIDE OF BUILDING PER 2021 IBC & LOCAL FIRE DEPT. REGULATIONS.

- #### SITE PLAN KEY NOTES
- PROPOSED CONC. SIDEWALK, RE. CIVIL, TYP.
 - NEW ASPHALT PAVING WHERE INDICATED RE. CIVIL
 - PROPOSED TRASH ENCLOSURE, SEE DETAILS ON ELEVATIONS SHEET DP3.
 - PROPOSED CONC. CURB, GUTTER, TYP. RE. CIVIL
 - EXISTING CONCRETE SIDEWALK TO REMAIN
 - NEW CONC. WHEEL STOP, TYP. WHERE INDICATED
 - ADA CURB RAMP PER COUNTY STANDARDS & ANSI A117.1-2017.
 - ADA PARKING SIGN, TYP. AT ADA STALLS, SEE DETAIL THIS SHEET.
 - PROPOSED LANDSCAPING AREA RE. LANDSCAPE PLANS
 - PROPOSED MONUMENT SIGN.
 - PROPOSED ENTRY DRIVE RE. CIVIL, PER COUNTY STANDARDS.



Medical Offices
1 space per 200 square feet



PROJECT TEAM

- PROPERTY OWNER**
WD HOLDINGS, LLC
30 E UNTAH ST.
COLORADO SPRINGS, CO 80903
(719) 492-0084
- CONTRACTOR**
WD CONSTRUCTION
WILLIAM TIBBITT, PRESIDENT
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Bibbitt@wdconstruction.com
- ARCHITECT**
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BRIAN K. BUCHER AIA, NCARB, ICC
PRESIDENT, ARCHITECT
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COLORADO SPRINGS, CO 80921
(719) 484-0480
- CIVIL ENGINEER**
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- PHOTOMETRICS ENGINEER**
CHIARTANO ENGINEERING GROUP, LLC
MICHAEL CHIARTANO, PE
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PEYTON, CO 80831
(719) 330-6823
- LANDSCAPE ARCHITECT**
BILL GUMAN, PLA, ASLA, APA
WILLIAM GUMAN & ASSOCIATES, LTD.
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(719) 633-9700

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(719) 484-0480

Brian K. Bucher, AIA
Architect
CO license no. C-4889
CA license no. C 23506

PROPERTY DATA

- PROJECT ADDRESS: 10707 MALTESE POINT
PEYTON, CO 80831
- TAX SCHEDULE NO.: 5311101012
- LEGAL DESCRIPTION: LOT 12 ROLLING THUNDER BUSINESS PARK
- COUNTY ZONING: PUD
- PLAT NO: R12872
- LOT SIZE: 50,855 S.F.(1.17 acres)
- BUILDING SETBACKS: SOUTH = 25 FT.
NORTH & WEST = 20 FT.
EAST = NONE
- LANDSCAPE SETBACKS: SOUTH, NORTH, WEST = 10 FT.
EAST = NONE
- BUILDING HEIGHT: 22 FEET (45 FEET MAX)

PROJECT/BUILDING DATA

- PROJECT NAME: WD ROLLING THUNDER CORE & SHELL.
- PROJECT DESCRIPTION: PROPOSED SINGLE STORY CORE & SHELL BUILDING AND SITE DEVELOPMENT.
- BUILDING AREA: 8,950 S.F.
- CONSTRUCTION TYPE: V-B
- FIRE SPRINKLER SYSTEM: NONE
- PROPOSED OCCUPANCY USE: GENERAL OFFICE, MEDICAL OFFICE, MERCANTILE & ALL OTHER ALLOWED USES IN PUD.

OFF-STREET PARKING

COMMERCIAL CENTER (UNDER 10 ac.) @ 1 PER 250 SQ. FT.
36 SPACES REQUIRED / 47 SPACES PROVIDED
2 DISABLED SPACES REQ'D / 2 PROVIDED

APPLICABLE AUTHORITIES/CODES

- EL PASO COUNTY LAND DEVELOPMENT CODE
- FALCON FIRE PROTECTION DISTRICT
- 2009 IFC (INTERNATIONAL FIRE CODE)
- 2017 ICC A117.1 (ANSI)
- 2021 IBC (INTERNATIONAL BUILDING CODE)

VICINITY MAP



PCD FILE NO. PPR-_____

WD HOLDINGS LLC

10707 MALTESE POINT
PEYTON, CO 80831

SITE PLAN/COVER SHEET

Remove

Drawing Status: DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

Revisions:

No.	Description	By	Date

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Date: 04/15/2024

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:

DP1

Of