



SFD19661

PLOT PLAN

(THIS IS NOT A PROPERTY SURVEY)
10828 NOLIN DRIVE

APPROVED

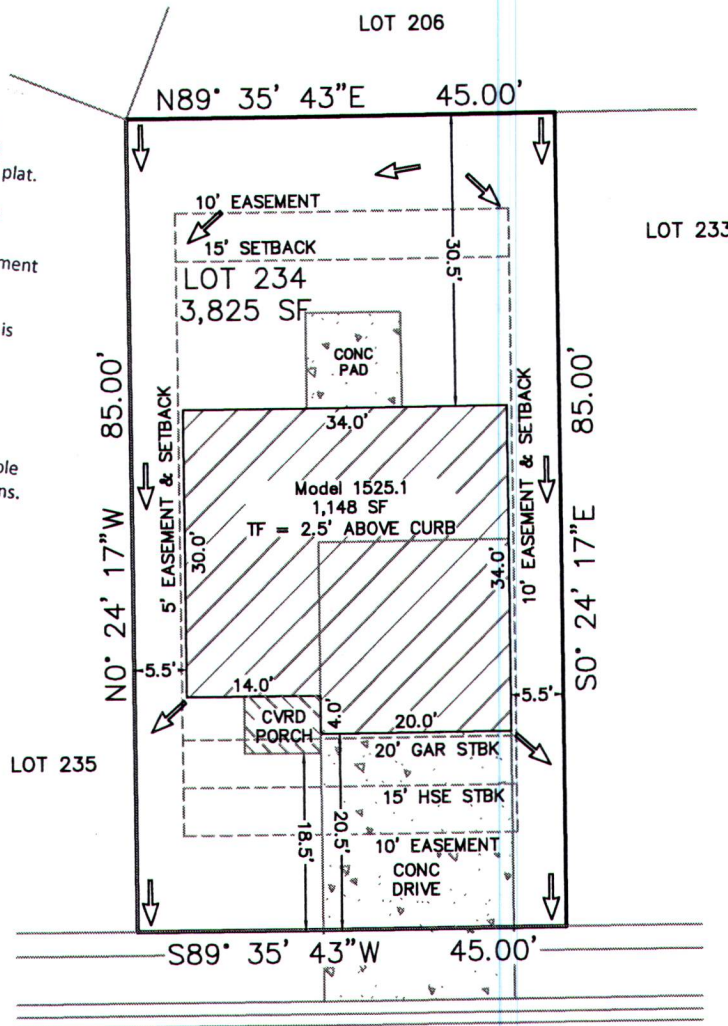
BY pn DATE 5/31/19
FOR SFO w/ covered
NOTES push

DENIED

SCALE 1" = 20'

EL PASO COUNTY
PLANNING AND COMMUNITY DEVELOPMENT

Planning and Community Development approval is contingent upon compliance with all applicable notes on the recorded plat.
An access permit must be granted by the Planning and Community Development Engineering Division prior to the establishment of any driveway onto a County Road.
Diversion of blockage of any drainageway is not permitted without the approval of the Planning and Community Development Engineering Division.
Any approval given by El Paso County does not obviate the need to comply with applicable Federal, State or Local laws and/or regulations.



NOLIN DRIVE

BESQCP APPROVED/DENIED
by pn on 5/26/19

N/A
9576
MAY 31 2019
BJ
RBD Floodplain

Revised site plan
APPROVED
11735
MAY 31 2019
BJ
RBD Enumeration

plat 14288
PWO

EASEMENTS AS RECORDED IN PLAT RECORDS AND ARE FOR PUBLIC UTILITIES, PUBLIC IMPROVEMENTS, & DRAINAGE PURPOSES Job# 190211

Top of Foundation = 2.5' ABOVE CURB / 1525.1 / A LOT		
SETBACKS: FRONT=15'H/20'G SIDES=5'/10' REAR=15'	ADDRESS: 10828 NOLIN DRIVE COLORADO SPRINGS, CO TAX ID# 5500000411 LEGAL DESCRIPTION: LOT 234 LORSON RANCH EAST FILING NO. 1, EL PASO COUNTY, CO	LOT AREA: 3,825 SF HOUSE W/PORCH PRINT: 1,148 SF COVERAGE: 30.0%
ZONED: PUD DATE: 5/20/19 REV:		

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