JOHNSON DEVELOPMENT ASSOCIATES

CONSTITUTION STORAGE

LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

PERMANENT CONTROL MEASURE PLAN

PROJECT CONTACTS

PROPERTY OWNER

JASPERCO, LLC. 5532 SADDLE ROCK TRAIL COLORADO SPRINGS, CO 80918 EMAIL: TONYC@COLONFAM.COM

JOHNSON DEVELOPMENT ASSOCIATES, INC 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 TELE: (864) 529–1297 ATTN: BRIAN KEARNEY

EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

CIVIL ENGINEER GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920

TELE: (719) 900-7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC 555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634-1999 ATTN: KENNETH L. MEYERS, PE

TRAFFIC ENGINEER

5500 GREENWOOD PLAZA BLVD, SUITE 200 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884

GALLOWAY & CO., INC.

GALLOWAY & CO., INC.

ATTN: BRIAN HORAN, P.E. EMAIL: BRIANHORAN@GALLOWAYUS.COM

1155 KELLY JOHNSON BLVD., SUITE 305

COLORADO SPRINGS, CO 80920 TELE: (719) 337–1262 ATTN: BRIAN DENNIS

EMAIL: BRIANDENNIS@GALLOWAYUS.COM

STANDARD PCM NOTES

- NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED PRIOR TO APPROVAL OF THE SITE GRADING AND EROSION CONTROL (GEC) PLAN. REFERENCE THE CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL (DCM) VOLUME 2, CHAPTER 7 FOR MORE INFORMATION.
- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE POLICIES AND PROCEDURES OUTLINED IN THE CITY DCM, AND THE APPROVED GEC PLAN.
- THIS PERMANENT BMP PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS IF WORK ON THE PERMANENT BMP DOES NOT COMMENCE WITHIN 12 MONTHS OF PLAN APPROVAL, OR SHOULD ANY OF THE FOLLOWING OCCUR: A CHANGE IN OWNERSHIP, A CHANGE IN THE PROPOSED DEVELOPMENT, OR CHANGES TO THE DESIGN OF THE
- CONTACT CITY GEC INSPECTIONS, 719-385-5918, AND THE CITY ENGINEERING INSPECTIONS, 719-385-5977, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE OR CAUSE ANY DISTURBANCE WITHIN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO WORK WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY, IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OF RIGHT-OF-WAY WITHOUT THE APPROPRIATE WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE APPLICANT IS RESPONSIBLE FOR THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE
- A PROFESSIONAL ENGINEER (PE) CERTIFICATION THAT THE BMP HAS BEEN INSTALLED AND CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE PLANS WILL BE REQUIRED ONCE THE BMP IS FULLY CONSTRUCTED. AN AS-CONSTRUCTED SURVEY MUST BE COMPLETED TO VERIFY FACILITY VOLUMES AND ELEVATIONS. THE AS-BUILT DRAWINGS MUST BE SUBMITTED ALONG WITH THE PE CERTIFICATION. A PE CERTIFICATION REQUIRES PERIODIC ON-SITE OBSERVATIONS BY THE ENGINEER OF RECORD OR A PERSON UNDER THEIR RESPONSIBLE CHARGE. COORDINATION WITH THE ENGINEER OF RECORD TO ENSURE THAT THE NECESSARY ON-SITE OBSERVATIONS ARE COMPLETED IS THE RESPONSIBILITY OF THE APPLICANT.
- THE CONTRACTOR SHOULD CONTACT THE ENGINEER OF RECORD AND GEC INSPECTOR IMMEDIATELY SHOULD CONSTRUCTION OF THE BMP VARY IN ANY WAY FROM THE PLANS.
- RETAINING WALLS WILL BE DESIGNED FOR ADDITIONAL LOADING SUCH AS FOOTINGS BELOW EURV, ETC.

UTILITY CONTACTS

WATER & WASTEWATER CHEROKEE METROPOLITAN DISTRICT

6250 PALMER PARK BLVD. COLORADO SPRINGS, CO 80915 TELE: (719) 597-5080 ATTN: KEVIN BROWN EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 TELE: (719) 495-2283 CATHY HANSEN-LEE

EMAIL: CATHY.H@MVEA.COOP

NATURAL GAS

EMAIL: ACASSIO@CSU.ORG

COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 AARON CAŚSIO

COLORADO SPRINGS, CO 80915 TELE: (719) 591-0960 EMAIL: JMCLEOD@CIMARRON

CIMARRON HILLS FIRE PROTECTION DISTRICT



SCALE: 1"=400'

	SHEET INDEX	
SHEET DESCRIPTION	SHEET TITLE	SHEET NUMBER
PCM0.0	COVER SHEET	1
PCM1.0	OVERALL PCM PLAN	2
PCM1.1	POND PLAN	3
PCM1.2	FOREBAY DETAILS	4
PCM1.3	MICROPOOL & OUTLET STRUCTURE DETAILS	5
PCM1.4	RETAINING WALL DETAILS	6

LOT 1. EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5. TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

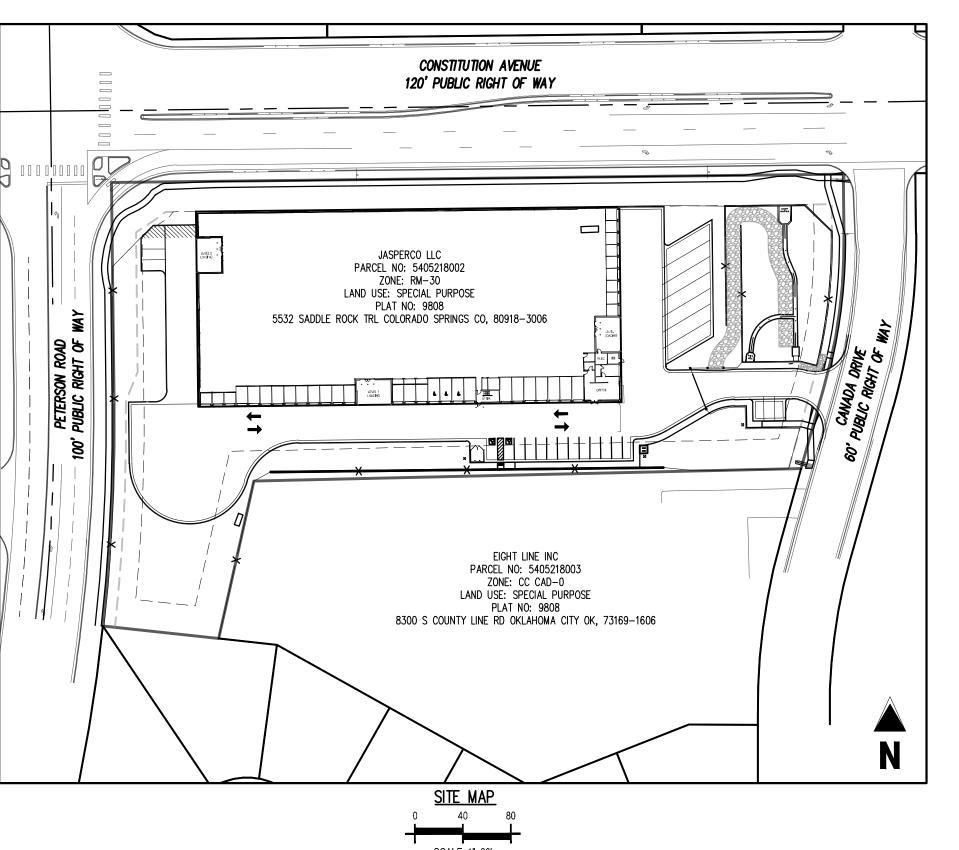
DESCRIPTION OF CONSTRUCTION ACTIVITIES

ALL DATES ARE SUBJECT TO CHANGE. CONSTRUCTION IS ANTICIPATED TO COMMENCE IN NOVEMBER OF 2021 AND BE COMPLETED BY MARCH OF 2022. FINAL STABILIZATION IS EXPECTED TO BE COMPLETED BY JULY OF 2022.

INDIAN HILLS VILLAGE IS LOCATED WITHIN THE MESA DRAINAGE BASIN AS DESCRIBED IN THE "MASTER PLAN FOR MESA DRAINAGE BASIN," PREPARED BY GILBERT, MEYER & SAMS, INC.

PROJECT DATA PARCEL NUMBER BMP CALCULATIONS FINAL DRAINAGE REPORT CONSTITUTION STORAGE DEVELOPMENT GRADING, EROSION & STORMWATER GRADING & EROSION CONTROL PLANS IN PROGRESS QUALITY CONTROL PLAN FUNCTIONAL MAINTENANCE OF THE PCM STRUCTURES WILL BE JOHNSON DEVELOPMENT ASSOCIATES, INC. COMPLETED BY: AESTHETIC MAINTENANCE OF THE JOHNSON DEVELOPMENT ASSOCIATES, INC. PCM WILL BE COMPLETED BY: 100-YEAR WATER SURFACE ELEVATION EURV WATER SURFACE ELEVATION 6502.14 WQCV WATER SURFACE ELEVATION 6500.98 SOIL DATA FOR CONSTITUTION STORAGE WAS OBTAINED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY. SOILS WITHIN THE SITE ARE PREDOMINATELY TRUCKTON SANDY LOAM, SOIL CLASSIFICATION A. GEOTECH PER KUMAR & ASSOCIATES, INC., REPORT AND AMMENDUM #21-2-272 VEGETATION SITE DEVELOPMENT PLAN IN PROGRESS ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM NUMBER 08041C0752G), EFFECTIVE DATE DECEMBER 7, 2018, THE PROJECT SITE LIES OUTSIDE OF THE 100-YEAR AND 500-YEAR FLOODPLAINS. THE PROJECT SITE IS LOCATED IN ZONE X DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

		POND COS	<u> </u>	<u>AIL</u>	
	ITEM	JOB TOTAL	UNIT	UNIT PRICE	TOTAL
1	SOIL RIP RAP TRICKLE CHANNEL	158	LF	\$306.00	\$48,350.00
2	FOREBAY W/ T-BAFFLE	2	EA	\$15,000.00	\$30,000.00
3	OUTLET STRUCTURE	1	EA	\$20,000.00	\$20,000.00
4	MICROPOOL	1	EA	\$5,000.00	\$5,000.00
5	POND ACCESS ROAD (GRAVEL)	299	SY	\$57.87	\$17,300.00
6	GRADING (NOT PART OF GEC)	0.24	AC	\$12,283.00	\$2,950.00
7	SPILLWAY	30.5	LF	\$526.00	\$16,043.00
8	PERMANENT SEEDING	1	LS	\$3,000.00	\$3,000.00
	SUBTOTAL =				\$142,643.00
	CONTINGENCY (10%)				\$14,264.30
	GRAND TOTAL =				\$156,907.30



ENGINEER'S STATEMENT

PRINTED NAME: BRADY A. SHYROCK, P.E. # 38164

THIS PERMANENT CONTROL MEASURE (PCM) PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, WAS DESIGNED IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL (MAY 2014), AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THIS PERMANENT BMP PLAN.

DEVELOPER'S/OWNER'S STATEMENT

ACCORDING TO THE DESIGN PRESENTED IN THIS PLAN. I UNDERSTAND THAT EL PASO COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY MY ENGINEER AND THAT ARE SUBMITTED TO EL PASO COUNTY; AND CANNOT, ON BEHALF OF JOHNSON DEVELOPMENT ASSOCIATES, GUARANTEE THAT THE FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE JOHNSON DEVELOPMENT_ASSOCIATES AND /OR THEIR SLICCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN.

JOHNSON DEVELOPMENT ASSOCIATES HEREBY CERTIFIES THAT THE PCM FOR CONSTITUTION STORAGE SHALL BE CONSTRUCTED

DEVELOPER/OWNER SIGNATURE: NAME OF DEVELOPER/OWNER: Brian Duncan

_DATE: 7/21/2023 _PHONE: __704-909-9186 DBA: JOHNSON DEVELOPMENT ASSOCIATES, INC. TITLE: Development Manager EMAIL: bduncan@johnsondevelopment.n

FAX. 704-909-9186

CITY OF COLORADO SPRINGS STATEMENT:

ADDRESS: 101 N Pacific Coast Hwy, Ste. 308, El Segundo, CA 90245

FOR THE CITY ENGINEER

FILED IN ACCORDANCE WITH SECTION 7.7.1503 OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001, AS AMENDED.

THE CITY OF COLORADO SPRINGS APPROVES THESE PLANS BASED UPON THE NON-JURISDICTIONAL STATUS OF THE FACILITY. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO FOLLOW UP WITH THE STATE DIVISION OF WATER RESOURCES FOR <u>JURISDICTIONAL DETERMINATION. IF UPON STATE REVIEW THE CLASSIFICATION CHANGES TO JURISDICTIONAL, ADDITIONAL CITY</u> REVIEW AND APPROVAL WILL BE NECESSARY.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

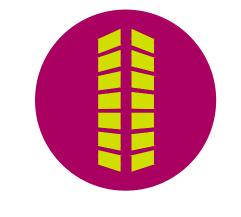
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Colorado Springs, CO 80920 719.900.7220 GallowayUS.com



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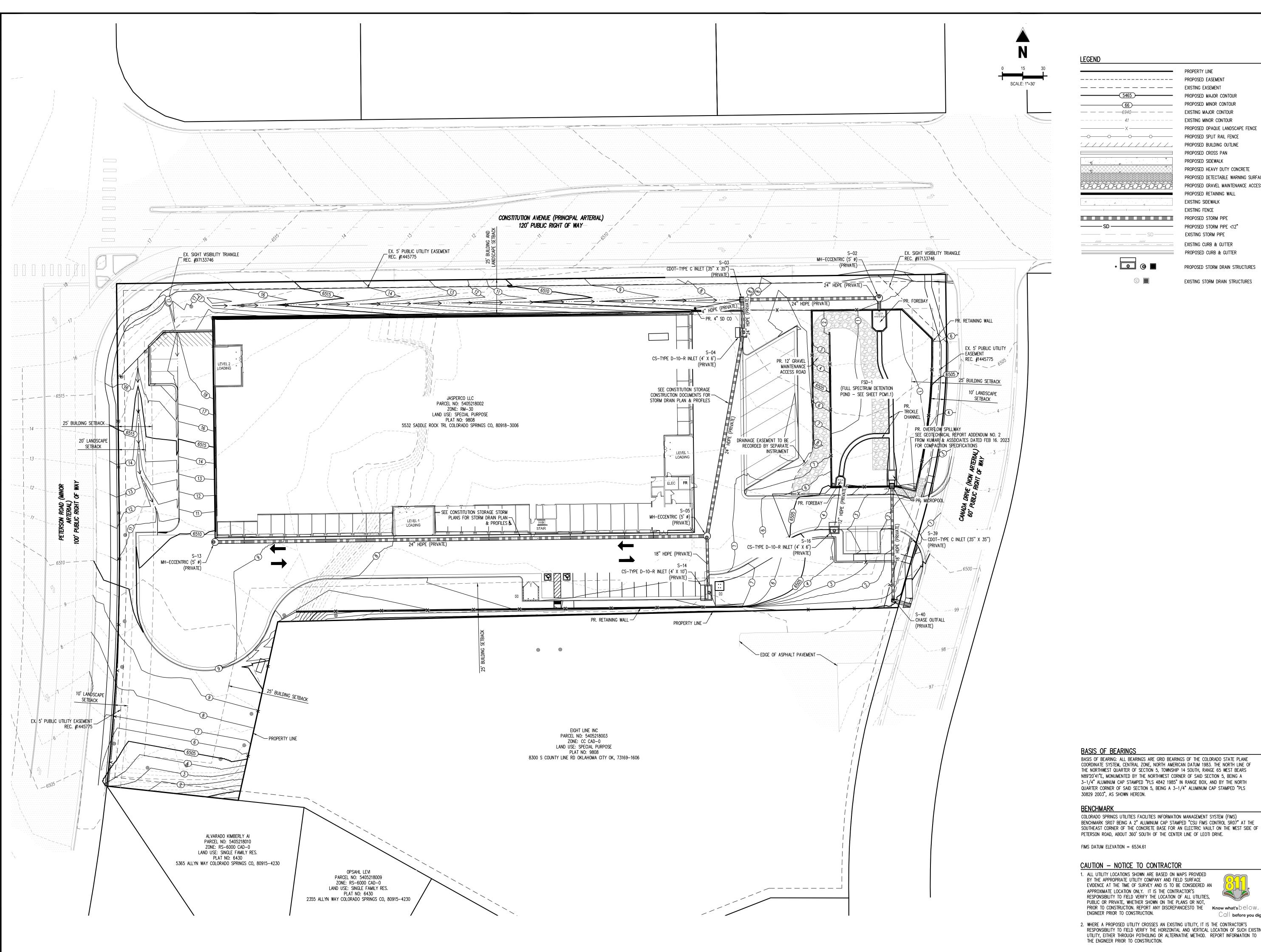
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Date Issue / Description

ASA/MRK JULY 2023

COVER SHEET



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PROPERTY LINE

PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED SPLIT RAIL FENCE

PROPOSED BUILDING OUTLINE PROPOSED CROSS PAN PROPOSED SIDEWALK

PROPOSED RETAINING WALL EXISTING SIDEWALK EXISTING FENCE

PROPOSED STORM PIPE <12"

PROPOSED CURB & GUTTER

PROPOSED STORM DRAIN STRUCTURES

EXISTING STORM DRAIN STRUCTURES

EXISTING STORM PIPE

• • • •

PROPOSED OPAQUE LANDSCAPE FENCE

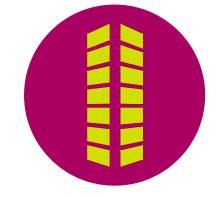
PROPOSED HEAVY DUTY CONCRETE PROPOSED DETECTABLE WARNING SURFACE

PROPOSED GRAVEL MAINTENANCE ACCESS



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E PERMANENT CONTRI TUTION STORAGE DEVEL

Date Issue / Description

Project No:	JDA02
Drawn By:	ASA/MRK
Checked By:	BAS
Date:	JULY 2023

OVERALL PCM PLAN

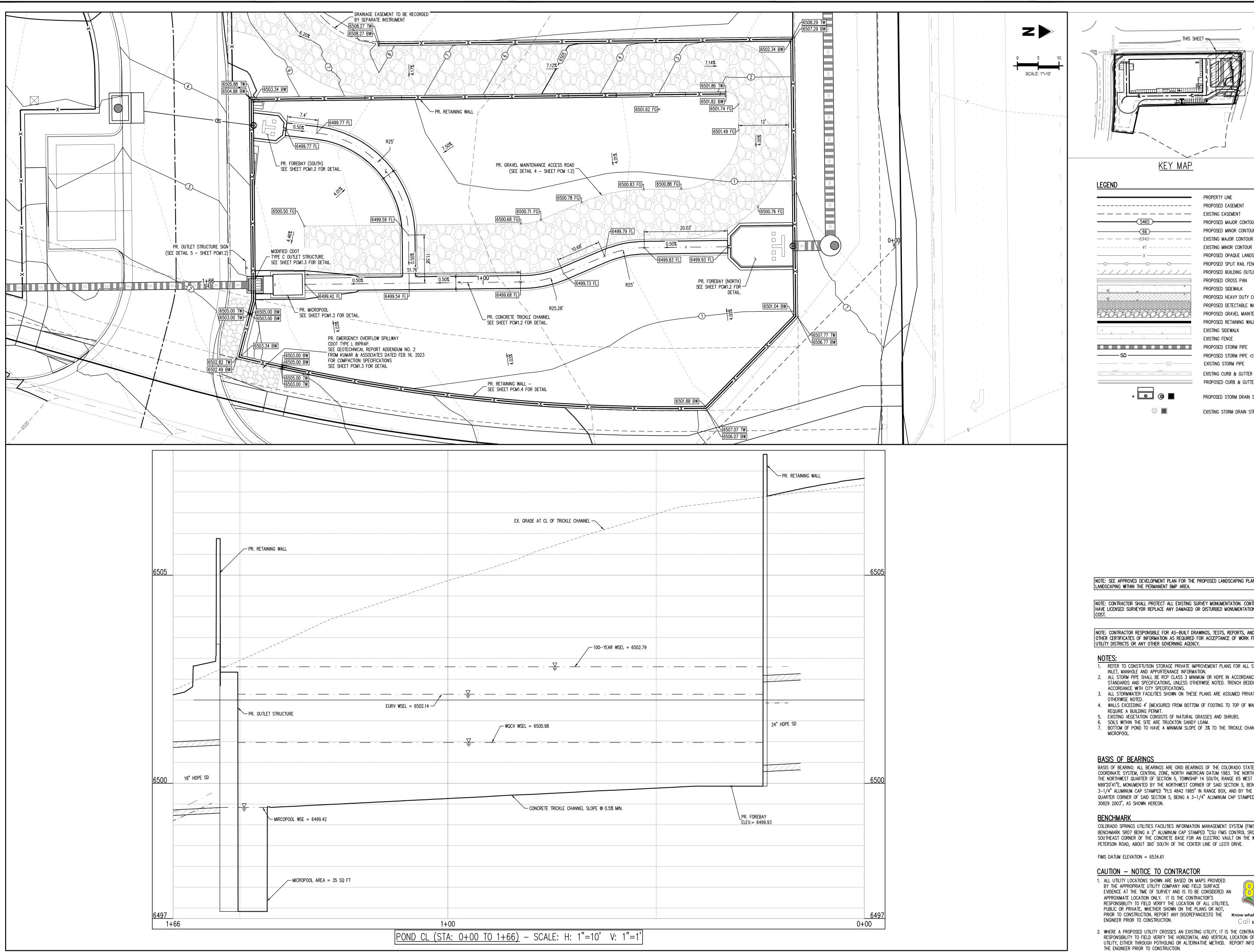
Sheet 2 of 6

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE

EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.

PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, ENGINEER PRIOR TO CONSTRUCTION.

Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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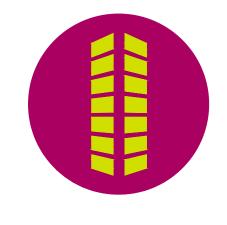
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E PERMANENT CONTRIBUTION STORAGE

PRIVATE CONSTITU

Date Issue / Description

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PROPOSED STORM DRAIN STRUCTURES

• • • • •

<u>KEY MAP</u>

PROPOSED EASEMENT

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED SPLIT RAIL FENCE

PROPOSED BUILDING OUTLINE

PROPOSED RETAINING WALL

EXISTING SIDEWALK

PROPOSED STORM PIPE

EXISTING STORM PIPE

EXISTING CURB & GUTTER PROPOSED CURB & GUTTER

PROPOSED STORM PIPE <12"

EXISTING FENCE

PROPOSED CROSS PAN

PROPOSED SIDEWALK

PROPOSED OPAQUE LANDSCAPE FENCE

PROPOSED HEAVY DUTY CONCRETE PROPOSED DETECTABLE WARNING SURFACE

PROPOSED GRAVEL MAINTENANCE ACCESS

EXISTING STORM DRAIN STRUCTURES

NOTE: SEE APPROVED DEVELOPMENT PLAN FOR THE PROPOSED LANDSCAPING PLANS FOR

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS, AND/OR ANY OTHER CERTIFICATES OF INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

- 1. REFER TO CONSTITUTION STORAGE PRIVATE IMPROVEMENT PLANS FOR ALL STORM PIPE, INLET, MANHOLE AND APPURTENANCE INFORMATION. 2. ALL STORM PIPE SHALL BE RCP CLASS 3 MINIMUM OR HDPE IN ACCORDANCE WITH CITY
- STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED. TRENCH BEDDING SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS. 3. ALL STORMWATER FACILITIES SHOWN ON THESE PLANS ARE ASSUMED PRIVATE UNLESS
- OTHERWISE NOTED. 4. WALLS EXCEEDING 4' (MEASURED FROM BOTTOM OF FOOTING TO TOP OF WALL) MAY
- REQUIRE A BUILDING PERMIT. 5. EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.
- SOILS WITHIN THE SITE ARE TRUCKTON SANDY LOAM. BOTTOM OF POND TO HAVE A MINIMUM SLOPE OF 3% TO THE TRICKLE CHANNEL AND MICROPOOL.

BASIS OF BEARINGS

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

<u>BENCHMARK</u>

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

CAUTION — NOTICE TO CONTRACTOR

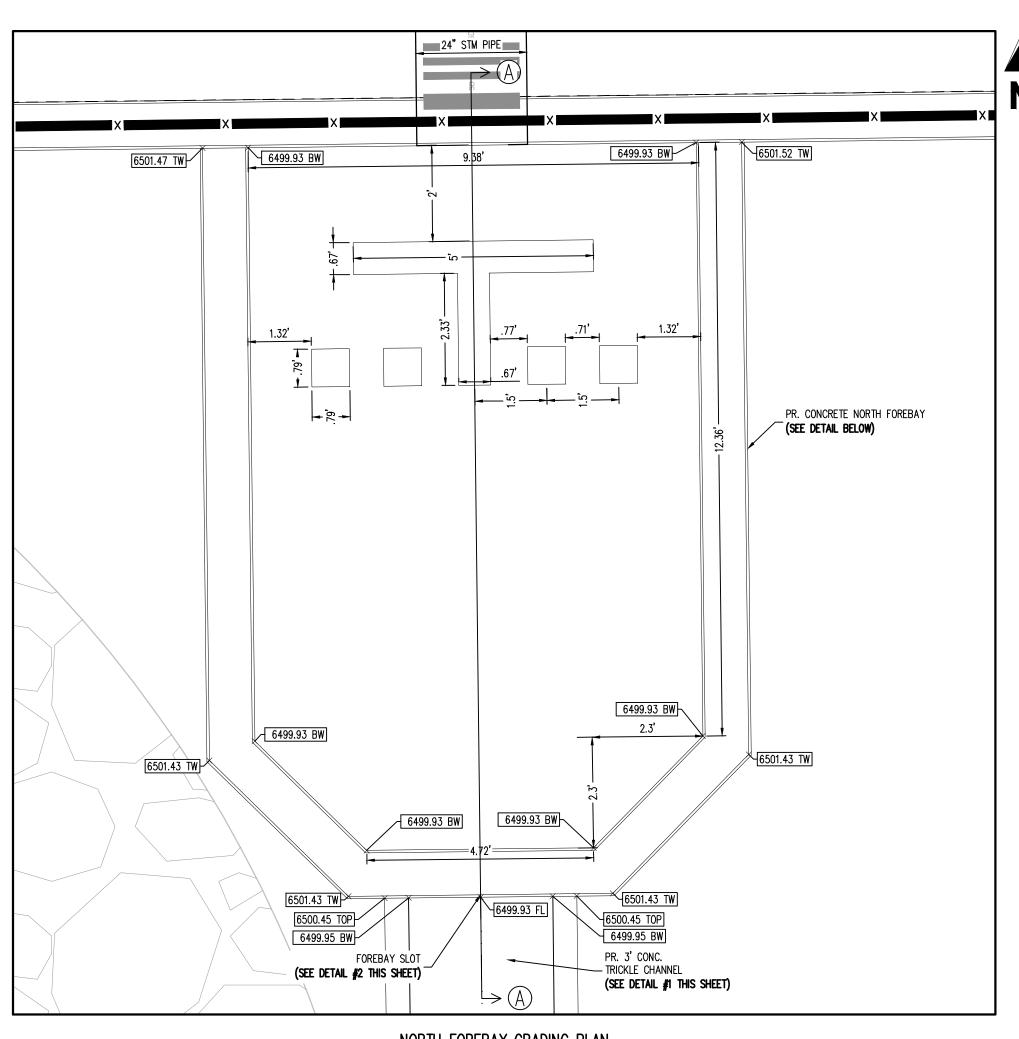
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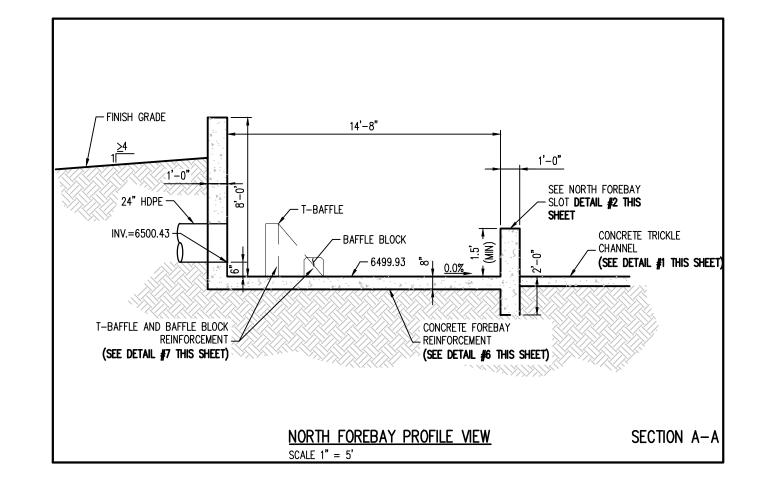
ENGINEER PRIOR TO CONSTRUCTION. Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

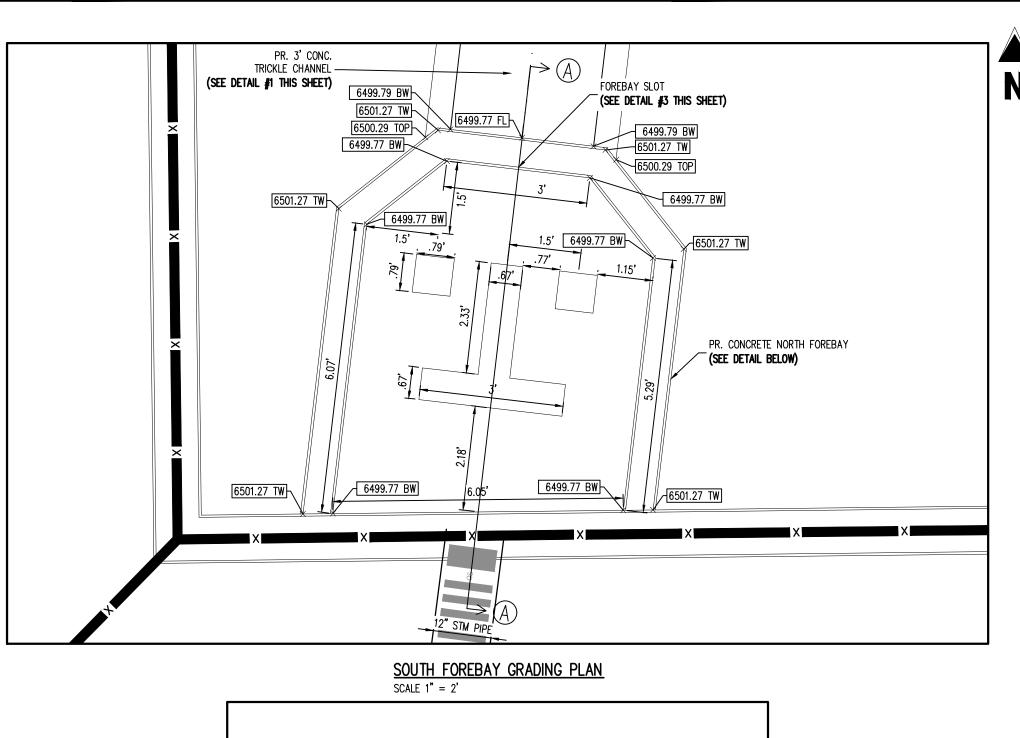
JULY 2023 POND PLAN

ASA/MRK

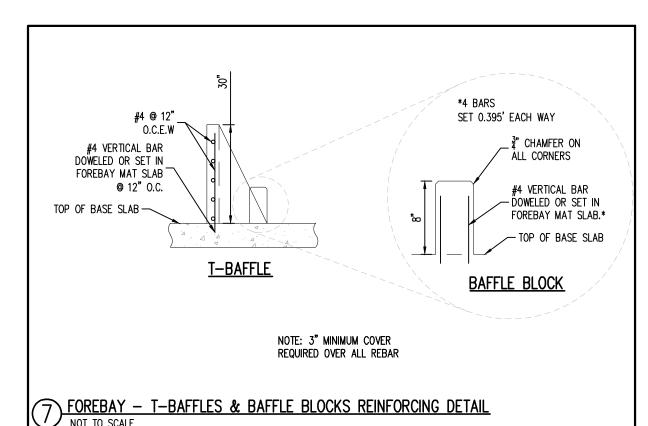


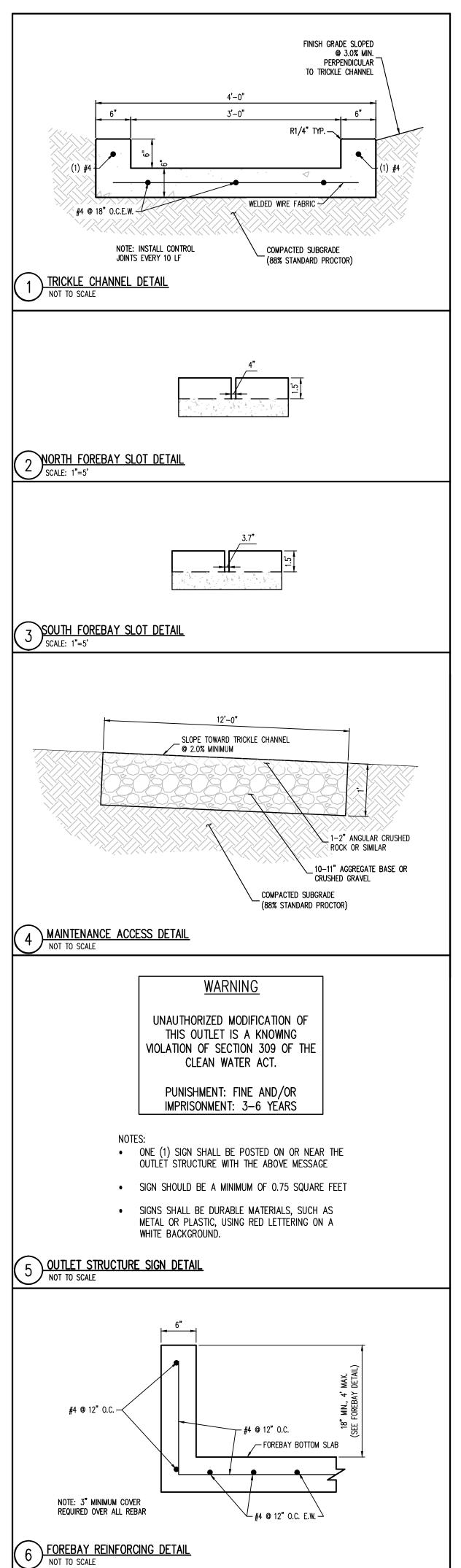
NORTH FOREBAY GRADING PLAN SCALE 1" = 2'





1'-0" SEE SOUTH FOREBAY SLOT **DETAIL #3 THIS** CONCRETE TRICKLE 12" HDPE — (SEE DETAIL #1 THIS SHEET) INV.=6500.27 T-BAFFLE AND BAFFLE BLOCK CONCRETE FOREBAY REINFORCEMENT W REINFORCEMENT (SEE DETAIL #7 THIS SHEET) (see detail #6 this sheet) SOUTH FOREBAY PROFILE VIEW SECTION A-A SCALE 1" = 5



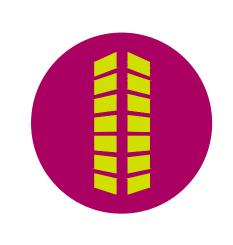




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PLAN MEASURE PRIVATE PERMANENT CONT CONSTITUTION STORAGE DEVELOPMENT

2460 CANADA DRIVE COLORADO SPRINGS,

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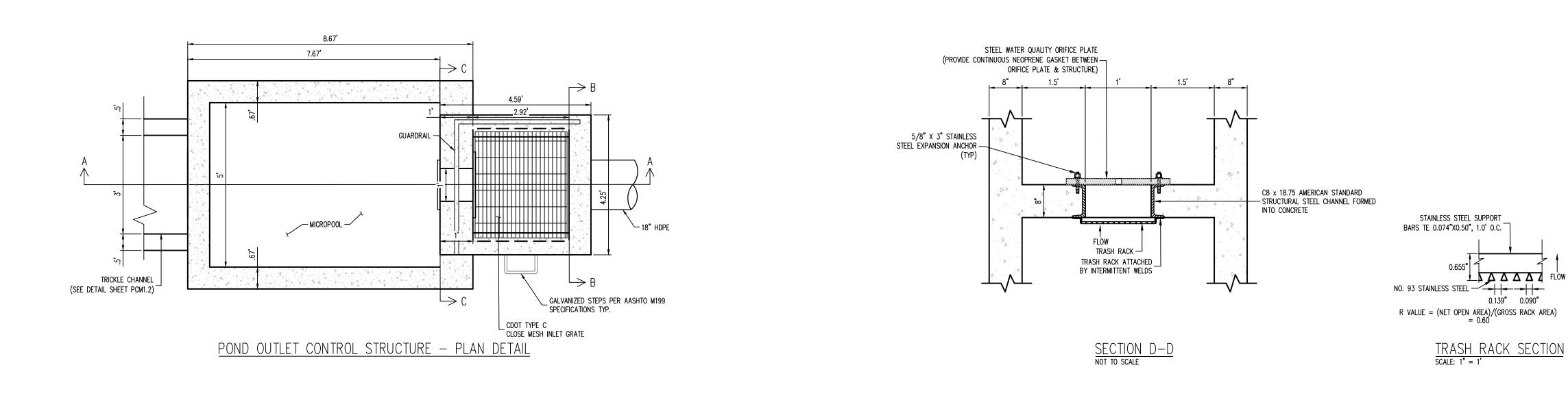
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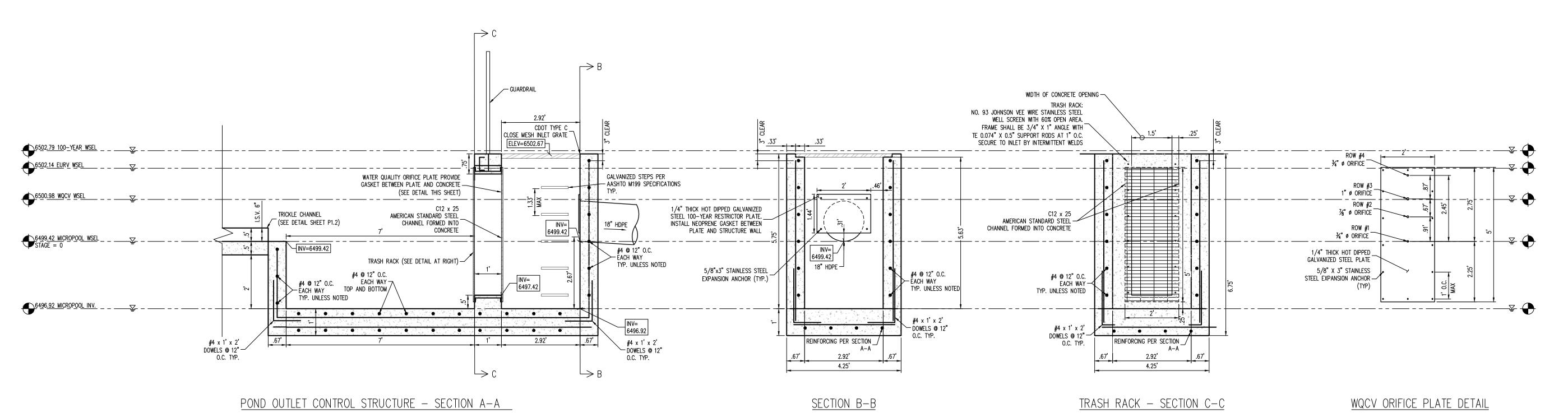
Date Issue / Description

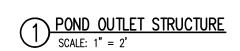
ASA/MRK BAS JULY 2023

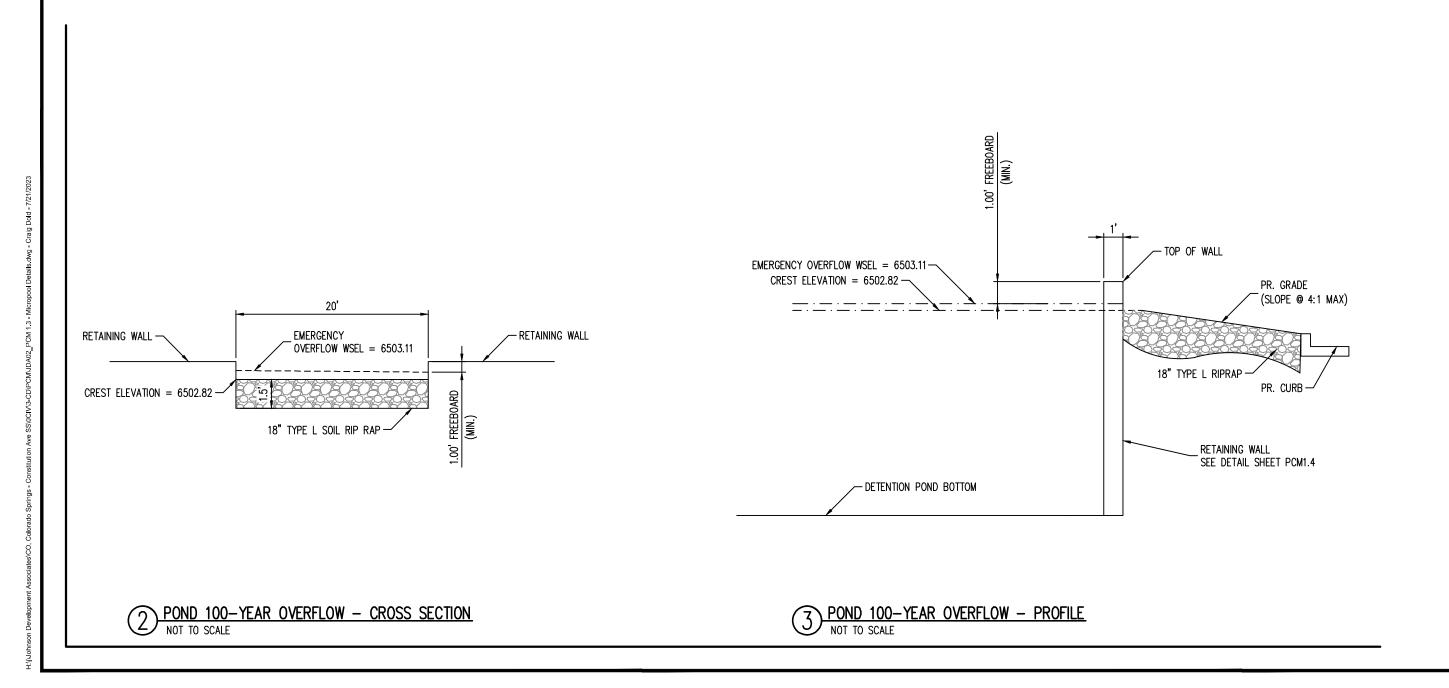
FOREBAY DETAILS









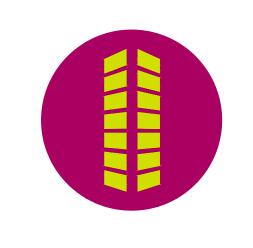


Galloway

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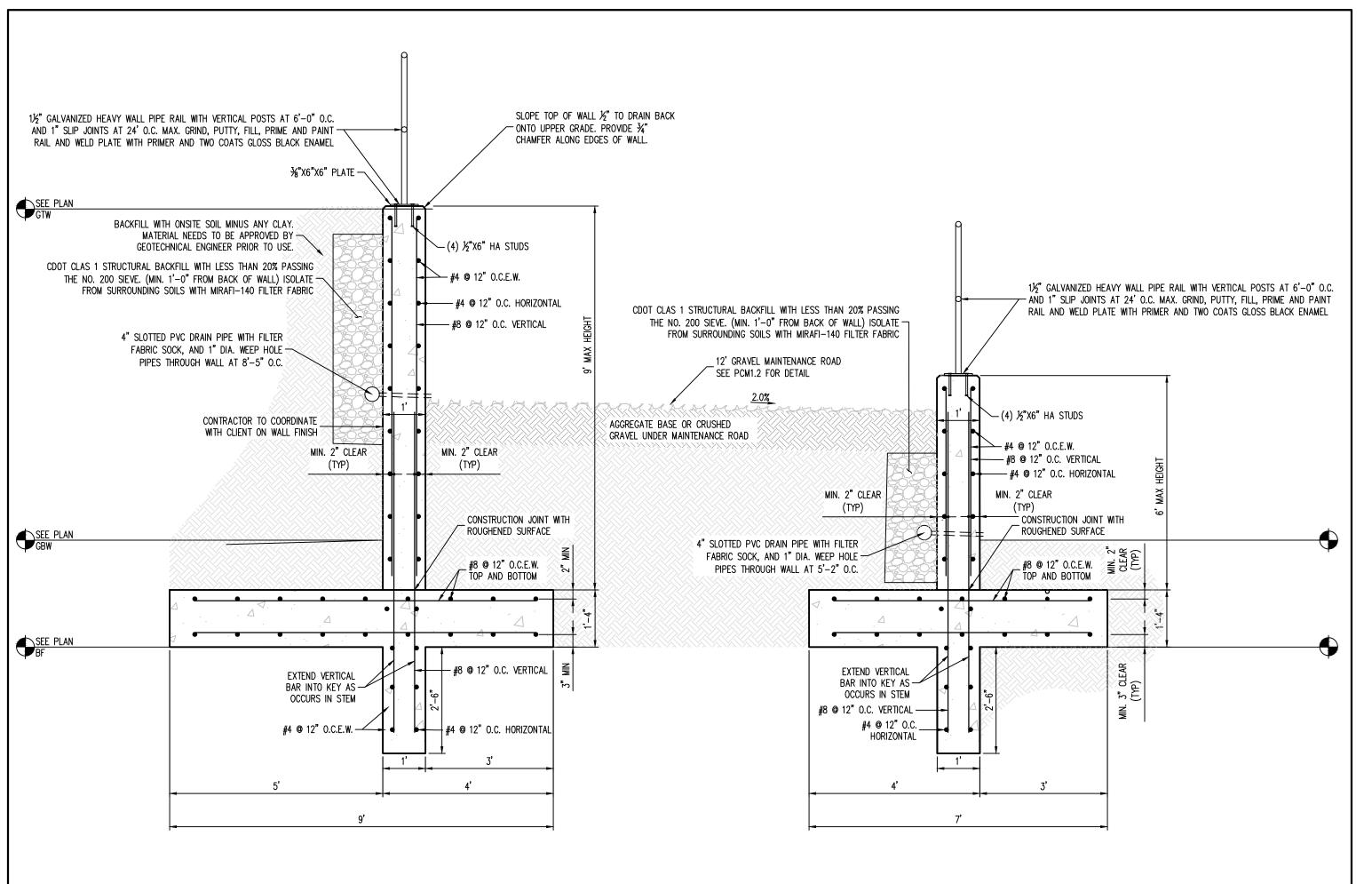
PRIVATE PERMANENT CONTROL MEASURE CONSTITUTION STORAGE
JOHNSON DEVELOPMENT ASSOCIATES

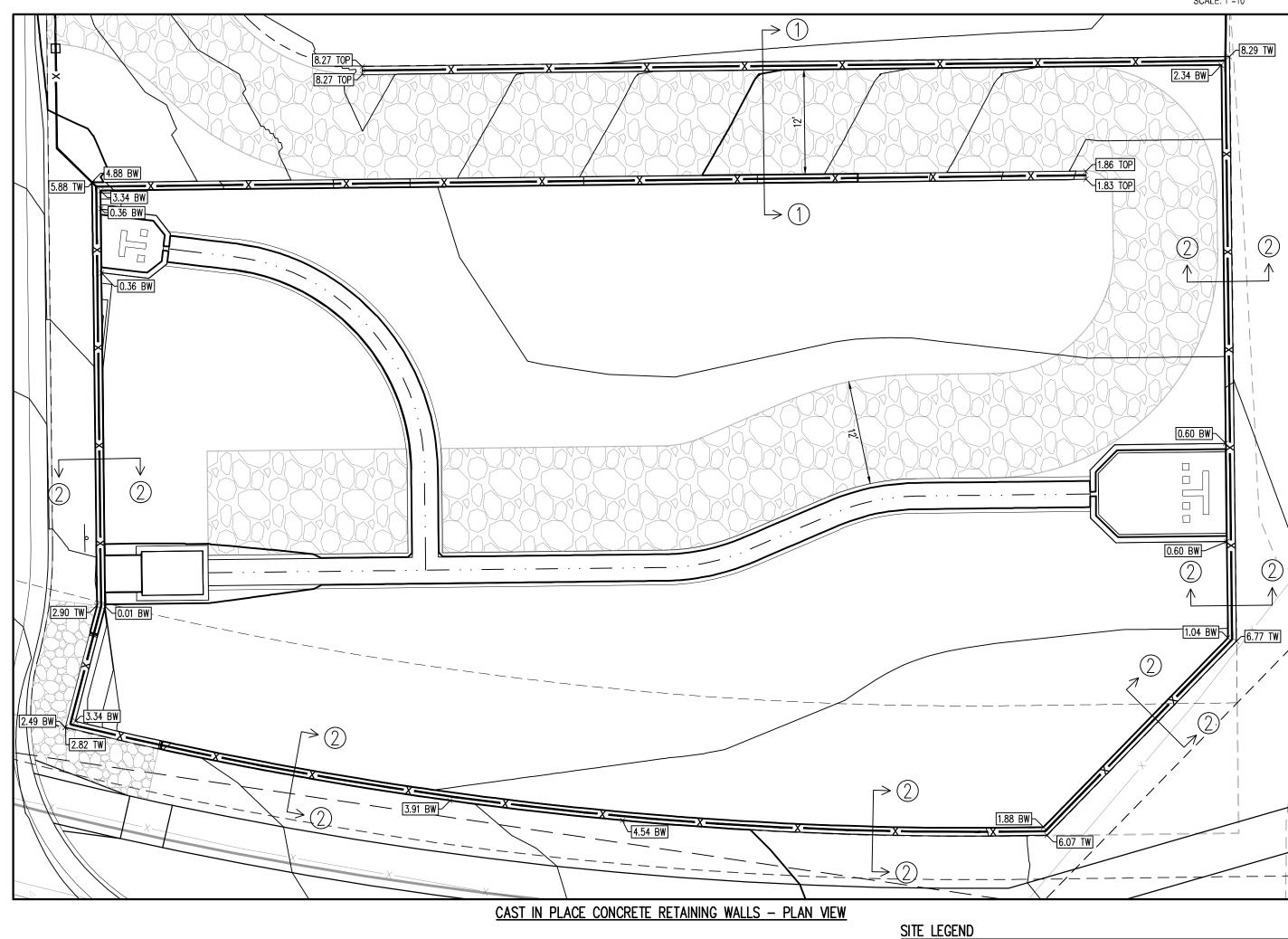
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Project No:	JDA02
Drawn By:	ASA/MRK
Checked By:	BAS
Date:	JULY 2023

MICROPOOL & OUTLET STRUCTURE DETAILS

PCM1.3





SLOPE TOP OF WALL 1/2" TO DRAIN BACK ∕ ONTO UPPER GRADE. PROVIDE ¾" CHAMFER ALONG EDGES OF WALL. CDOT CLAS 1 STRUCTURAL BACKFILL WITH 1½" GALVANIZED HEAVY WALL PIPE RAIL WITH VERTICAL POSTS AT 6'-0" O.C. LESS THAN 20% PASSING THE NO. 200 SIEVE AND 1" SLIP JOINTS AT 24' O.C. MAX. GRIND, PUTTY, FILL, PRIME AND PAINT --(MIN. 1'-0" FROM BACK OF WALL) ISOLATE RAIL AND WELD PLATE WITH PRIMER AND TWO COATS GLOSS BLACK ENAMEL FROM SURROUNDING SOILS WITH MIRAFI-140 FILTER FABRIC ¾"X6"X6" PLATE — BACKFILL WITH ONSITE SOIL MINUS ANY CLAY. - MATERIAL NEEDS TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO USE. (4) ½"X6" HA STUDS -#4 @ 12" O.C.E.W. — - #4 @ 12" O.C. HORIZONTAL — #8 @ 12" O.C. VERTICAL MIN. 2" CLEAR MIN. 2" CLEAR (TYP) CONTRACTOR TO COORDINATE WITH CLIENT ON WALL FINISH 4" SLOTTED PVC DRAIN PIPE WITH FILTER FABRIC SOCK, AND 1" DIA. WEEP HOLE PIPES THROUGH WALL AT 5'-0" O.C. CONSTRUCTION JOINT WITH ROUGHENED SURFACE TOP AND BOTTOM - #8 @ 12" O.C. VERTICAL | EXTEND VERTICAL BAR INTO KEY AS OCCURS IN STEM - #4 @ 12" O.C. HORIZONTAL 3'-0" 7**'**-0"

1 CAST IN PLACE CONCRETE RETAINING WALL - TYPICAL SECTION

<u> CAST IN PLACE CONCRETE RETAINING WALL — TYPICAL SECTION</u>

SCALE: 1"=2"

GENERAL STRUCTURAL NOTES

GENERAL REQUIREMENTS

GOVERNING CODE: THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS GOVERNED BY THE "NORTH CAROLINA BUILDING CODE", 2015 EDITION, HEREAFTER REFERRED TO AS THE NCBC, AS ADOPTED BY CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS DIVISION UNDERSTOOD TO BE THE AUTHORITY HAVING JURISDICTION (AHJ).

TEMPORARY SHORING, BRACING: THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY.

SITE VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE, CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE

ADJACENT UTILITIES: THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO EARTHWORK, FOUNDATIONS, SHORING, AND EXCAVATION. ANY UTILITY INFORMATION SHOWN ON THE DRAWINGS AND DETAILS IS APPROXIMATE AND NOT NECESSARILY COMPLETE.

SPECIAL INSPECTIONS AND TESTING

INSPECTIONS: SPECIAL INSPECTIONS AND TESTING SHALL BE IN ACCORDANCE WITH THE STATEMENT OF SPECIAL INSPECTIONS PER RBC SECTION 109.7 AND IBC SECTIONS 1704, 1705, AS APPLICABLE.

SPECIAL INSPECTORS: SPECIAL INSPECTORS SHALL BE EMPLOYED BY THE OWNER. SPECIAL INSPECTORS SHALL BE QUALIFIED PERSONS WHO ARE REGISTERED WITH AN APPROVED AGENCY.

INSPECTION SUBMITTALS: SPECIAL INSPECTION REPORTS SHALL BE PROVIDED ON A WEEKLY BASIS. FINAL SPECIAL INSPECTION REPORTS WILL BE REQUIRED BY EACH SPECIAL INSPECTION FIRM PER IBC 1704.1.2. SUBMIT COPIES OF ALL INSPECTION AND TESTING REPORTS TO THE ARCHITECT/ENGINEER AND THE AUTHORITY HAVING JURISDICTION FOR REVIEW AS SOON AS THEY ARE

	SCHEDULE OF SPECIAL INSPECTION	ONS	
	DESCRIPTION OF SPECIAL INSPECTION	PERIODIC	CONTINUOUS
SOILS	FOOTING SOIL BEARING SURFACES	Χ	
	EXCAVATION DEPTH AND BEARING LAYER	Х	
	COMPACTED FILL MATERIAL; PHYSICAL PROPERTIES	Χ	
	SUBGRADE PREPARATION PRIOR TO BACKFILL	Χ	
	BACKFILLING OPERATIONS IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS INCLUDING LIFT THICKNESS, DENSITY TESTING, MOISTURE CONTENT, MATERIAL PROPERTIES		Х
CONCRETE	SIZE & PLACEMENT OF ALL REINFORCING STEEL	Х	
CONSTRUCTION	PLACEMENT CLEARANCES AROUND REINFORCING STEEL AT EMBEDDED CONDUIT	Χ	
	SHAPE, LOCATION & DIMENSIONS OF MEMBERS FORMED	Х	
	USE OF THE REQUIRED DESIGN CONCRETE MIX	Х	
	MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	Х	
	VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS	Х	
	PLACING & SIZE OF CAST-IN-PLACE ANCHOR BOLTS AND EMBEDDED FABRICATIONS PRIOR TO THE POUR	Х	
	PLACING OF CONCRETE AROUND CAST-IN-PLACE BOLTS AND EMBEDS		Х
	SAMPLING OF FRESH CONCRETE		Х
	DETERMINATIONS OF SLUMP, AIR CONTENT, AND TEMPERATURE		Х
	GROUTING OPERATION OF REBAR DOWELS	•	X

SOILS AND FOUNDATIONS

FOUNDATIONS FOR ALL STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL

REPORT PREPARED FOR THIS SITE. THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION.

8. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CDS. GEOTECHNICAL REPORT DATE PREPARED BY: REPORT KUMAR & ASSOCIATES, INC. FEBRUARY 3, 2022 REPORT - 21-2-272 ADDENDUM - 21-1-272 | MARCH 22, 2022

ADDENDUM - 21-2-272 A FEBRUARY 16, 2023 DESIGN CRITERIA NET ALLOWABLE SOIL BEARING PRESSURE D+L MINIMUM EMBEDMENT (BELOW EXT. GRADE OR 30 INCHES SLAB SUBGRADE) EQUIVALENT FLUID PRESSURE, ACTIVE EQUIVALENT FLUID PRESSURE, PASSIVE 180 PSF NOTE: PER GOETECHNICAL ADDENDUM 21-2-272.A IT IS REQUIRED THAT CARE TO BE TAKEN NOT TO OVERCOMPACT THE BACKFILL.

SUBGRADE PREPARATION AND COMPACTION FOR ALL ITEMS ARE TO BE PREPARED IN SAME MANNER AS 2022 REPORT 21-2-272. OVEREXCAVATION AND REPLACEMENT OF ALL EXISTING FILL WILL BE REQUIRED WHERE PRESENT BELOW THE BEARING ELEVATION. ADDITIONALLY, OVEREXCAVATION AND REPLACEMENT OF THE CLAY SOILS WILL BE REQUIRED WHERE ENCOUNTERED WITHIN 3 FEET

OF BEARING ELEVATION. REFERENCE GEOTECHNICAL REPORT AND ADDENDUMS AND REPORT FOR ADDITIONAL INFORMATION.

CAST-IN-PLACE CONCRETE

- REFERENCE STANDARDS:
- ACI 301-10 "SPECIFICATIONS FOR STRUCTURAL CONCRETE" 2. ACI 305.1-10 "SPECIFICATIONS FOR HOT WEATHER CONCRETING"
- 3. ACI 306.1-10 "SPECIFICATION FOR COLD WEATHER CONCRETING" 4. ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
- 5. ACI 117-10 "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"

REFERENCE GEOTECHNICAL REPORT AND ADDENDUMS AND REPORT FOR ADDITIONAL INFORMATION.

PROVIDE ALL SUBMITTALS REQUIRED BY ACI 301 SECTION 4.1.2. SUBMIT MIX DESIGNS FOR EACH MIX IN THE TABLE BELOW. SUBSTANTIATING STRENGTH RESULTS FROM PAST TESTS SHALL NOT BE OLDER THAN 12 MONTHS PER ACI 318 SECTION 5.3.

CONCRETE MIX	(DESIGN R	<u>EQUIREME</u>	NTS				
	STRENGTH F'C (PSI)	TEST AGE	AGGREGATE, MAX. (IN.)	EXPOSURE CLASS	W/CM RATIO	AIR CONTENT (+/-1.5%)	SLUMP, MAX. (IN.)
PREAD FOOTING	4500	28	1	F2/S0/W0/C1	0.45	6.0	4
OUNDATION WALLS	3500	28	1	F1/S0/W0/C1	0.55	4.5	4
		•	•				•

	CONCRETE REINFO	RCEMENT
MATERIAL\$	REINFORCING BARS ASTM	A615 GRADE 60 DEFORMED BARS
PLACING: CONFORM	TO ACI 301 SECTION 3.3.2 "PLACEMENT." PLACING TOLER	RANCES SHALL CONFORM TO ACI 117.
CONCRETE COVER:	CONCRETE CAST AGAINST EARTH	3"
CONFORM TO THE FOLLOWING COVER REQUIREMENTS UNLESS NOTED OTHERWISE IN THE DRAWINGS:	CONCRETE EXPOSED TO EARTH OR WEATHER	2"
	TIES IN COLUMNS AND BEAMS	1-1/2"
	BARS IN SLABS	3/4"
	BARS IN WALLS	3/4"
	EXTERIOR BARS IN TILT-UP PANELS	1"

PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE ----- RIGHT OF WAY BOUNDARY LINE ROAD CENTERLINE - - - EXISTING EASEMENT LINE

---- PROPOSED EASEMENT LINE PROPOSED RETAINING WALL PAVING LEGEND

STANDARD DUTY CONCRETE HEAVY DUTY CONCRETE STANDARD DUTY ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION

DRAWNGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

BASIS OF BEARINGS

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

<u>BENCHMARK</u> COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF

PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE. FIMS DATUM ELEVATION = 6534.61

CAUTION - NOTICE TO CONTRACTOR

ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

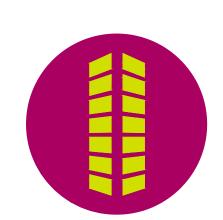
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Date Issue / Description

Project No:	JDA02
Drawn By:	ASA/MRK
Checked By:	BAS
Date:	JULY 2023

RETAINING WALL DETAILS

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