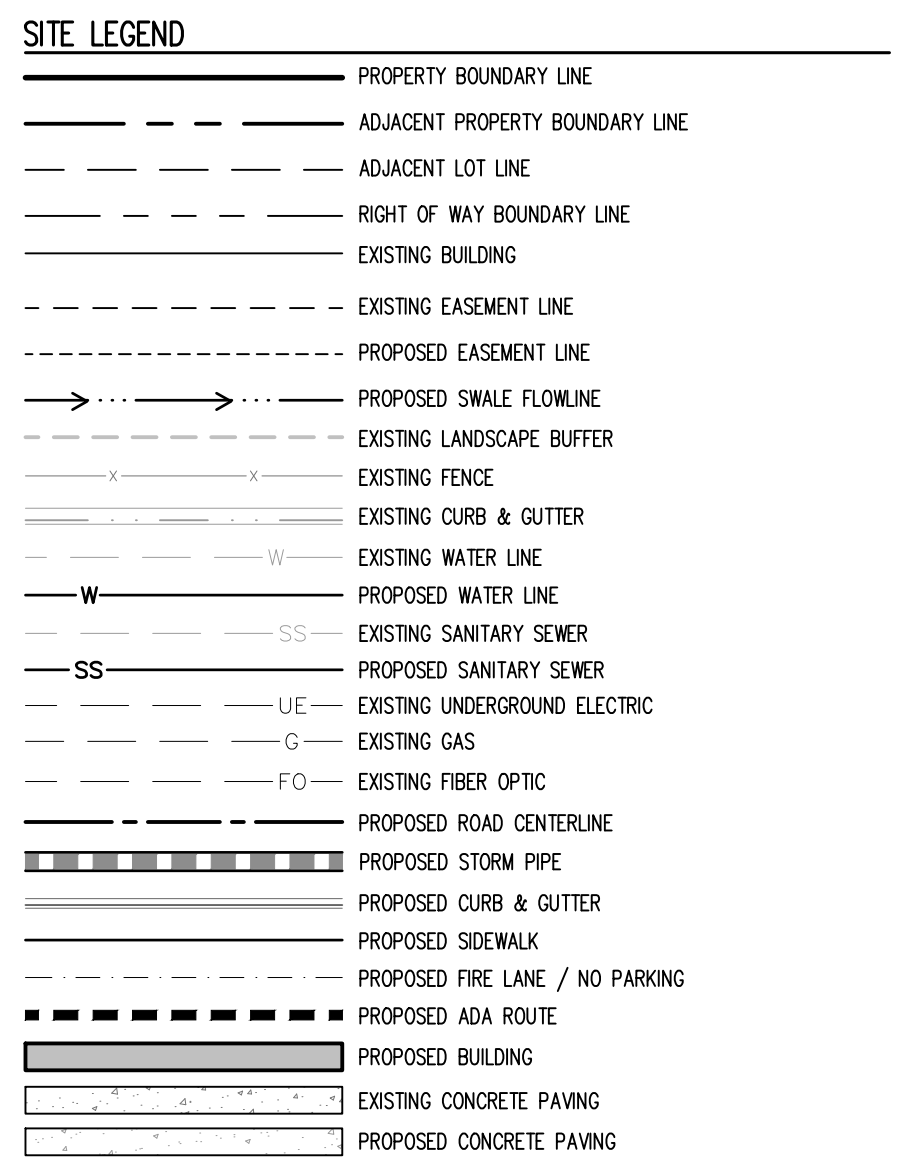






















SITE DEVELOPMENT PLAN

PCD FILING NUMBER: PPR-2224

Sheet 1 of 11



- | | |
|---|----------------------------------|
|  | EXISTING FIBER OPTIC STRUCTURES |
|  | EXISTING PAD MOUNTED TRANSFORMER |
|  | EXISTING LIGHT POLE |
|  | EXISTING STORM SEWER MANHOLE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING SIGN |
|  | EXISTING GAS METER |
|  | EXISTING SANITARY SEWER |
|  | EXISTING ELECTRIC STRUCTURES |
|  | EXISTING WATER VALVE |
|  | ADA PARKING SYMBOL |
|  | PROPOSED SIGN |
|  | PROPOSED FIRE HYDRANT |
|  | PROPOSED SANITARY SEWER |
|  | PROPOSED WATER VALVE |
|  | PROPOSED LIGHT POLE |
|  | PROPOSED SEWER MANHOLE |
|  | PROPOSED WATER STRUCTURES |
|  | PROPOSED STORM STRUCTURES |
|  | PROPOSED PARKING COUNT |

- 1 PROPOSED 5' CONCRETE SIDEWALK
- 2 PROPOSED CUSTOM-8" VERTICAL CURB & GUTTER
- 3 PROPOSED GUEST PARKING - SEE DETAIL ON SHEET C1.2
- 4 PROPOSED SECURITY FENCE
- 5 PROPOSED STOP SIGN (R1-1)
- 6 PROPOSED ASPHALT AREA
- 7 PROPOSED SD_2-40 PEDESTRAIN RAMP
- 8 SIGHT DISTANCE TRIANGLE
- 9 PROPOSED RETAINING WALL
- 10 PROPOSED CONCRETE RAMP TO SECOND STORY
- 11 PROPOSED CURB & GUTTER TRANSITION
- 12 PROPOSED TRASH ENCLOSURE (SEE CONCEPT ELEVATIONS FOR DETAIL)
- 13 PROPOSED POND MAINTENANCE ROAD
- 14 PROPOSED COVERED RV STORAGE (SEE CONCEPT ELEVATIONS FOR DETAIL)
- 15 PROPOSED EPC TYPE C CURB
- 16 PROPOSED STORM DRAIN
- 17 PROPOSED BICYCLE PARKING
- 18 PROPOSED NO TRUCKS SIGN
- 19 PROPOSED BOLLARD
- 20 PROPOSED GATE

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEYING. LOCATIONS ARE AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DISSEMINATE TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Please depict the location of flood plains, no-build, and drainage areas, if none, please specify

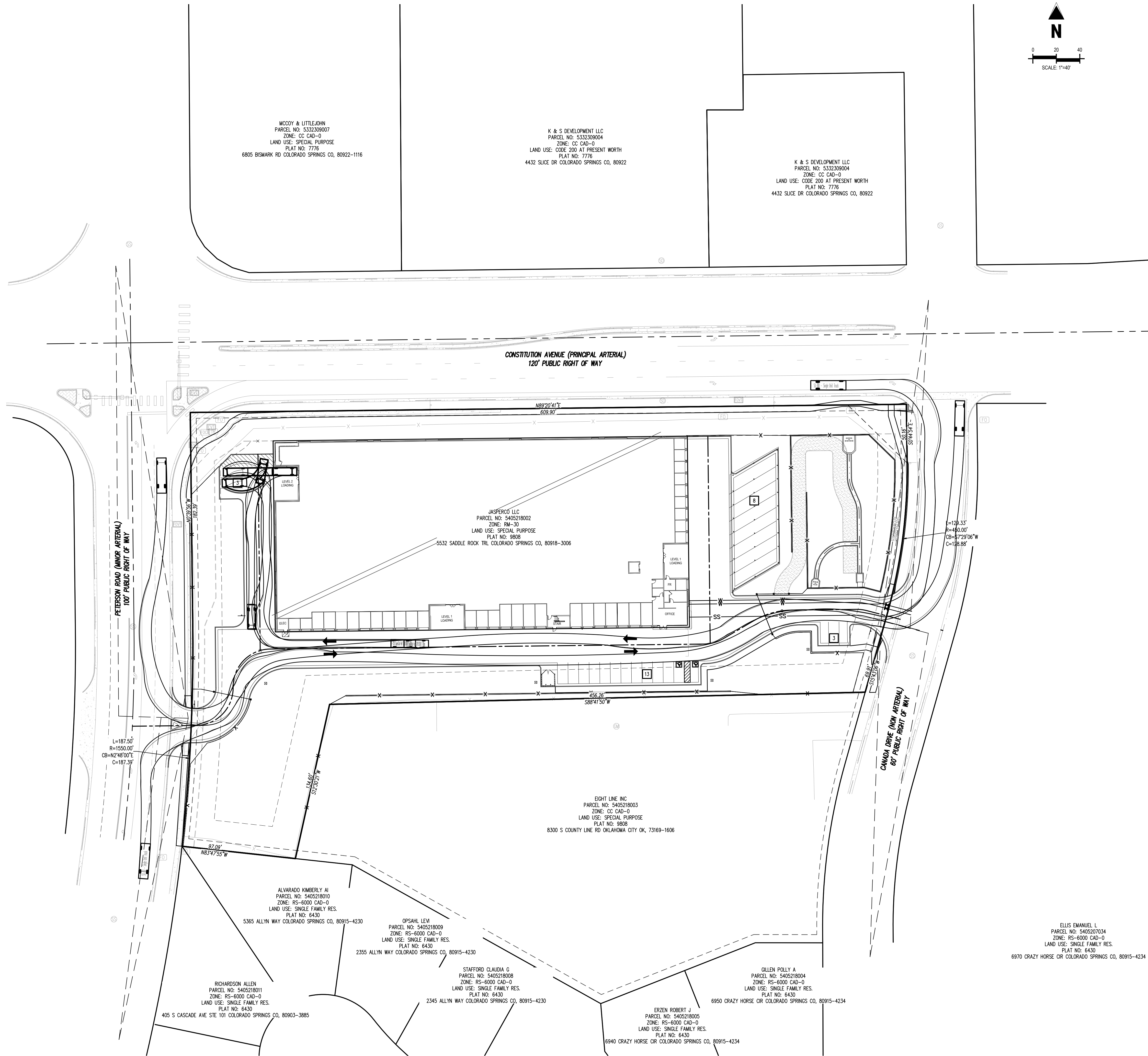


now what's below.
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COUNTY FILE NUMBER:
PPR-2224

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338



SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	RIGHT OF WAY BOUNDARY LINE
	EXISTING BUILDING
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED SWALE FLOWLINE
	EXISTING LANDSCAPE BUFFER
	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS
	EXISTING FIBER OPTIC
	PROPOSED ROAD CENTERLINE
	PROPOSED STORM PIPE
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED FIRE LANE / NO PARKING
	PROPOSED ADA ROUTE
	PROPOSED ADA ROUTE
	PROPOSED BUILDING
	EXISTING CONCRETE PAVING
	PROPOSED CONCRETE PAVING
	EXISTING FIBER OPTIC STRUCTURES
	EXISTING PAD MOUNTED TRANSFORMER
	EXISTING LIGHT POLE
	EXISTING STORM SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING SIGN
	EXISTING GAS METER
	EXISTING SANITARY SEWER
	EXISTING ELECTRIC STRUCTURES
	EXISTING WATER VALVE
	ADA PARKING SYMBOL
	PROPOSED SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED WATER VALVE
	PROPOSED LIGHT POLE
	PROPOSED SEWER MANHOLE
	PROPOSED WATER STRUCTURES
	PROPOSED STORM STRUCTURES
	PROPOSED PARKING COUNT

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR:



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PPR-2224

Galloway

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Colorado Springs, CO 80920
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SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

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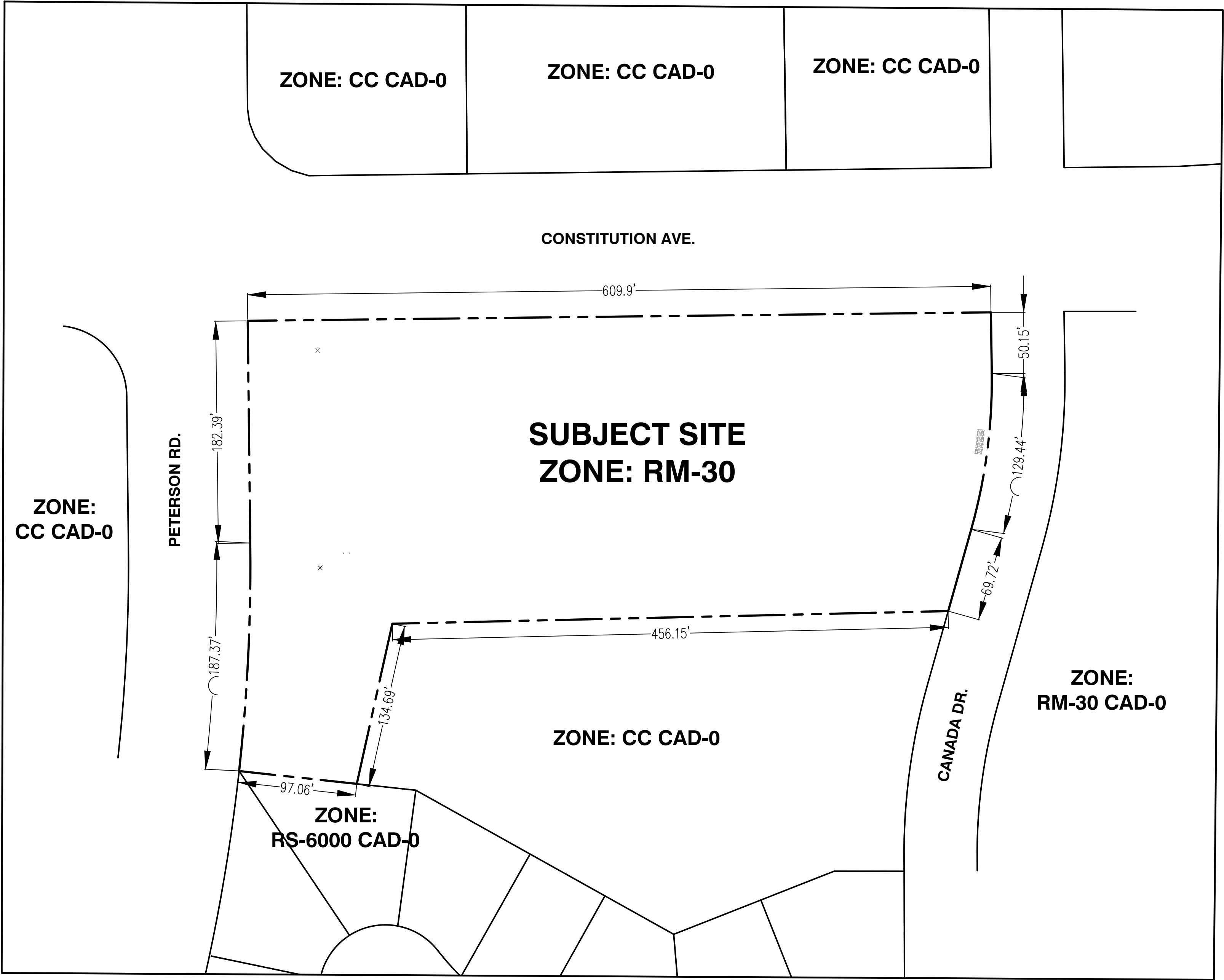
Project No:	JDA02
Drawn By:	RWO
Checked By:	RGD
Date:	9/23/2022

VEHICLE TRACKING PLAN

C1.2

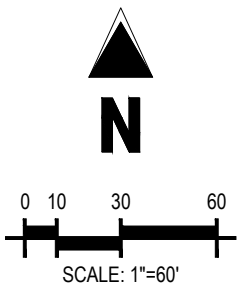
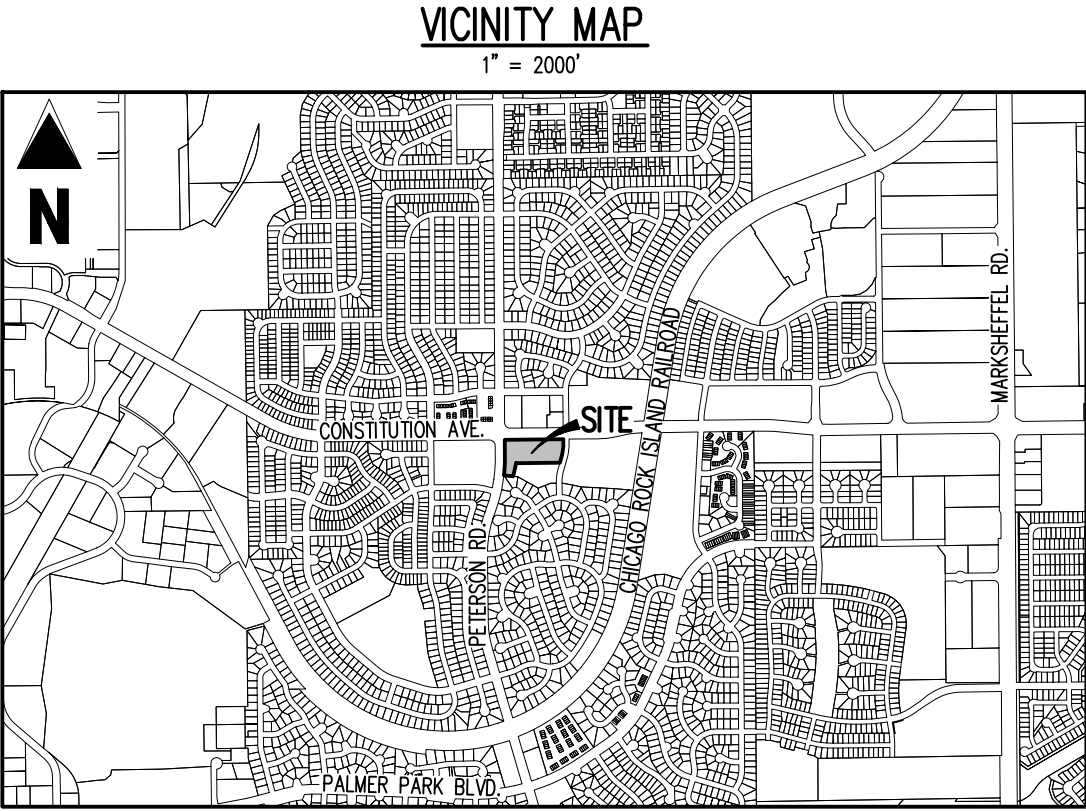
Sheet 3 of 11

LANDSCAPE PLANS



ZONE MAP

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION
LIMITS. CONTRACTOR IS RESPONSIBLE
FOR IDENTIFYING THEIR LOCATION
PRIOR TO CONSTRUCTION.



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SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

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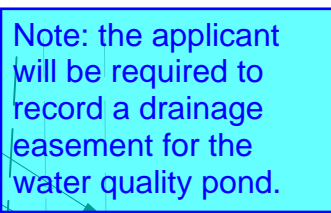
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Date:	9/23/2022

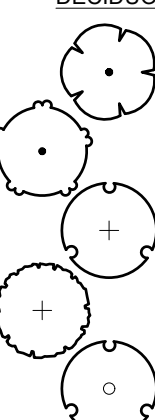
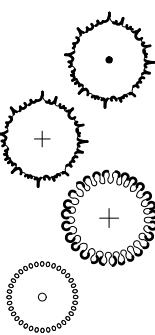

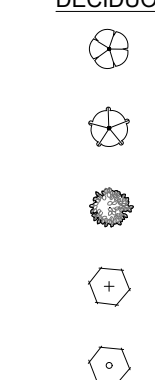
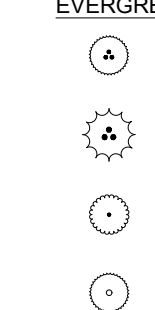
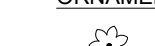

LANDSCAPE COVER SHEET

COUNTY FILE NUMBER:
PPR-2224

L1.0

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DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
	CASP	1	NORTHERN CATALPA	CATALPA SPECIOSA	B&B	2" CAL	50' X30'	LOW	SUN
	CEOC	9	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B	2" CAL	60' X40'	LOW	SUN/PART SHADE
	GYDE	2	KENTUCKY COFFEETREE 'ESPRESSO'	GYMNOCLADUS DIOICA 'ESPRESSO'	B&B	2" CAL	50' X35'	LOW	SUN
	QURF	1	COLUMNAR ENGLISH OAK	QUERCUS ROBUR 'FASTIGIATA' TM	B&B	2" CAL	40' X20'	MODERATE	SUN
	TICO	8	LITTLELEAF LINDEN	TILIA CORDATA	B&B	2" CAL	40' X30'	MODERATE	SUN/PART SHADE
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
	PIPU	5	COLORADO SPRUCE	PICEA PUNGENS	B&B	6' HT	60' X25'	LOW	SUN/PART SHADE
	PIBU	7	LACEBARK PINE	PINUS BUNGEANA	B&B	6' HT	30' X20'	LOW	SUN
	PINI	2	AUSTRIAN PINE	PINUS NIGRA	B&B	6' HT	50' X20'	LOW	SUN/PART SHADE
	PNAS	23	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6' HT	25' X7'	LOW	SUN/PART SHADE
UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	JUCH	11	BLUE POINT JUNIPER	JUNIPERUS CHINENSIS 'BLUE POINT'	#5 CONT.	12' X6'	VERY LOW	SUN/PART SHADE	
DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	CF	53	ARCTIC FIRE® RED TWIG DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT.	4' X4'	MODERATE	SUN/PART SHADE	
	GETI	7	ROYAL GOLD WOADWAXEN	GENISTA TINCTORIA 'ROYAL GOLD'	#5 CONT.	2' X2'	VERY LOW	SUN	
	PEAT	13	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X4'	VERY LOW	SUN	
	RHAR	42	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'	LOW	SUN	
	SPNI	113	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	#5 CONT.	4' X3'	LOW	SUN/PART SHADE	
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	JNSO	53	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X6'	VERY LOW	SUN/PART SHADE	
	JNSM	7	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'MONNA'	#5 CONT.	9'X10'	VERY LOW	SUN/PART SHADE	
	MAAC	33	COMPACT OREGON GRAPE	MAHONIA AQUIFOLIUM 'COMPACTA'	#5 CONT.	3' X5'	VERY LOW	SUN/PART SHADE	
	PIMT	15	TANNENBAUM MUGO PINE	PINUS MUGO 'TANNENBAUM'	#5 CONT.	15' X6'	LOW	SUN	
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	CAAK	10	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'	LOW	SUN	
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE				
	SEED	27,869 SF	EL PASO LOW GROW SEED MIX	EL PASO LOW GROW SEED MIX	SEED				
	SOD	5,754 SF	RTF (RHIZOMATOUS TALL FESCUE)	FESCUE SOD	SOD				

SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
L-01	ROLLED TOP STEEL EDGER 1/8" THICK AND 6" DEEP	293 LF	SEE NOTES
SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
L-03	2'-4" ANGULAR ROCK MULCH - 4" DEEP COLOR: TAN/GRAY WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL, SEE PLANTING NOTES & DETAILS	293.7 CY	SEE NOTES

- | | | |
|-------------------------------------|---|--|
| GENERAL | 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS. | 19. ALL TREES SHALL BE GUED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES. |
| 2. | LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS. | 20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES. |
| 3. | CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS. | 21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. |
| 4. | ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT. | 22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD. |
| 5. | THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTICES ON THE PLANS (AS APPLICABLE). | 23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TPOISOL. |
| 6. | LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED. | 24. ALL PLANT BEDS SHALL BE CONTAINED WITH PERFORATED STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN. |
| 7. | ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TPOISOL, TREES, SHRUBS, AND TURF. | 25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE. |
| 8. | FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION. | 26. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS. |
| 9. | LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION. | 27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC. |
| 10. | WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED. | MULCHING |
| 11. | ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION. | 28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE SCHEDULE. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH. |
| 12. | LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY. | 29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE. |
| FINISH GRADING AND SOIL PREPARATION | 13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADDED TO BLEND WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER. | 30. INSTALL DEWITT PRO-6 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED. |
| 14. | AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER/CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. | 31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED. |
| 15. | THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION. | 32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES OF 1:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED. |
| 16. | AT A MINIMUM, ALL TPOISOL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT QUANTITY AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-4 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLAGE AFTER CROSS-RIPPING. GROUND COVER OR PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU YD, ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS. | 33. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #C1-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL), INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN. |
| | | UTILITY NOTES |
| | | 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. |
| | | 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS. |
| | | 3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST |

17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE TOP, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE WHEN THE CONTRACTOR'S GRADING AND DRAINAGE DOES NOT MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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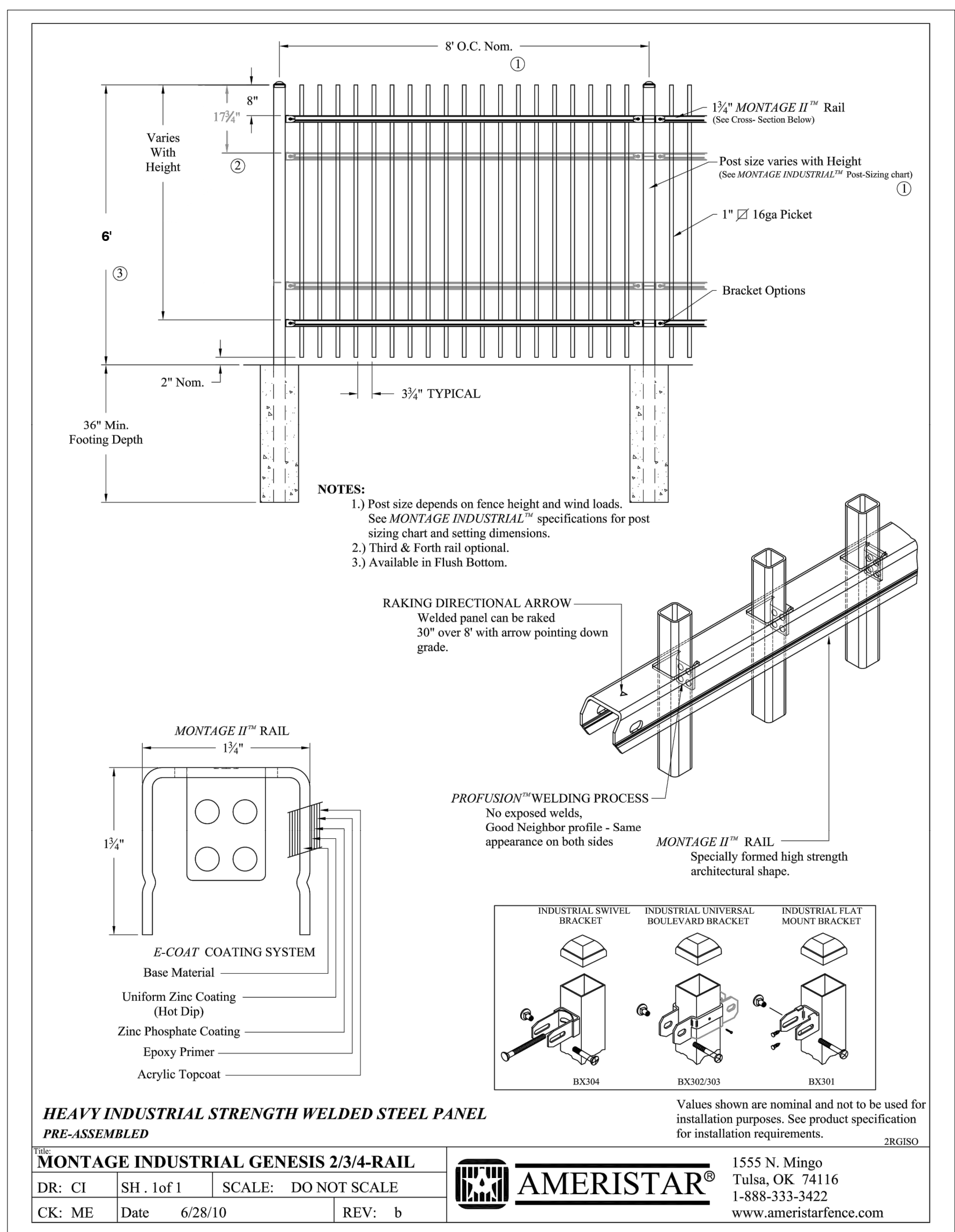
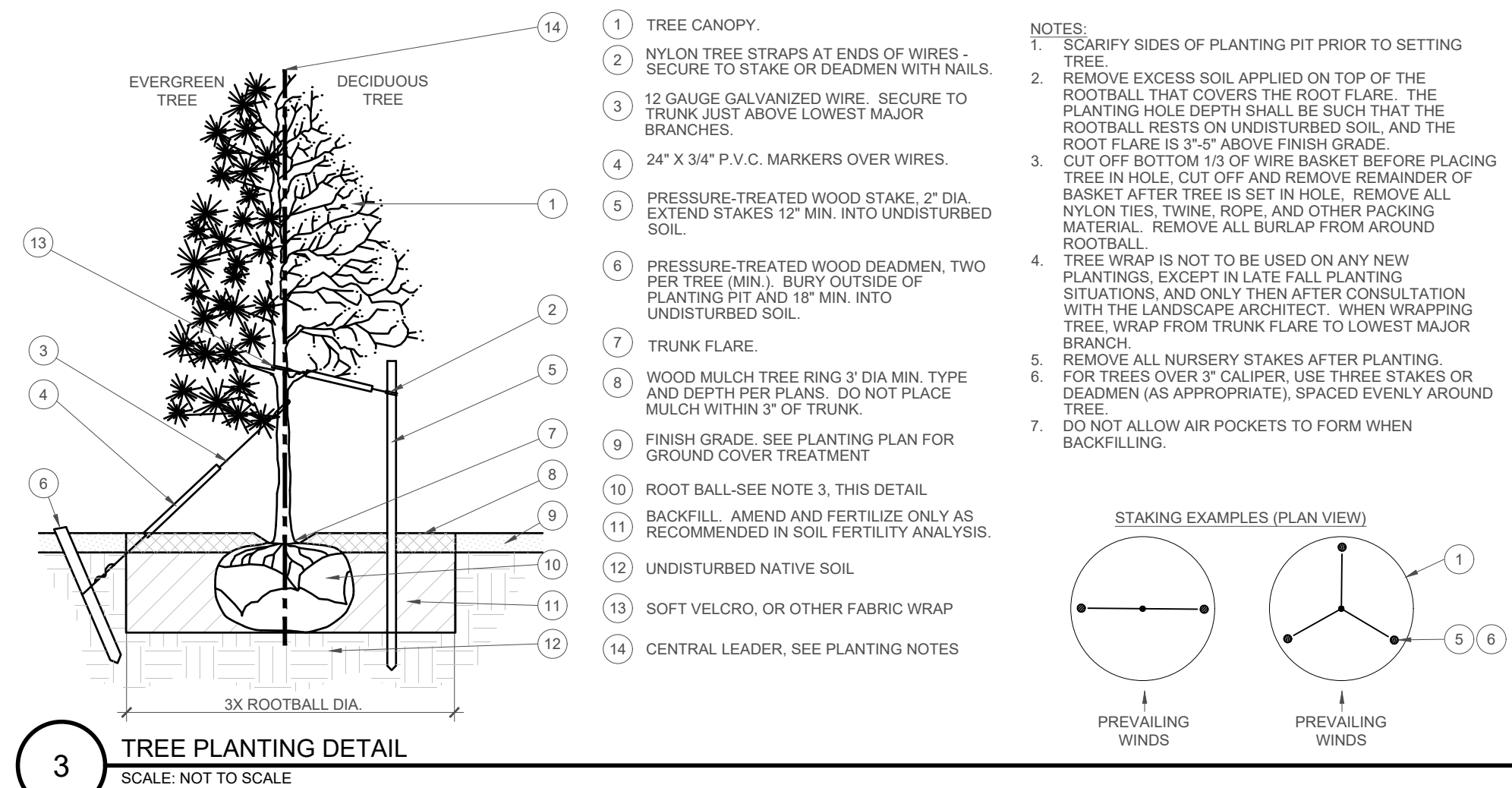
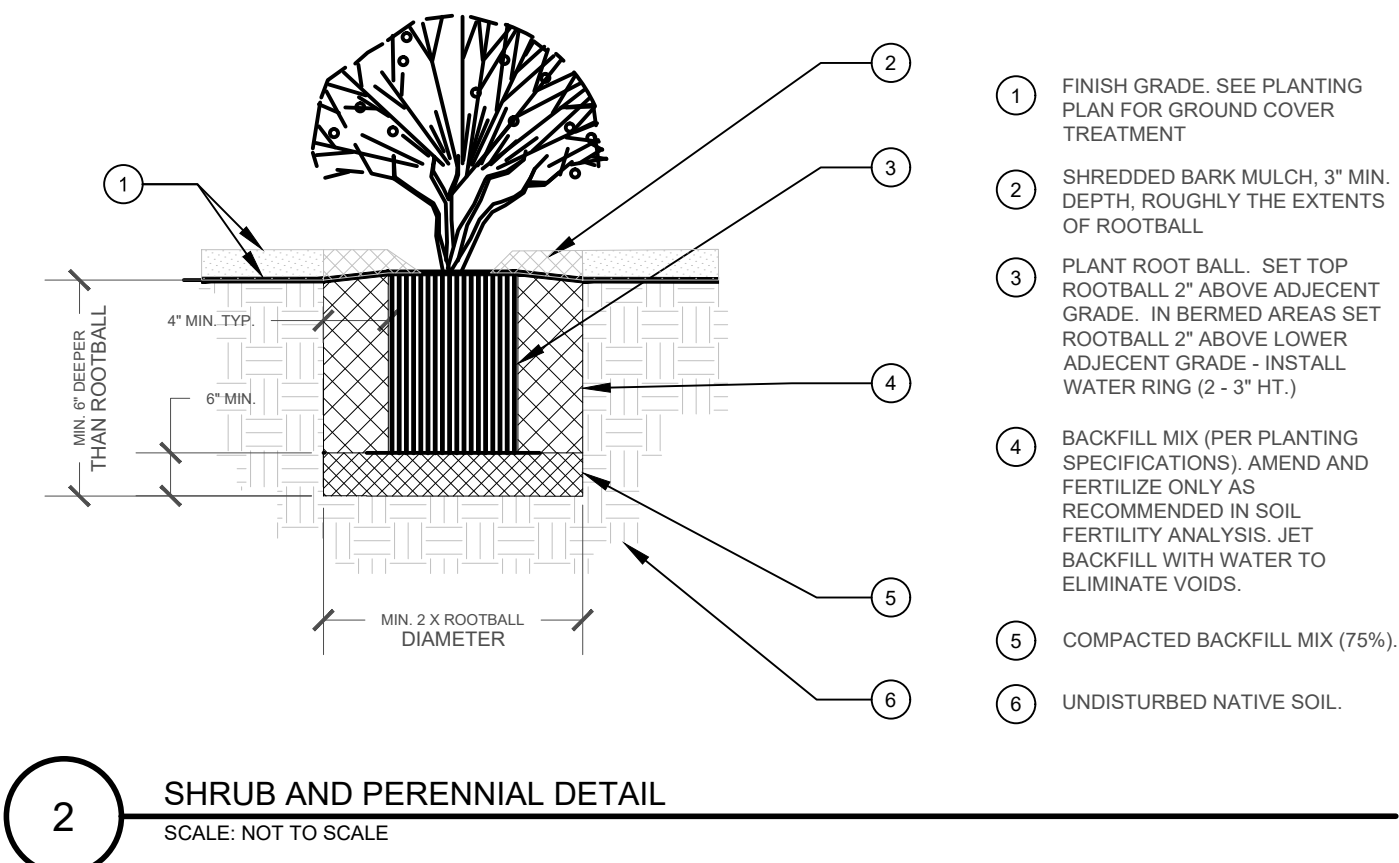
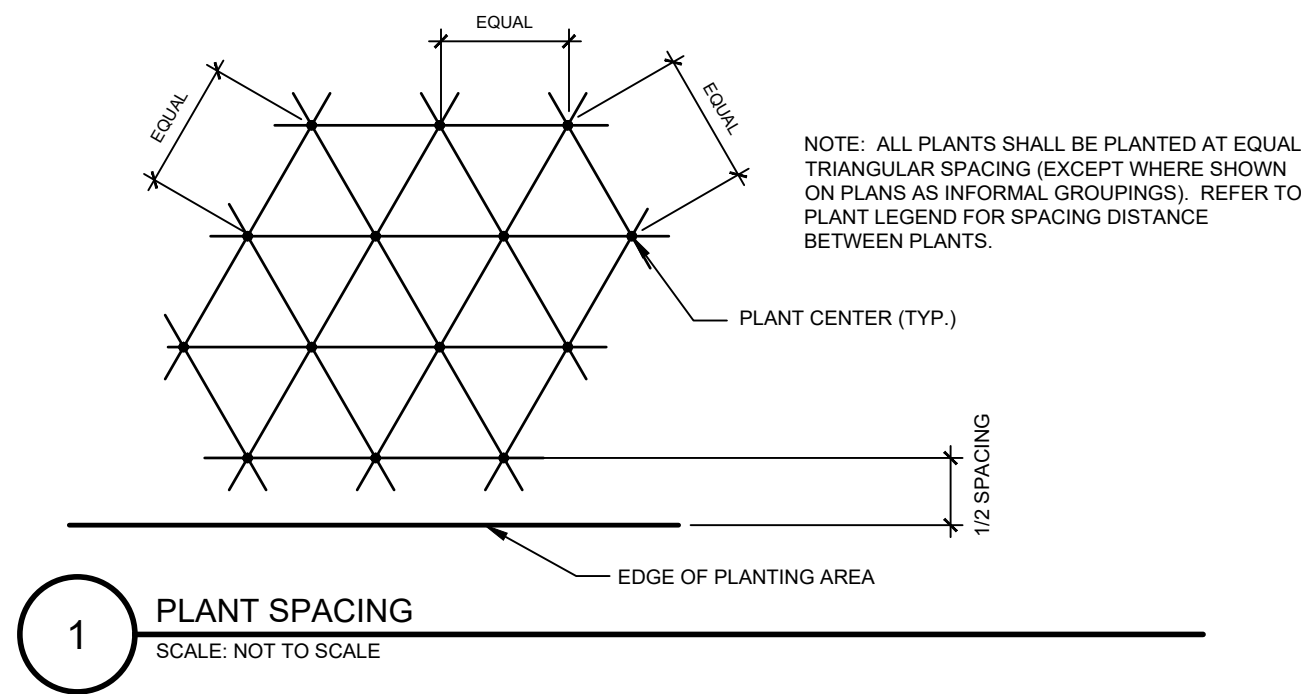
SITE DEVELOPMENT PLAN CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

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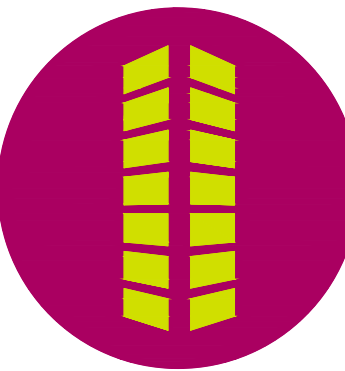
Project No:	JDA02
Drawn By:	JRW
Checked By:	
Date:	9/23/2022



4 6' FENCE
OR APPROVED EQUAL
SCALE: NTS

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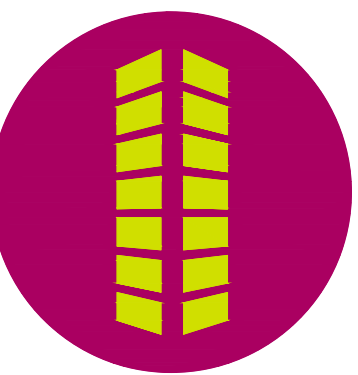
SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE
JOHNSON DEVELOPMENT ASSOCIATES
6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.
1			
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14			

Project No: JDA02
Drawn By: JRW
Checked By:
Date: 9/23/2022
LANDSCAPE DETAILS

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SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

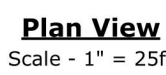
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Project No:	JDA002
Drawn By:	
Checked By:	
Date:	9/23/2022






PHOTOMETRIC PLAN













PH1.0

Sheet 11 of 11



Luminaire Locations										
		Location				Aim				
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	R2HS	246.87	258.64	20.00	20.00	308.05	0.00	245.97	259.35	0.00
2	R2HS	468.63	261.08	20.00	20.00	0.00	0.00	468.63	262.23	0.00
5	R2HS	618.23	262.30	20.00	20.00	0.00	0.00	618.23	263.45	0.00
1	R4HS	699.84	290.95	20.00	20.00	0.00	0.00	699.84	292.10	0.00
1	W1	266.53	437.27	12.00	12.00	270.00	0.00	266.53	437.27	0.00
1	W1	245.74	371.54	12.00	12.00	270.00	0.00	245.74	371.54	0.00
1	W1	20.23	317.27	12.00	12.00	90.05	0.00	20.23	317.27	0.00
1	W3	278.58	305.44	16.00	16.00	177.93	0.00	278.58	305.44	0.00
2	W3	398.42	327.95	12.00	12.00	177.93	0.00	398.42	327.95	0.00
3	W3	418.60	307.15	16.00	16.00	177.93	0.00	418.60	307.15	0.00
4	W3	458.67	307.42	16.00	16.00	177.93	0.00	458.67	307.42	0.00
3	W3	548.72	308.43	16.00	16.00	177.93	0.00	548.72	308.43	0.00
8	W3	595.51	421.22	16.00	16.00	86.76	0.00	595.51	421.22	0.00
8	W3	595.51	421.22	16.00	16.00	86.76	0.00	595.51	421.22	0.00
10	W3	600.41	345.62	16.00	16.00	86.76	0.00	600.41	345.62	0.00
11	W3	343.85	306.16	16.00	16.00	177.93	0.00	343.85	306.16	0.00
1	C	663.99	441.05	15.00	15.00	59.17	0.00	663.99	441.05	0.00
2	C	645.58	430.03	15.00	15.00	59.17	0.00	645.58	430.03	0.00
5	C	664.24	419.53	15.00	15.00	59.17	0.00	664.24	419.53	0.00
6	C	645.82	406.92	15.00	15.00	59.17	0.00	645.82	406.92	0.00
9	C	664.50	394.71	15.00	15.00	59.17	0.00	664.50	394.71	0.00
10	C	664.08	383.70	15.00	15.00	59.17	0.00	664.08	383.70	0.00
13	C	664.94	371.76	15.00	15.00	59.17	0.00	664.94	371.76	0.00
14	C	664.52	360.74	15.00	15.00	59.17	0.00	664.52	360.74	0.00
1	D	577.81	308.86	12.00	12.00	89.64	0.00	577.81	308.86	0.00
6	R2HS	194.00	286.00	20.00	20.00	90.00	0.00	195.00	286.00	0.00
7	W1	200.00	200.00	20.00	20.00	90.00	0.00	200.00	200.00	0.00
8	W1	387.40	307.82	12.00	12.00	177.93	0.00	387.40	307.82	0.00
8	W1	256.06	304.89	12.00	12.00	177.93	0.00	256.06	304.89	0.00
8	W1	598.93	446.42	16.00	16.00	86.76	0.00	598.93	446.42	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area		3 fc	10 fc	0 fc	N/A	N/A
Property Line		0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Under Canopy 1		3 fc	5 fc	1 fc	5.0:1	3.0:1
Under Canopy 2		7 fc	16 fc	2 fc	8.0:1	3.5:1
Under Canopy 3		7 fc	16 fc	2 fc	8.0:1	3.5:1

Schedule								
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	R4HS		1	Lithonia Lighting	DSX1 LED P4 40K T4M MVOLT HS	DSX1 LED P4 40K T4M MVOLT with houseside shield	0.92	125
	W3		9	Lithonia Lighting	KAXW LED P3 40K R4 MVOLT	Wall Pack, Higher Lumen	0.92	79
	R2HS		5	Lithonia Lighting	DSX1 LED P4 40K T2S MVOLT HS	DSX1 LED P4 40K T2S MVOLT with houseside shield	0.92	125
	W1		6	Lithonia Lighting	KAXW LED P1 40K R3 MVOLT	Wall Pack, Lower Lumen	0.92	29
	C		8	Lithonia Lighting	CSV1 L48 5000LM MVOLT 40K 80CRI	Contractor Select LED Vapor Tite, 48", 5000LM, 120-277V, 4000K, 80 CRI	0.95	41.99
	D		1	Nova Flex LED	Custom Build - Coordinate with Lighting Vendor	LED Tape Light 4000K, 250 Lumens per Linear Foot, Enclosed in Aluminum Channel	0.5	7

Existing Lighting Survey Notes

1. Readings are shown in units of maintained footcandles.
2. Total Light Loss Factor (LLF) = 8% or 0.92
3. Test Plane = 0' AFF
4. Fixture Mounting Height = 20' AG for all pole-mounted area lights, 12' for wall packs; 15' for under-canopy lights; see fixture location schedule.
5. Building Height = 35' AFF
6. Building Reflectance Value = 10/10/10
7. Fixture Spacing = See Fixture Locations Schedule
8. This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Designer
SC
Date
07/12/2022
Scale
Not to Scale
Drawing No
REV4
Summary

1 of 1

COUNTY FILE NUMBER:
PPR-2224

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR:

Johnson Development Associates\CO, Colorado Springs - Constitution Ave SS\JCIV2-Plan\JD42_ DP-11 Photometric.ppt 0.dwg - Andrew Adamson - 9/29/2022

MASTER SIGN PROGRAM

**6855 Constitution Ave.
Colorado Springs, CO 80915**

Prepared by

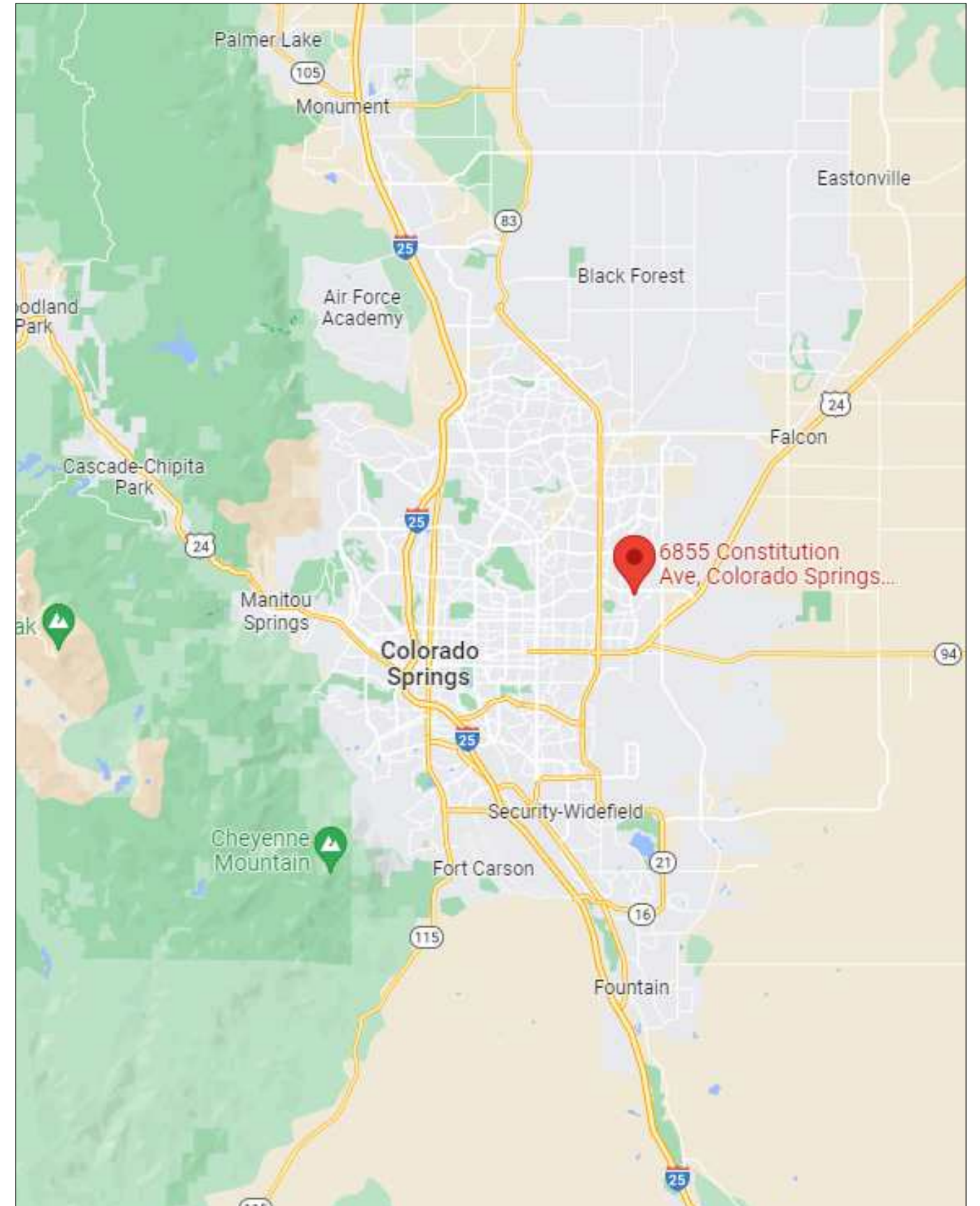


SIGN CONSULTANT

Ad Art Sign Company
700 Parker Square
Suite 205
Flower Mound, TX 75028
Kevin Brown
(469) 530-2343

PLANNING

El Paso County
2880 International Circle
Suite 110
(719) 520-6300



DESCRIPTIONS	PAGE #
GENERAL SIGN REQUIREMENTS	S1
TENANT LOGO & COPY LAYOUT SPECIFICATIONS	S2
LOCATIONS	
SITE PLAN - TENANT SIGN LOCATIONS	P.1
ELEVATION - BUILDING SIGN LOCATIONS (West)	E.1-0
ELEVATION - BUILDING SIGN LOCATIONS (North, Right End)	E.2-0
ELEVATION - BUILDING SIGN LOCATIONS (North, Center)	E.2-1
ELEVATION - BUILDING SIGN LOCATIONS (East)	E.3-0
ELEVATION - BUILDING SIGN LOCATIONS (South, Right End)	E.4-0
ELEVATION - BUILDING SIGN LOCATIONS (South, Center)	E.4-1
PROJECT SIGNS	
PYLON SIGN	1.0
DIRECTIONAL SIGNS	1.1
TENANT SIGN TYPES	
TENANT SIGN - FACE ILLUMINATED, CHANNEL LETTERS - (Wall Mounted)	2.0
TENANT SIGN - FACE ILLUMINATED, CHANNEL LETTERS - (Canopy Mounted)	2.1

GENERAL SIGN REQUIREMENTS

GENERAL

Signs are not only effective as store identification but are a source of interest, excitement and good advertising when designed with taste and in harmony with design standards of the shopping center. The sign regulations herein have been set up for the purpose of achieving the the best possible effect for store identification and overall design, while allowing each Tenant creativity within the limits of their leasehold. Experience has proven that all stores in the center are benefitted by the establishment of sign controls as herein set forth.

APPROVALS

The design and construction of Tenants exterior signs must receive written approval by the Landlord before fabrication. Landlord’s approval shall be based on the following:

- A.) Conformity to the sign criteria established for the center, including fabrication and method of installation.
- B.) Harmony of the proposed signs with the design of the shopping center.

Landlord has the specific right to refuse approval of any sign which does not conform to the specific criteria set forth herein. To secure Landlord’s approval, three (3) copies of the design drawings shall be submitted directly to the Landlord. The sign drawings are to be prepared by a reputable sign contractor of a licensed sign company. The sign drawings must indicate:

- 1.) The type and sizes of all lettering.
- 2.) The location of signs in relation to the store facade.
- 3.) Section details, illustrating construction methods.
- 4.) Colors, finishes and types of all materials.

All drawings marked “Approved as Noted” must be re-submitted with proper corrections indicated for the Landlord’s records. Please Note that no sign work will be allowed on any store premise by anyone employed by a Tenant unless both a signed copy of the approved plans from the Landlord’s office and revised prints of all corrections made have been re-filed with the Landlord. These drawings must be retained on site until completion of construction.

COMPLIANCE REQUIREMENTS

Any sign(s) that is installed by a Tenant which is not in conformance to the Approved drawings shall be corrected by the Tenant within a said thirty (30) days after written notice by the Landlord. No tenant or their agents shall erect, reinstall, construct, enlarge, move, remove, change or equip any sign structure contrary to, or in violation of, this Master Sign Program.

A.) Conformance will be strictly enforced by the Landlord. Any nonconforming or unapproved sign(s) will be the responsibility of the contractor or business owner to correct within a period not to exceed (30) thirty days at his/her expense.

B.) In the event a Tenant’s sign(s) is not brought into conformance within the said thirty (30) day period, the Landlord shall have the option to correct said sign at the Tenant’s expense.

C.) Any such signs shall be removed within fifteen (15) days after the close of escrow or cancellation of the sales or lease agreement.

GENERAL STANDARDS & RESTRICTIONS

A.) Each Tenant shall be permitted illuminated pan channel letter signs to be located within the tenant space & limited to wall surfaces dedicated to the space’s building exteriors in accordance to the attached drawing elevations. No additional signage is permitted on the exterior of the premises.

B.) Sign length shall not exceed 70% of the leasehold width. Sign area shall be centered on designated fascia vertically and horizontally.

C.) The advertising or information content shall be limited to letters designating the store name or establishment trade logo.

D.) The face colors and type styles of all signs shall be subject to Landlord’s approval. Established copy & logos on file with the US Patent and Trademark Office are allowed provided they conform to this criteria.

E.) Please note that all signs contained within this Master Sign Program shall conform to the rules and regulations within the Uniform Building Code, the National Electrical Code and the City Planning Department. Be sure to contact City Planning for a copy of the current Sign Ordinance before you contract a sign vendor and purchase signs.

MAINTENANCE

Signs for The tenants shall be maintained in an “As New Condition”. The Landlord or their agent will periodically perform a visible sign inspection looking for but not limited to the following;

1. Material Fading, Cracking and/or Peeling.
2. Improper Illumination
3. Any Damage Caused by Human or Nature

Any said damage repair will be preformed in a timely manner.

FABRICATION & INSTALLATION

Details on these drawings represent a design approach for sign structures but do not necessarily include all fabricating details. It shall be the responsibility of the contractor to incorporate all reasonable design & construction factors necessary to protect the safety of the clientele and/or the Landlord against public liability.

DETAILS:

- 1.) Tenant’s contractor responsible for all conduits, power supply locations & service access prior to installation.
- 2.) Exposed conduit or raceways will not be permitted. All conductors, transformers and other equipment shall be concealed.
- 3.) All mounting hardware and clips will be stainless steel, galvanized or aluminum to avoid rust.
- 4.) All wall penetrations are to be neatly sealed in a water tight condition against weather elements and shall be patched to match adjacent finish.
5. All electrical sign components shall bear the UL label.
6. No labels shall be permitted on the exposed surfaces of signs except those required by local ordinance. Those required shall be applied in an inconspicuous location at the bottom of the sign.
7. All “Hard” sign construction shall be fabricated of pre-finished aluminum faces/returns. Corner joints to be filled and/or ground smooth.
8. Sign exterior painting will consist of Matthews paint products or comparable variant as per client color specifications;
 - a. One (1) coat of Metal Pre-treat
 - b. One (1) coat of Spray Bond
 - c. One (1) coat of Polyurethane Acrylic

PROHIBITED SIGNS

The following signs are inconsistent with the purposes and standards of this Master Sign Program and are prohibited.

A. Any sign not in compliance with sight distance standards of 16-6-13(E)(1) EMC — (Visibility).

B. Signs on fences or freestanding walls, unless an integral part of the fence or wall.

C. Strobe lights.

D. Flashing, blinking signs.

E. Any principal sign that does not meet material standards of Section 16-6-13(F)(5) EMC — (Prohibited Principal Sign Materials).

F. Any sign that imitates or resembles an official traffic control device or signal, or which attempts to direct the movement of traffic, or which hides from view or interferes with the effectiveness of any official traffic control device or signal.

G. Any sign that constitutes a hazard to public safety.

H. Snipe Signs. Any sign tacked, nailed, posted, pasted, glued, or otherwise attached to trees, utility poles, traffic devices, or similar objects. It shall be prima facie evidence that the business or service identified on the sign has erected or caused the sign to be erected.

I. Any sign that interferes with a fire escape, window, door, or opening used or required as a means of egress or ingress.

J. Awnings that are back-lit (internally illuminated) so that the awning radiates light.

K. Cabinet (can) signs that are mounted flush against a building wall, except for corporate logos (please refer to page S.2 for allowances).

L. Signs containing offensive statements, words, pictures, or other representations that violate Section 7-6D-6 EMC - (Obscene Materials, Devices and Performances).

M. Signs that advertise an activity, business, service, or product no longer conducted or sold on the premises.

N. Balloons, lighter-than-air devices, inflatable signs and objects, except as may be allowed through a Temporary Sign Permit.

O. Banners, pennants, ribbons, spinners, streamers, or other similar devices, except as specifically allowed through a Temporary Sign Permit.

P. Portable, folding, or similar signs.

Q. Signs mounted on the roof of a building, including mansard roofs, and similar architectural roof-like elements.

R. Signs emitting audible sounds, odors, or visible matter.

TENANT LOGO & COPY LAYOUT SPECIFICATIONS

AREA

The entire sign face within a continuous perimeter enclosing the extreme limits of the display surface including any framing, trim, or molding shall be included in the computation of sign area. The supporting structure or bracing of a sign shall be omitted from measurement, unless such structure or bracing is made part of the message or face of the sign.

MEASUREMENT

The area of all signs shall be computed by use of standard mathematical methods. An unlimited number of lines may be used to enclose the extreme limits of the sign, including all frames, backing, face plates, non-structural trim or other component parts not otherwise used for support.

COPY

For the purpose of public safety, the name of the business shall be indicated in the English language or English alphabet on at least one location on each business. Tenants are allowed up to (2) two lines of copy.

Irregular shaped icons & logos should be considered in sign design for increased visual impact.

Can / Cabinet signs are prohibited These are defined as a single sign with a plastic type face panel and vinyl graphics.

* However, logos cabinets are allowed provided that the face background is opaque through the use of either blackout vinyl film or routed out and acrylic backed aluminum faces.

Allowed Sign Area (Copy Logo)



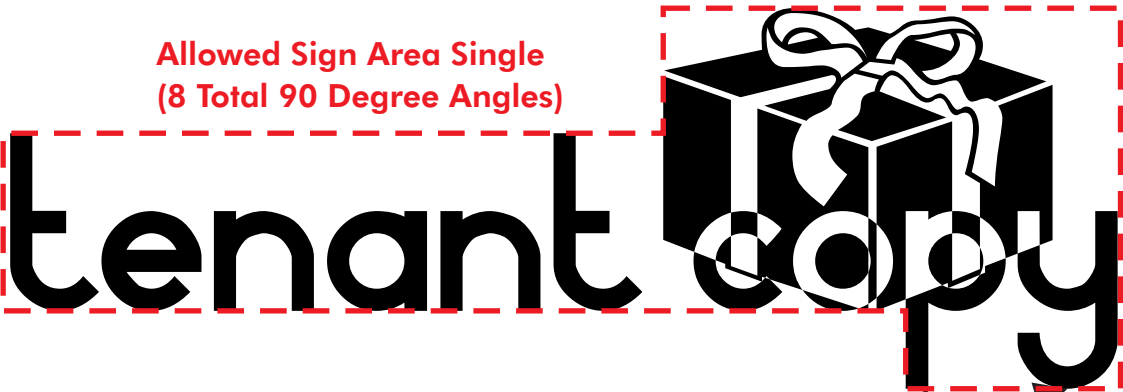
Descending letter logo elements changed from the intended font will count against allowable copy height and square footage. In such cases the allowed maximum height will be limited to the copy height for that elevation's criteria.

The entire sign structure shall be considered as sign area.

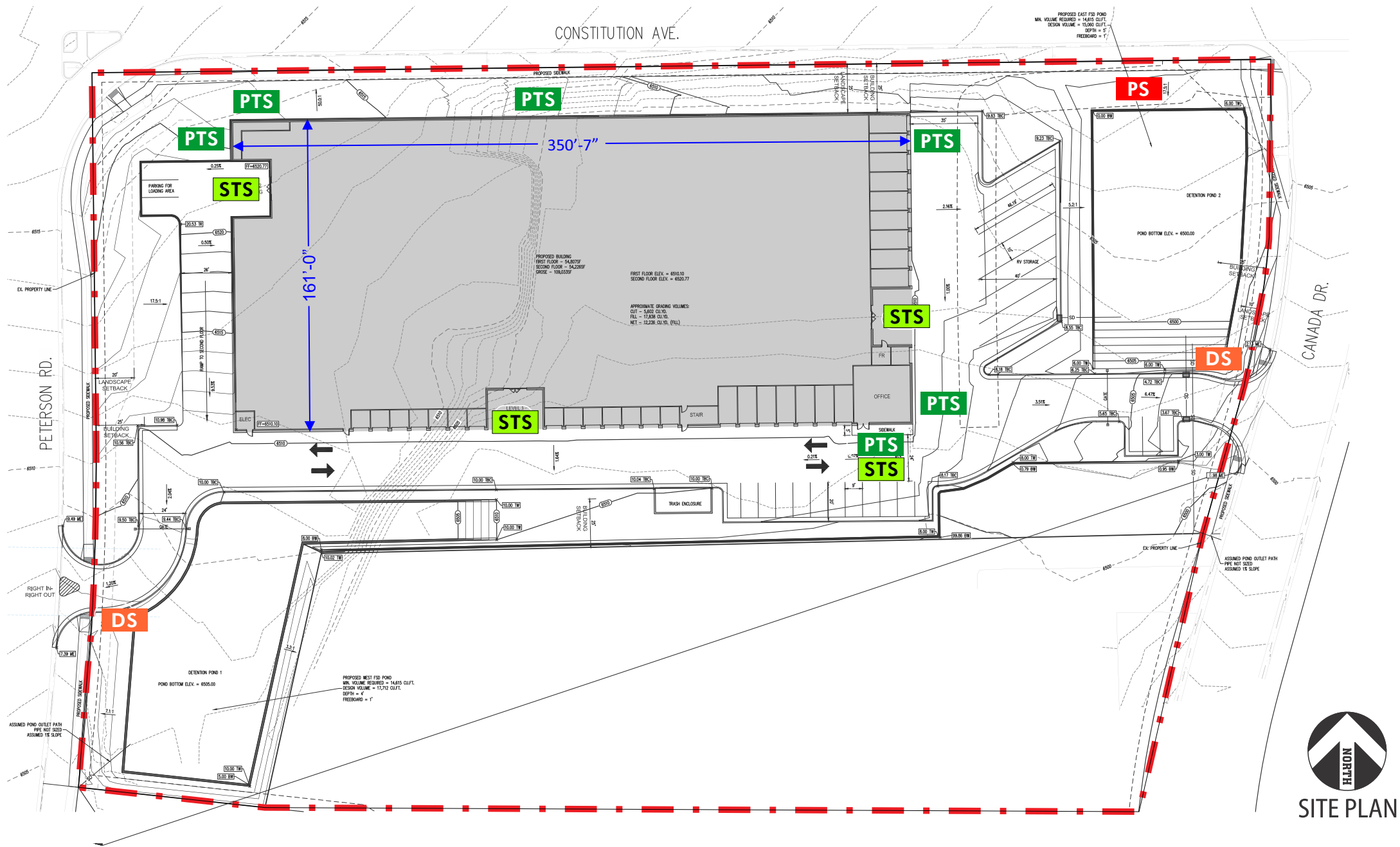


Tenant to Determine Logo & Copy Color along with shapes as per their Nationally Recognized Trademarks.

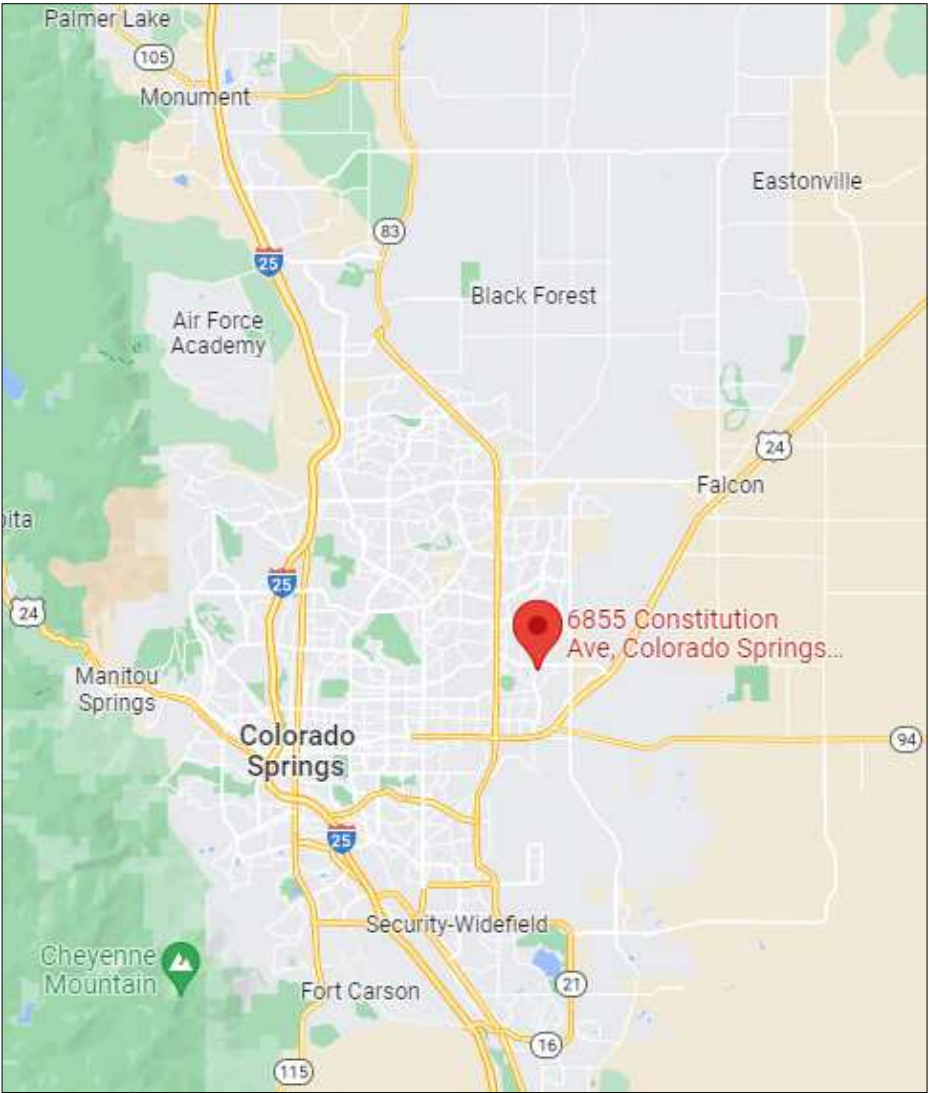
Allowed Sign Area Single (8 Total 90 Degree Angles)



Descending letter elements in certain fonts such as letters f, g, j, p, q, y & z will count against allowable copy height and square footage.



Site Plan - Scale: 1/64" = 1'-0"



Vicinity Map - Scale: NTS

- SITE

Signage

Allowed Sign Locations
- PTS

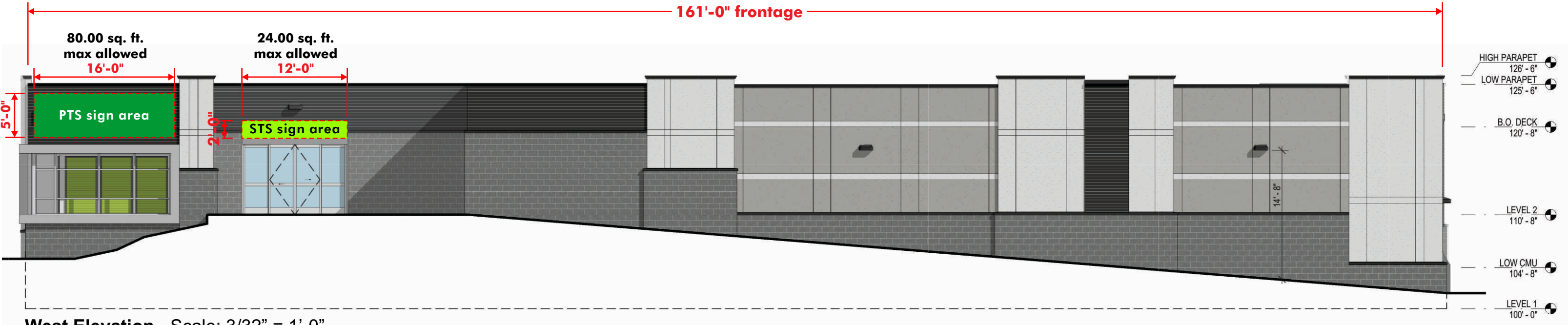
Primary Tenant Signs
- STS

Secondary Tenant Signs
- PS

Pylon Sign
- DS

Directional Sign
- - -

Property Line



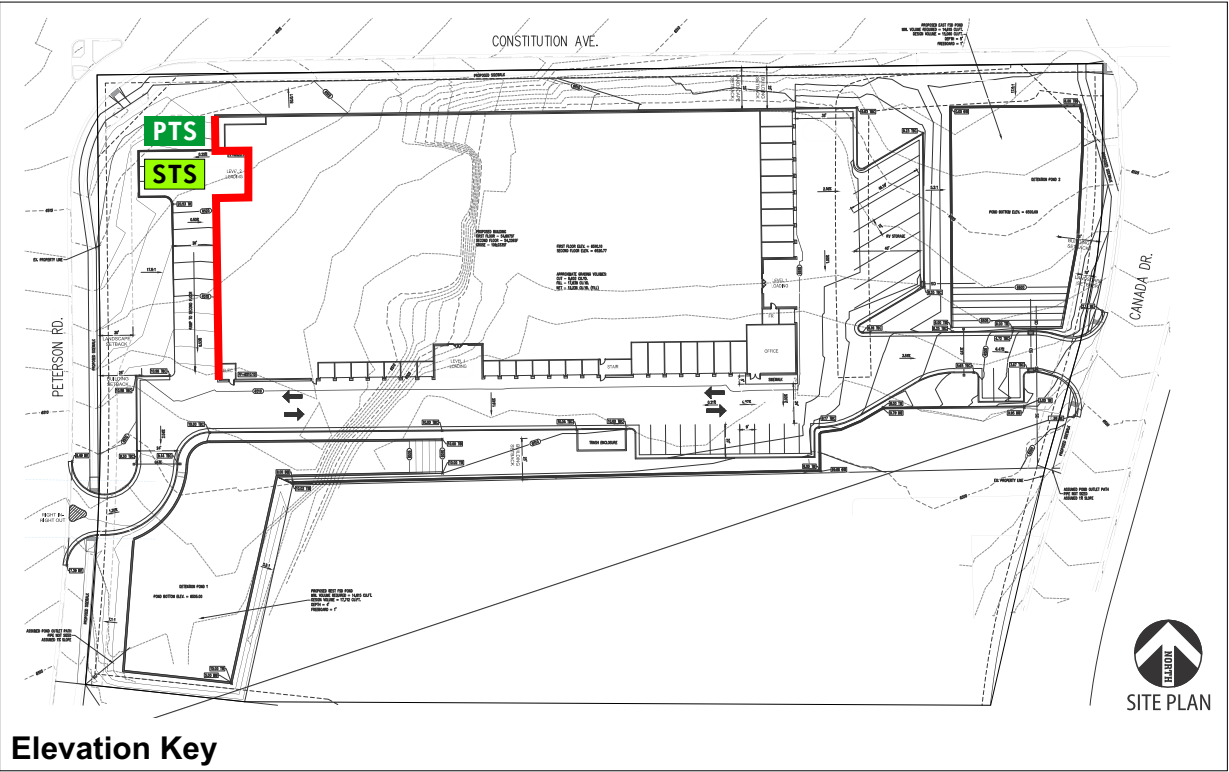
West Elevation - Scale: 3/32" = 1'-0"

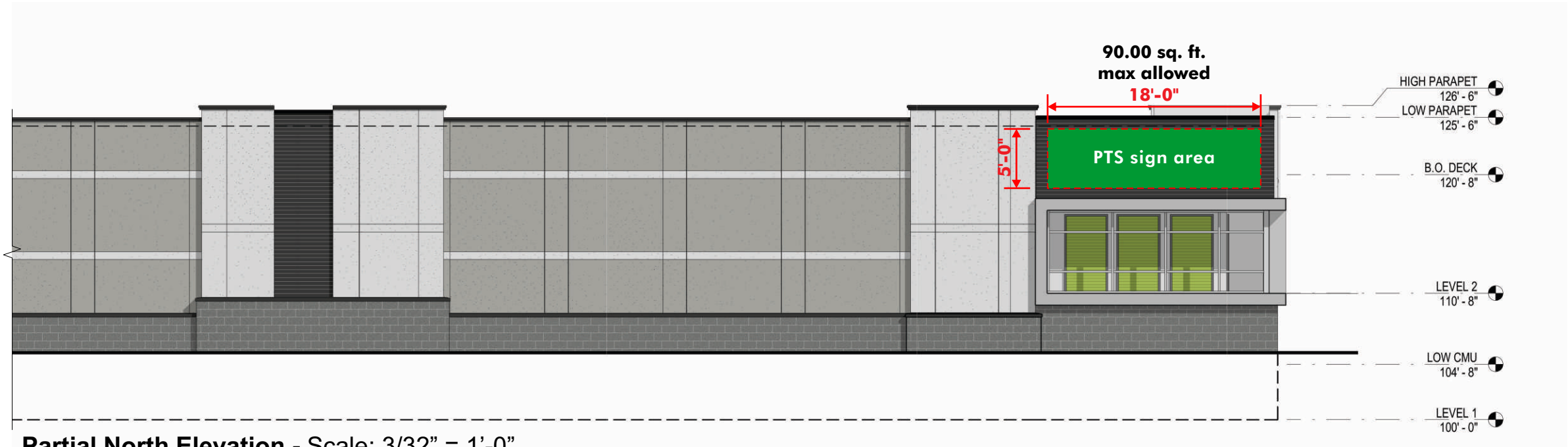
Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
241.50 total sq. ft. allowed for West Elevation

- PTS** Primary Tenant Signs
- STS** Secondary Tenant Signs





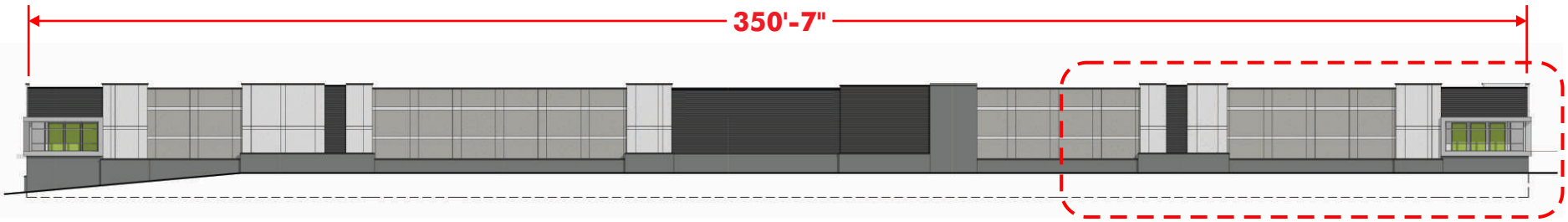
Partial North Elevation - Scale: 3/32" = 1'-0"

Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

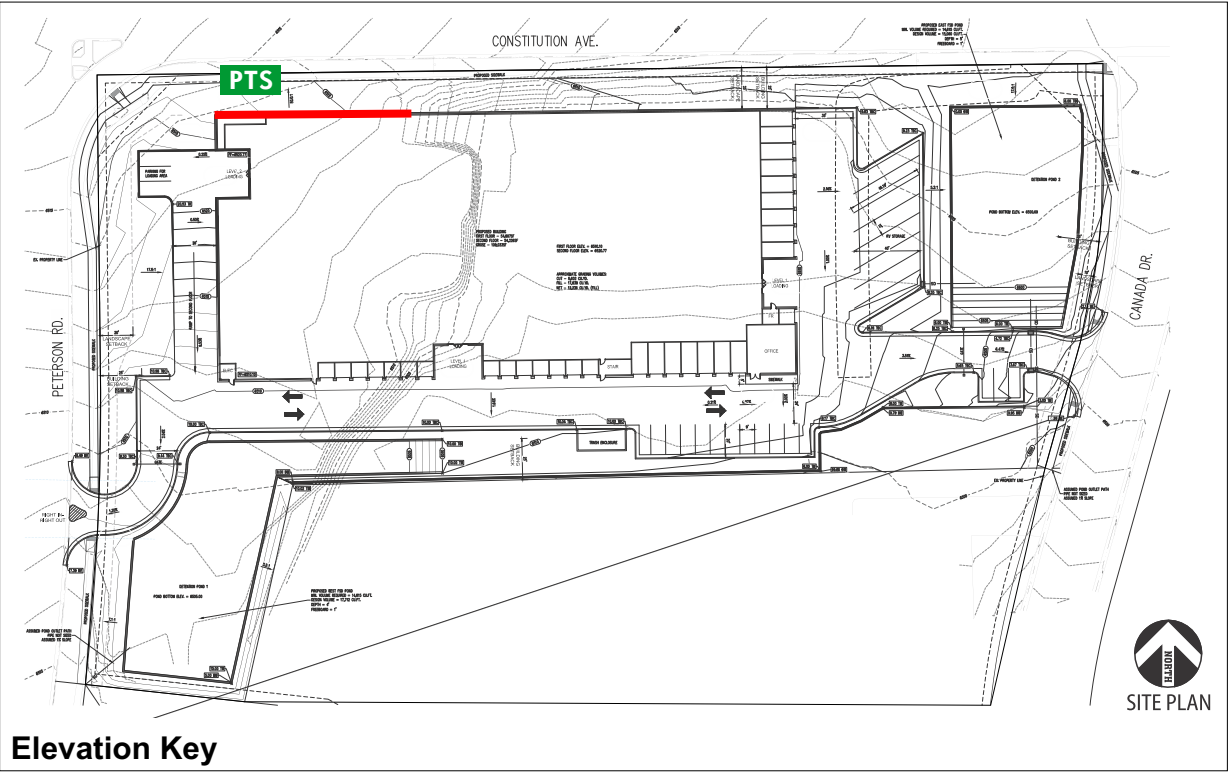
1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
300.00 total sq. ft. allowed for North Elevation

PTS Primary Tenant Signs



Overall North Elevation



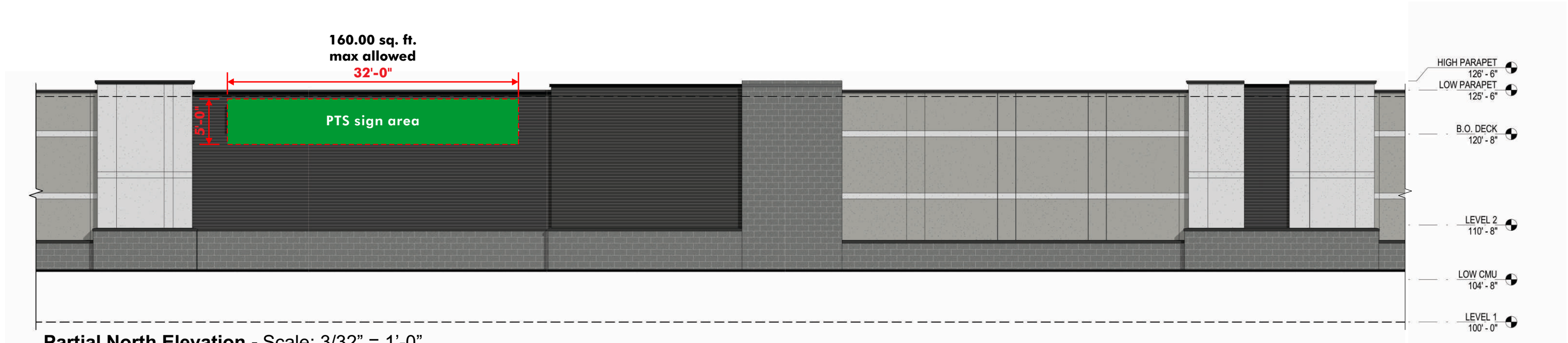
Elevation Key

PROJECT:			REVISION	DATE	DESCRIPTION
CUSTOMER: Extra Space Storage					
LOCATION: 6855 Constitution Ave. - Colorado Springs, CO 80915					
DATE: 8/23/2022					
SALES: Kevin Brown					
DESIGNER: James Franks					

APPROVALS	
SALES:	
CUSTOMER:	
LANDLORD:	

CONCEPTUAL DRAWINGS ONLY:
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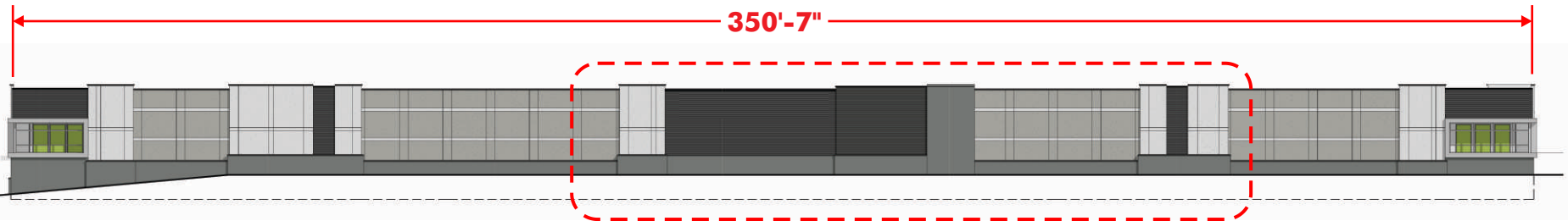


Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

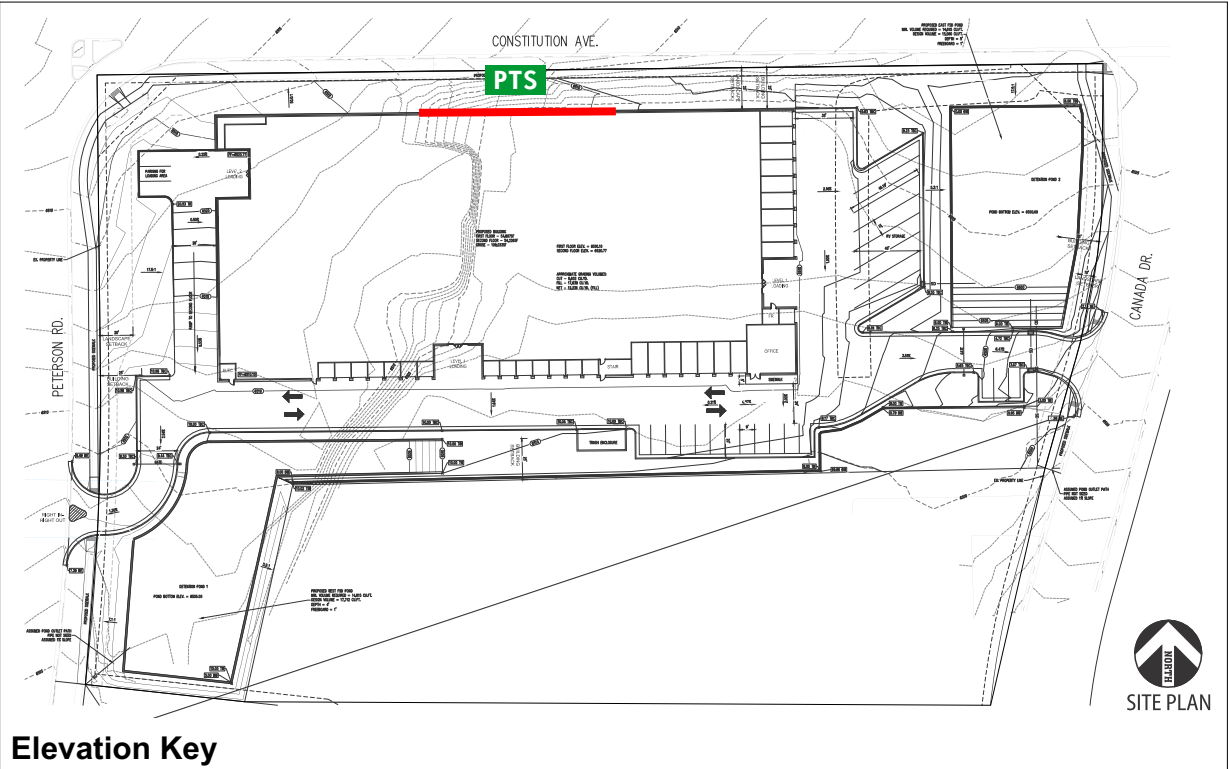
1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
300.00 total sq. ft. allowed for North Elevation

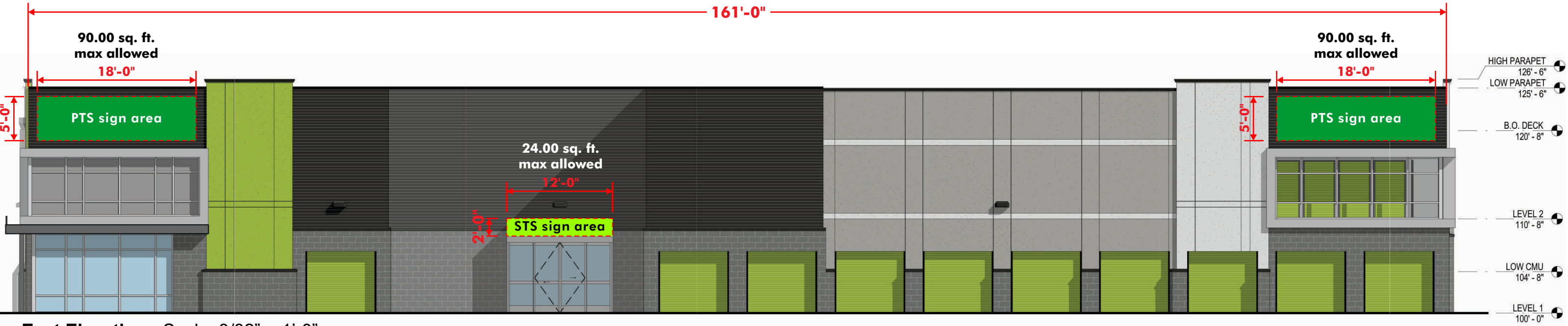
PTS Primary Tenant Signs



Overall North Elevation



Elevation Key



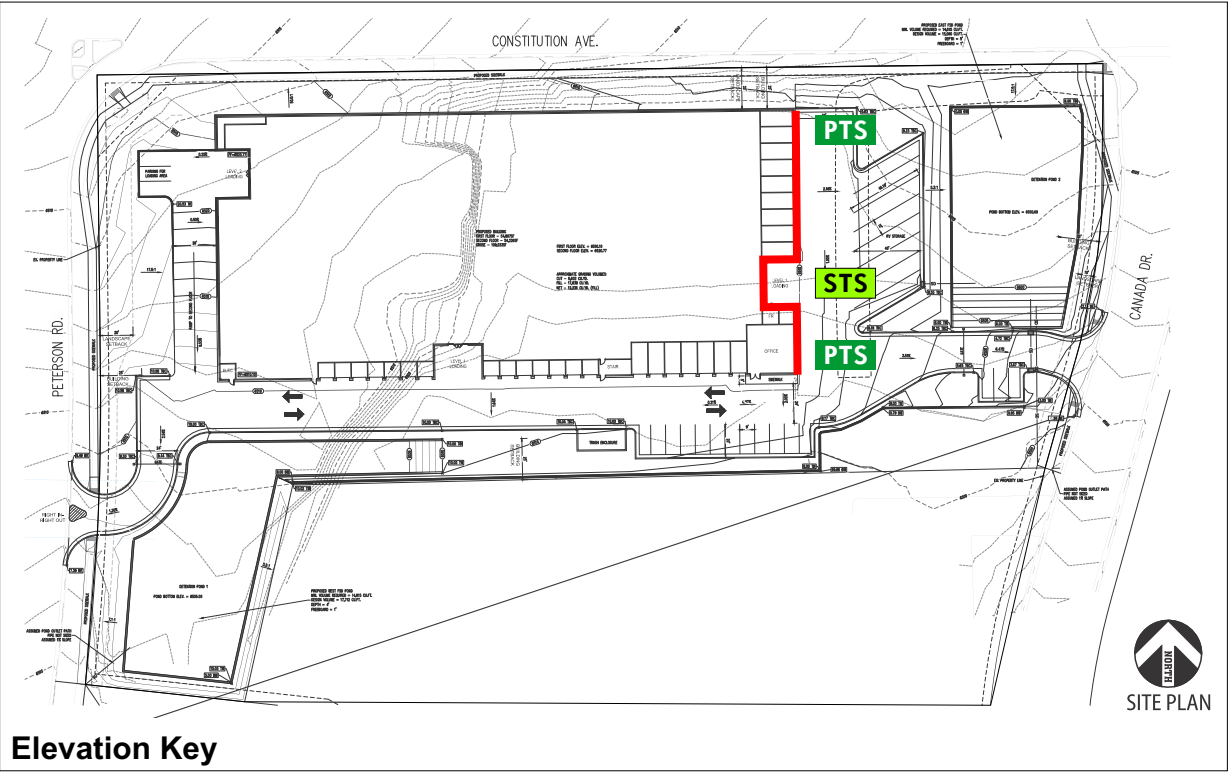
East Elevation - Scale: 3/32" = 1'-0"

Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
241.50 total sq. ft. allowed for East Elevation

- PTS** Primary Tenant Signs
- STS** Secondary Tenant Signs





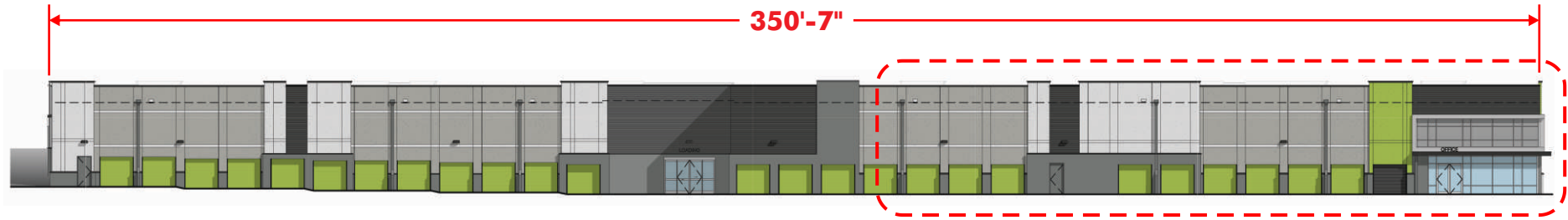
Partial South Elevation - Scale: 3/32" = 1'-0"

Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

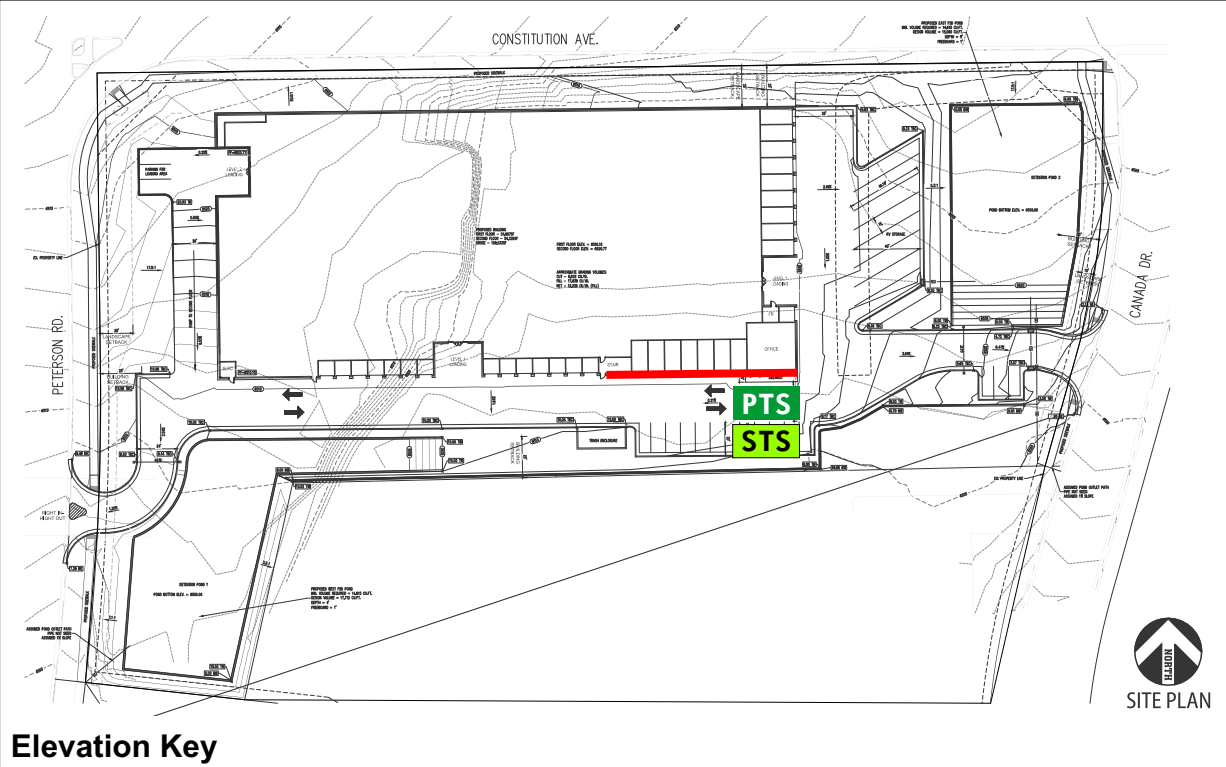
1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
300.00 total sq. ft. allowed for South Elevation

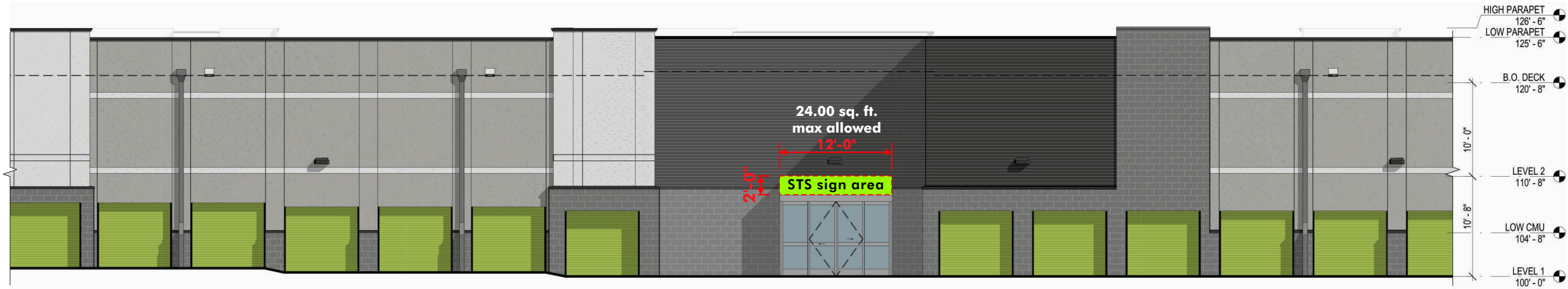
PTS Primary Tenant Signs
STS Secondary Tenant Signs



Overall South Elevation



Elevation Key



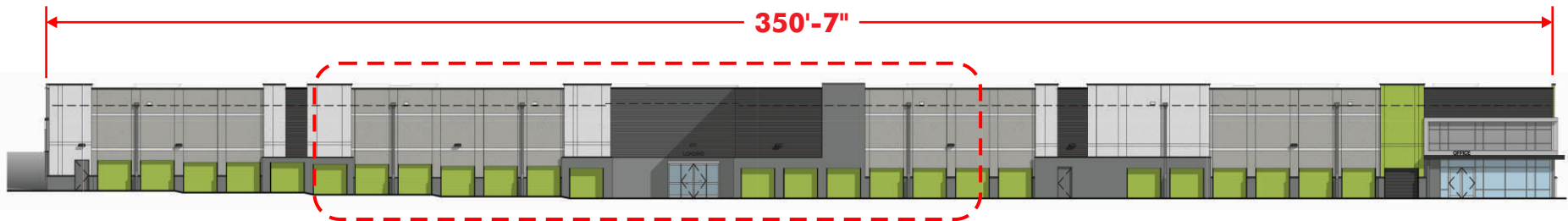
Partial South Elevation - Scale: 3/32" = 1'-0"

Sign Code
Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements.

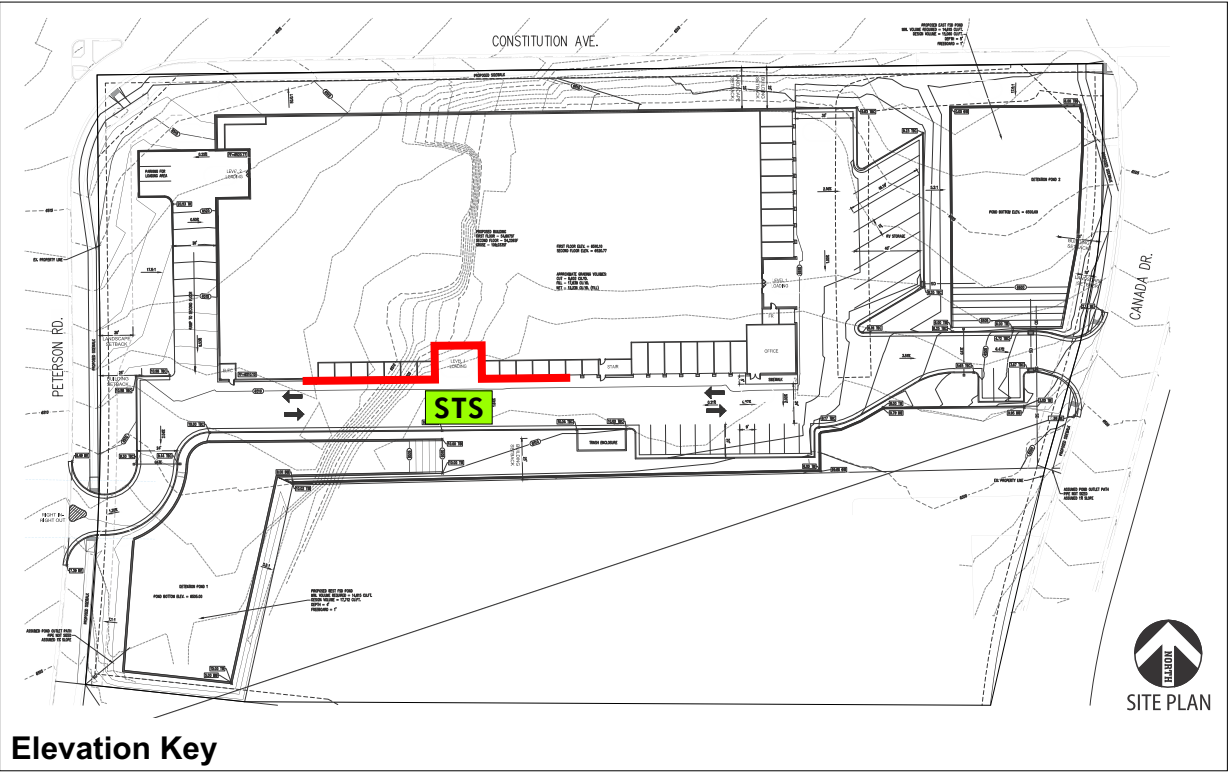
1 1/2 square feet of attached signage is allowed per linear foot of building wall or 300 square feet, whichever is less

Square Footage Allowed
1 1/2 sq. ft. of signage per linear foot of building frontage
Not to exceed 300 sq. ft.
300.00 total sq. ft. allowed for South Elevation

STS Secondary Tenant Signs



Overall South Elevation



PROJECT:		
CUSTOMER: Extra Space Storage		
LOCATION: 6855 Constitution Ave. - Colorado Springs, CO 80915		
DATE: 8/23/2022		
SALES: Kevin Brown		
DESIGNER: James Franks		

REVISION	DATE	DESCRIPTION

APPROVALS	
SALES:	
CUSTOMER:	
LANDLORD:	

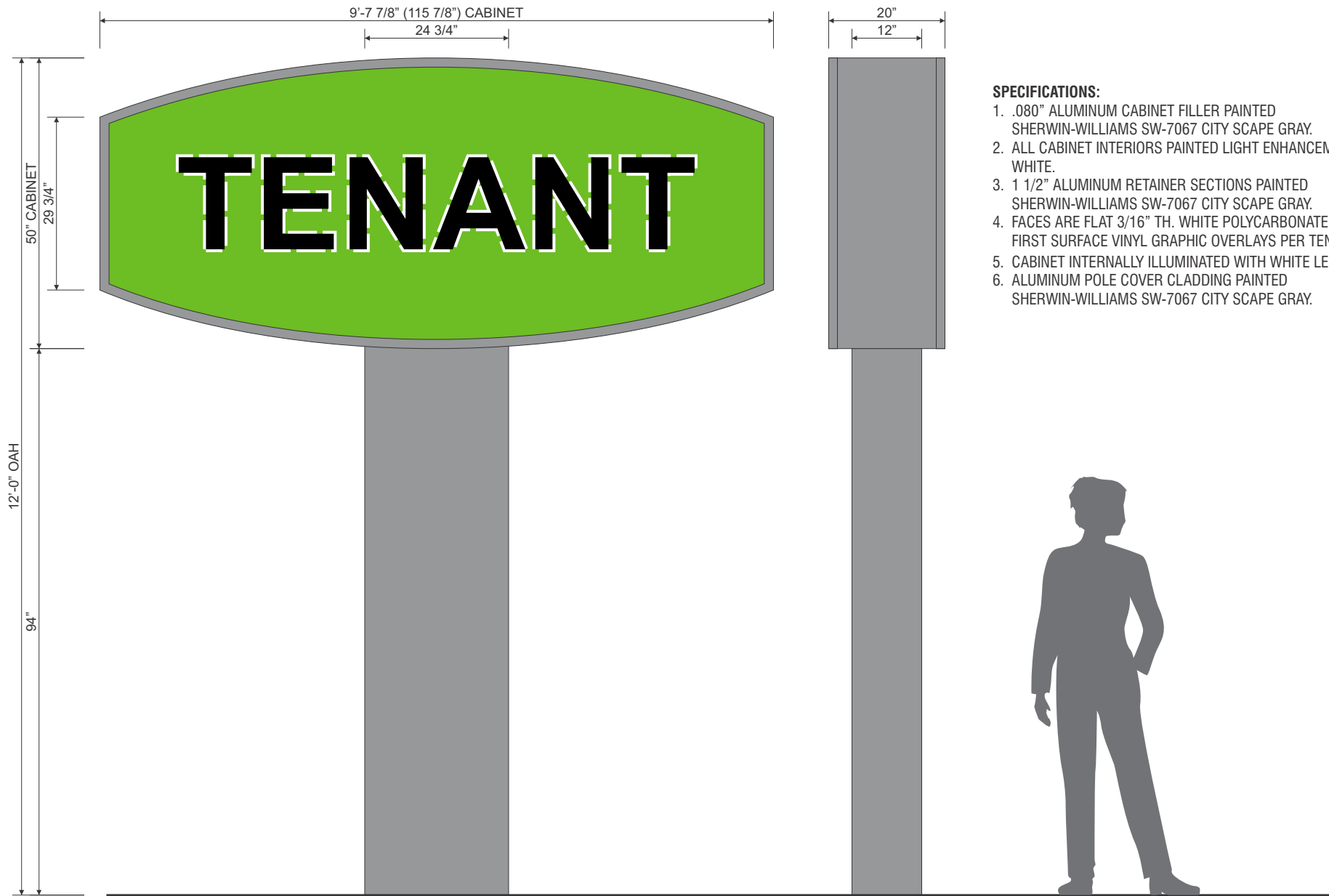
CONCEPTUAL DRAWINGS ONLY:
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SHEET

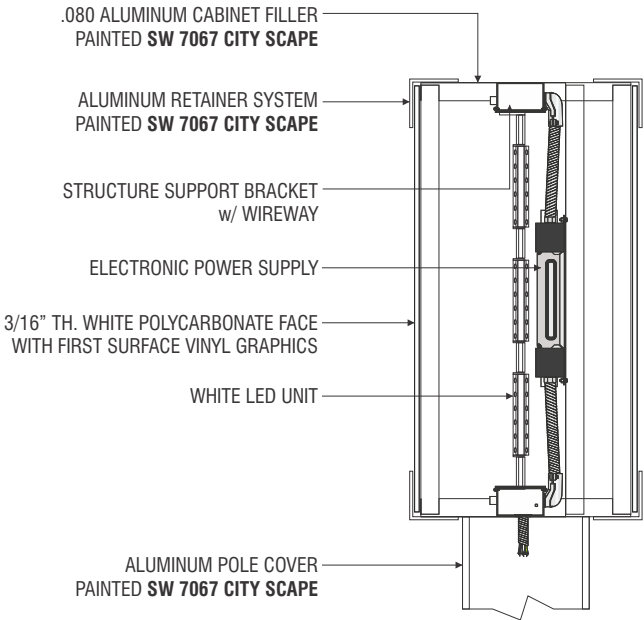
E.4-1

JOB #



- SPECIFICATIONS:**
- 1. .080" ALUMINUM CABINET FILLER PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPe GRAY.
 - 2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE.
 - 3. 1 1/2" ALUMINUM RETAINER SECTIONS PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPe GRAY.
 - 4. FACES ARE FLAT 3/16" TH. WHITE POLYCARBONATE WITH FIRST SURFACE VINYL GRAPHIC OVERLAYS PER TENANT SPECS.
 - 5. CABINET INTERNALLY ILLUMINATED WITH WHITE LEDS.
 - 6. ALUMINUM POLE COVER CLADDING PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPe GRAY.

CODE INFORMATION:	
EXISTING SF:	FORMULA: The total area of F/S Signs shall not exceed 2sf for each LF of the building wall closest to the F/S Sign or 40sf, whichever is smaller. The max F/S Sign area shall be 40sf where no building is present.
0.0	
ALLOWED SF:	NUMBER ALLOWED: 1 per lot
40.0	MAX OVER ALL HEIGHT: NTE building height; No building, max 12ft
RECOMMENDED SF:	GRADE TO SIGN CLEARANCE: Not obstruct view; Out of sight triangle
40.0	SET BACK: Low profile min 3ft from a lot, parcel, or tract line; Pole 10ft from a lot, parcel, or tract line
	ILLUMINATION: Internal & External
Relevant code sections regarding signs. Freestanding Signs. (I) Number of Freestanding Signs. Commercial Lot or Parcel Less than 10 Acres in Area: Where the commercial lot or parcel is less than 10 acres in total area, 1 sign is allowed per road frontage. Free standing signs: Commercial Lot or Parcel Less than 8 Acres in Area: Where the commercial lot or parcel is less than 8 acres in total area, the maximum area of each sign shall be 40 square feet. All other freestanding signs exceeding 6 feet in height shall be setback a minimum of 10 feet from a lot, parcel, or tract line. Site Acreage Total: 3.72 Acres (162,043.0 SF)	



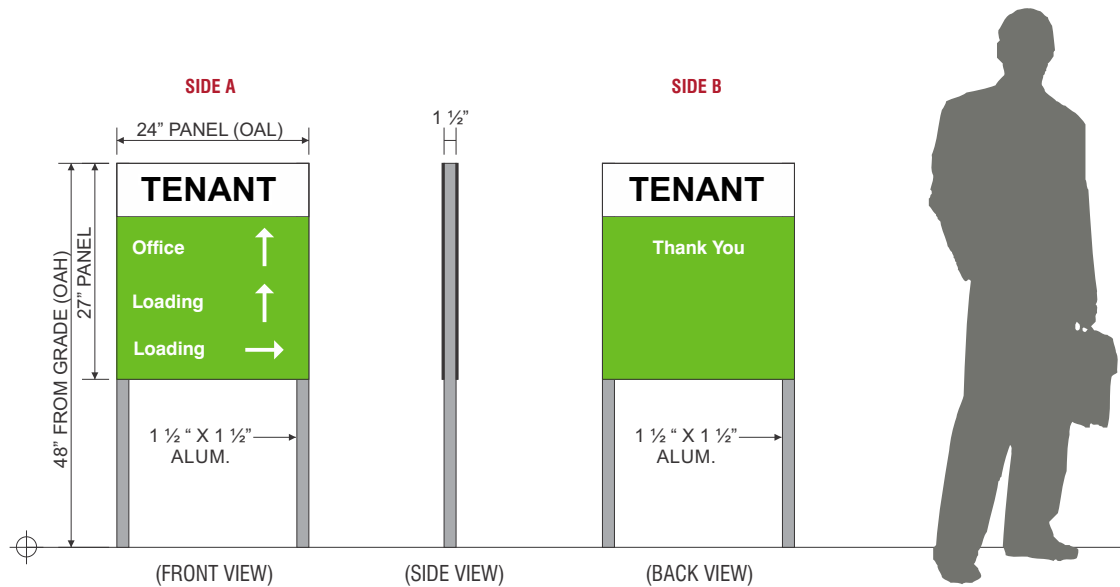
PS

Pylon Sign - Scale: 1/2" = 1'-0"

Property allows for one (1) double faced, internally-illuminated pylon sign. Tenant panels consist of polycarbonate faces with translucent vinyl graphics.

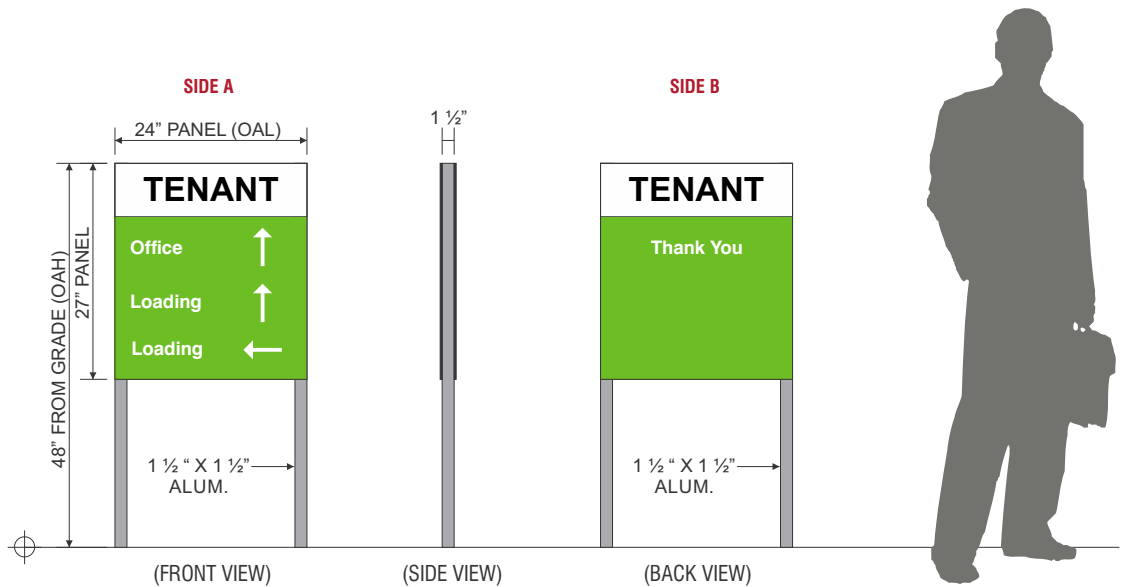
Cabinet: 40.0 SF

Section Detail - Scale: NTS



DS.1 **Directional Sign - Scale: 1/2" = 1'-0"**
One (1) double faced, non-illuminated directional sign.
Panel: 4.50 SF

- SPECIFICATIONS:**
- 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - ACM PANELS WITH DIRECT DIGITAL PRINT TENANT LOGO/COPY & GREEN BACKGROUND
 - COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.



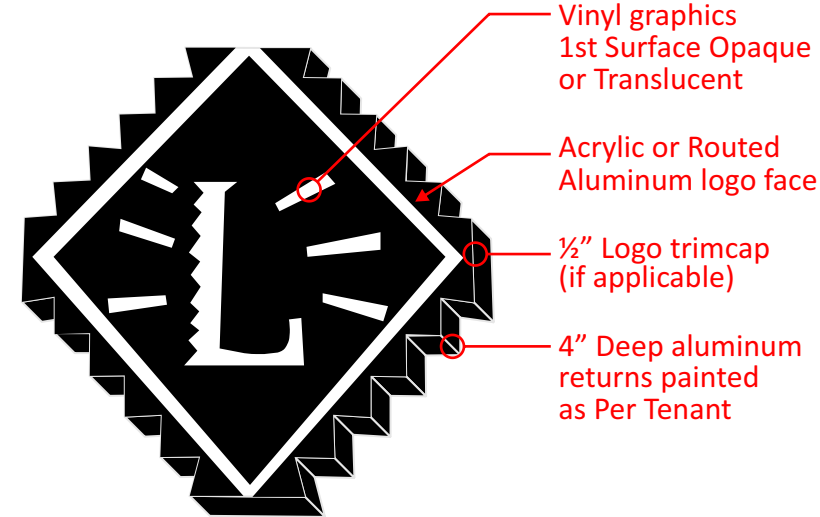
DS.2 **Directional Sign - Scale: 1/2" = 1'-0"**
One (1) double faced, non-illuminated directional sign.
Panel: 4.50 SF

- SPECIFICATIONS:**
- 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - ACM PANELS WITH DIRECT DIGITAL PRINT TENANT LOGO/COPY & GREEN BACKGROUND
 - COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.

Tenant to Determine Logo & Copy Color along with shapes as per their Nationally Recognized Trademarks. Layout orientation (single / double line, logo left / right) may be selected by Tenant as needed for optimal contrast as long as it fits within their allotted sign area and max allowable square footage.



Logos are not required but may be included.



Logo Detail - Scale: NTS

PTS

Face Illuminated Channel Logo & Letters

Description: Raceway Mounted

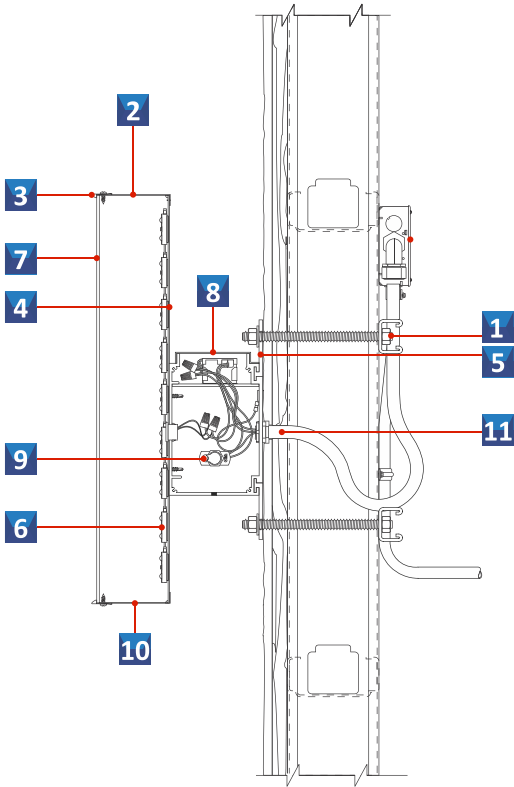
Component	Type	Specifications	Color / Finish
Faces	Acrylic	Natural gloss finish	As per Tenant
Logo Graphics	3M Cast Vinyl	1st Surface Opaque	As per Tenant
Trimcap	1" metal core	Gloss	As per Tenant
Returns	.063 aluminum	Painted	As per Tenant
Illumination	LED w/Tape Backs	Sloan LEDs	White 6500K



Nighttime Simulation

- 1 NON-CORROSIVE INSTALLATION HARDWARE: GALVANIZED
- 2 FABRICATED ALUMINUM RETURNS SEE MFG. NOTE FOR GUAGE. INTERIORS LIGHT ENHANCEMENT WHITE
- 3 1" TRIM CAP RETAINER:
- 4 FLAT ALUMINUM BACK
- 5 1/4" TH. METAL FLAT BAR FOR SECURE INSTALL
- 6 TRUE WHITE STREET FIGHTER HEAVYWEIGHT LED MODULES
- 7 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 8 LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN A 7 1/4" x 7 1/4" EXTRUDED .050 ALUMINUM RACEWAY SUPPORT/WIRING BOX PAINTED: PAINT COLOR TBD
- 9 VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 10 1/4" WEEP HOLES (2) TWO PER LETTER
- 11 GROUNDED WALL PASS-THRU SEALED WATER TIGHT. WHIP ON LEFT SIDE

Specifications



Section Detail - Scale: NTS



ADART

700 Parker Sq., Ste. 205
Flower Mound, TX 75028
T 800.675.6353
www.adart.com

PROJECT:

CUSTOMER: Extra Space Storage
LOCATION: 6855 Constitution Ave. - Colorado Springs, CO 80915
DATE: 8/23/2022
SALES: Kevin Brown
DESIGNER: James Franks

REVISION DATE DESCRIPTION

APPROVALS

SALES:
CUSTOMER:
LANDLORD:

CONCEPTUAL DRAWINGS ONLY:
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SHEET

2-0

JOB #

Secondary copy to be a standard font without logos for informational purposes only, and mounted on canopies specified in E.1-0 - E.4-1



STS

Face Illuminated Channel Letters

Description: Canopy Mounted

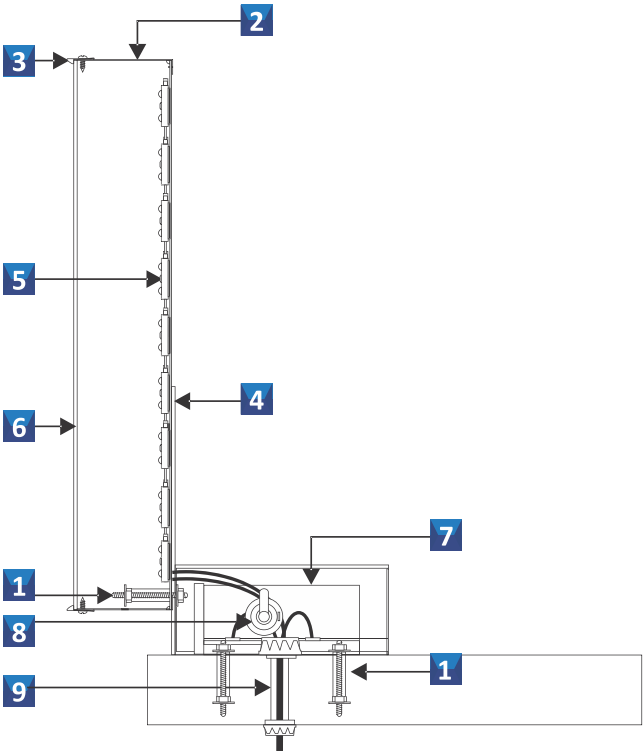
Component	Type	Specifications	Color / Finish
Faces	Acrylic	Natural gloss finish	3M Dual-Color Film Black 3635-222
Trimcap	1" metal core	Gloss	Black
Returns	.063 aluminum	Painted	Black
Illumination	LED w/Tape Backs	Sloan LEDs	White 6500K



Nighttime Simulation

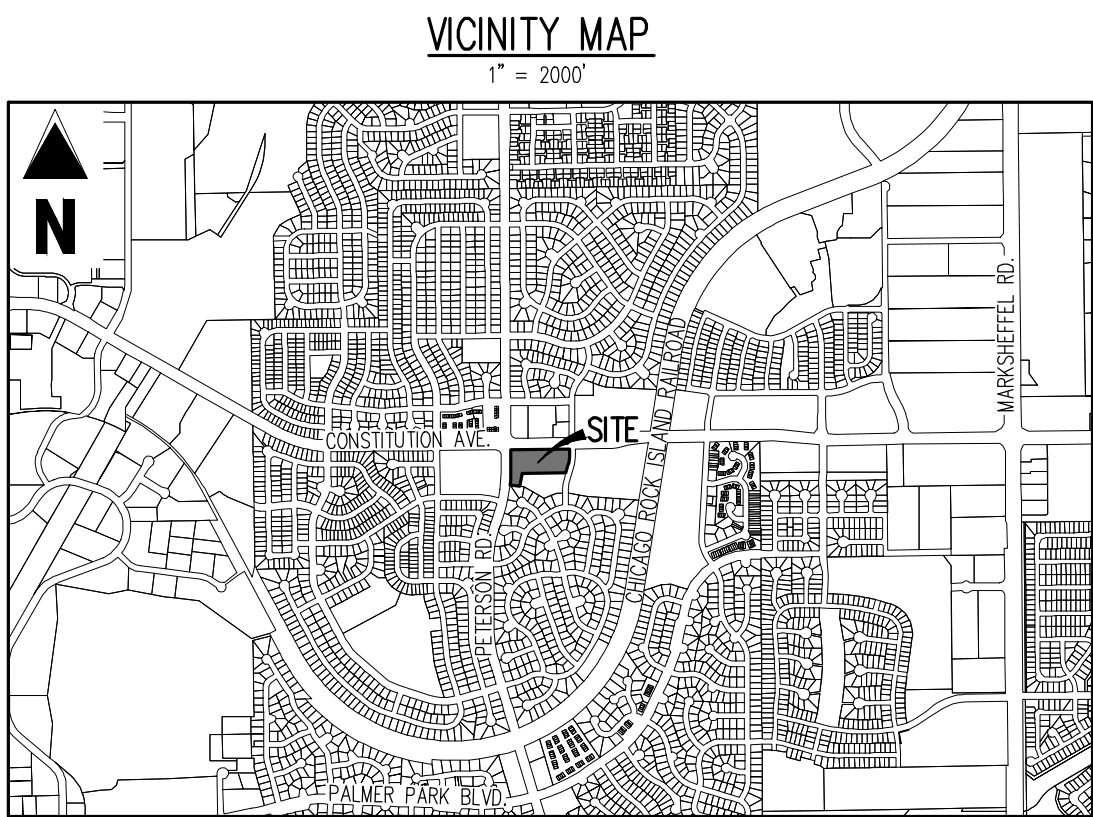
- 1
- NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2
- 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3
- 1" TRIM CAP RETAINER: BLACK
- 4
- FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5
- SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6
- 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7
- LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: Sw7069 IRON ORE
- 8
- VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9
- GROUNDING WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

Specifications



ALTA/NSPS LAND TITLE SURVEY

LOT 1, EIGHT LINE SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



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ALTANSPS LAND TITLE SURVEY

LOT 1, EIGHT LINE SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

PROPERTY DESCRIPTION

LOT 1, EIGHT LINE SUBDIVISION, COUNTY OF EL PASO, STATE OF COLORADO.

EIGHT LINE SUBDIVISION IS LOCATED WITHIN THE CITY OF COLORADO SPRINGS AND RECORDED AT RECEPTION NO. 97133746 OF THE EL PASO COUNTY CLERK AND RECORDER OFFICE.

GENERAL NOTES

- FIELD WORK WAS COMPLETED ON: JANUARY 14, 2022.
- ACCESS IS OBTAINED VIA FENCE GATE ALONG PATERSON ROAD & CANADA DRIVE.
- BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.
- PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08041C07526, HAVING A REVISION DATE OF DECEMBER 7, 2018, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS "ZONE X", AN AREA OF MINIMAL FLOOD HAZARD. THIS SURVEY MAKES THIS STATEMENT BY GRAPHIC PLOTTING ONLY. THE SURVEYOR RECOMMENDS A FLOOD STUDY IF MORE INFORMATION IS REQUIRED.
- UTILITY NOTE: THE LOCATION OF UTILITIES SHOWN HEREON WAS ESTABLISHED FROM SURFACE EVIDENCE, EXISTING UTILITY MARKERS, AND UTILITY LOCATES FROM A UTILITY CONTRACTOR. THE EXACT LOCATION OF BURIED UTILITIES IS UNCERTAIN. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHOULD CONTACT THE UTILITY NOTIFICATION CENTER. THE SURVEYOR MAKES NO GUARANTEE EITHER EXPRESSED OR IMPLIED THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS MAP OR PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED IN THE SURVEYOR'S STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-STATEMENT BY THE SURVEYOR.
- ALL LINEAL MEASUREMENTS SHOWN ARE GROUND DISTANCES AND U.S. SURVEY FEET.
- EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED ON THIS SURVEY WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS, TERMS OR AS THE RIGHT TO GRANT THE SAME.
- CAUTION: THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. ALL CHANGES TO THIS EXHIBIT MUST BE APPROVED IN WRITING BY THE SURVEYOR IN CHARGE.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. C.R.S. 13-80-105(3)(A).
- TOPOGRAPHIC CONTOURS ARE SHOWN HEREON AT 1 FOOT INTERVALS.
- NO MARKED PARKING SPACES WERE OBSERVED ON THE SURVEYED PARCEL.
- NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION WAS OBSERVED.
- ADDITIONAL CERTIFICATION: I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THIS MAP WAS PREPARED FROM THE FIELD NOTES TAKEN DURING AN ACTUAL ON THE GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THIS MAP REFLECTS THE RESULTS OF THAT SURVEY, AND THE INFORMATION CONTAINED HEREIN IS ACCURATE AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE. THIS CERTIFICATION IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

BENCHMARK INFORMATION

PUBLISHED BENCHMARK:
COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

SURVEYOR'S CERTIFICATE:

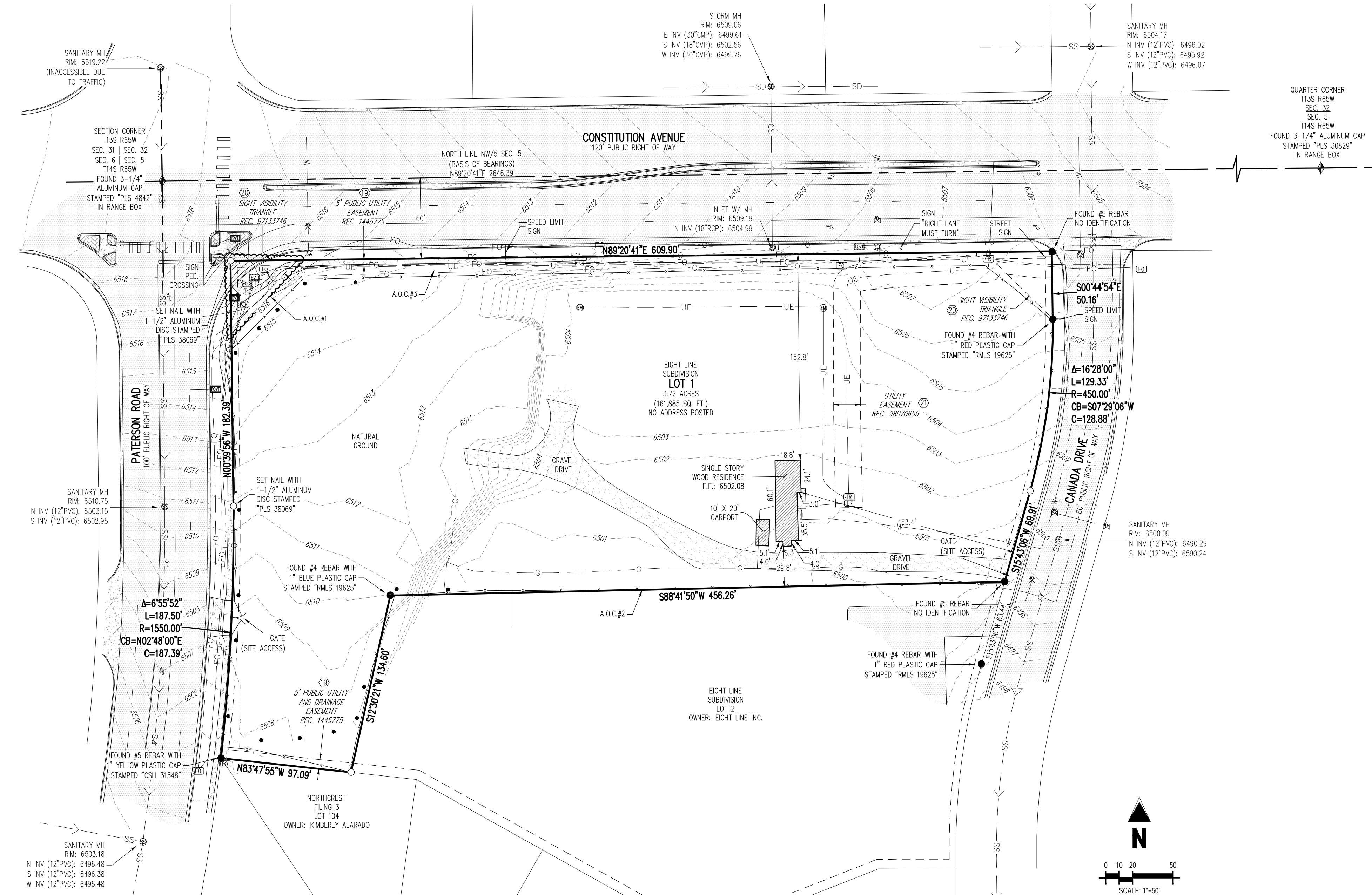
TO: JASPERCO, LLC; FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 11, 13, AND 16 OF TABLE A THEREOF.

BRIAN J. DENNIS
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069
PROJECT NO.: JDA000002.10
FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.

LEGEND

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND PROPERTY MONUMENT AS DESCRIBED
- SET #5 REBAR 24" LONG WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 38069" UNLESS OTHERWISE DESCRIBED
- ELECTRICAL VAULT
- ELECTRICAL RISER
- ELECTRICAL TRANSFORMER
- ELECTRICAL METER
- TRAFFIC SIGNAL
- FIBER OPTIC VAULT
- FIBER OPTIC CABINET
- FIBER OPTIC RISER
- SIGN
- BOLLARD
- SANITARY MANHOLE
- STORM MANHOLE
- FIRE HYDRANT
- WATER VALVE
- FENCE LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC CABLE
- GAS PIPE
- SANITARY SEWER
- SANITARY SEWER
- WATER LINE
- ASPHALT
- CONCRETE
- BRICK PAVERS



TITLE COMMITMENT/REPORT INFORMATION

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TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1104524-DC72, WITH A COMMITMENT DATE OF DECEMBER 27, 2021 AT 5:00 PM.

- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS, BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF. [AS SHOWN OR NOTED.]
- EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. [AS SHOWN OR NOTED.]
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, AND ANY FACTS WHICH A CORRECT LAND SURVEY AND INSPECTION OF THE LAND WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. [AS SHOWN OR NOTED.]
- ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR, MATERIAL OR EQUIPMENT, UNLESS SUCH LIEN IS SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY AND NOT OTHERWISE EXCEPTED FROM COVERAGE HEREIN. [NOT A SURVEY RELATED ITEM.]
- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED DURING THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. [DEFECTS AND LIENS ARE NOT SURVEY RELATED AND THEREFORE NOT ADDRESSED. ENCUMBRANCES AND ADVERSE CLAIMS ARE AS SHOWN. OTHER MATTER IS UNDEFINED AND NOT ADDRESSED.]
- ANY AND ALL UNPAID TAXES, ASSESSMENTS AND UNREDEEMED TAX SALES. [NOT A SURVEY RELATED ITEM.]
- UNPATENTED MINING CLAIMS; RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF. [APPARENT SURFACE OBSERVATIONS ARE AS SHOWN. DOCUMENTS PROVIDED ARE ADDRESSED HEREON.]

- ANY WATER RIGHTS, CLAIMS OF TITLE TO WATER, IN, ON OR UNDER THE LAND. [BEYOND SCOPE OF SURVEY.]
- ANY EXISTING LEASES OR TENANCIES. [NOT A SURVEY RELATED ITEM.]
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CHEROKEE METROPOLITAN DISTRICT, FORMERLY KNOWN AS CHEROKEE WATER AND SANITATION DISTRICT, FORMERLY KNOWN AS CUMARSON SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED OCTOBER 29, 1981 IN BOOK 3496 AT PAGE 588. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- EASEMENT FOR DITCH AND PIPELINE AS DESCRIBED IN WARRANTY DEED RECORDED MAY 4, 1983 IN BOOK 3716 AT PAGE 800. [PARCEL IS NOT SUBJECT TO DITCH AND PIPELINE EASEMENTS REFERENCED.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE COVENANT RECORDED SEPTEMBER 21, 1983 IN BOOK 3782 AT PAGE 1025. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF NORTHEAST FILING NO. 3, RECORDED OCTOBER 7, 1983 AT RECEPTION NO. 1034203. [PARCEL IS SUBJECT TO. NOTE: PLAT GRANTS NO EASEMENT ON SUBJECT PROPERTY.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE AVIGATION EASEMENT RECORDED OCTOBER 7, 1983 IN BOOK 3789 AT PAGE 893. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE SUBDIVISION IMPROVEMENTS AGREEMENTS RECORDED OCTOBER 7, 1983 IN BOOK 3789 AT PAGE 889 AND RECORDED JANUARY 24, 1984 IN BOOK 3827 AT PAGE 1459. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 83-372A, LAND USE-186A RECORDED JANUARY 24, 1984 IN BOOK 3827 AT PAGE 1455. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]

- COVENANTS, CONDITIONS, RESTRICTIONS AND PROVISIONS AS SET FORTH IN DECLARATION OF PROTECTIVE COVENANTS RECORDED FEBRUARY 13, 1984 IN BOOK 3834 AT PAGE 1498, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, AND ANY AND ALL AMENDMENTS, ASSIGNMENTS, OR ANNOTATIONS THERETO. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 92-42, LAND USE-5 RECORDED APRIL 1, 1992 IN BOOK 5955 AT PAGE 1306. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF NORTHEAST FILING NO. 4, RECORDED AUGUST 29, 1986 AT RECEPTION NO. 01445775. [PARCEL IS SUBJECT TO, EASEMENTS SHOWN HEREON.]
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF EIGHT LINE SUBDIVISION, RECORDED NOVEMBER 14, 1997 AT RECEPTION NO. 97133746. [PARCEL IS SUBJECT TO, EASEMENTS SHOWN HEREON.]
- AN EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICAL ENERGY AND INCIDENTAL PURPOSES GRANTED TO MAINTAIN NEW ELECTRIC ASSOCIATION, INC., AS SET FORTH IN AN INSTRUMENT RECORDED MAY 27, 1998 AT RECEPTION NO. 98070659. [PARCEL IS SUBJECT TO, EASEMENTS SHOWN HEREON.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 99-64 RECORDED APRIL 8, 1999 AT RECEPTION NO. 99054215. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE WATER AND SEWER SERVICE AGREEMENT BY AND BETWEEN CHEROKEE METROPOLITAN DISTRICT, CHEROKEE WATER, LLC, AND JASPERCO, LLC RECORDED JULY 24, 2008 AT RECEPTION NO. 20808515. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 09-154 RECORDED JULY 1, 2009 AT RECEPTION NO. 208075825. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 09-153 RECORDED MARCH 6, 2014 AT RECEPTION NO. 214018635. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 16-028 RECORDED JULY 27, 2016 AT RECEPTION NO. 216008388. [PARCEL IS SUBJECT TO AND IS BLANKET IN NATURE.]

AREAS OF CONCERN (A.O.C.)

- NO DOCUMENTATION FOUND ALLOWING THE SIDEWALK AT THE NORTHWEST CORNER OF THE PROPERTY.
- THE CHAIN LINK FENCE MEANDERS THE PROPERTY LINE ALONG THE SOUTHERN PROPERTY LINES.
- WALKING PATH ALONG CONSTITUTION AVENUE BETWEEN CHAIN LINK FENCE AND RIGHT OF WAY LINE. PATH IS DUE TO LACK OF SIDEWALK ALONG ROADWAY.

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Project No.	JDA000002.10
Drawn By	EMV
Checked By	BJD
Date	01/17/2022

September 30, 2022

Matthew Fitzsimmons
El Paso County Planning and Community Development
2880 International Circle, Suite 110
Colorado Springs, CO 80910
RE: PPR2224; 6855 Constitution Avenue Mini Warehouse Building Site Development Plan

Dear Matthew,

This is in response to the comments we received on the SDP from Planning and Engineering. A response to the Engineering comments received with the Rezoning is also included

Planning Comments

SDP General Comments

1. On the bottom right of ALL pages, please have the following text: County File Number: PPR2224 **Response: County File Number has been added to all sheets (including the photometric plan)**
2. All Sheets should be the same size and orientation **Response: All sheets have been sized to be the same (including the photometric plan)**
3. The code requires a master sign plan for any application with a building that exceeds 100,000 sf. This building is over that amount and therefore will require a separate application. Please apply separately via EDARP. Review Code Section: 6.2.10.D.2 **Response: The master signage plan is now submitted to EDARP as a separate document with the SDP.**

C0.0 – Cover Sheet

1. List the required setbacks for the zone AND what is being proposed **Response: Required setbacks and proposed setbacks have been added to the title sheet.**
2. Canada Drive (Residential) should read (Non-Arterial) **Response: Label has been updated.**
3. Sheets should all be numbered on the bottom right. There are 21 sheets and only 20 are listed. **Response: Page count and sheet index has been updated.**
4. Place General Note 6 as a separate note with the title of Project Description. **Response: Note has been added.**
5. If you will have 4 Employees per shift, the parking for employees will need to increase. **Response: There are 1-2 employees per shift. Project description has been changed to reflect that.**

C1.1

1. Where are trucks expected to turn around, please show the turning radius and the max size truck (with an unskilled driver) that can use the turnaround. **Response: Vehicle tracking for a 30 ft. truck has been added to the plans. There is no interior turnaround for Semi trucks. They are required to pass through the entire site. "No Trucks" sign has been added to the plans for that turnaround.**
2. Loading areas shall be designed so that a maneuvering or parked delivery vehicle will not obstruct any parking or drive aisles used by employees or customers. The south and west elevation has storage unit doors right next to the drive aisles. Please



demonstrate that the lanes are wide enough for two-way traffic and a parked truck. This also seems to be a safety hazard to have a door accessing a drive aisle.

Response: Vehicle traffic for the site is minimal and concerns for interior traffic impacts are low.

3. Loading bays need to be screened from view from a public road or residential areas. Screening shall meet code requirements. The loading dock on the NW corner is not 100% screened on the landscape page. The landscape screening has now been reduced because the driving area was increased. Please amend. **Response: The turn-around area has been reduced in size to the minimum necessary to turn vehicles around and additional trees and shrubs have been added for screening.**
4. At least one bicycle parking space is required. 5% of the total parking stalls. This bike rack shall be close to the office and well lit for safety. **Response: Bike rack has been added, please see callout 17.**
5. Loading bays, will they be covered to block rain and snow from the loading area? **Response: Loading bays are not covered to block rain and snow while loading doors are open. They are sealed to keep the elements out at all other times.**
6. Are there hours of operation to reduce the noise around residential areas? **Response: Please see Project Description on the cover sheet for operation hours, which are 6:00am to 11:00pm daily.**
7. Loading Ramp, do trucks pull into this loading dock? If so, show a detail. **Response: A truck turn analysis on the loading dock has been added to the plans.**
8. Loading ramp turnaround, what are the dimensions? Planning cannot support this change if it reduces the landscaping below the required amount. **Response: Dimensions are added to the plan.**
9. North property boundary, what is the security fence for if there are no doors or windows on this entire side? Please remove on the front if it is not needed and add more landscaping. **Response: The fence has been removed along the north side of the building.**
10. Please provide documentation that excludes trees from being planted in the north boundary area due to underground utilities. **Response: The ALTA survey shows the location of the Fiber Optic lines along Constitution Avenue. Trees cannot be planted adjacent to the utility lines.**

C1.2

1. Provide engineering drawings and details in the GEC plan or a separate set of construction drawings and include a detail of the pedestrian ramp on the corner of Canada drive that will be installed. Move these details to the GEC plan.

Response: Construction drawings for the ponds and grading plan have been included with this submittal.

- L1.0 No comments
- L1.1 See C1.1 Comments
- L1.2 No comments
- L1.3 No comments
- L1.4 No comments
- A2.1 No comments
- A2.2 No comments

Response: Comments have been addressed.

A2.3 No comments

PP1.0

This needs to be on the same size sheet and title block as the other sheets (with correct numbering and additional data) **Response: Same size sheet and title block used.**

S1.0-S1.8

This needs to be on the same size sheet and title block as the other sheets (with correct numbering and additional data) **Response: Signage sheets removed from SDP because signage is included in the Master Sign Plan.**

Cherokee Metro District Comments

C1.1

1. Existing 4" Sanitary Sewer on the south portion of the site. Demo or remain?
Response: Existing 4" Sanitary is not shown on survey, we will draw it in and demo it.
2. Show the existing Fire hydrant and 6" Fireline on the south portion of the site.
Response: Survey did not pick up any hydrants on the property, utility locates will need to be done on the site to determine the location of the water line. Currently, a retaining wall is proposed on the south property line that will impact these water utilities.
3. Install curb stop 2' Inside Property line, see CMD Det. W-38. **Response: Callout added to install curb stop per CSU Det W-38.**
4. Label Existing 10" Water Line. **Response: Existing 10" water line has been labeled.**
5. Label Domestic Water Tap, CSU B1-6 Fire Tap CSU B1-2. **Response: Callout added for domestic water tap per CSU B1-6 and Fire Tap CSU B1-2.**
6. Sanitary Tap per CSU D1-6. **Response: Callout added for sanitary tap per CSU D1-6.**
7. Label existing Sanitary Sewer. **Response: Existing sanitary sewer has been labeled.**

Drainage Report Comments

1. Pg 7- unresolved from review 1. Provide pond details in the GEC plan or provide a separate construction drawing set for the pond. **Response: PCM plans will be provided with this submittal.**

Financial Assurance

Pg1

No Comments

Pg2

No Comments

Pg3

- Please remove Water and Sanitary Sewer Improvements from FAE. Private improvements do not have to be included. **Response: Water and Sanitary improvements have been removed from the Financial Assurance.**

Pg4

- Provide quantities for as-builts and pond certification. **Response: Quantities have been provided for the pond as-builts and pond certifications.**

Grading and Erosion Control Comments ([Link](#))

G0.0

1. Remove "Jennifer Irvine" from the signature block. **Response: Jennifer Irvine has been removed from the signature blocks**
2. Updated PCD Filing No. to PPR-2224. **Response: PCD No added to all sheets.**

G0.1

No Comments

G1.1

1. Provide details for water quality pond in GEC plan or provide separate construction drawings. **Response: PCM plans will be provided with this submittal.**

G2.1

No Comments

G3.1

No Comments

G4.1

No Comments

G4.2

No Comments

G4.3

No Comments

G4.4

No Comments

G4.5

No Comments

Sincerely,
GALLOWAY



Heather Vidlock, AICP
Development Services Project Manager