

JOHNSON DEVELOPMENT ASSOCIATES

# CONSTITUTION STORAGE

LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5,  
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
COUNTY OF EL PASO, STATE OF COLORADO

## CONSTRUCTION DOCUMENTS

### PROJECT CONTACTS

#### PROPERTY OWNER

JASPERCO, LLC  
5532 SADDLE ROCK TRAIL  
COLORADO SPRINGS, CO 80918  
ATTN: TONY COLON  
EMAIL: TONYC@COLONFAM.COM

#### APPLICANT

JOHNSON DEVELOPMENT ASSOCIATES, INC.  
100 DUMBAR STREET, SUITE 400  
SPARTANBURG, SC 29306  
TELE: (864) 529-1297  
ATTN: BRIAN KEARNEY  
EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

#### CIVIL ENGINEER

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 900-7220  
ATTN: BRADY SHYROCK, P.E.  
EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

#### GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC.  
555 E. PIKES PEAK AVE., SUITE 107  
COLORADO SPRINGS, CO 80903  
TELE: (303) 634-1999  
ATTN: KENNETH L. MEYERS, PE

#### TRAFFIC ENGINEER

GALLOWAY & CO., INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TELE: (303) 770-8884  
ATTN: BRIAN HORAN, P.E.  
EMAIL: BRIANHORAN@GALLOWAYUS.COM

#### SURVEYOR

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 337-1222  
ATTN: BRIAN DENNIS  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

### LIST OF ABBREVIATIONS

SHT - SHEET  
Δ - DEFLECTION ANGLE  
L - LENGTH  
R - RADIUS  
CB - CHORD BEARING  
C - CHORD LENGTH  
N - NORTH/NORTHING  
W - WEST  
E - EAST/EASTING  
S - SOUTH  
DET - DETAIL  
EX - EXISTING  
W - WITH  
PC - POINT OF CURVATURE/PORTLAND CEMENT  
MWF - MELDED WIRE FABRIC  
VERT - VERTICAL  
OC - ON CENTER  
FDC - FIRE DEPARTMENT CONNECTION  
CT - COURT  
DR - DRIVE  
TYP - TYPICAL  
REC - RECEPTION NUMBER  
Ø, DIA - DIAMETER  
PT - POINT OF TANGENCY  
MIN - MINIMUM  
MAX - MAXIMUM  
HDPE - HIGH DENSITY POLYETHYLENE

### UTILITY CONTACTS

#### WATER & WASTEWATER

CHEROKEE METROPOLITAN DISTRICT  
6250 PALMER PARK BLVD.  
COLORADO SPRINGS, CO 80915  
TELE: (719) 597-5080  
ATTN: KEVIN BROWN  
EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

#### ELECTRIC

MOUNTAIN VIEW ELECTRIC  
11140 E WOODMEN RD  
FALCON, CO 80831  
TELE: (719) 495-2283  
CATHY HANSEN-LEE  
EMAIL: CATHY.HANSEN@MVEA.COOP

#### NATURAL GAS

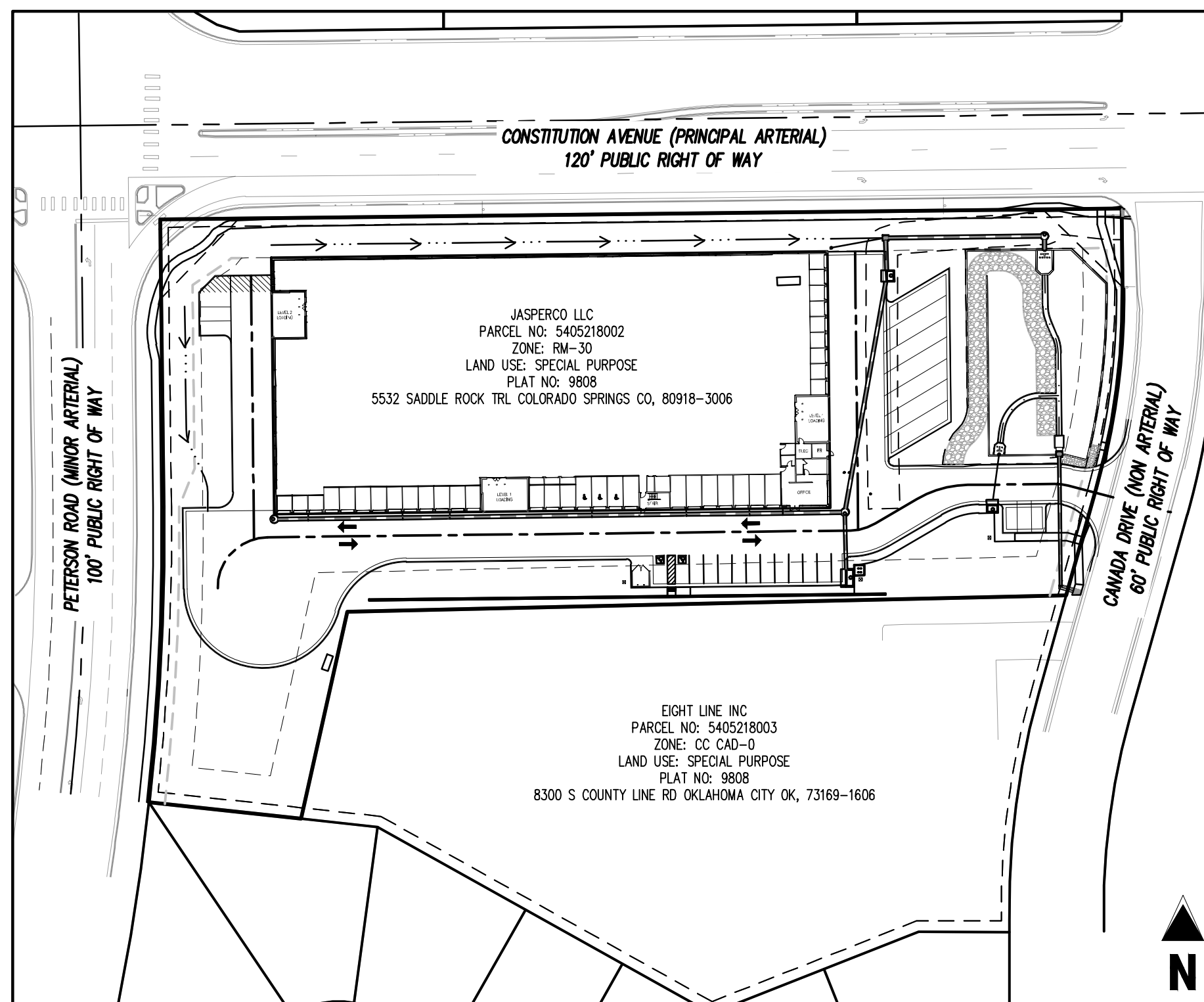
COLORADO SPRINGS UTILITIES (CSU)  
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150  
COLORADO SPRINGS, CO 80947-2150  
TELE: (719) 668-5573  
AARON CASSIDY  
EMAIL: ACASSID@CSU.ORG

#### FIRE

OMARRON HILLS FIRE PROTECTION DISTRICT  
1835 TUSKEGEE PL  
COLORADO SPRINGS, CO 80915  
TELE: (719) 591-0960  
EMAIL: JMCLERO@OMARRON



VICINITY MAP  
SCALE: 1"=400'



SITE MAP  
SCALE: 1"=80'

### SHEET INDEX

SHEET DESCRIPTION	SHEET TITLE	SHEET NUMBER
1	COVER SHEET	CO.0
2	NOTES	CO.1
3	SITE PLAN & HORIZONTAL CONTROL	C1.1
4	DETAIL GRADING PLAN	C2.1
5	DETAIL GRADING PLAN	C2.2
6	STORM DRAIN PLAN & PROFILE	C3.1
7	STORM DRAIN PLAN & PROFILE	C3.2
8	SIGNAGE & STRIPING PLAN	C4.1
9	SITE DETAILS	C4.2
10	SITE DETAILS	C4.3

### BASIS OF BEARINGS

BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

### BENCHMARK

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHWEST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

### ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

BRADY A. SHYROCK, COLORADO P.E. NO. 0038164  
DATE: 07/21/2023

### OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

BRIAN DUNCAN  
JOHNSON DEVELOPMENT ASSOCIATES  
DATE: 7/21/2023

### EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

COUNTY ENGINEER / EDM ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

### PCD FILING NO.

PPR-2224

**Galloway**

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
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2460 CANADA DRIVE  
INDUSTRIAL DEVELOPMENT  
CONSTRUCTION DOCUMENTS  
FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION  
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA  
Checked By: BAS  
Date: JULY 2023

COVER SHEET

**CO.0**  
Sheet 1 of 10

### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**GENERAL CONSTRUCTION NOTES**

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC EDM APPENDIX K – 1.2C.
7. ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. Adequacy of MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC EDM SECTION 3.32 – CULVERTS.
9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
11. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH CHEROKEE METROPOLITAN DISTRICT CONSULTING ENGINEER APPROVAL.
12. ALL POTABLE WATER MAINS SHALL BE ANWA 9000-SR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANS / NSF 61.
13. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANS / NSF 61.
14. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE CHEROKEE METROPOLITAN DISTRICT CONSULTING ENGINEER APPROVAL.
15. MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25' OR 22.5' BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY. SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" – 8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

**STANDARD NOTES FOR EPC CONSTRUCTION PLAN**

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - D. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EDM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

**SIGNING AND STRIPING NOTES**

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE 'D' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 1/25 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8 LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



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**2460 CANADA DRIVE  
 INDUSTRIAL DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 FOR JOHNSON DEVELOPMENT ASSOCIATES**  
  
**LOT 1 OF THE EIGHT LINE SUBDIVISION  
 COLORADO SPRINGS, CO 80916**

#	Date	Issue / Description	Init.

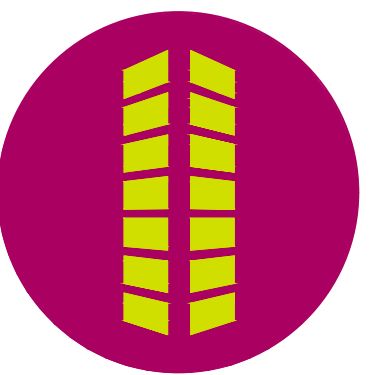
Project No: JDA02  
 Drawn By: ASA  
 Checked By: BAS  
 Date: JULY 2023

**NOTES**

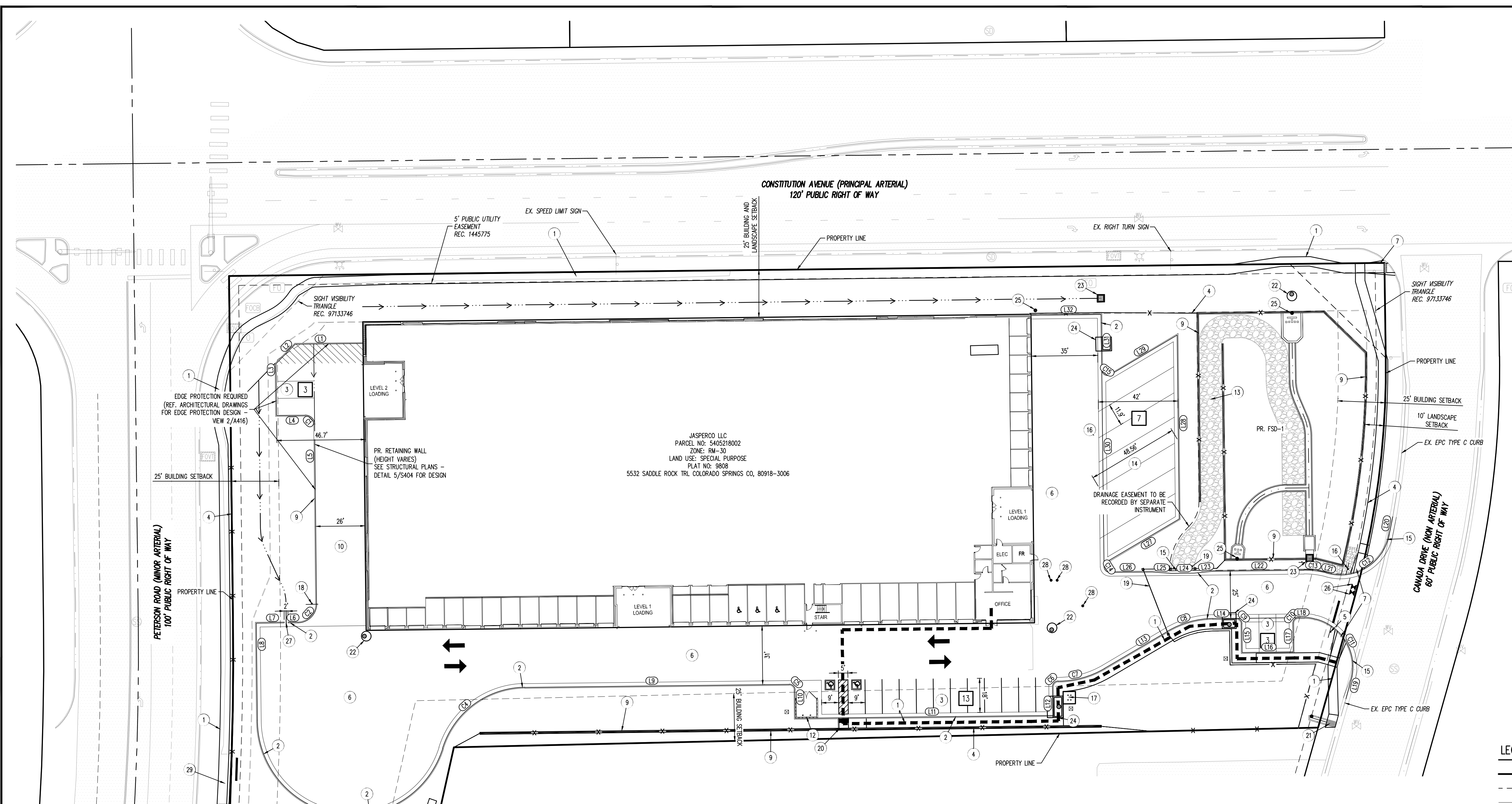
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 COLORADO SPRINGS, CO 80916**



PARCEL LINE SEGMENT TABLE		
LINE TAG #	BEARING	LENGTH (FT)
L1	N89°20'41"E	35.79
L2	N44°20'41"E	14.44
L3	N0°39'19"W	27.29
L4	S89°20'41"W	15.00
L5	N0°39'19"W	94.45
L6	N89°20'41"E	5.20
L7	N89°20'41"E	14.74
L8	S0°39'19"E	51.19
L9	N89°20'41"E	139.57
L10	S0°39'19"E	15.00
L11	N89°20'41"E	127.00
L12	N0°39'19"W	15.00
L13	N59°31'39"E	38.81
L14	N89°20'41"E	12.27
L15	S0°39'55"E	15.00
L16	N89°20'53"E	27.00
L17	N0°39'55"W	15.00
L18	N89°20'41"E	3.12
L19	S15°07'28"W	10.00
L20	N11°49'09"E	9.98
L21	S75°23'49"E	1.06
L22	N89°20'41"E	48.03
L23	N84°54'30"E	10.02
L24	N89°20'41"E	12.00
L25	S85°53'09"E	10.02

PARCEL LINE SEGMENT TABLE		
LINE TAG #	BEARING	LENGTH (FT)
L26	N89°20'41"E	22.51
L27	S59°20'41"W	44.46
L28	S0°39'19"E	96.99
L29	N59°20'41"E	40.99
L30	S0°39'19"E	103.94
L31	S0°39'19"E	29.26
L32	N89°20'41"E	37.00

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	90°00'00"	7.85	5.00	N45°39'19"W	7.07
C2	90°00'00"	15.71	10.00	N44°20'41"E	14.14
C3	162°36'34"	141.90	50.00	S81°19'05"E	98.85
C4	71°58'02"	57.78	46.00	N53°21'39"E	54.05
C5	90°00'00"	4.71	3.00	S45°39'19"E	4.24
C6	90°00'00"	4.71	3.00	N44°20'41"E	4.24
C7	29°49'01"	25.24	48.50	N74°26'10"E	24.96
C8	29°49'01"	24.98	48.00	N74°26'10"E	24.70
C9	89°59'24"	4.71	3.00	S45°39'37"E	4.24
C10	90°00'36"	4.71	3.00	N44°20'23"E	4.24
C11	91°18'44"	41.44	26.00	S29°44'27"E	37.19
C12	93°30'05"	42.43	26.00	N57°51'09"E	37.88
C13	151°51'30"	11.85	44.50	S83°01'34"E	11.82
C14	90°00'00"	4.71	3.00	S45°39'19"E	4.24
C15	120°00'00"	6.28	3.00	S60°39'19"E	5.20

- ### SITE SCHEDULE
- 1 PROPOSED 5' DETACHED CONCRETE SIDEWALK
  - 2 PROPOSED COS TYPE 1 - 8" VERTICAL CURB & GUTTER
  - 3 PROPOSED GUEST PARKING
  - 4 PROPOSED SECURITY FENCE
  - 5 PROPOSED STOP SIGN (R1-1)
  - 6 PROPOSED ASPHALT AREA
  - 7 PROPOSED SD.2-40 PEDESTRIAN RAMP
  - 8 SIGHT-DISTANCE TRIANGLE
  - 9 PROPOSED RETAINING WALL DESIGNED BY OTHERS
  - 10 PROPOSED CONCRETE RAMP TO SECOND STORY
  - 11 PROPOSED CURB & GUTTER TRANSITION
  - 12 PROPOSED TRASH ENCLOSURE
  - 13 PROPOSED HS20 LOADING POND MAINTENANCE ROAD
  - 14 PROPOSED COVERED RV STORAGE
  - 15 PROPOSED EPC TYPE C CURB
  - 16 PROPOSED STREET NAME SIGN
  - 17 PROPOSED BICYCLE PARKING
  - 18 PROPOSED NO TRUCKS SIGN
  - 19 PROPOSED GATE
  - 20 PROPOSED COS TYPE 3A PEDESTRIAN RAMP
  - 21 PROPOSED CURB CHASE
  - 22 PROPOSED 5" STORM MANHOLE
  - 23 PROPOSED CDOT TYPE C STORM INLET
  - 24 PROPOSED CDOT TYPE D-10-R STORM INLET
  - 25 PROPOSED STORM CLEANOUT
  - 26 PROPOSED WATER VALVE
  - 27 PROPOSED 2" CURB CUT
  - 28 PROPOSED SANITARY CLEANOUT
  - 29 REMOVE EXISTING DRIVEWAY

- ### LEGEND
- EXISTING PROPERTY LINE
  - EXISTING EASEMENT
  - ADJACENT PROPERTY LINE
  - LANDSCAPE BUFFER
  - DRAINAGE SWALE
  - ROADWAY CENTER LINE
  - CURB AND GUTTER
  - CONCRETE PAVING
  - EXISTING SIGN
  - EXISTING LIGHT POLE
  - ROADWAY AND STOP SIGN
  - SITE LIGHTING
  - ADA ACCESSIBLE PARKING SYMBOL
  - ADA ACCESSIBLE PARKING STRIPING
  - EXISTING FENCE
  - PROPOSED GRAVEL
  - PROPOSED ADA ROUTE
  - PROPOSED BOLLARD

**BASIS OF BEARINGS**  
 BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOOK, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**  
 COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
 BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEGIT DRIVE.

FIMS DATUM ELEVATION = 6534.61

**CAUTION - NOTICE TO CONTRACTOR**

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA  
 Checked By: BAS  
 Date: JULY 2023

**SITE PLAN & HORIZONTAL CONTROL**



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2460 CANADA DRIVE  
INDUSTRIAL DEVELOPMENT  
CONSTRUCTION DOCUMENTS  
FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION  
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.

Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JULY 2023

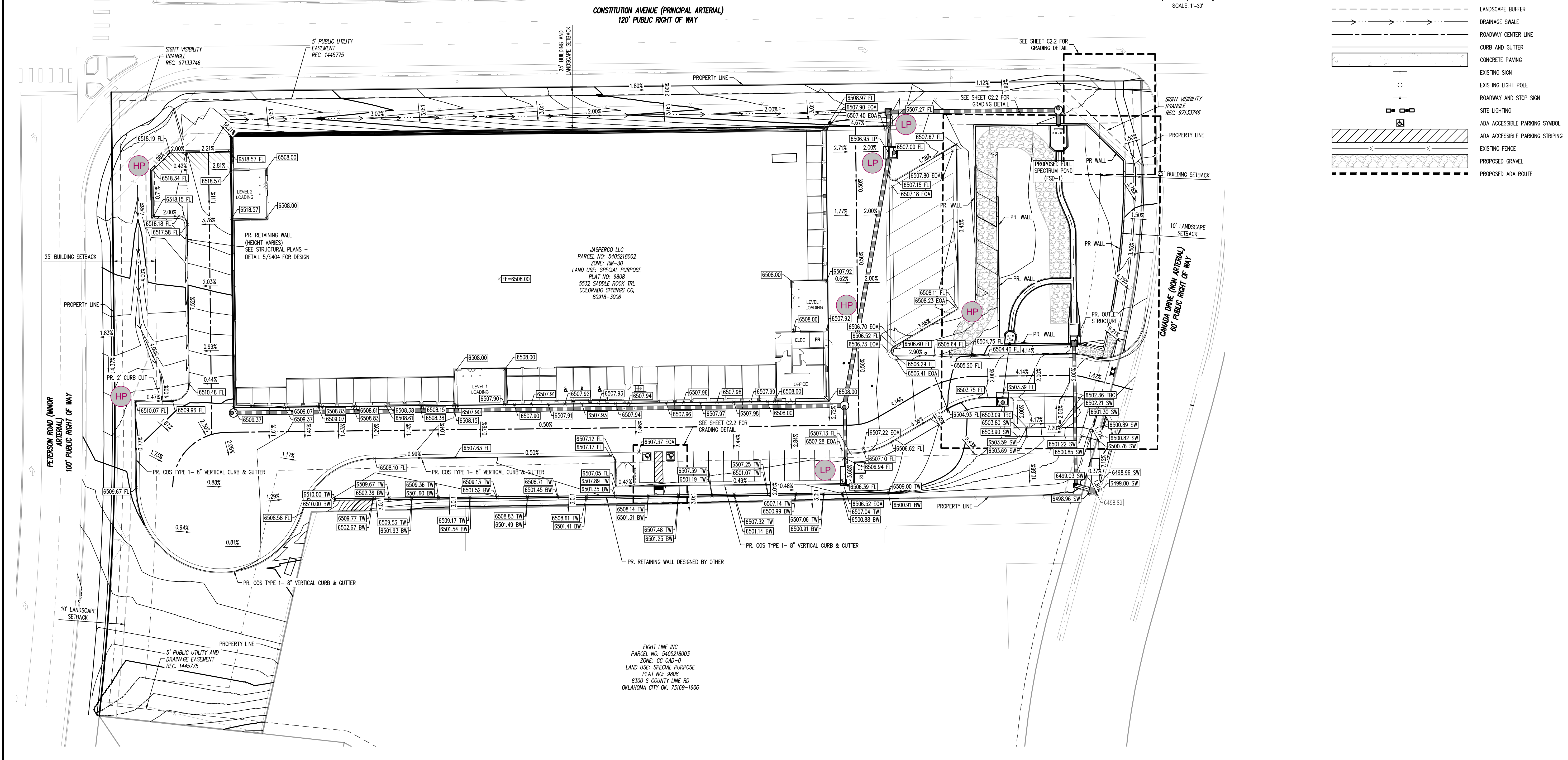
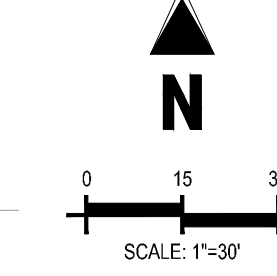
DETAIL GRADING PLAN

# C2.1

Sheet 4 of 10

### LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	ADJACENT PROPERTY LINE
	LANDSCAPE BUFFER
	DRAINAGE SWALE
	ROADWAY CENTER LINE
	CURB AND GUTTER
	CONCRETE PAVING
	EXISTING SIGN
	EXISTING LIGHT POLE
	ROADWAY AND STOP SIGN
	SITE LIGHTING
	ADA ACCESSIBLE PARKING SYMBOL
	ADA ACCESSIBLE PARKING STRIPING
	EXISTING FENCE
	PROPOSED GRAVEL
	PROPOSED ADA ROUTE



CONSTITUTION AVENUE (PRINCIPAL ARTERIAL)  
120' PUBLIC RIGHT OF WAY

JASPERCO LLC  
PARCEL NO: 5405218002  
ZONE: EM-30  
LAND USE: SPECIAL PURPOSE  
PLAT NO: 9808  
5532 SADDLE ROCK TRL  
COLORADO SPRINGS CO,  
80918-3006

EIGHT LINE INC  
PARCEL NO: 5405218003  
ZONE: CC CAD-0  
LAND USE: SPECIAL PURPOSE  
PLAT NO: 9809  
8300 S COUNTY LINE RD  
OKLAHOMA CITY OK, 73169-1606

### BASIS OF BEARINGS

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

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COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
BENCHMARK SHOT BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SHOT" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

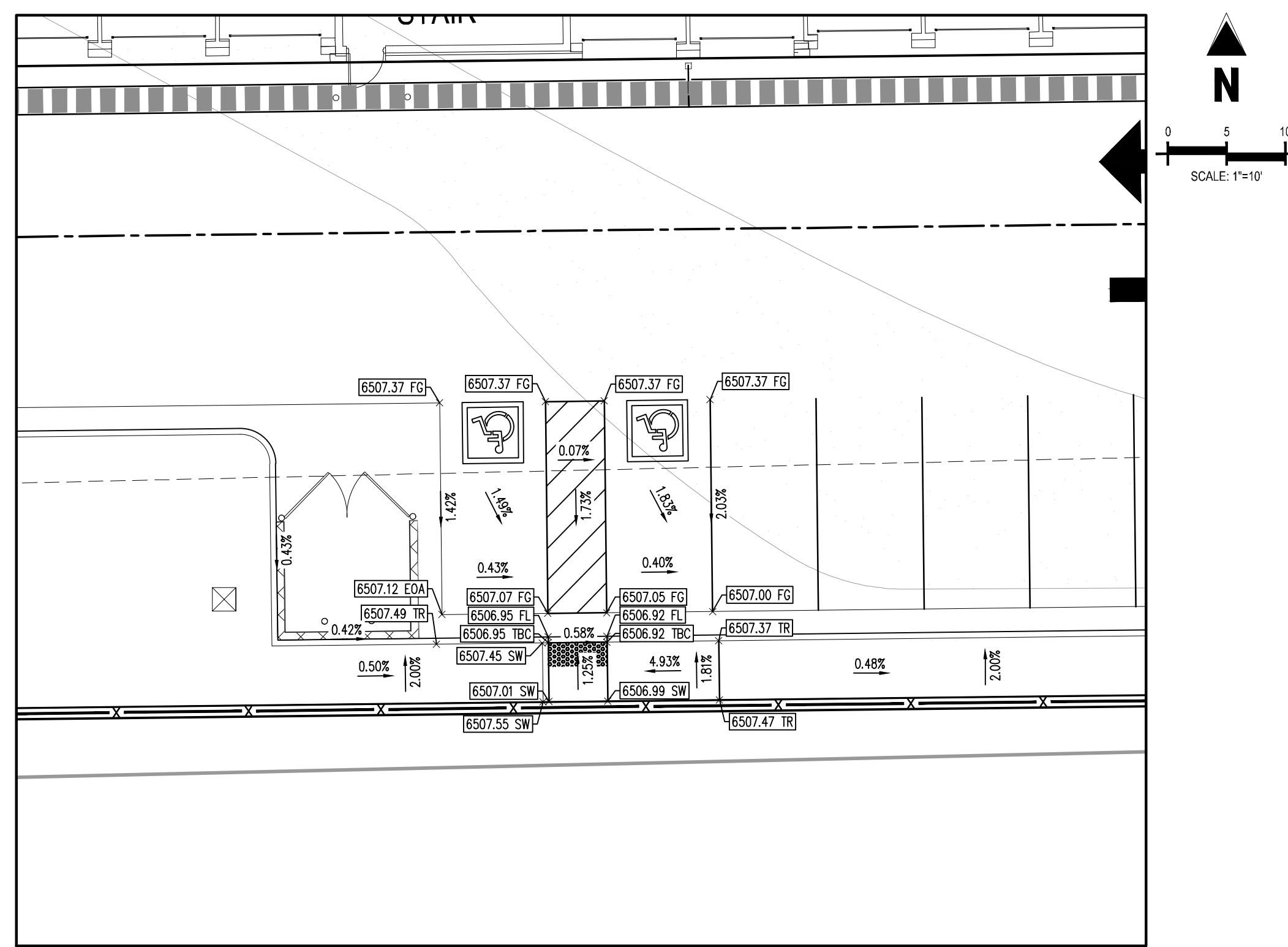
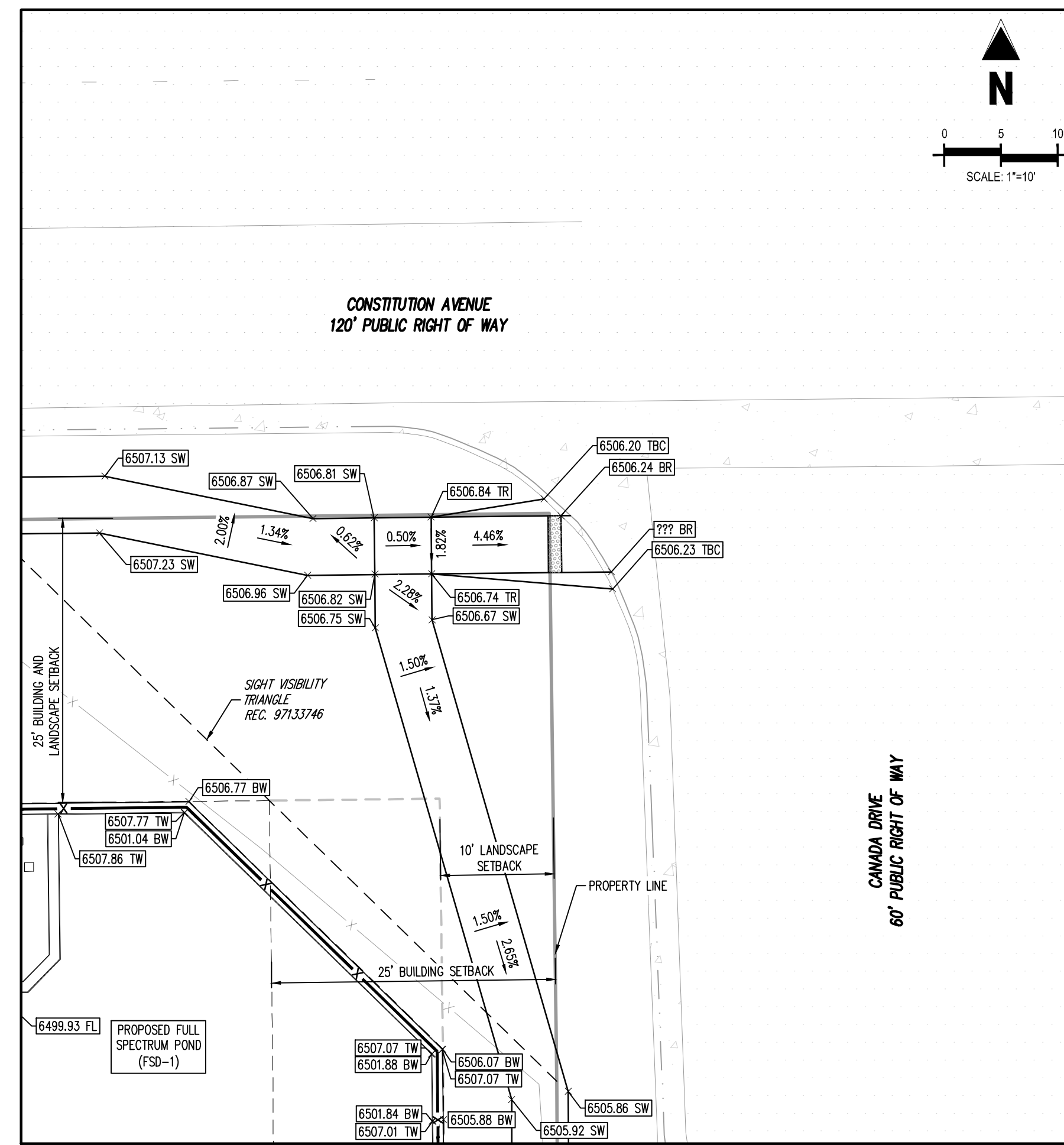
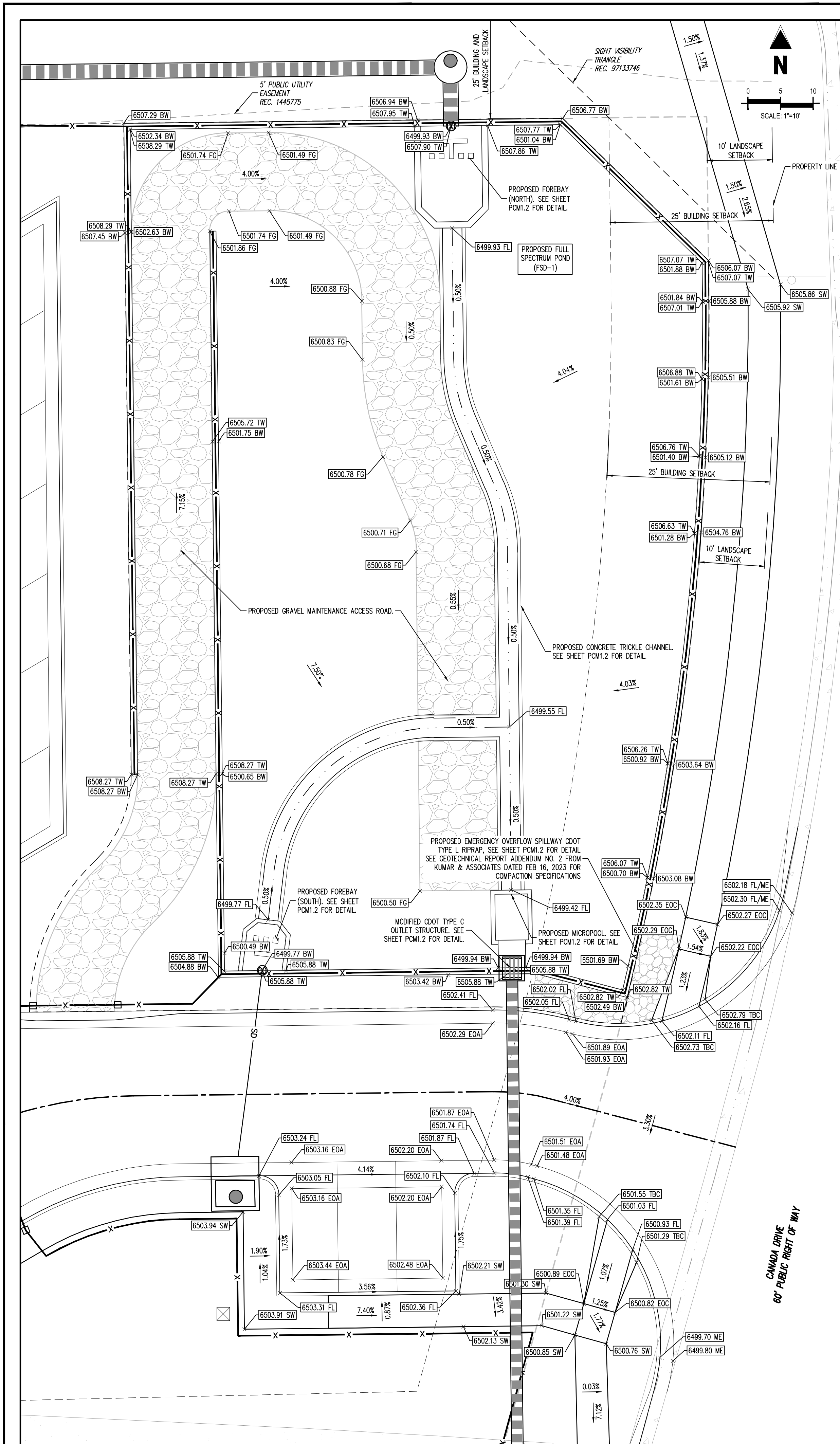
FIMS DATUM ELEVATION = 6534.61

### CAUTION -- NOTICE TO CONTRACTOR

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\\Galloway\Drawings\AutoCAD\23\23-0716\CADD\23-0716-011-Detail Grading Plan.dwg (7/21/2023)

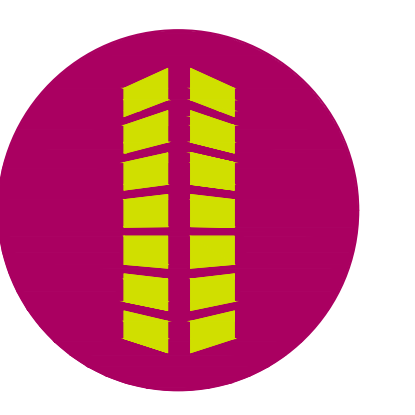


**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- ADJACENT PROPERTY LINE
- LANDSCAPE BUFFER
- DRAINAGE SWALE
- ROADWAY CENTER LINE
- CURB AND GUTTER
- CONCRETE PAVING
- EXISTING SIGN
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- EXISTING FENCE
- PROPOSED GRAVEL
- PROPOSED ADA ROUTE



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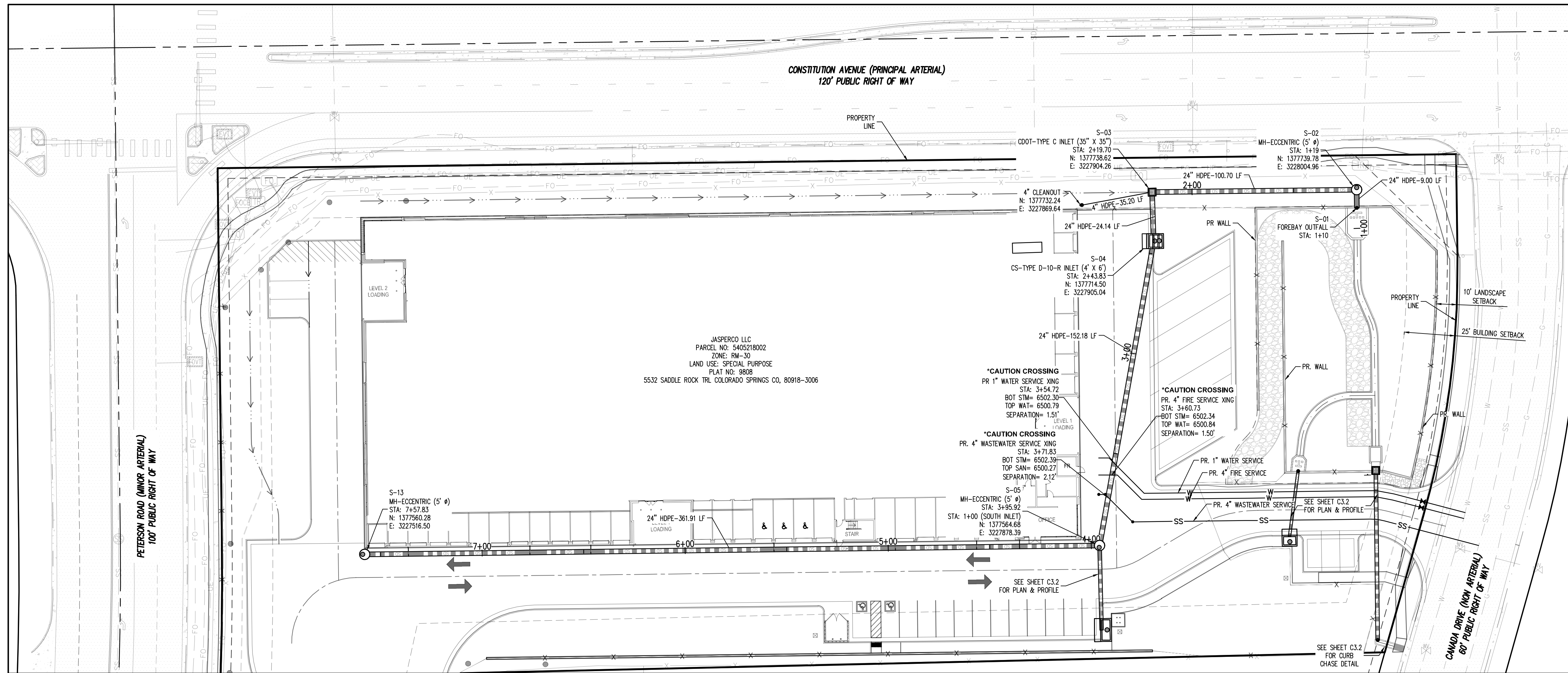
2460 CANADA DRIVE  
 INDUSTRIAL DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION  
 COLORADO SPRINGS, CO 80916

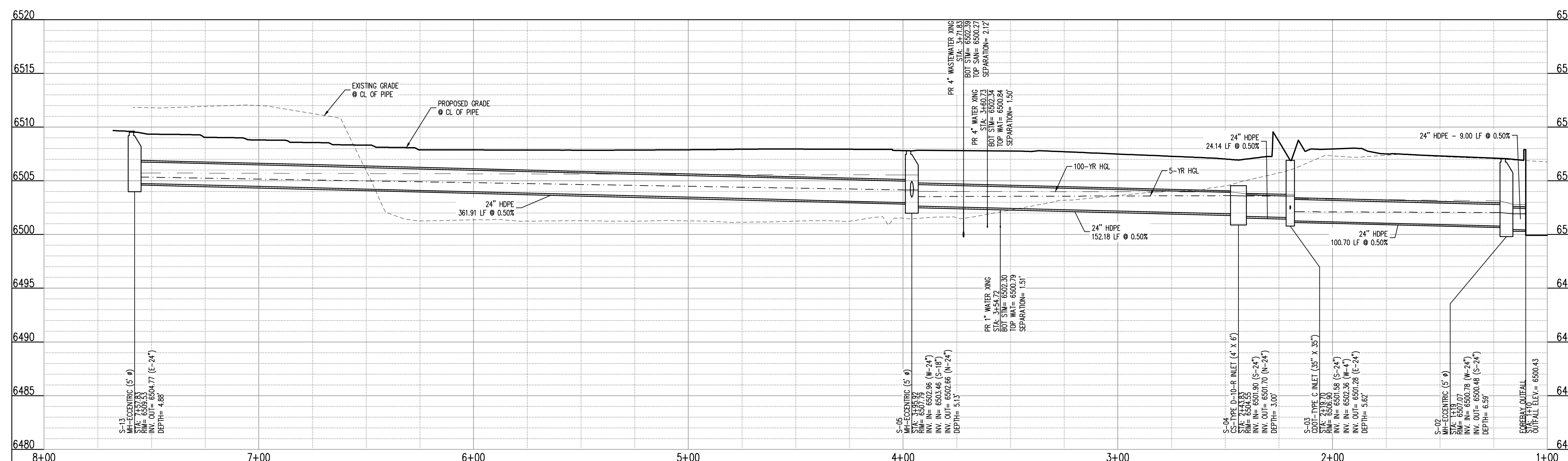
#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA  
 Checked By: BAS  
 Date: JULY 2023

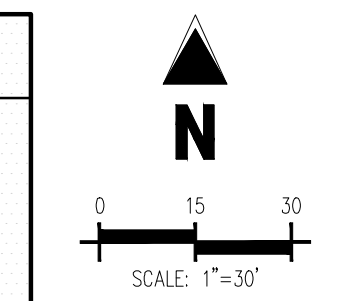
**DETAIL GRADING PLAN**



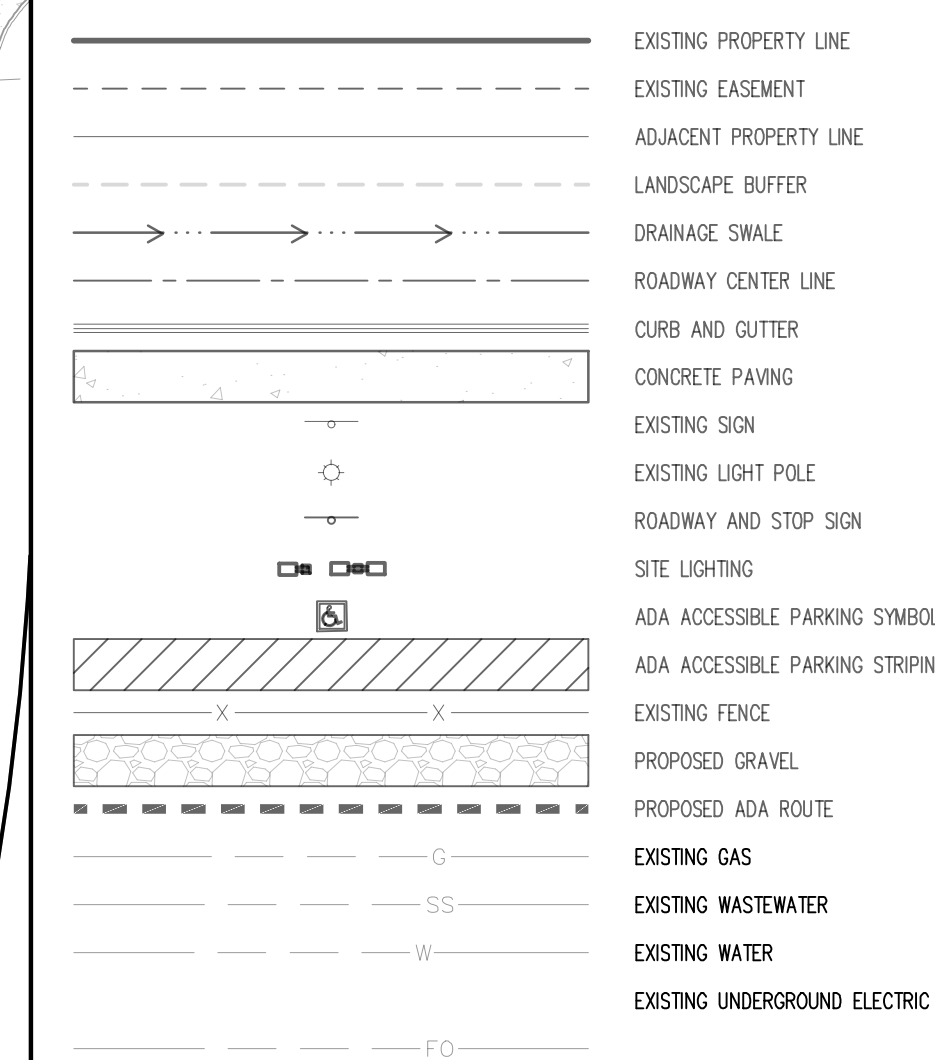
STORM SEWER PLAN: (STORM MAINLINE) (STA: 7+58.52 - 1+00.00)  
SCALE: 1"=30'



STORM SEWER PLAN: (STORM MAINLINE) (STA: 7+58.52 - 1+00.00)  
SCALE: HORIZONTAL 1"=30', VERTICAL 1"=6'  
NOTE: PROFILE IS FROM RIGHT TO LEFT



LEGEND



NOTES

- STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET.
- ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
- SEE GRADING PLAN FOR ALL GRADING INFORMATION.
- ALL STORM SEWER SHALL BE HDPE.
- ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.
- ALL CROSS PANS SHALL CONFORM TO EL PASO COUNTY DETAIL S02-26.

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10" HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**BASIS OF BEARINGS**  
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**BENCHMARK**  
COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S07" AT THE SOUTHWEST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

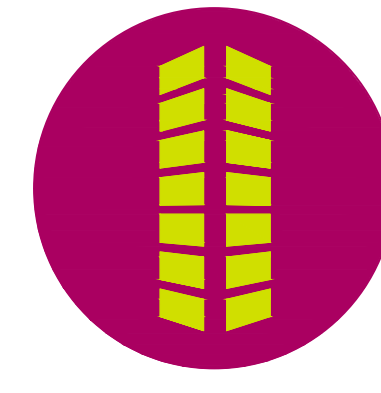
FMS DATUM ELEVATION = 6534.61

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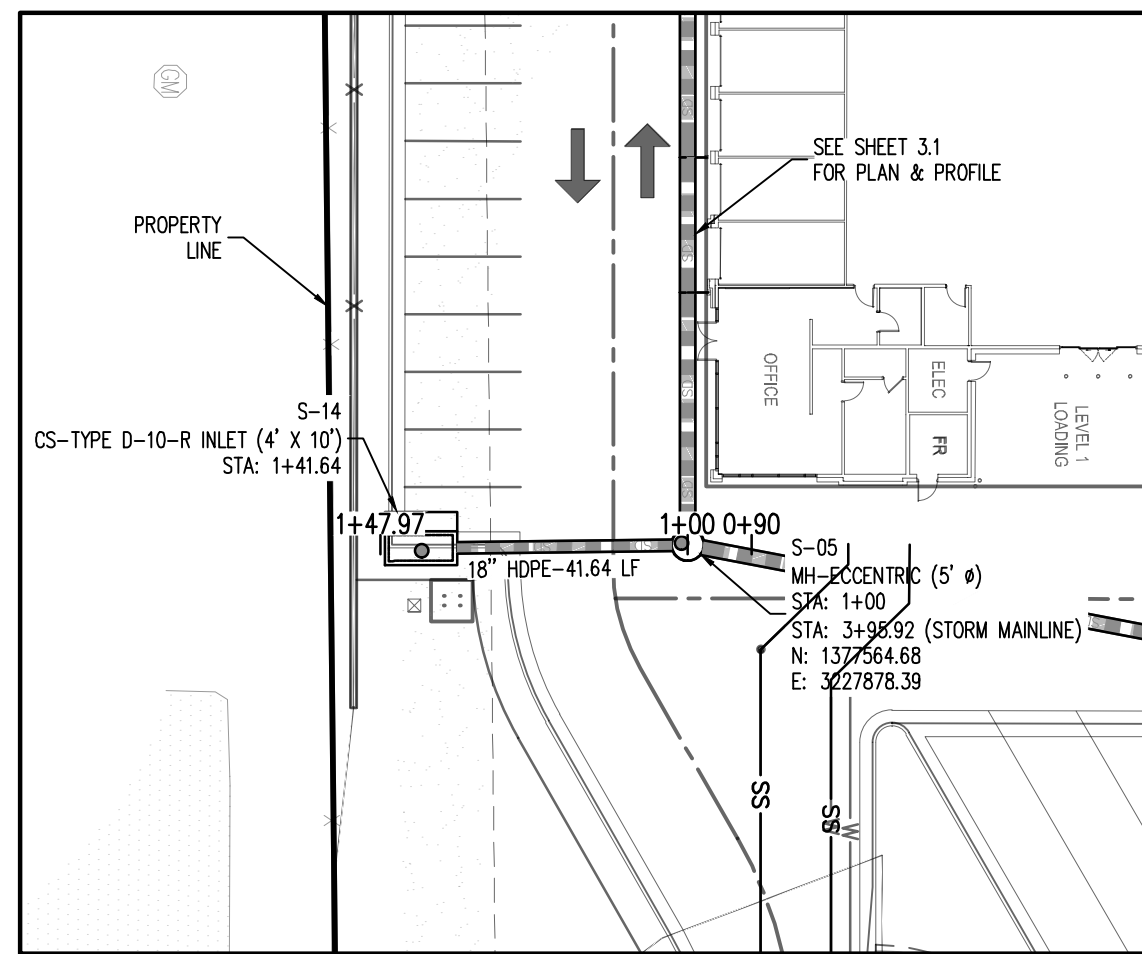


2460 CANADA DRIVE  
 INDUSTRIAL DEVELOPMENT  
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 LOT 1 OF THE EIGHT LINE SUBDIVISION  
 COLORADO SPRINGS, CO 80916

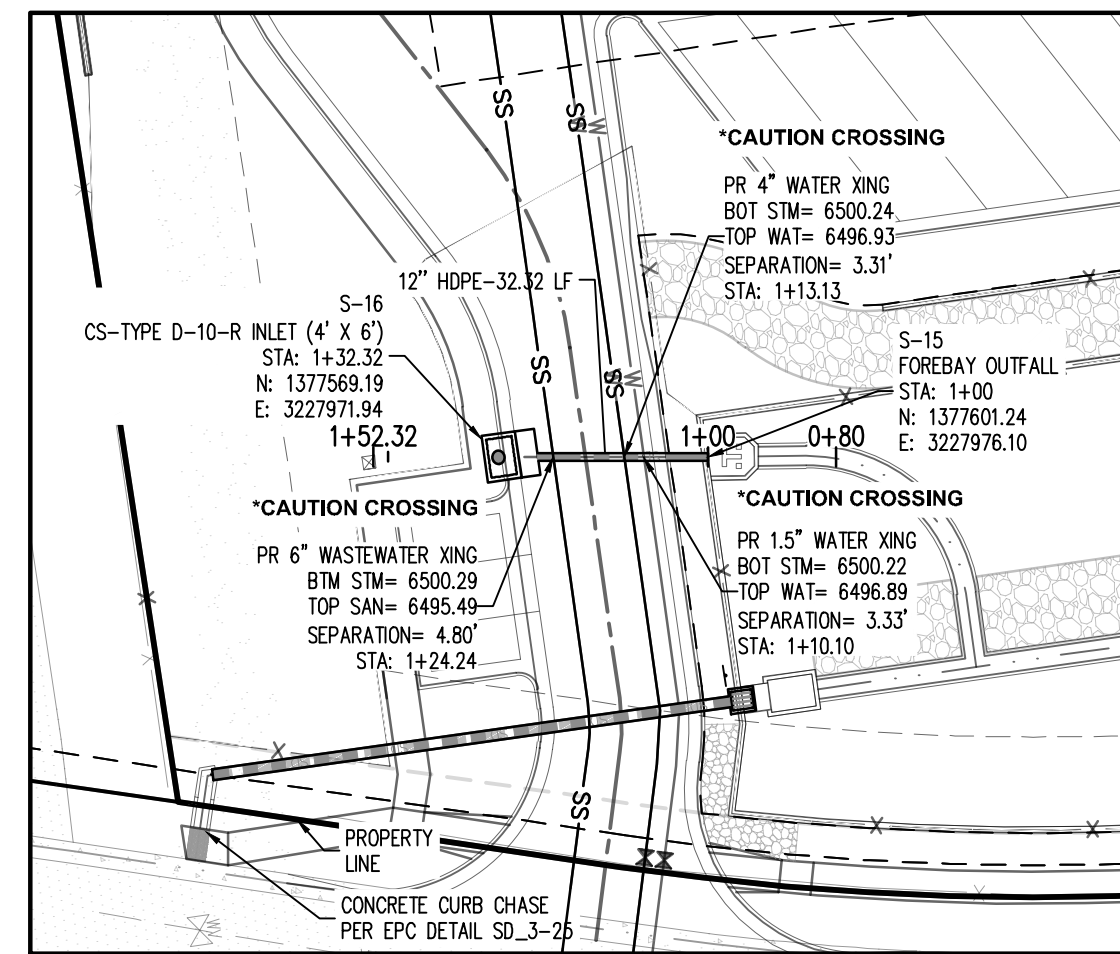
#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA  
 Checked By: BAS  
 Date: JULY 2023

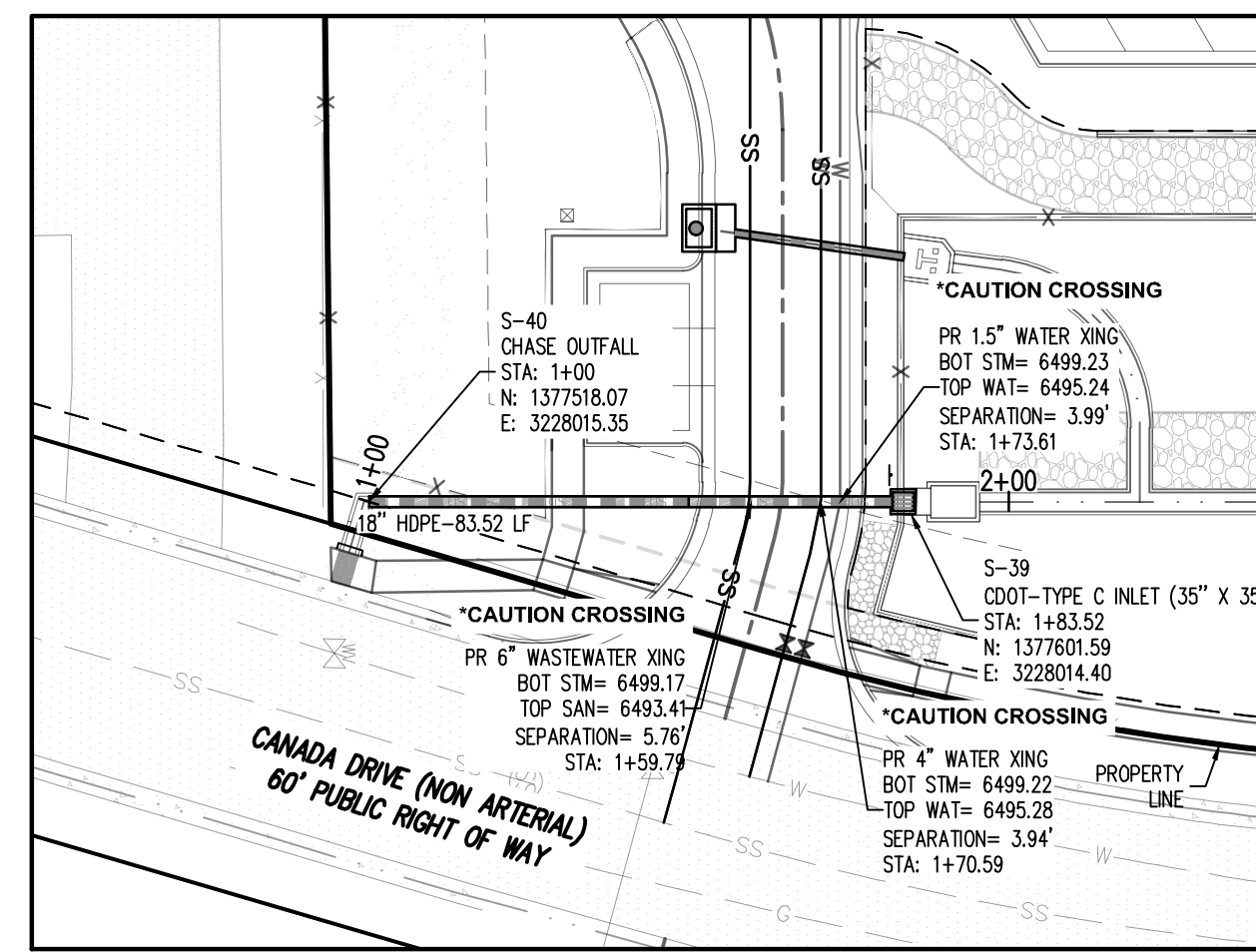
STORM DRAIN PLAN & PROFILE



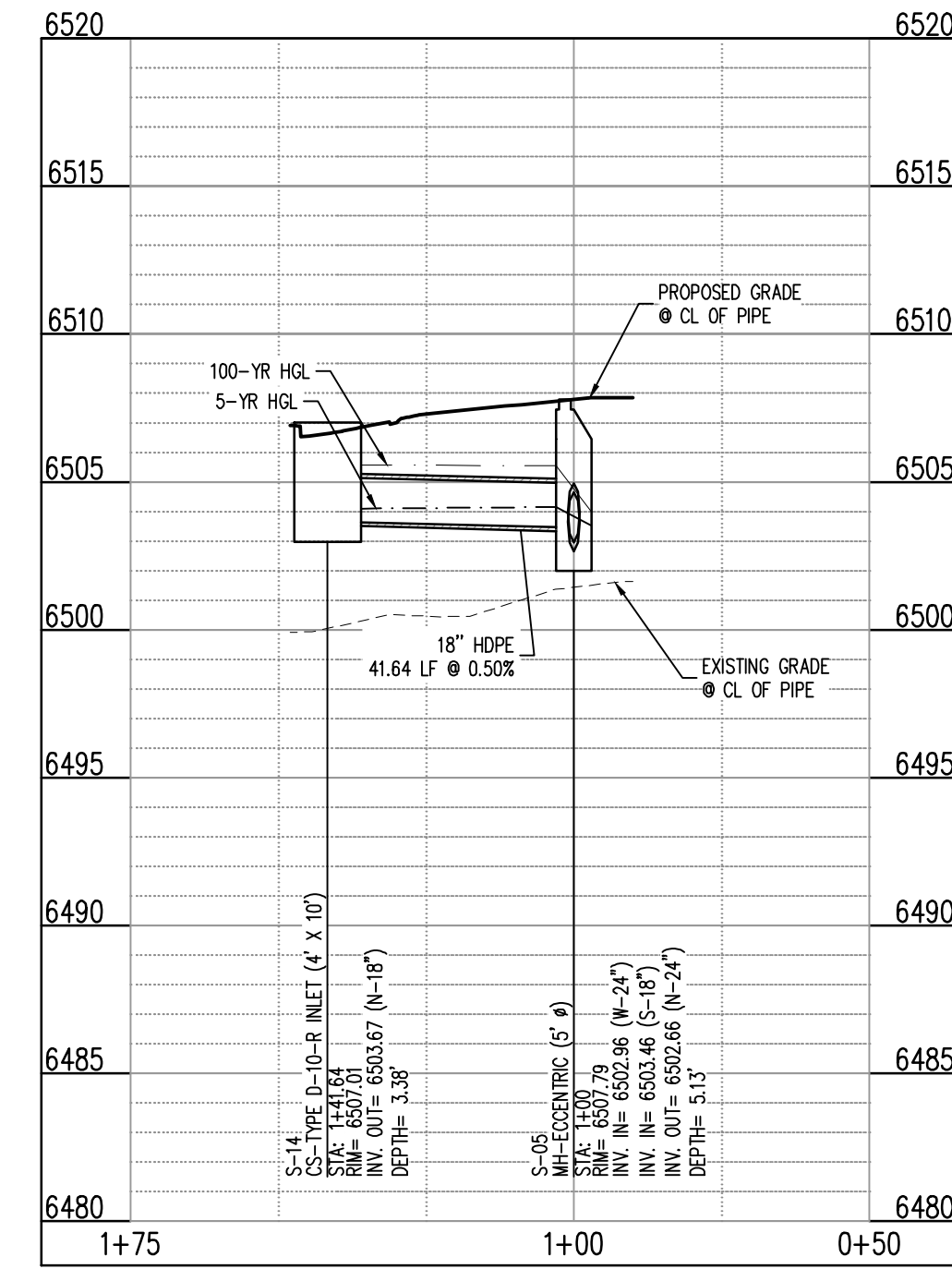
STORM SEWER PLAN: (SOUTH INLET) (STA: 1+47.97 - 0+90)  
SCALE: 1"=30'



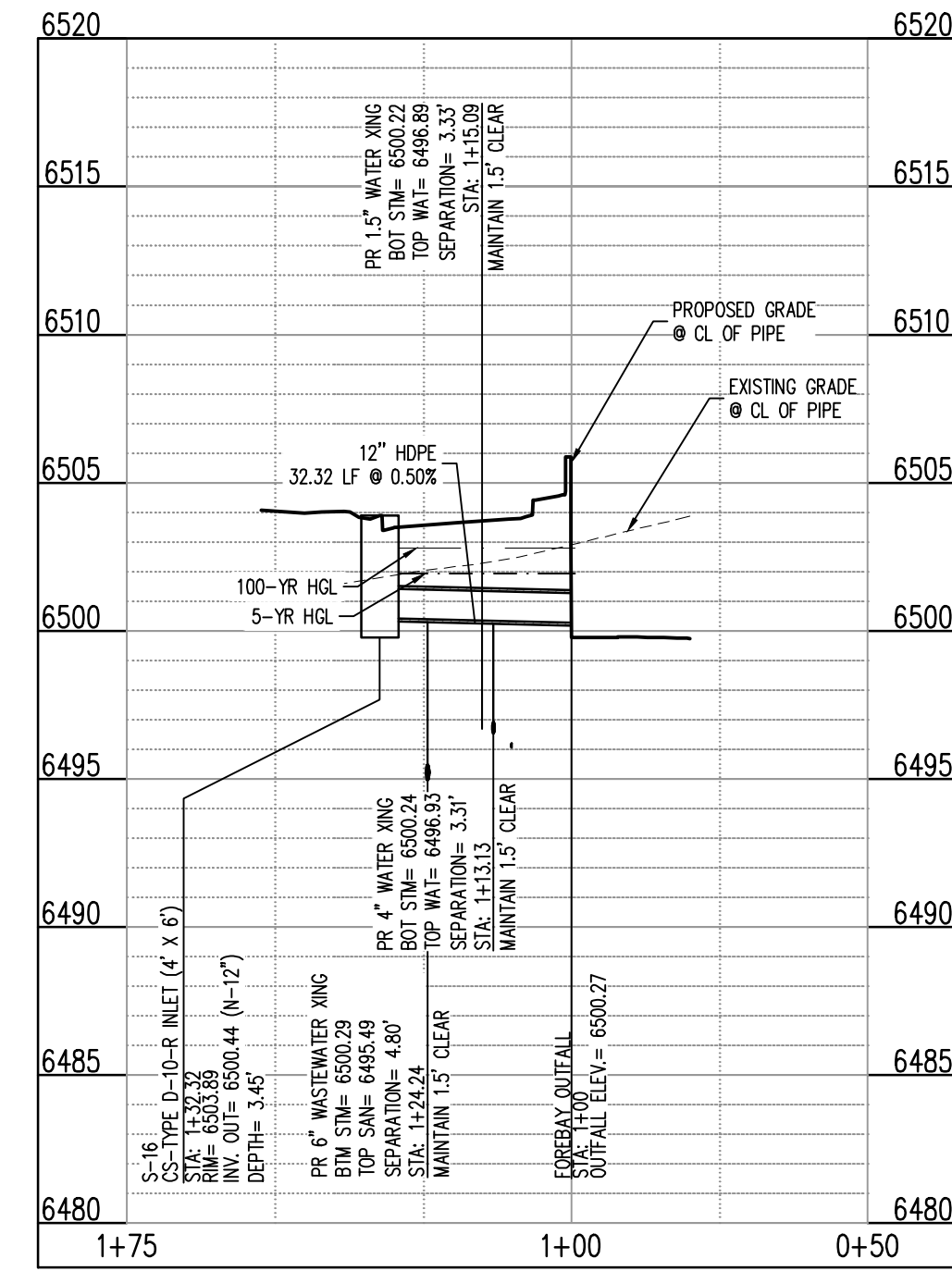
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SCALE: 1"=30'



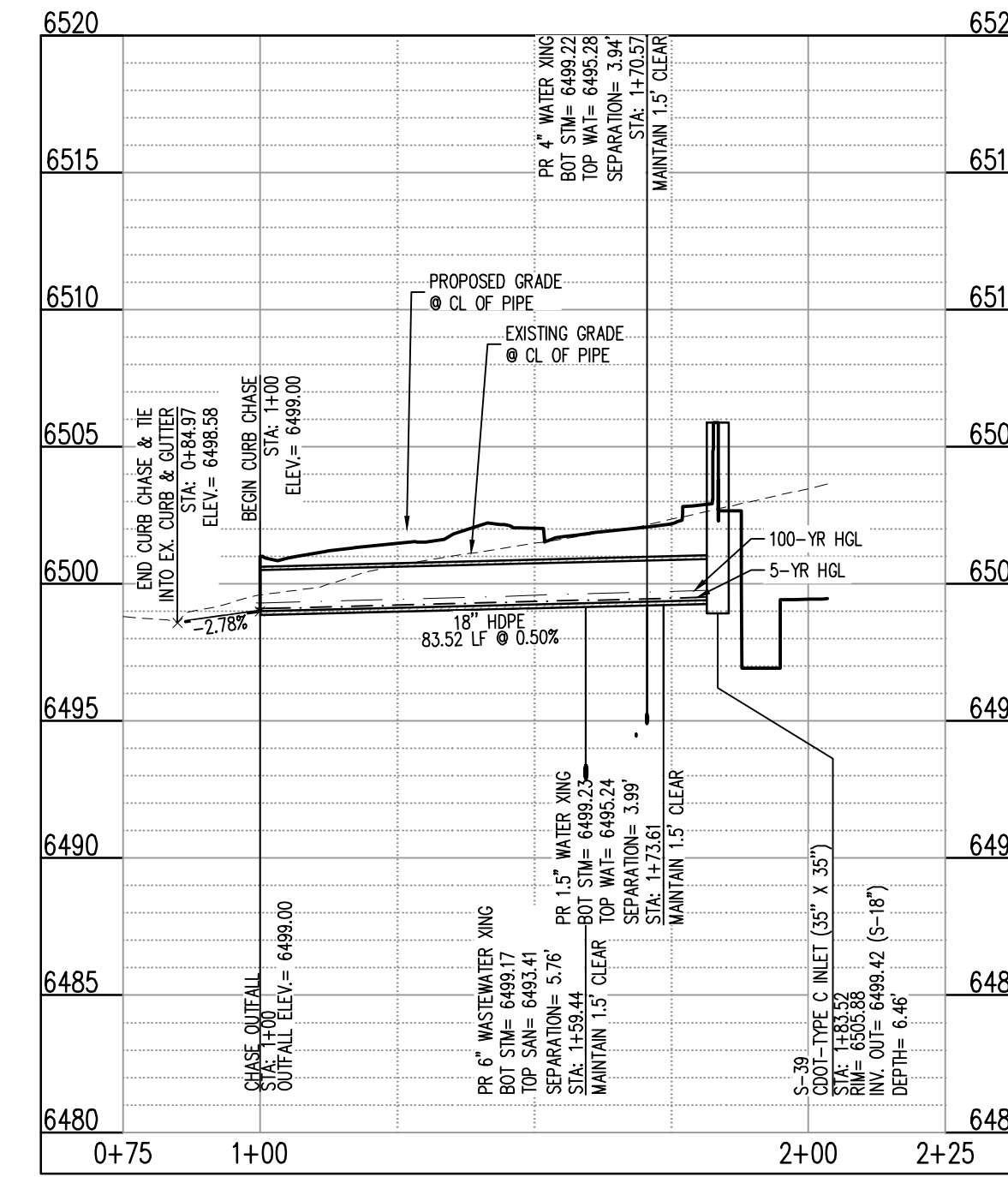
STORM SEWER PLAN: (SOUTH POND OVERFLOW) (STA: 1+00 - 2+00)  
SCALE: 1"=30'



STORM SEWER PLAN: (SOUTH INLET) (STA: 1+75 - 0+50)  
SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



STORM SEWER PLAN: (SOUTH POND INLET) (STA: 1+75 - 0+50)  
SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'



STORM SEWER PLAN: (SOUTH POND OVERFLOW) (STA: 0+75 - 2+25)  
SCALES: HORIZONTAL 1"=30', VERTICAL 1"=6'

**LEGEND**

(Symbol)	EXISTING PROPERTY LINE
(Symbol)	EXISTING EASEMENT
(Symbol)	ADJACENT PROPERTY LINE
(Symbol)	LANDSCAPE BUFFER
(Symbol)	DRAINAGE SWALE
(Symbol)	ROADWAY CENTER LINE
(Symbol)	CURB AND GUTTER
(Symbol)	CONCRETE PAVING
(Symbol)	EXISTING SIGN
(Symbol)	EXISTING LIGHT POLE
(Symbol)	ROADWAY AND STOP SIGN
(Symbol)	SITE LIGHTING
(Symbol)	ADA ACCESSIBLE PARKING SYMBOL
(Symbol)	ADA ACCESSIBLE PARKING STRIPING
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED GRAVEL
(Symbol)	PROPOSED ADA ROUTE
(Symbol)	EXISTING GAS
(Symbol)	EXISTING WASTEWATER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING UNDERGROUND ELECTRIC
(Symbol)	EXISTING FIBER OPTIC

- NOTES**
1. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET.
  2. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
  3. SEE GRADING PLAN FOR ALL GRADING INFORMATION.
  4. ALL STORM SEWER SHALL BE HDPE.
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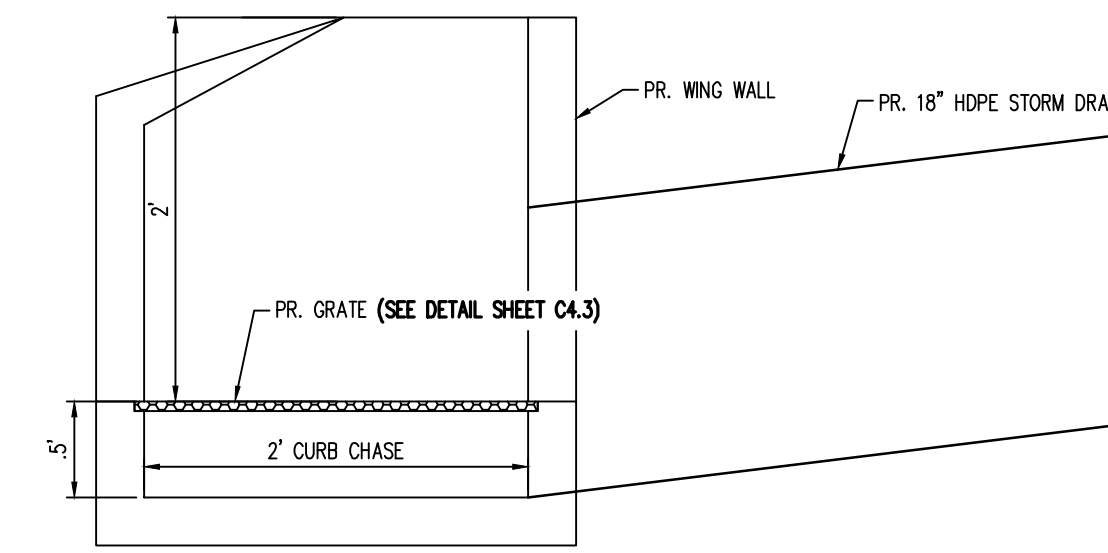
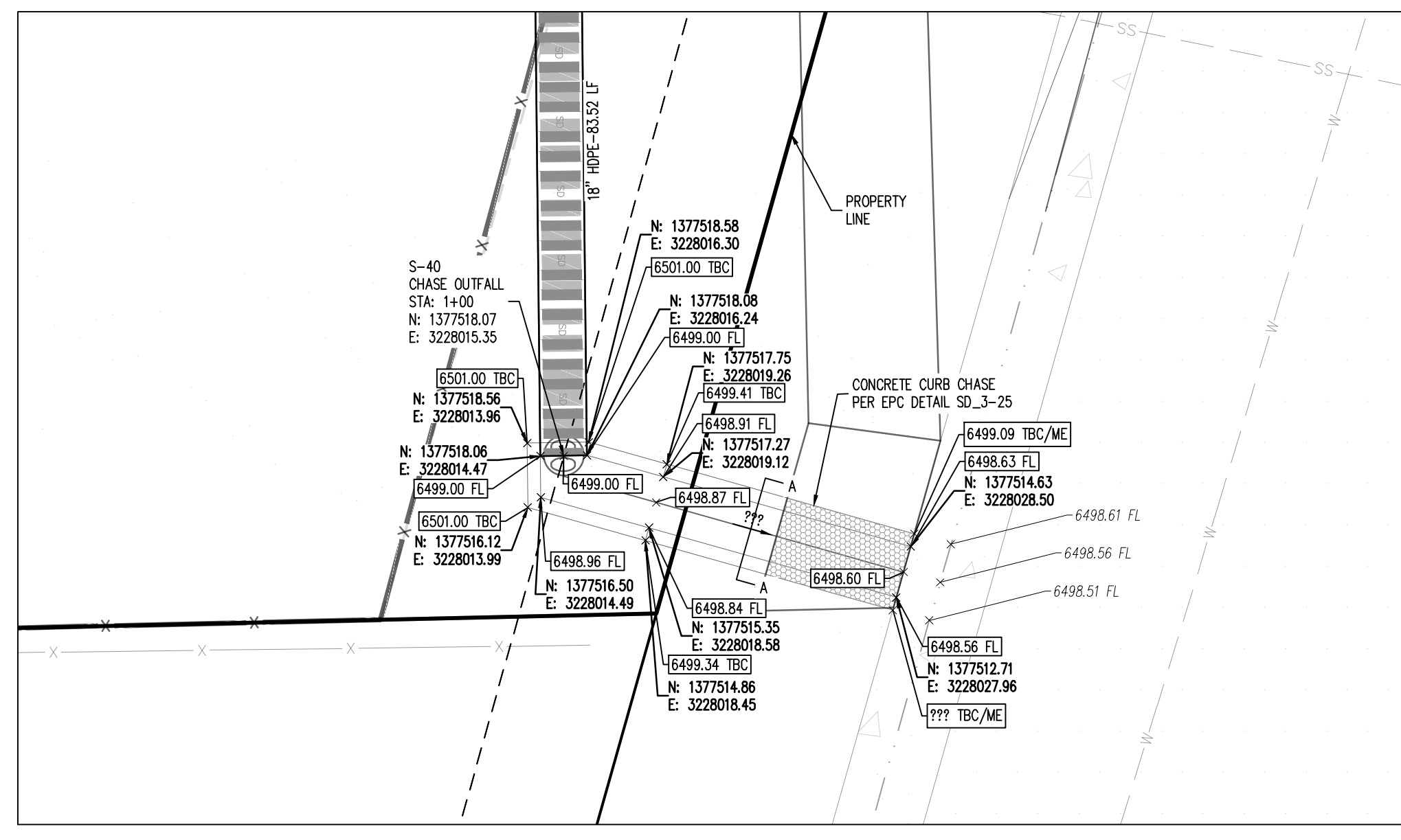
**BENCHMARK**  
COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHWEST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FMS DATUM ELEVATION = 6534.61

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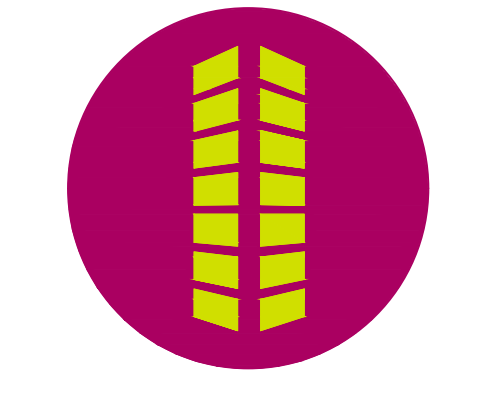
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SECTION A-A  
NOTE: REINFORCEMENT FOR HEADWALL & WALLS TO FOLLOW COOT M-601-20



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2460 CANADA DRIVE  
INDUSTRIAL DEVELOPMENT  
CONSTRUCTION DOCUMENTS  
FOR JOHNSON DEVELOPMENT ASSOCIATES  
LOT 1 OF THE EIGHT LINE SUBDIVISION  
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA  
Checked By: BAS  
Date: JULY 2023

STORM DRAIN PLAN & PROFILE



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 LOT 1 OF THE EIGHT LINE SUBDIVISION  
 COLORADO SPRINGS, CO 80916

CONSTITUTION AVENUE (PRINCIPAL ARTERIAL)  
 120' PUBLIC RIGHT OF WAY

PETERSON ROAD (MINOR ARTERIAL)  
 100' PUBLIC RIGHT OF WAY

JASPERCO LLC  
 PARCEL NO. 5405218002  
 ZONE: RM-30  
 LAND USE: SPECIAL PURPOSE  
 PLAT NO. 9808  
 5532 SADDLE ROCK TRL. COLORADO SPRINGS CO, 80918-3006

EIGHT LINE INC  
 PARCEL NO. 5405218003  
 ZONE: CC CAD-0  
 LAND USE: SPECIAL PURPOSE  
 PLAT NO. 9809  
 8300 S COUNTY LINE RD OKLAHOMA CITY OK, 73169-1606

CANADA DR  
 PER MUTCD D3-1, 4'



**NOTES**

1. REFER TO COLORADO SPRINGS FIRE DEPARTMENT (CSFD) FIRE APPARATUS ACCESS ROAD MARKINGS FOR SPECIFIC FIRE LANE SIGNING AND STRIPING DETAILS.
2. ALL PARKING STRIPING SHALL BE 4" WIDE SOLID WHITE 15 MIL THICKNESS EPOXY PAINT.
3. REFER TO CDOT STANDARD PLAN NO. S-627-1 FOR CROSSWALK AND STOP LINE STRIPING DETAILS.
4. PUBLIC STREET SIGNS SHALL BE GREEN AND PRIVATE STREET SIGNS SHALL BE BROWN.

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	ADJACENT PROPERTY LINE
	LANDSCAPE BUFFER
	DRAINAGE SWALE
	ROADWAY CENTER LINE
	CURB AND GUTTER
	CONCRETE PAVING
	EXISTING SIGN
	EXISTING LIGHT POLE
	ROADWAY AND STOP SIGN
	SITE LIGHTING
	ADA ACCESSIBLE PARKING SYMBOL
	ADA ACCESSIBLE PARKING STRIPING
	EXISTING FENCE
	PROPOSED GRAVEL
	PROPOSED ADA ROUTE
	PROPOSED STRIPING
	PROPOSED FIRE LANE / NO PARKING STRIPING

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

**BASIS OF BEARINGS**

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAO SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOOK, AND BY THE NORTH QUARTER CORNER OF SAO SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
 BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEG01 DRIVE.

FIMS DATUM ELEVATION = 6534.61

**CAUTION - NOTICE TO CONTRACTOR**

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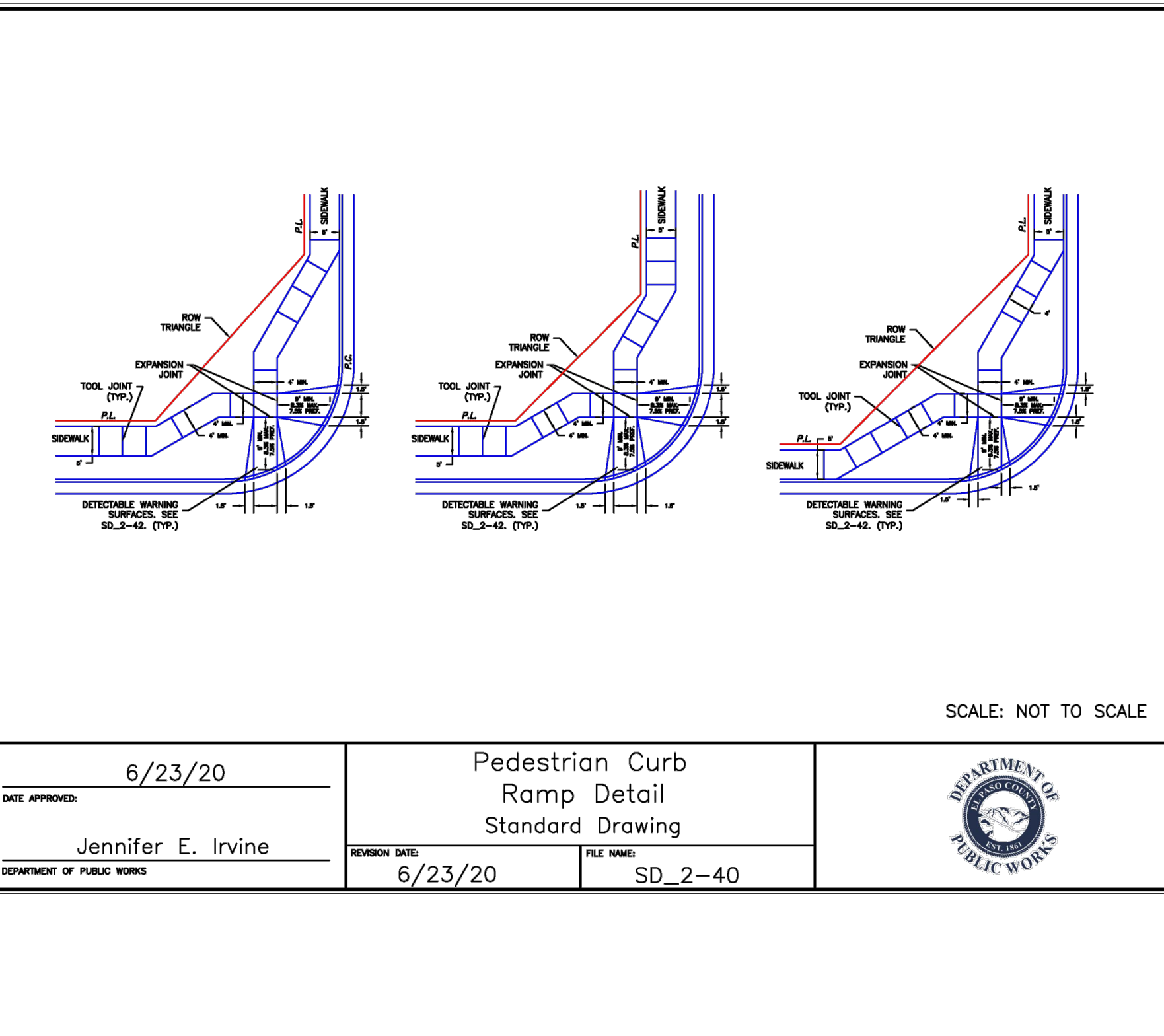
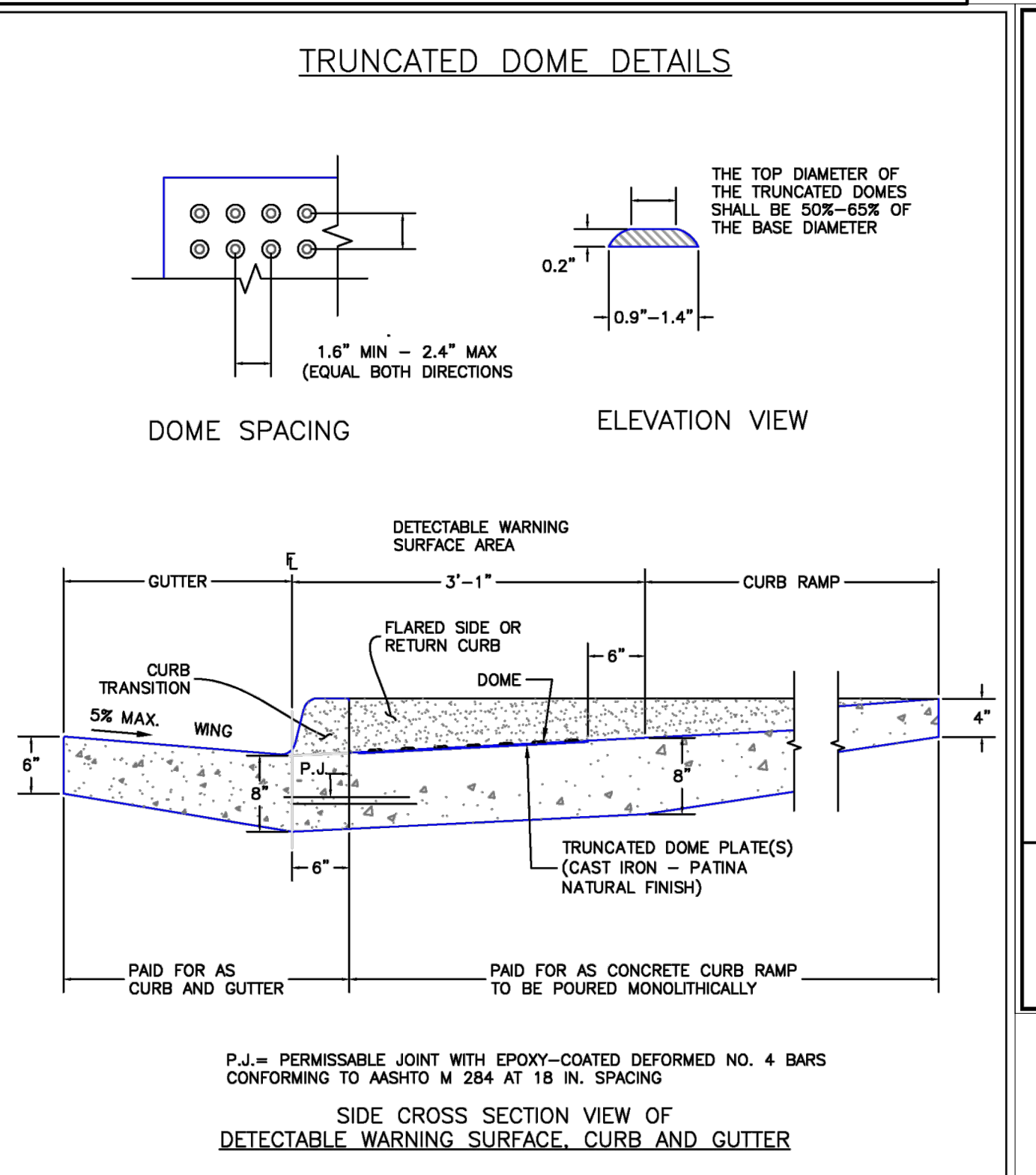
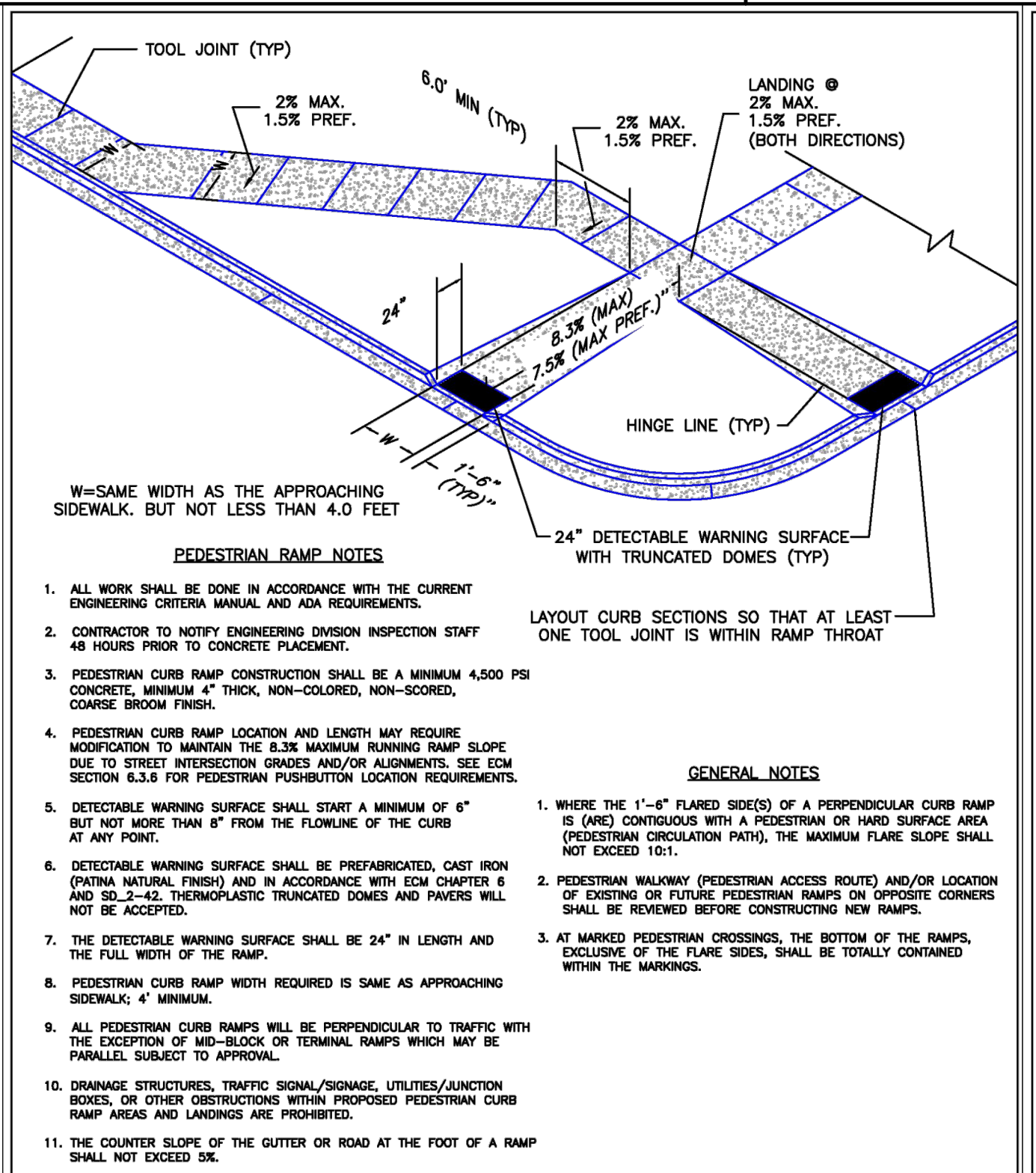
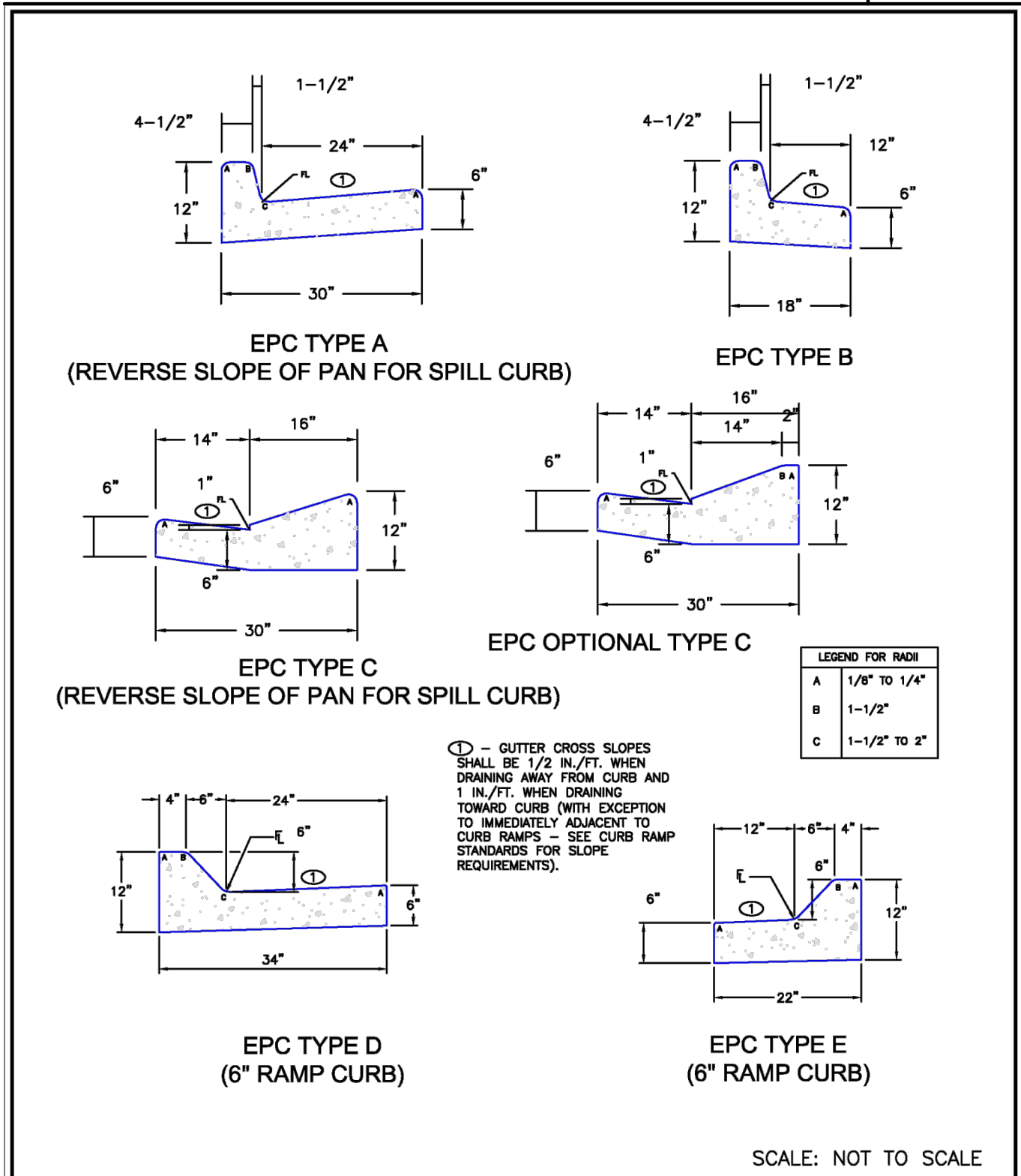
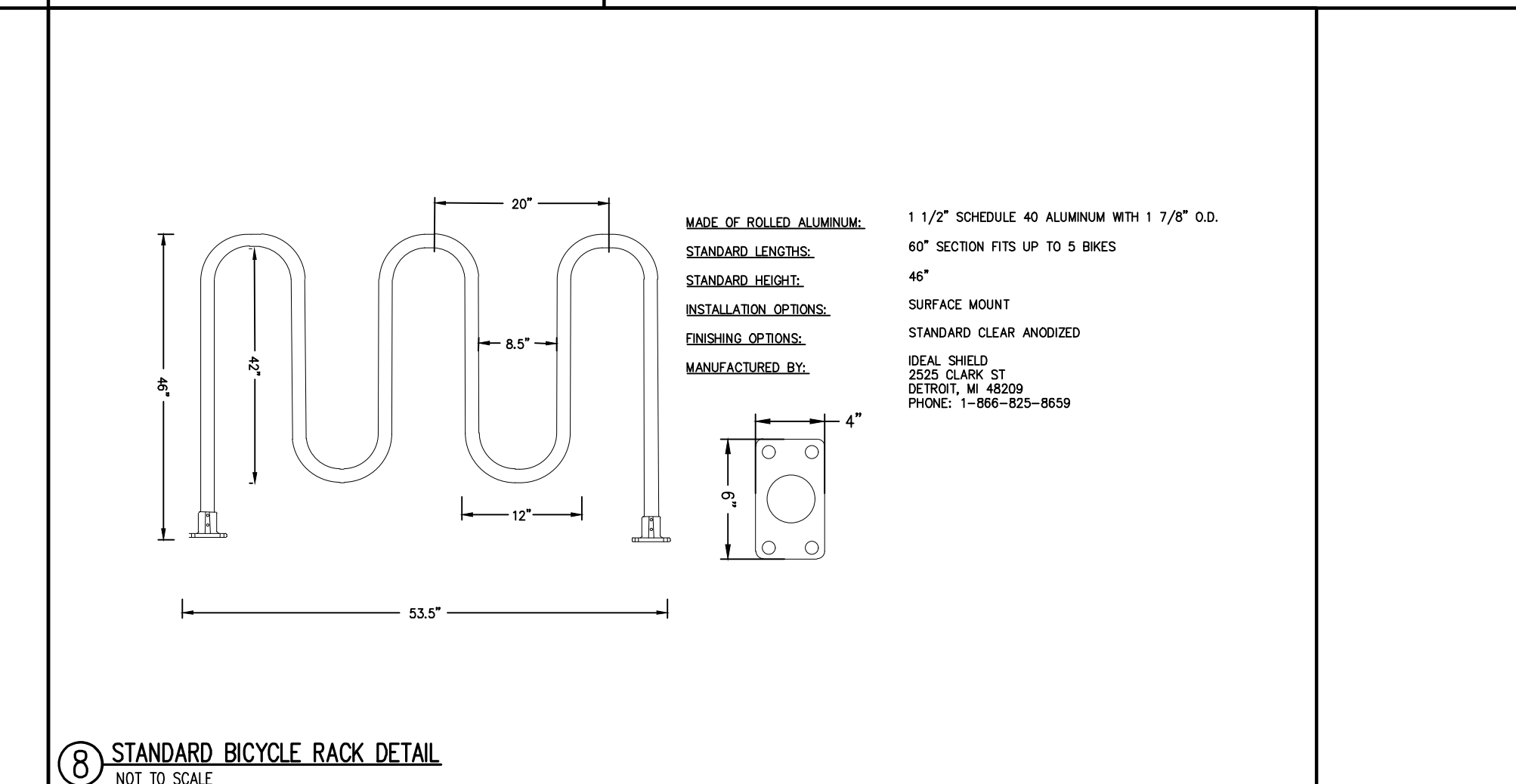
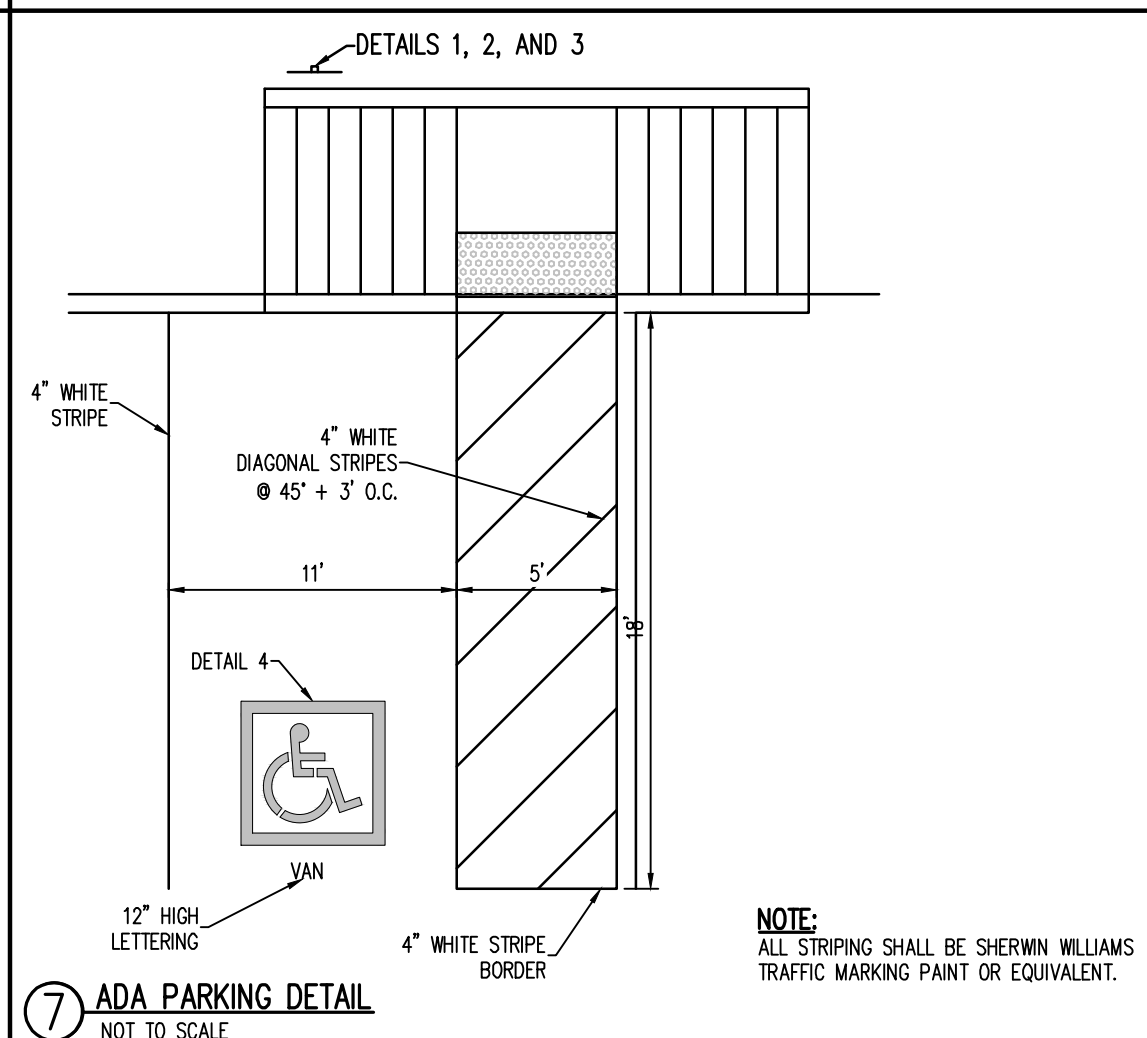
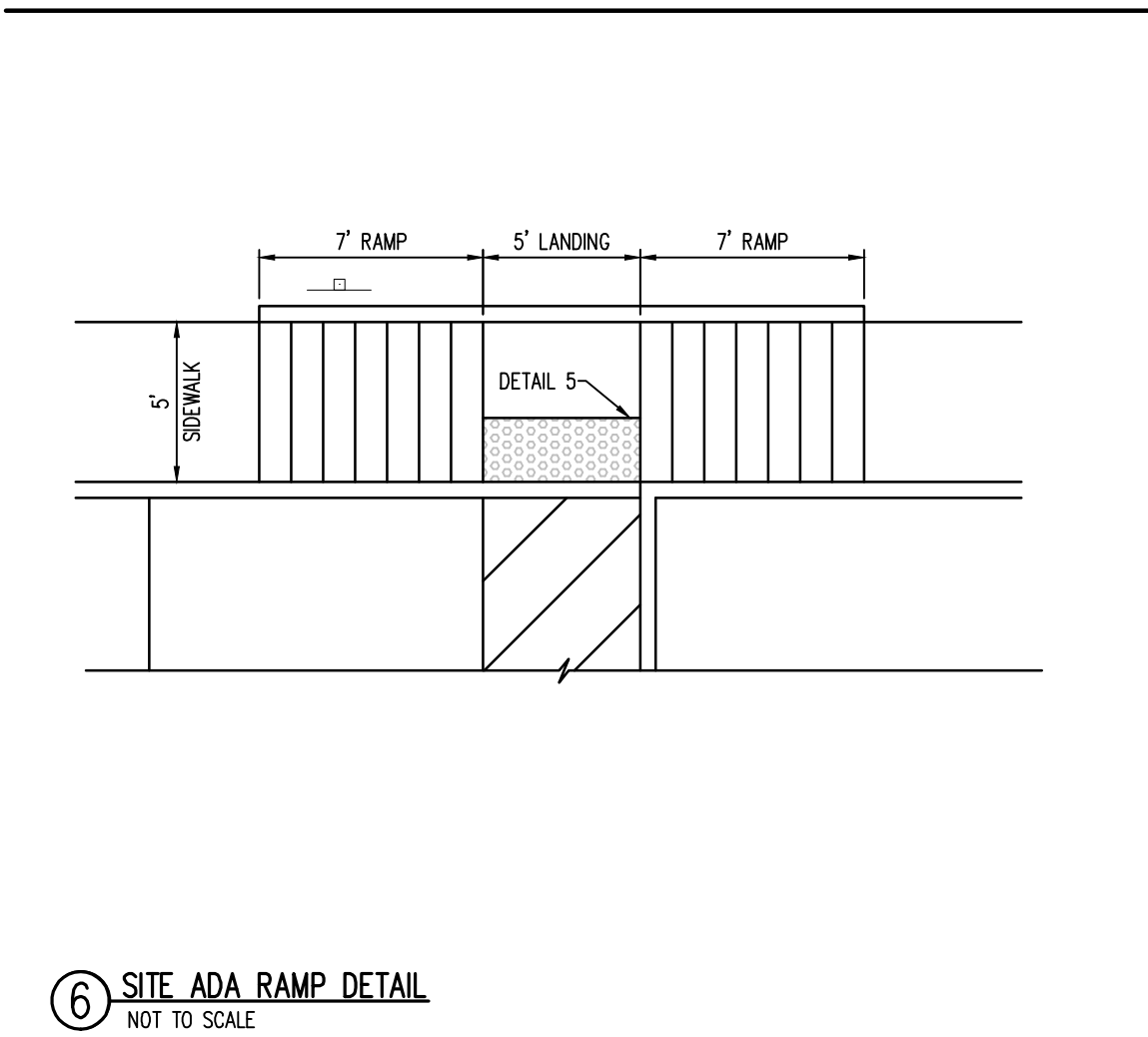
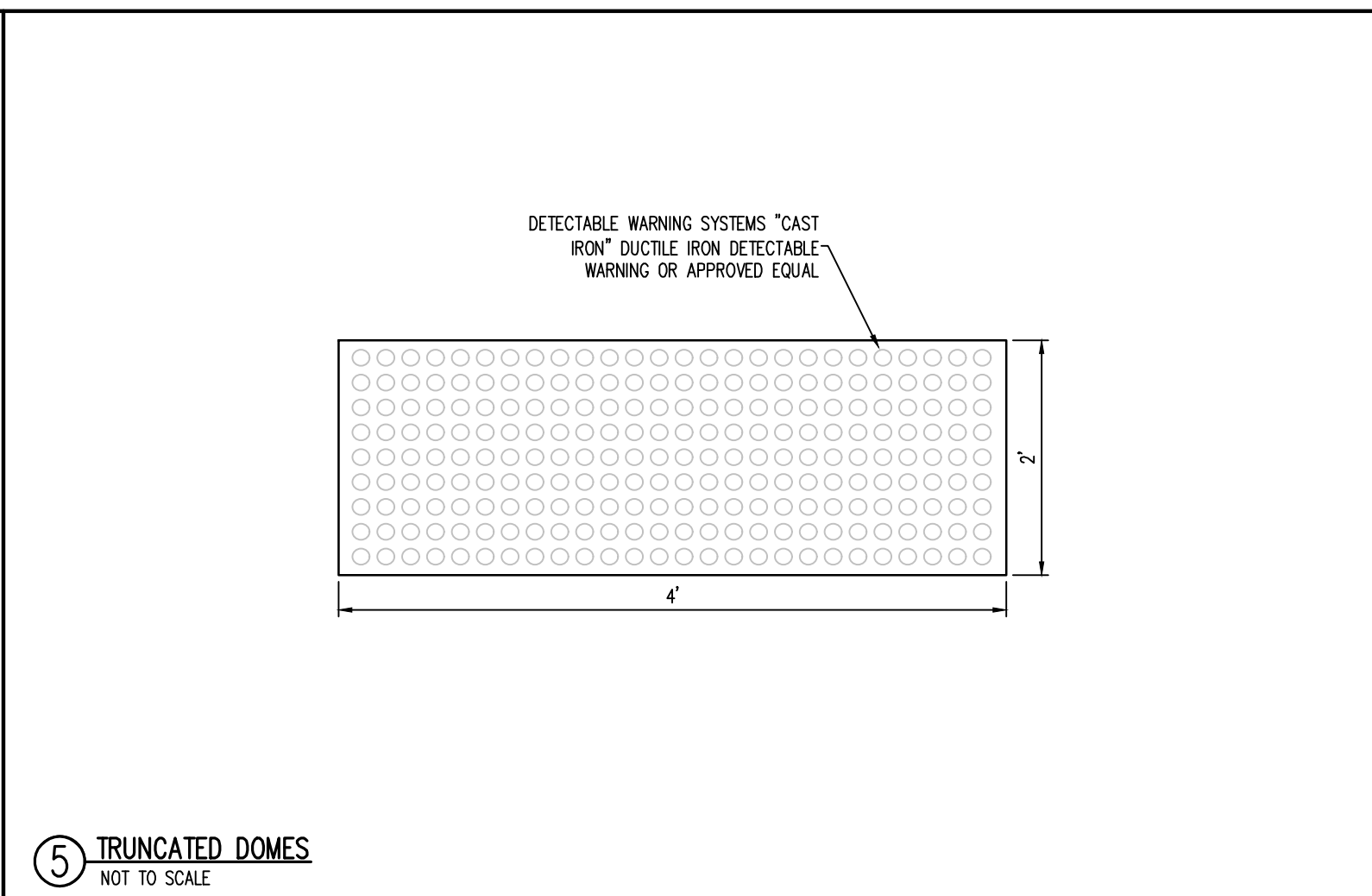
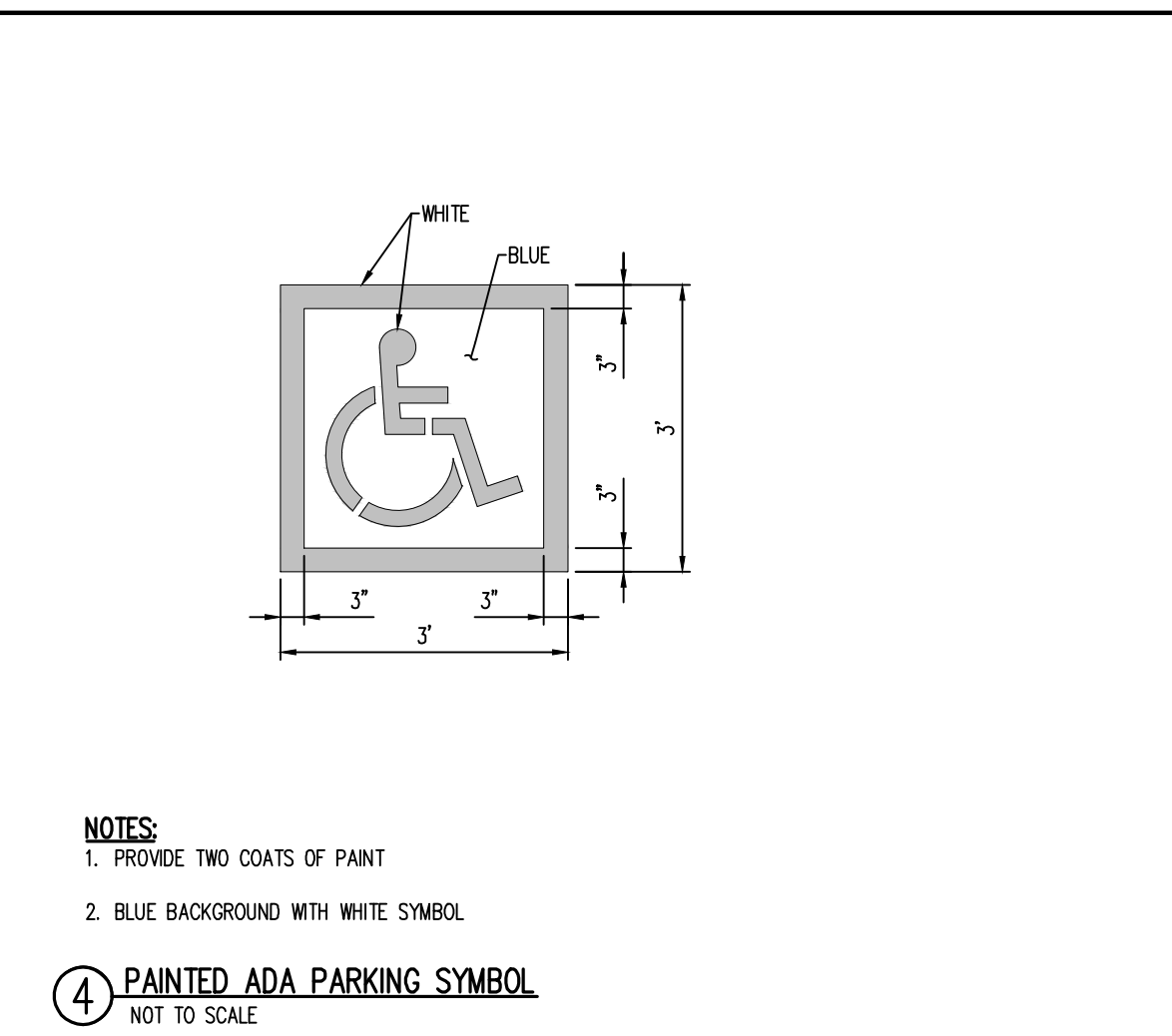
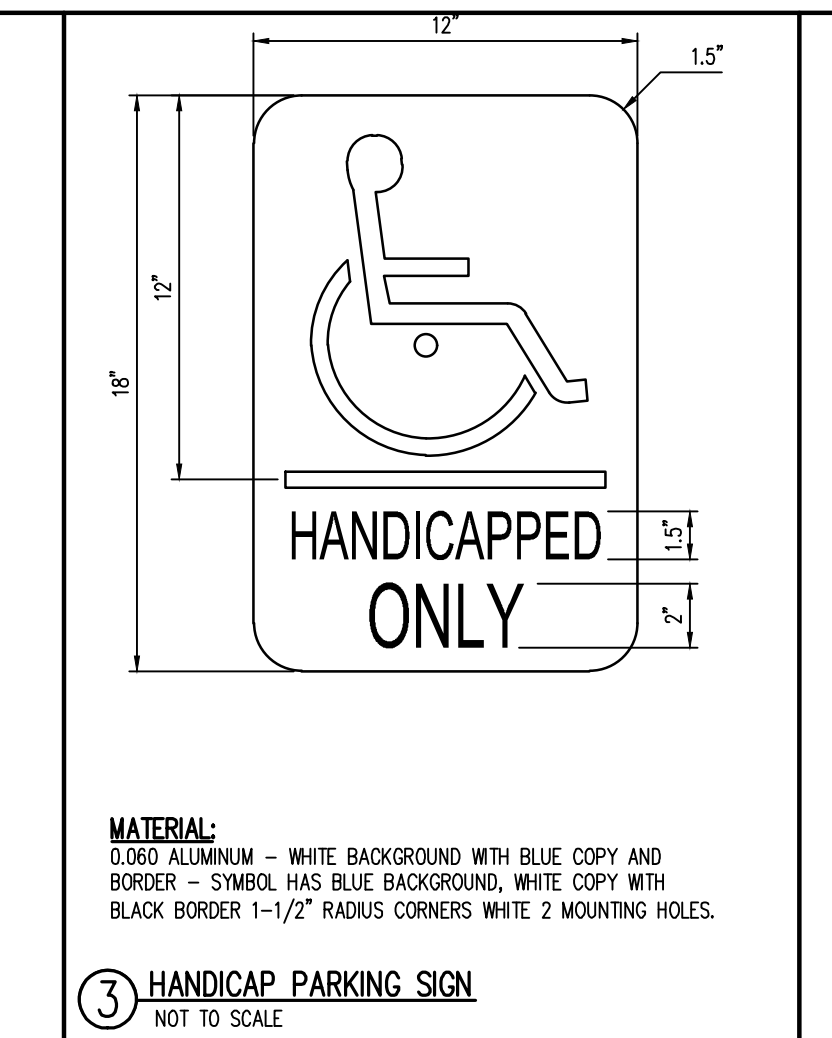
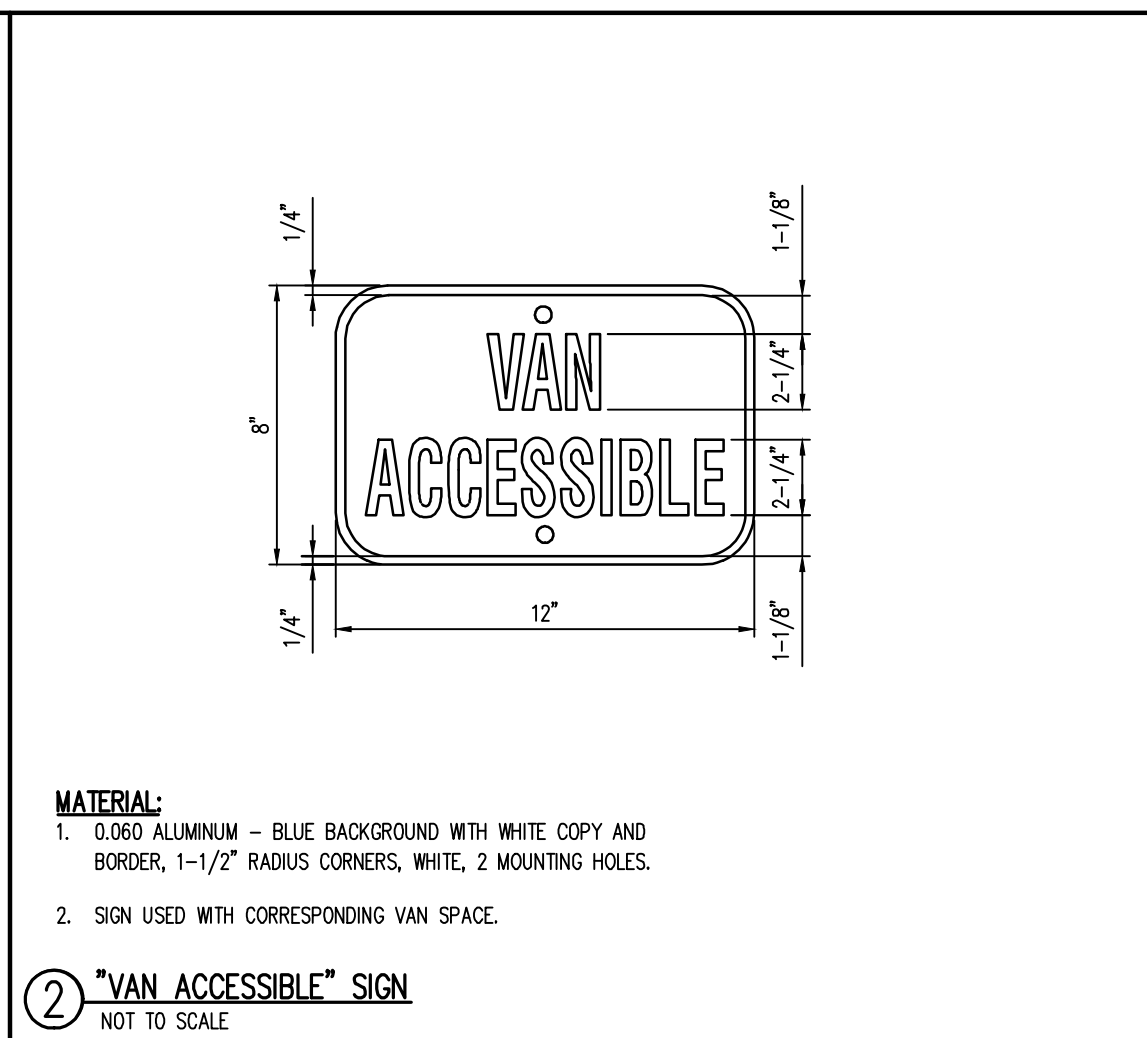
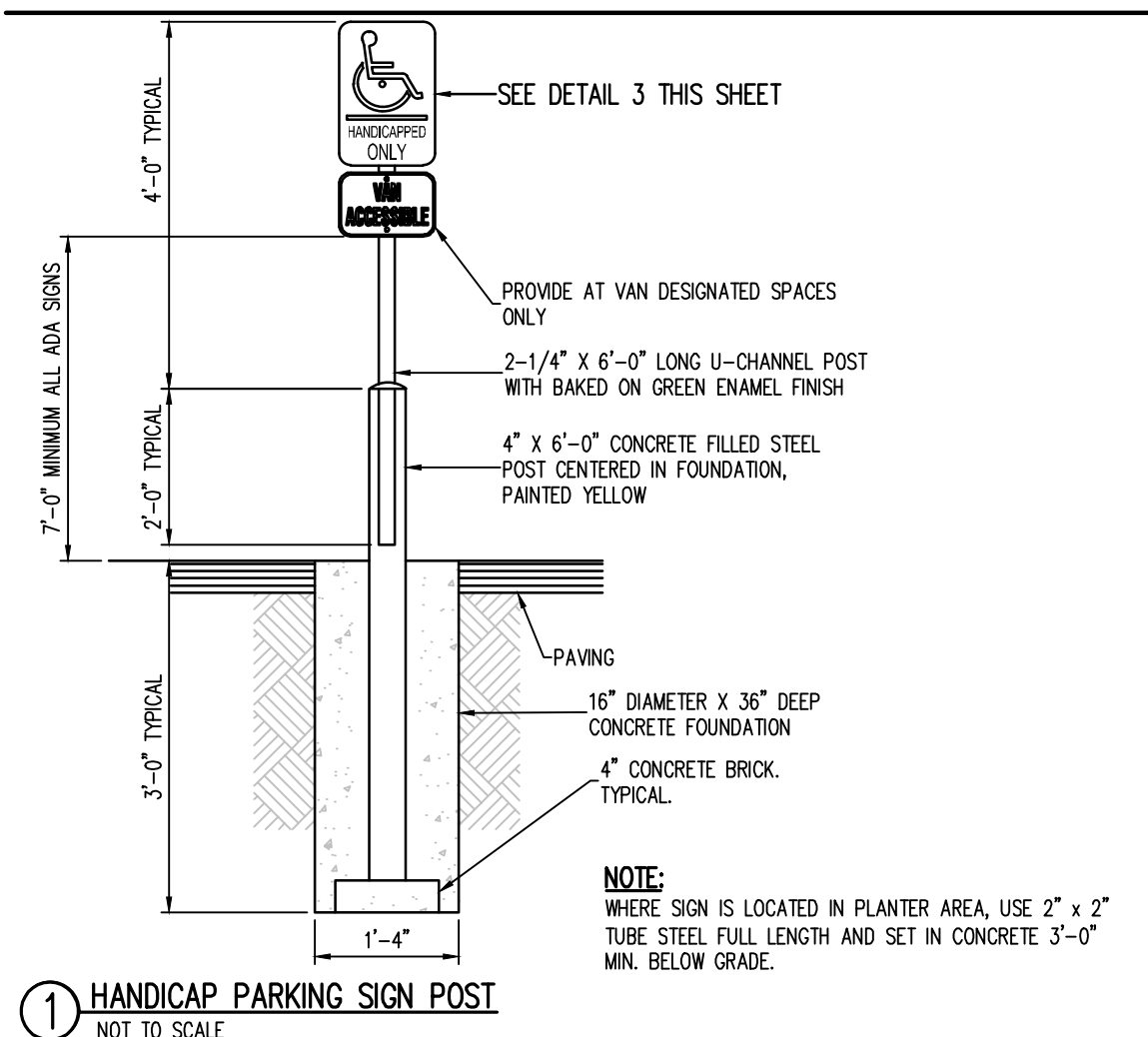
#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA  
 Checked By: BAS  
 Date: JULY 2023

**SIGNAGE & STRIPING PLAN**

**C4.1**

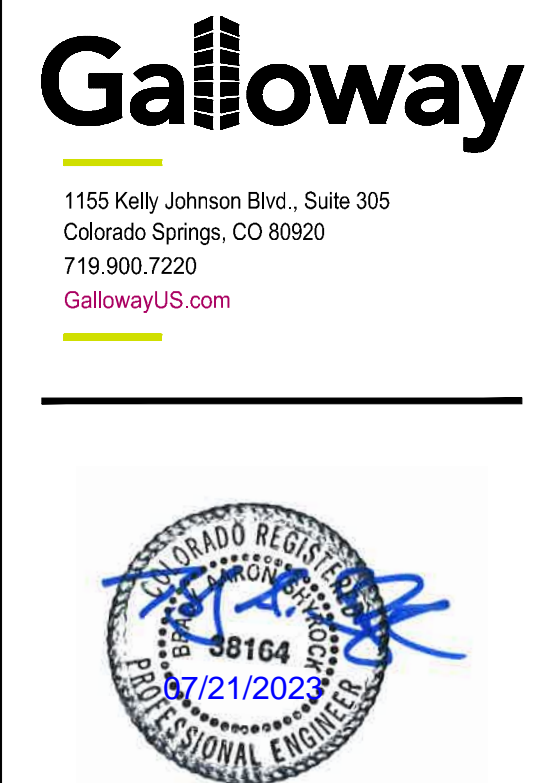




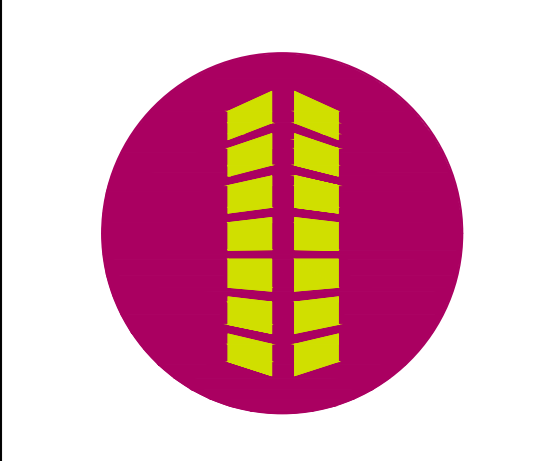
DATE APPROVED: 6/23/20	TYPICAL CURB AND GUTTER DETAILS	DEPARTMENT OF PUBLIC WORKS
APPROVED BY: Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-20	

DATE APPROVED: 6/23/20	PEDESTRIAN CURB RAMP DETAIL	DEPARTMENT OF PUBLIC WORKS
APPROVED BY: Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-41	

DATE APPROVED: 6/23/20	DETECTABLE WARNING SURFACE DETAILS	DEPARTMENT OF PUBLIC WORKS
APPROVED BY: Jennifer E. Irvine	Standard Drawing	
REVISION DATE: 6/23/20	FILE NAME: SD_2-42	



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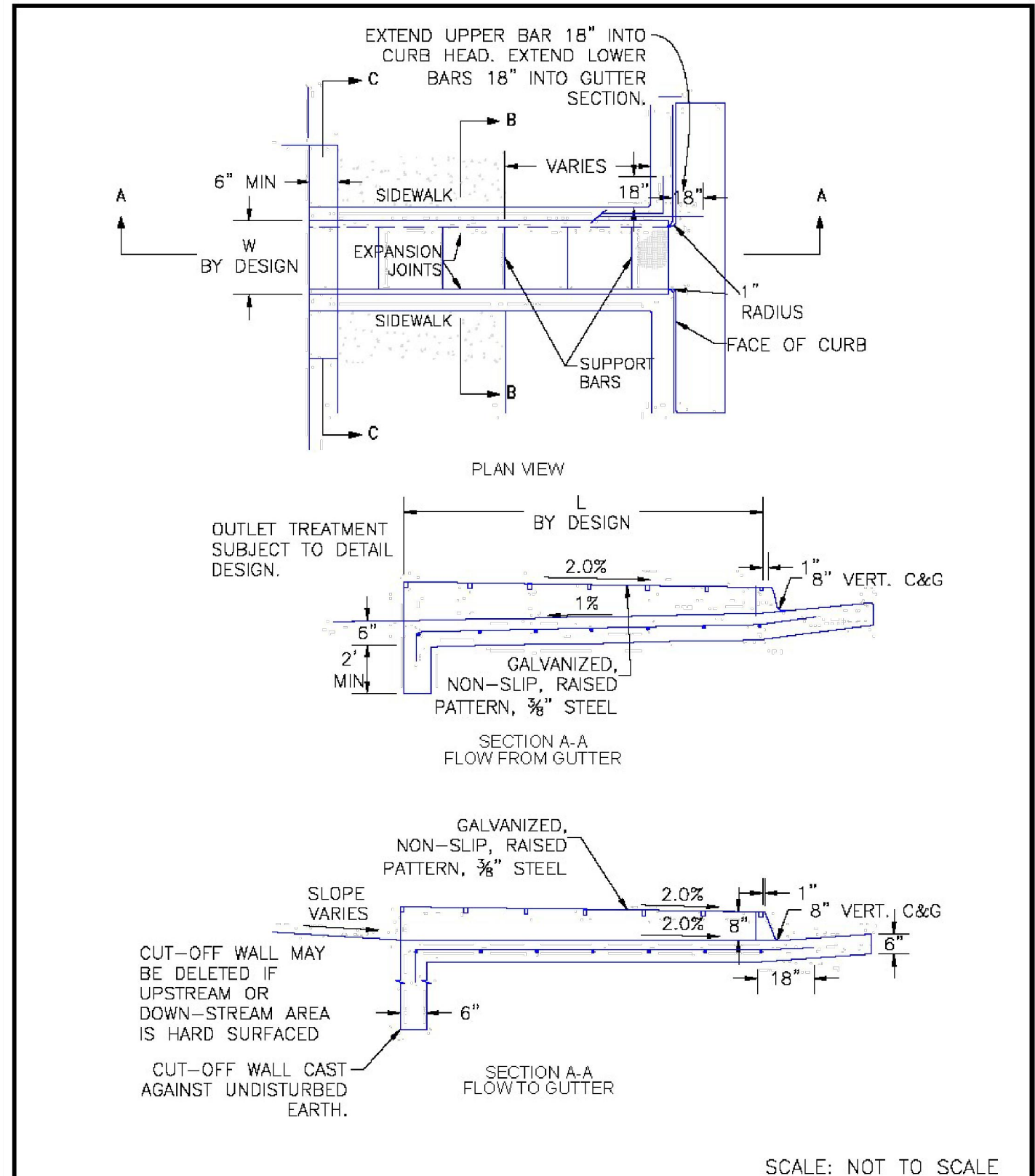
2460 CANADA DRIVE  
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FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION  
COLORADO SPRINGS, CO 80916

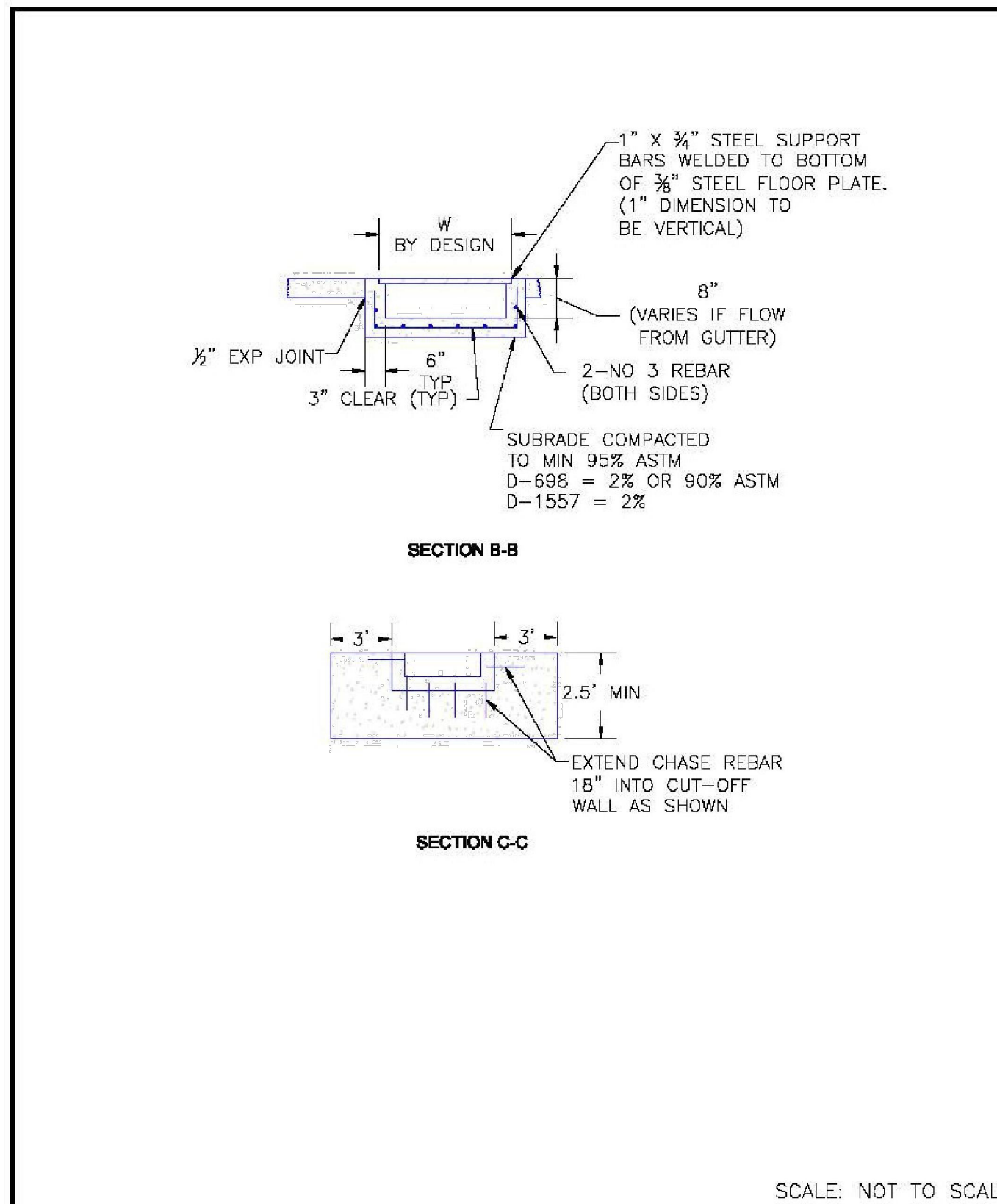
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Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JULY 2023

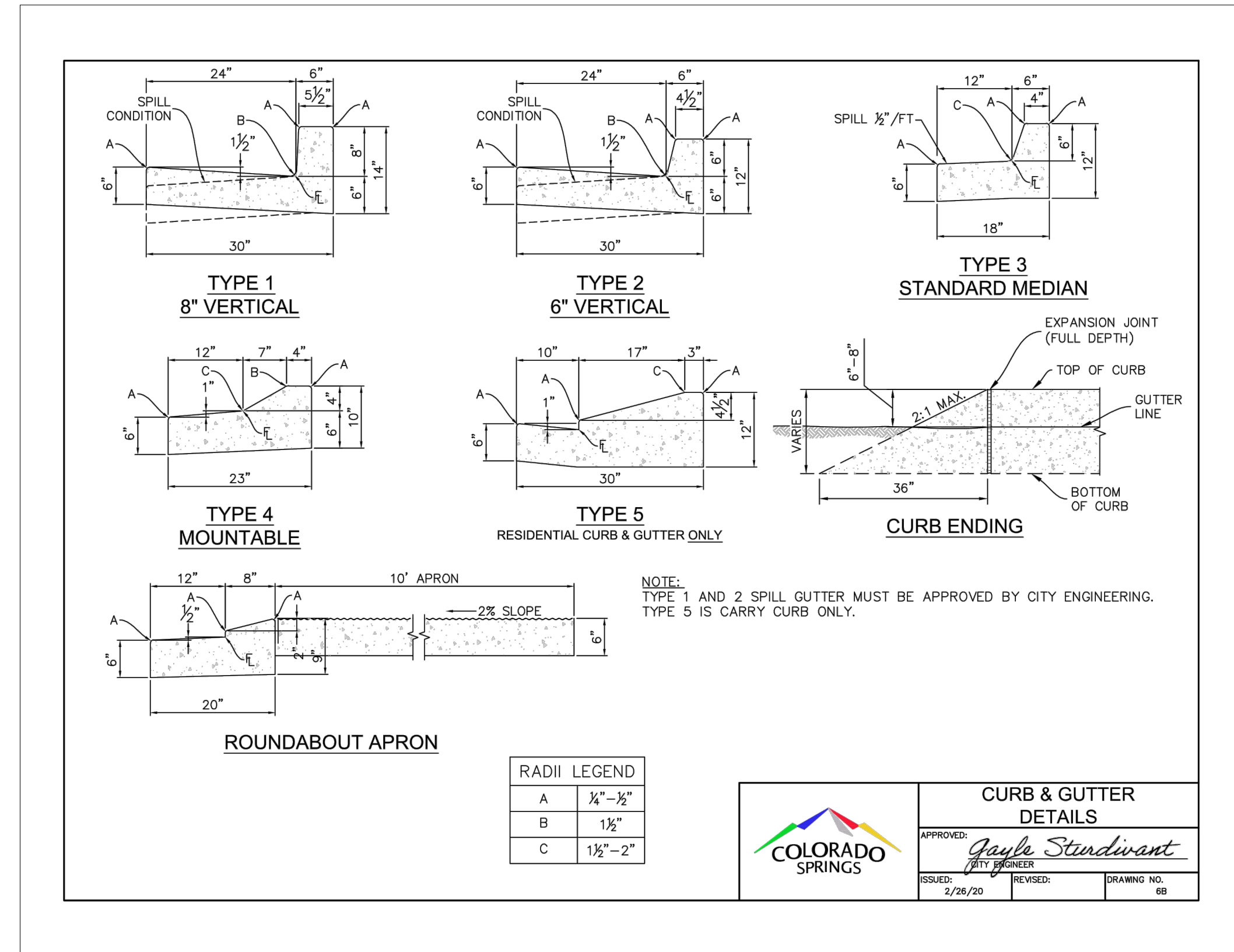
SITE DETAILS



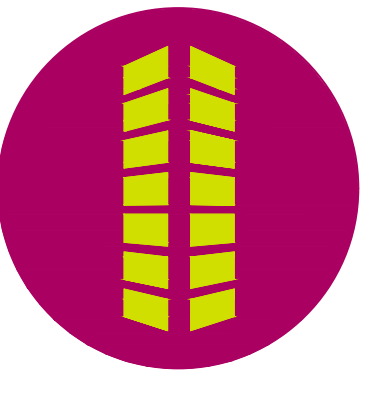
DATE APPROVED: 8/11/11	Curb Opening with Drainage Chase Detail 1 of 2 Standard Drawing		
ANDRÉ P. BRACKIN	REVISION DATE: 12/8/15	FILE NAME: SD_3-25	



DATE APPROVED: 8/11/11	Curb Opening with Drainage Chase Detail 2 of 2 Standard Drawing		
ANDRÉ P. BRACKIN	REVISION DATE: 11/10/04	FILE NAME: SD_3-25A	



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COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.

Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JULY 2023

JOHNSON DEVELOPMENT ASSOCIATES

# CONSTITUTION STORAGE

LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

## UTILITY SERVICE PLAN

PROJECT CONTACTS

**PROPERTY OWNER**  
 JASPERCO, LLC  
 5532 SADDLE ROCK TRAIL  
 COLORADO SPRINGS, CO 80918  
 ATTN: TONY COLON  
 EMAIL: TONY@COLORADOJAN.COM

**APPLICANT**  
 JOHNSON DEVELOPMENT ASSOCIATES, INC.  
 100 DUNBAR STREET, SUITE 400  
 SPARTANBURG, SC 29306  
 TELE: (864) 529-1297  
 ATTN: BRIAN KEARNEY  
 EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

**CIVIL ENGINEER**  
 GALLOWAY & CO., INC.  
 1155 KELLY JOHNSON BLVD., SUITE 305  
 COLORADO SPRINGS, CO 80920  
 TELE: (719) 591-7220  
 ATTN: BRADY SHYROCK, P.E.  
 EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

**GEOTECHNICAL ENGINEER**  
 ROCKY MOUNTAIN GEOTECHNICAL, INC.  
 555 E. PICES PEAK AVE, SUITE 107  
 COLORADO SPRINGS, CO 80903  
 TELE: (303) 634-1999  
 ATTN: KENNETH L. MEYERS, PE

**TRAFFIC ENGINEER**  
 GALLOWAY & CO., INC.  
 3500 GREENWOOD PLAZA BLVD, SUITE 200  
 GREENWOOD VILLAGE, CO 80111  
 TELE: (303) 770-8884  
 ATTN: BRIAN HORAN, P.E.  
 EMAIL: BRIANHORAN@GALLOWAYUS.COM

**SURVEYOR**  
 GALLOWAY & CO., INC.  
 1155 KELLY JOHNSON BLVD., SUITE 305  
 COLORADO SPRINGS, CO 80920  
 TELE: (719) 337-1262  
 ATTN: BRIAN DENNIS  
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

UTILITY SERVICE PLAN NOTES:

THE CONTRACTOR SHALL NOTIFY CHEROKEE METROPOLITAN DISTRICT A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

**GENERAL:**  
 1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET COLORADO SPRINGS UTILITIES' WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS) AND CHEROKEE METROPOLITAN DISTRICT INFRASTRUCTURE CONSTRUCTION STANDARDS.  
 2. CHEROKEE METROPOLITAN DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.  
 3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METROPOLITAN DISTRICT.  
 4. ALL FIELD STAKING SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND THE INFRASTRUCTURE CONSTRUCTION STANDARDS.  
 5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND THE INFRASTRUCTURE CONSTRUCTION STANDARDS.  
 6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICE SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METROPOLITAN DISTRICT INSPECTOR.  
 7. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH CHAPTER 4 OF THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND SECTION 5.18 OF THE WATER LESS.

**WASTEWATER:**  
 1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"x4"x12" STEEL OR WOODEN POST.  
 2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.  
 3. ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.  
 4. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.

**WATER:**  
 1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE DETAIL DRAWING B2-3).  
 2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.  
 3. ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-SECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCOHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.  
 4. ALL TAPS ON CHEROKEE METRO DISTRICT WATER MAINS SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE SUPERVISION OF CHEROKEE METROPOLITAN DISTRICT PERSONNEL.  
 5. ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY CHEROKEE METROPOLITAN DISTRICT.  
 6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 5 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.  
 7. ALL HOPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.

UTILITY CONTACTS

**WATER & WASTEWATER**  
 CHEROKEE METROPOLITAN DISTRICT  
 6250 PALMER PARK BLVD.  
 COLORADO SPRINGS, CO 80915  
 TELE: (719) 597-5000  
 ATTN: KEVIN BROWN  
 EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

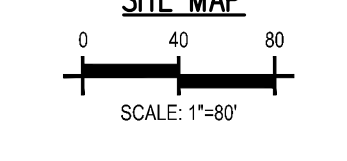
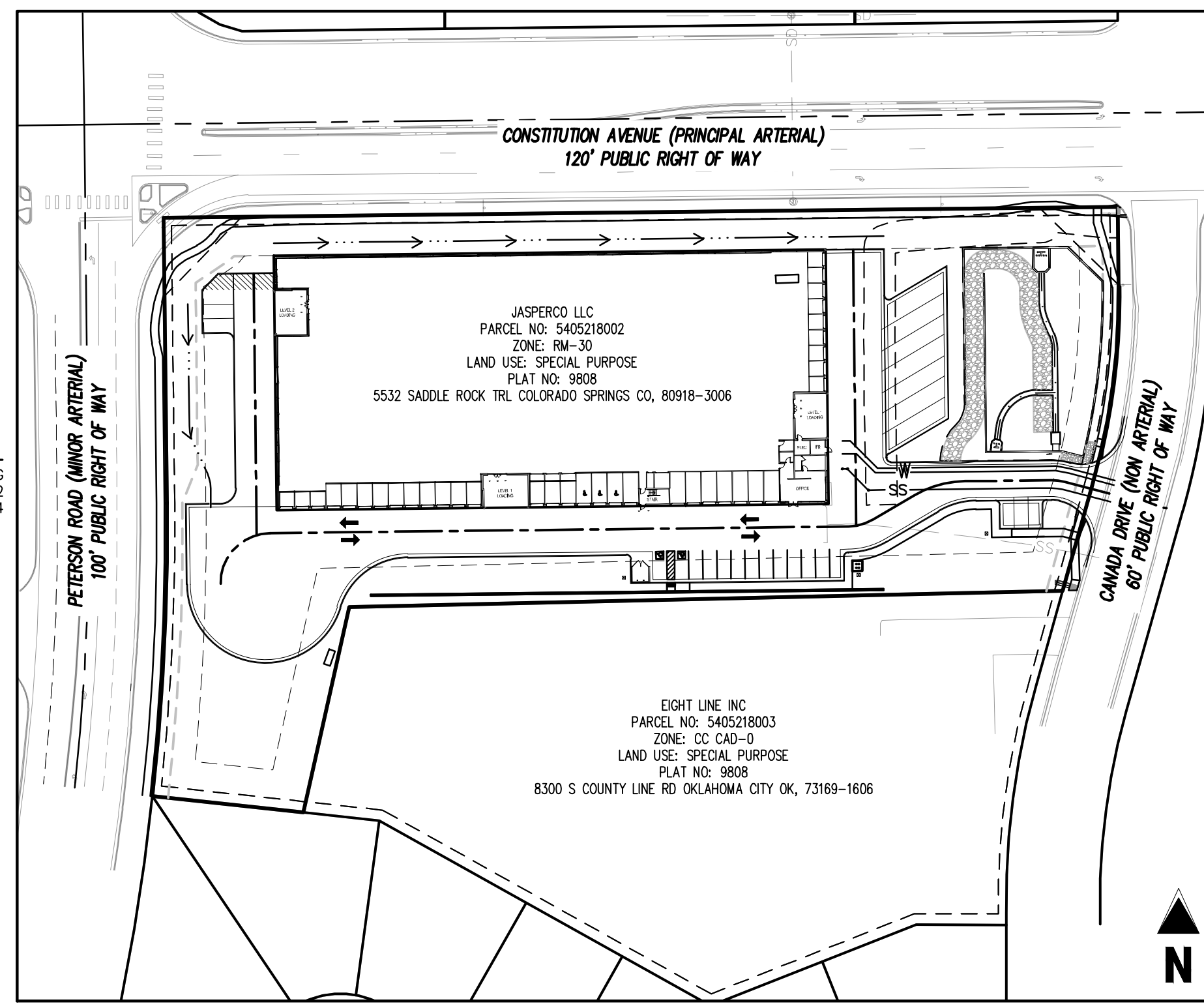
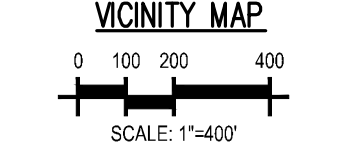
**ELECTRIC**  
 MOUNTAIN VIEW ELECTRIC  
 11440 E WOODMEN RD  
 FALCON, CO 80831  
 TELE: (719) 495-2283  
 CATHY HANSEN-LEE  
 EMAIL: CATHYH@MVEA.COOP

**NATURAL GAS**  
 COLORADO SPRINGS UTILITIES (CSU)  
 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150  
 COLORADO SPRINGS, CO 80947-2150  
 TELE: (719) 668-5573  
 AARON CASSIDY  
 EMAIL: ACASSIDY@CSU.ORG

**FIRE**  
 OSMARRON HILLS FIRE PROTECTION DISTRICT  
 1635 TUSCKEE PL  
 COLORADO SPRINGS, CO 80915  
 TELE: (719) 591-0960  
 EMAIL: JMCELDON@OSMARRON



SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	U0.0
2	UTILITY SERVICE PLAN	U1.1



**PLAN INFORMATION BLOCK**

FMS MAP NUMBER .....	0804107520
TAX SCHEDULE NO. ....	5405218002
DEVELOPMENT PLAN NUMBER .....	PPR-2224

**LIST OF ABBREVIATIONS**

SHIT - SHEET
Δ - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - CHORD BEARING
C - CHORD LENGTH
N - NORTH/NORTHING
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WWF - WELDED WIRE FABRIC
VERT - VERTICAL
OC - ON CENTER
FDC - FIRE DEPARTMENT CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
REC - RECEPTION NUMBER
Ø, DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDP - HIGH DENSITY POLYETHYLENE

**BASES OF BEARINGS**  
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 FIMS DATUM ELEVATION = 6534.61

**EL PASO COUNTY**  
 COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT, FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

COUNTY ENGINEER / EDCM ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

PCD FILING NO. \_\_\_\_\_  
 PPR-2224

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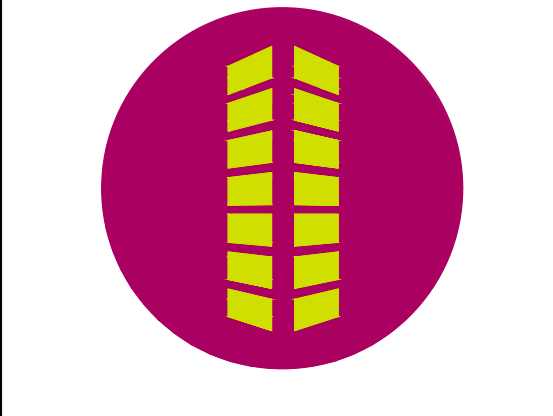
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Know what's below. Call before you dig.

**Galloway**  
 1155 Kelly Johnson Blvd., Suite 305  
 Colorado Springs, CO 80920  
 719.900.7220  
[GallowayUS.com](http://GallowayUS.com)



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2460 CANADA DRIVE, STORAGE SITE  
 INDUSTRIAL DEVELOPMENT  
 UTILITY PLAN  
 FOR JOHNSON DEVELOPMENT ASSOCIATES  
 LOT 1 OF THE EIGHT LINE SUBDIVISION  
 COLORADO SPRINGS, CO 80916

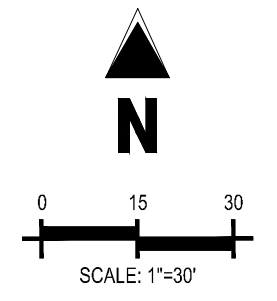
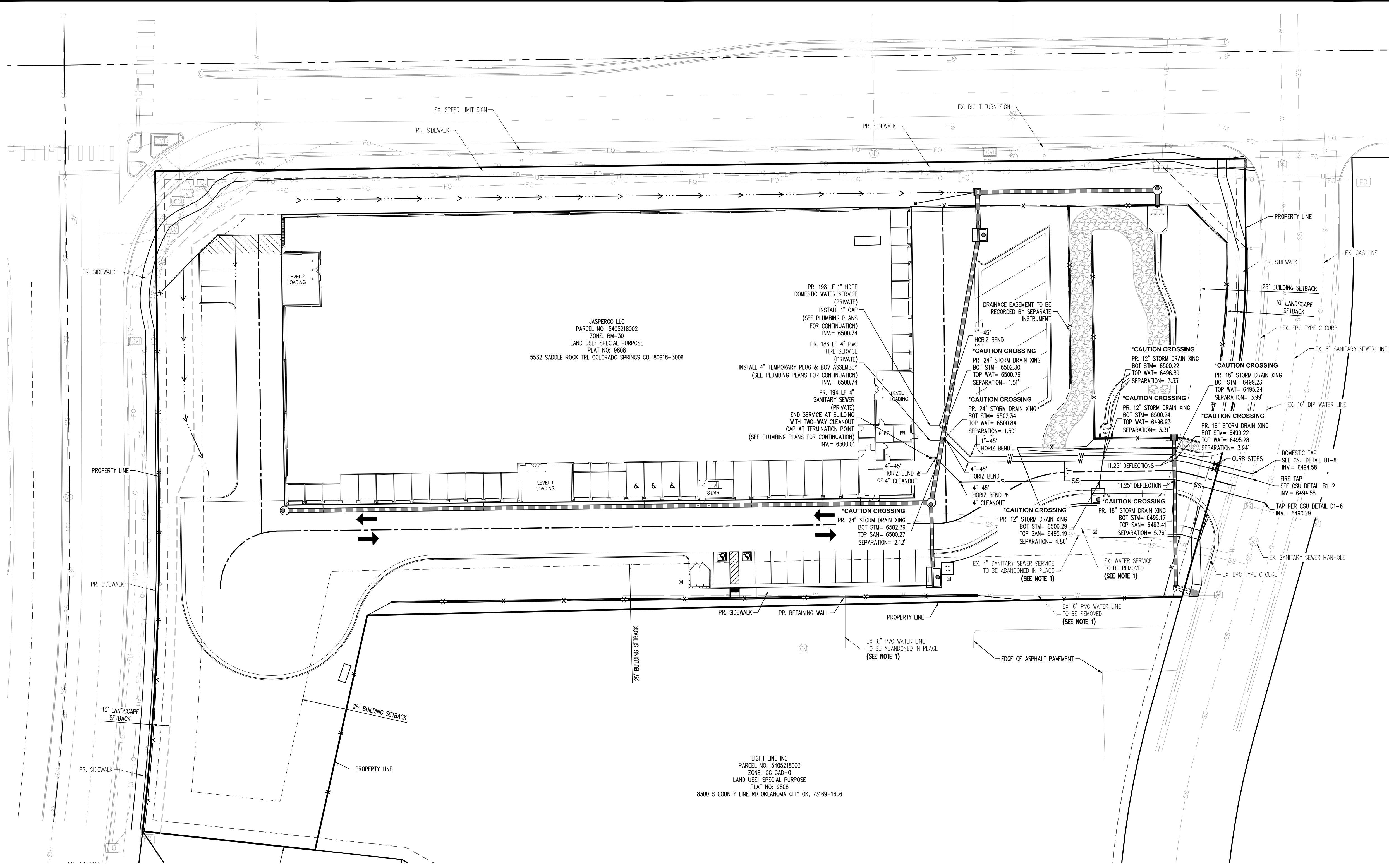
#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: BLB  
 Checked By: BAS  
 Date: JULY 2023

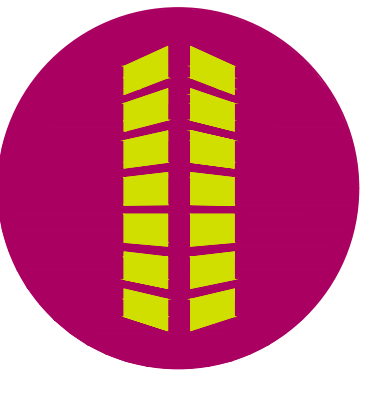
COVER SHEET

# U0.0

Sheet 1 of 2



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**2460 CANADA DRIVE, STORAGE SITE  
INDUSTRIAL DEVELOPMENT  
UTILITY PLAN  
FOR JOHNSON DEVELOPMENT ASSOCIATES**  
**LOT 1 OF THE EIGHT LINE SUBDIVISION  
COLORADO SPRINGS, CO 80916**

**NOTES**  
1. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.  
2. CONTRACTOR TO MAINTAIN VERTICAL SEPARATION PER EPC & CSU STANDARDS.

NOTE: PER COLORADO SENATE BILL 18-167, ALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER, MUST BE INSTALLED WITH A DETECTABLE MATERIAL SO THEY CAN BE TRACED AT GROUND LEVEL. ENSURE ALL PIPES INSTALLED ARE EQUIPPED WITH A MEANS OF BEING DETECTED, AS PER CITY STANDARD D-37.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.  
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA  
Checked By: BAS  
Date: JULY 2023

**UTILITY SERVICE PLAN**

\\s:\development\assessments\2023\Colorado Springs - Commercial\assessments\2023\Colorado Springs - Commercial\18111\_L0180 - Review\18111\_U11.dwg, 1/21/2023





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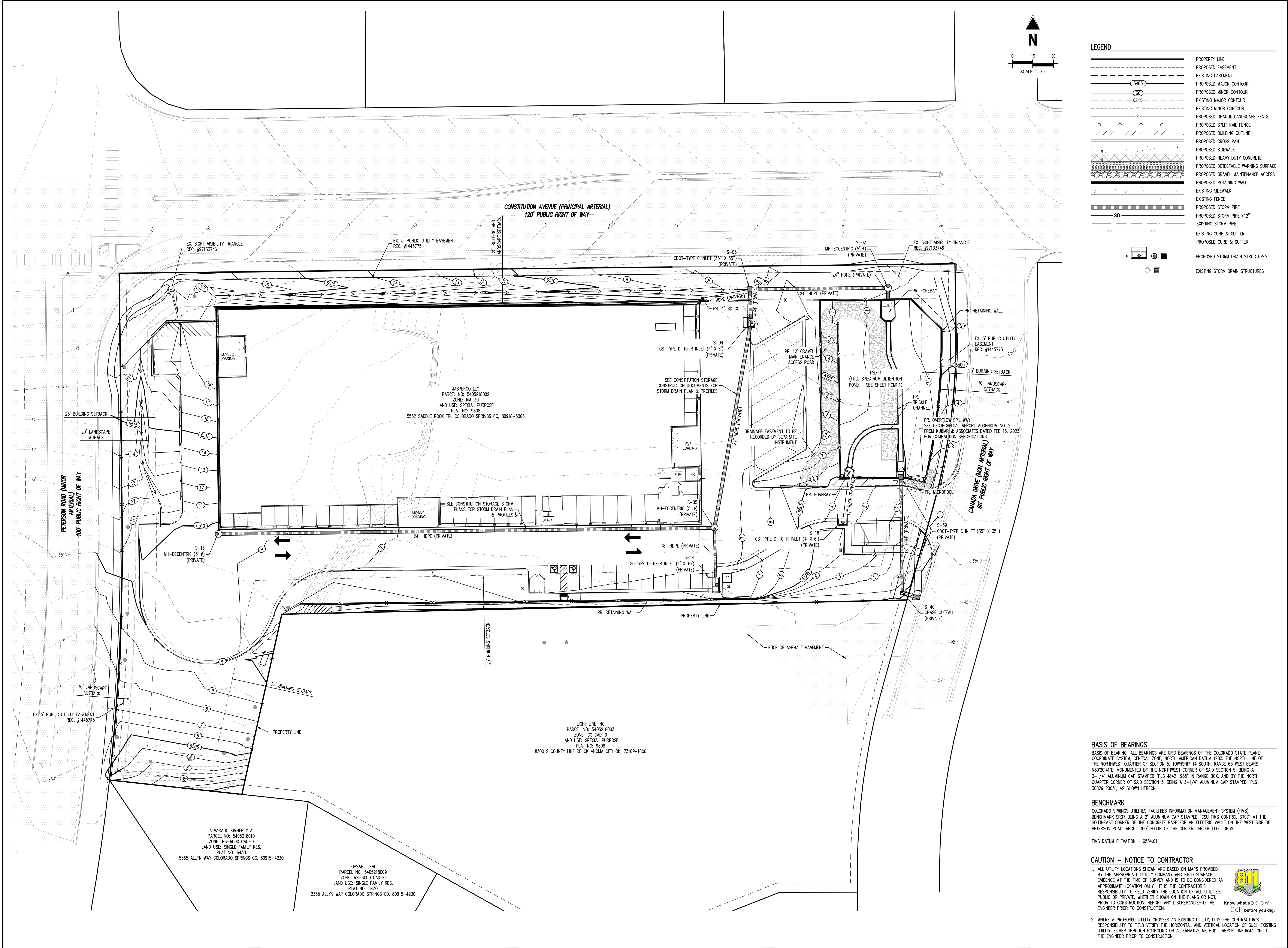
**PRIVATE PERMANENT CONTROL MEASURE PLAN  
 CONSTITUTION STORAGE**  
**JOHNSON DEVELOPMENT ASSOCIATES**  
 2460 CANADA DRIVE  
 COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA/MRK  
 Checked By: BAS  
 Date: JULY 2023

OVERALL PCM PLAN

**PCM1.0**  
 Sheet 2 of 6



**LEGEND**

- PROPERTY LINE
- - - - - PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED OPAQUE LANDSCAPE FENCE
- PROPOSED SPLIT RAIL FENCE
- PROPOSED BUILDING OUTLINE
- PROPOSED CROSS PAN
- PROPOSED SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED DETECTABLE WARNING SURFACE
- PROPOSED GRAVEL MAINTENANCE ACCESS
- PROPOSED RETAINING WALL
- EXISTING SIDEWALK
- EXISTING FENCE
- PROPOSED STORM PIPE
- PROPOSED STORM PIPE <12"
- EXISTING STORM PIPE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN STRUCTURES
- EXISTING STORM DRAIN STRUCTURES

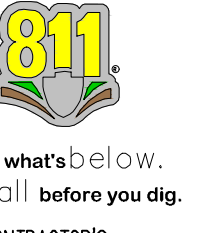
**BASIS OF BEARINGS**  
 BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**  
 COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
 BENCHMARK: SPOT BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SPOT" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





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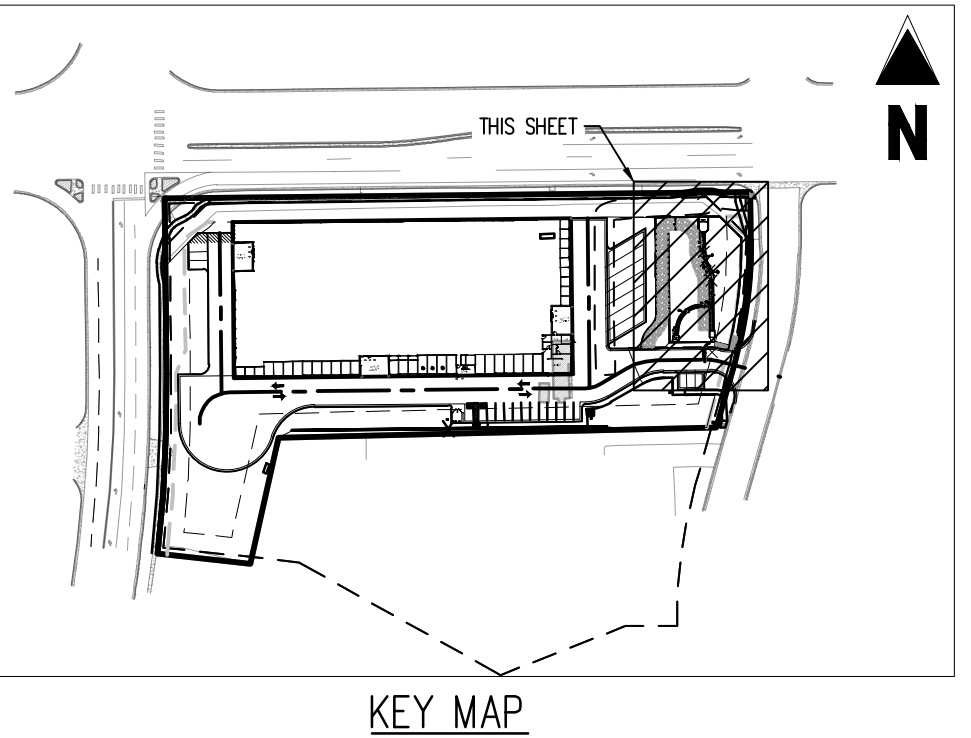
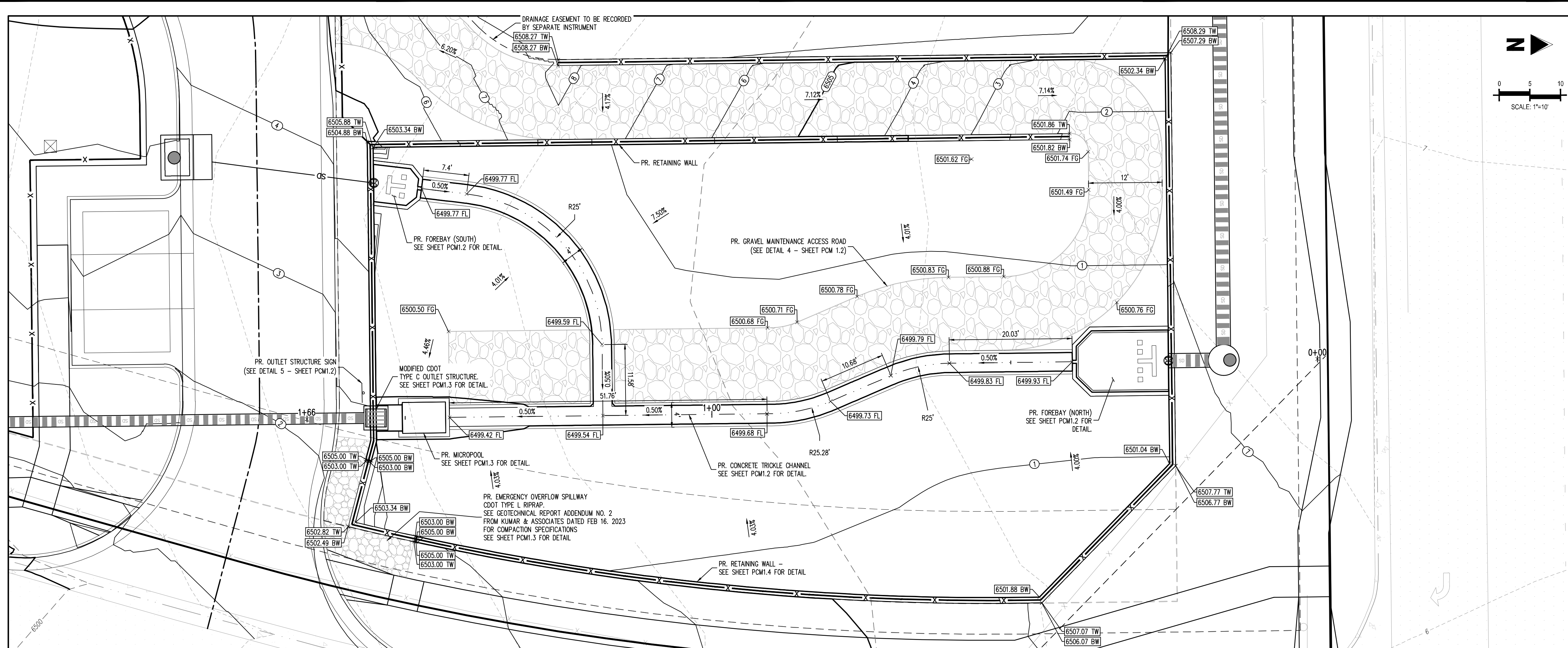
PRIVATE PERMANENT CONTROL MEASURE PLAN  
CONSTITUTION STORAGE  
JOHNSON DEVELOPMENT ASSOCIATES  
2460 CANADA DRIVE  
COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA/MRK  
Checked By: BAS  
Date: JULY 2023

POND PLAN

**PCM1.1**  
Sheet 3 of 6



**LEGEND**

---	PROPERTY LINE
- - - -	PROPOSED EASEMENT
- - - -	EXISTING EASEMENT
⊖	PROPOSED MAJOR CONTOUR
⊖	PROPOSED MINOR CONTOUR
⊖	EXISTING MAJOR CONTOUR
⊖	EXISTING MINOR CONTOUR
X	PROPOSED OPAQUE LANDSCAPE FENCE
⊖	PROPOSED SPLIT RAIL FENCE
⊖	PROPOSED BUILDING OUTLINE
⊖	PROPOSED CROSS PAV.
⊖	PROPOSED SIDEWALK
⊖	PROPOSED HEAVY DUTY CONCRETE
⊖	PROPOSED DETECTABLE WARNING SURFACE
⊖	PROPOSED GRAVEL MAINTENANCE ACCESS
⊖	PROPOSED RETAINING WALL
⊖	EXISTING SIDEWALK
⊖	EXISTING FENCE
⊖	PROPOSED STORM PIPE
⊖	PROPOSED STORM PIPE <12"
⊖	EXISTING STORM PIPE
⊖	EXISTING CURB & GUTTER
⊖	PROPOSED CURB & GUTTER
⊖	PROPOSED STORM DRAIN STRUCTURES
⊖	EXISTING STORM DRAIN STRUCTURES

NOTE: SEE APPROVED DEVELOPMENT PLAN FOR THE PROPOSED LANDSCAPING PLANS FOR LANDSCAPING WITHIN THE PERMANENT BMP AREA.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS, AND/OR ANY OTHER CERTIFICATES OF INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

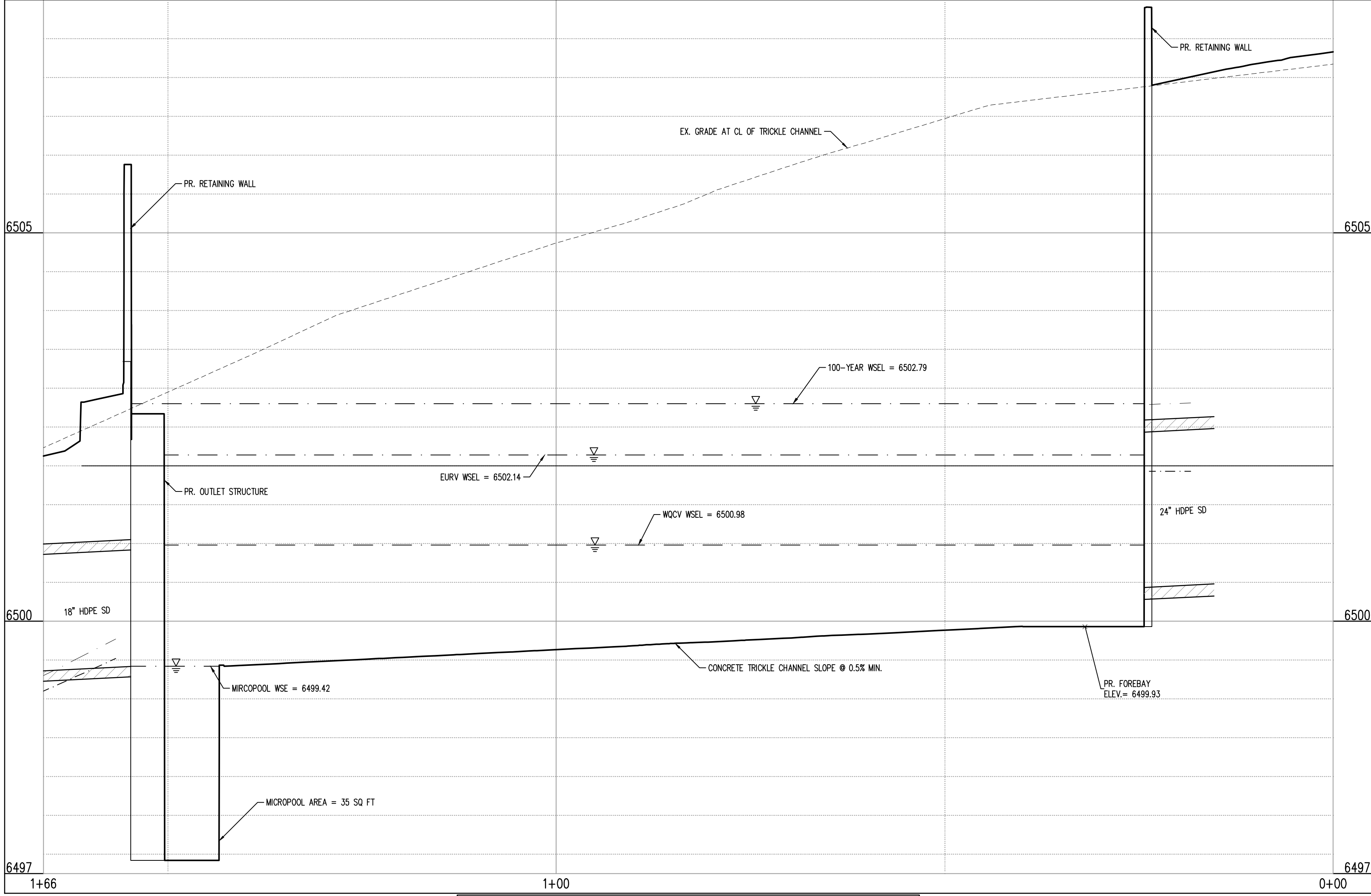
- NOTES:**
- REFER TO CONSTITUTION STORAGE PRIVATE IMPROVEMENT PLANS FOR ALL STORM PIPE, INLET, MANHOLE AND APPURTENANCE INFORMATION.
  - ALL STORM PIPE SHALL BE RCP CLASS 3 MINIMUM OR HDPE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED. TRENCH BEDDING SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
  - ALL STORMWATER FACILITIES SHOWN ON THESE PLANS ARE ASSUMED PRIVATE UNLESS OTHERWISE NOTED.
  - WALLS EXCEEDING 4' (MEASURED FROM BOTTOM OF FOOTING TO TOP OF WALL) MAY REQUIRE A BUILDING PERMIT.
  - EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.
  - SOILS WITHIN THE SITE ARE TRUCKTON SANDY LOAM.
  - BOTTOM OF POND TO HAVE A MINIMUM SLOPE OF 3% TO THE TRICKLE CHANNEL AND MICROPOOL.

**BASIS OF BEARINGS**  
BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**  
COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

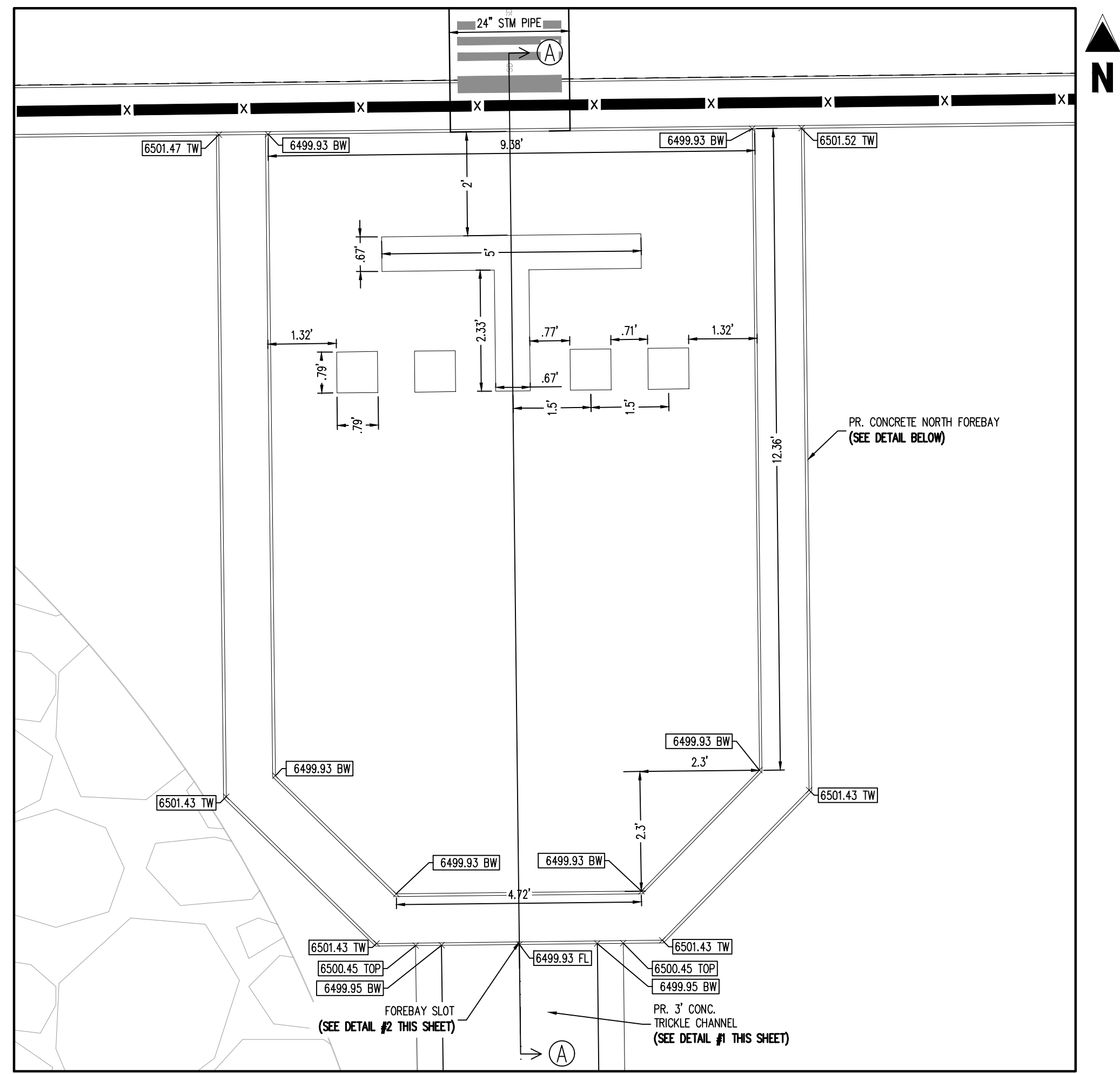
FIMS DATUM ELEVATION = 6534.61

- CAUTION - NOTICE TO CONTRACTOR**
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
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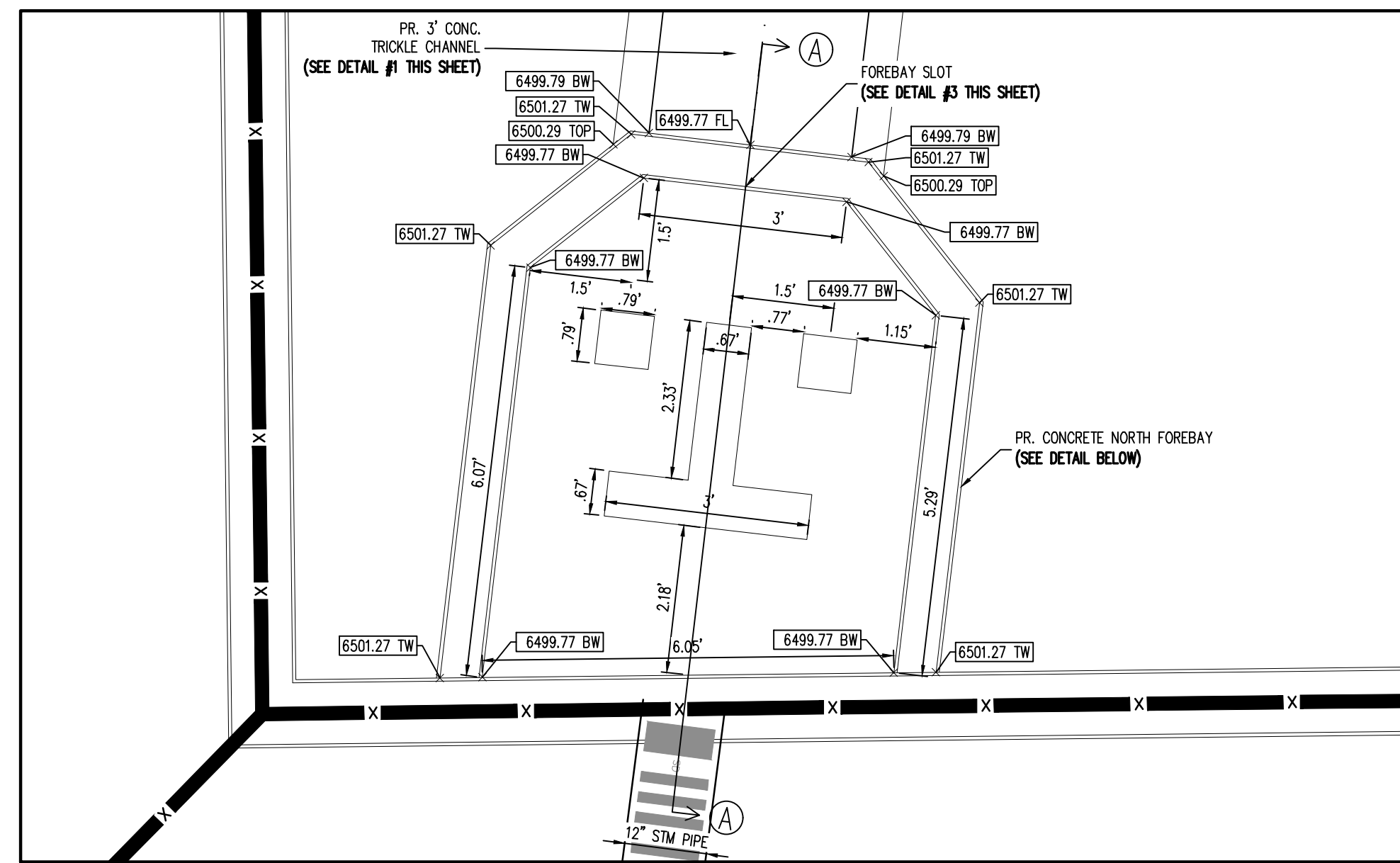


POND CL. (STA: 0+00 TO 1+66) - SCALE: H: 1"=10' V: 1"=1'

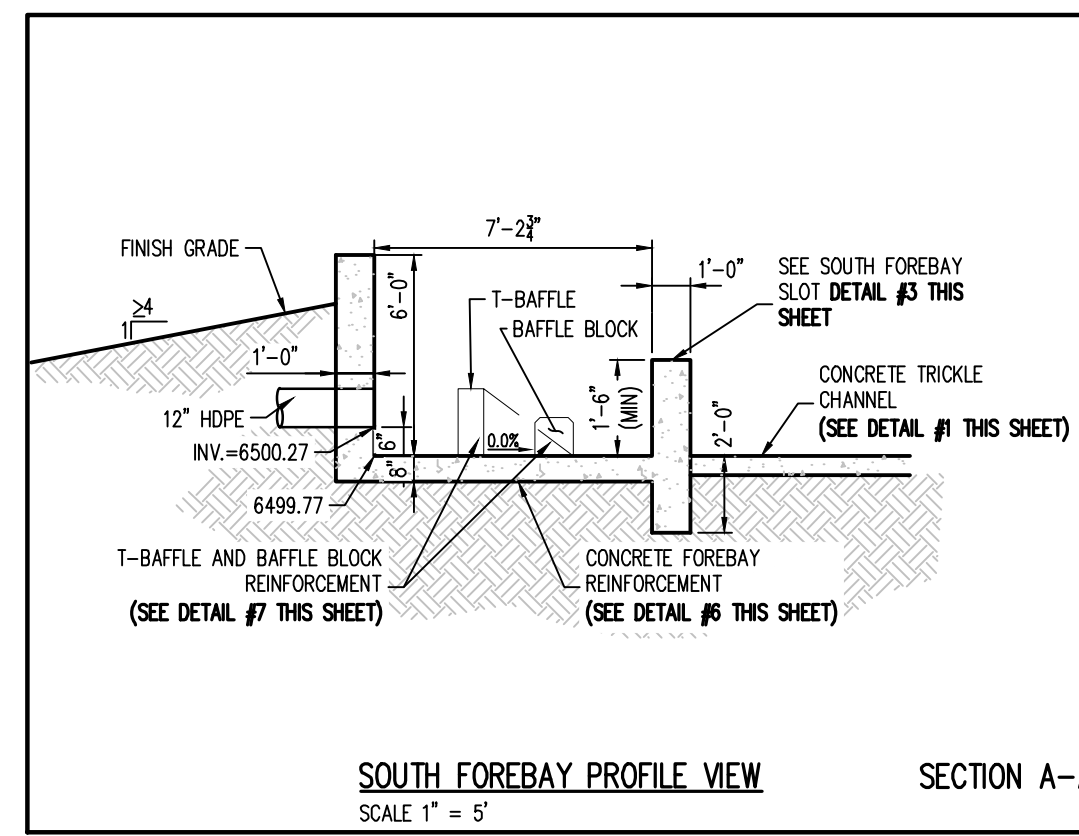
Vertical Datum: Mean Sea Level (MSL). Elevation: 6500.00. Horizontal Datum: North American Datum 1983 (NAD 83). Contour Interval: 0.50'. Stationing: 0+00 to 1+66. Scale: 1"=10'.



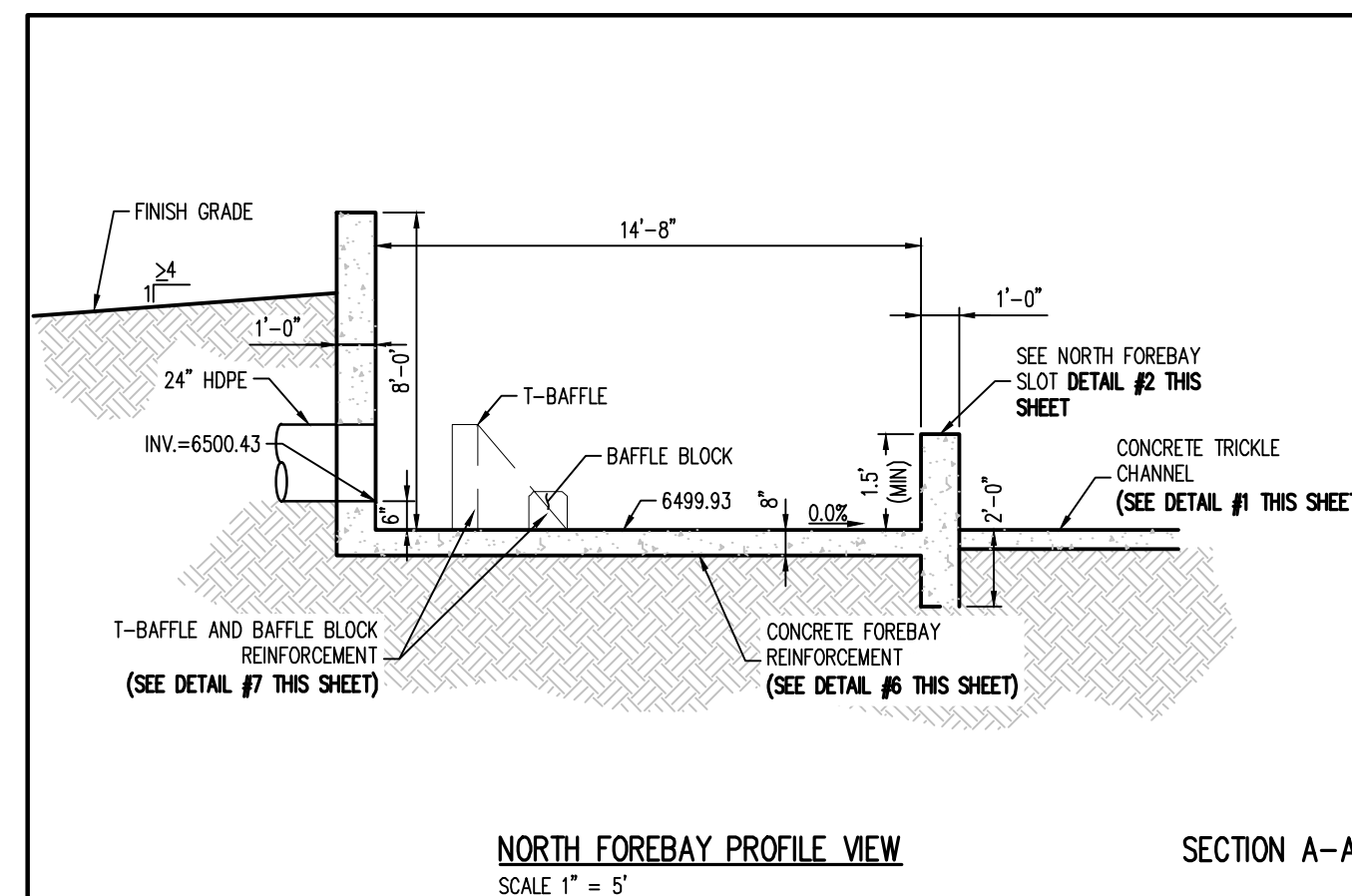
**NORTH FOREBAY GRADING PLAN**  
SCALE 1" = 2"



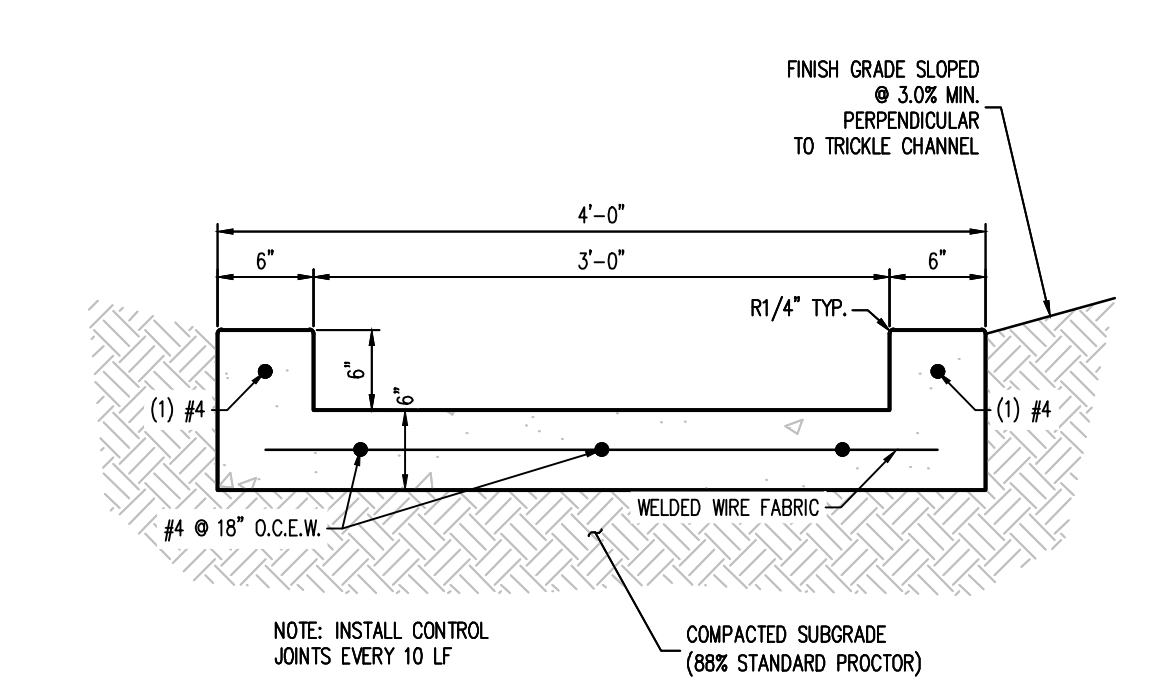
**SOUTH FOREBAY GRADING PLAN**  
SCALE 1" = 2"



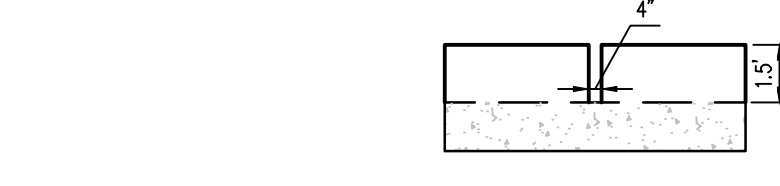
**SOUTH FOREBAY PROFILE VIEW**  
SECTION A-A  
SCALE 1" = 5"



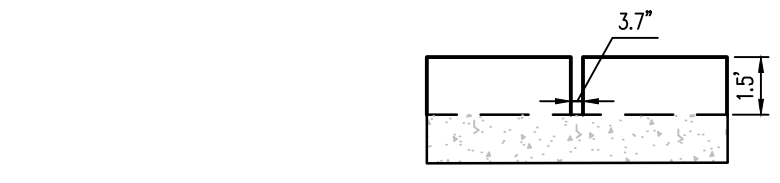
**NORTH FOREBAY PROFILE VIEW**  
SECTION A-A  
SCALE 1" = 5"



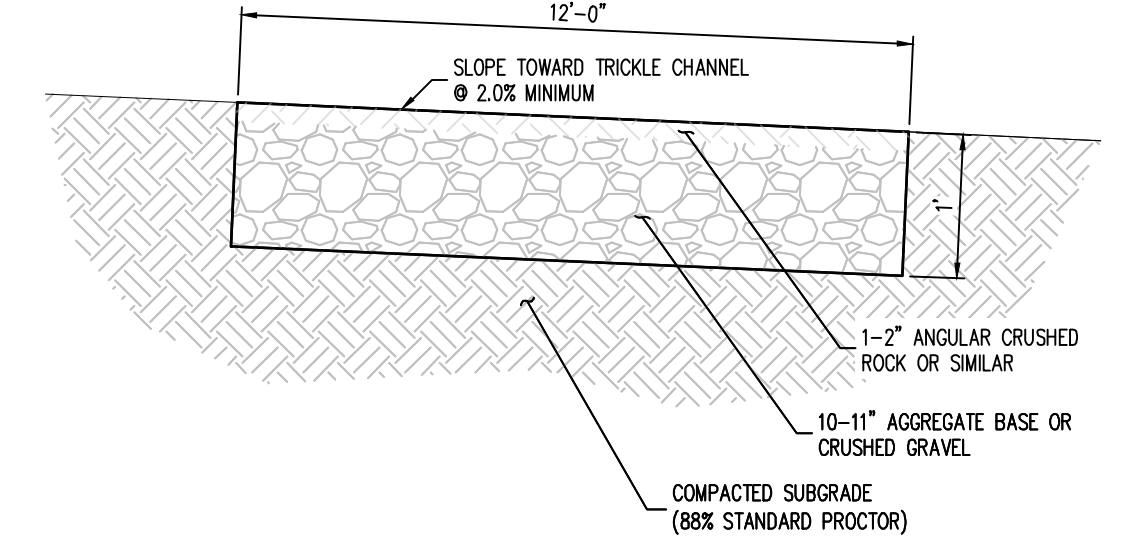
**1 TRICKLE CHANNEL DETAIL**  
NOT TO SCALE



**2 NORTH FOREBAY SLOT DETAIL**  
SCALE: 1" = 5"



**3 SOUTH FOREBAY SLOT DETAIL**  
SCALE: 1" = 5"



**4 MAINTENANCE ACCESS DETAIL**  
NOT TO SCALE

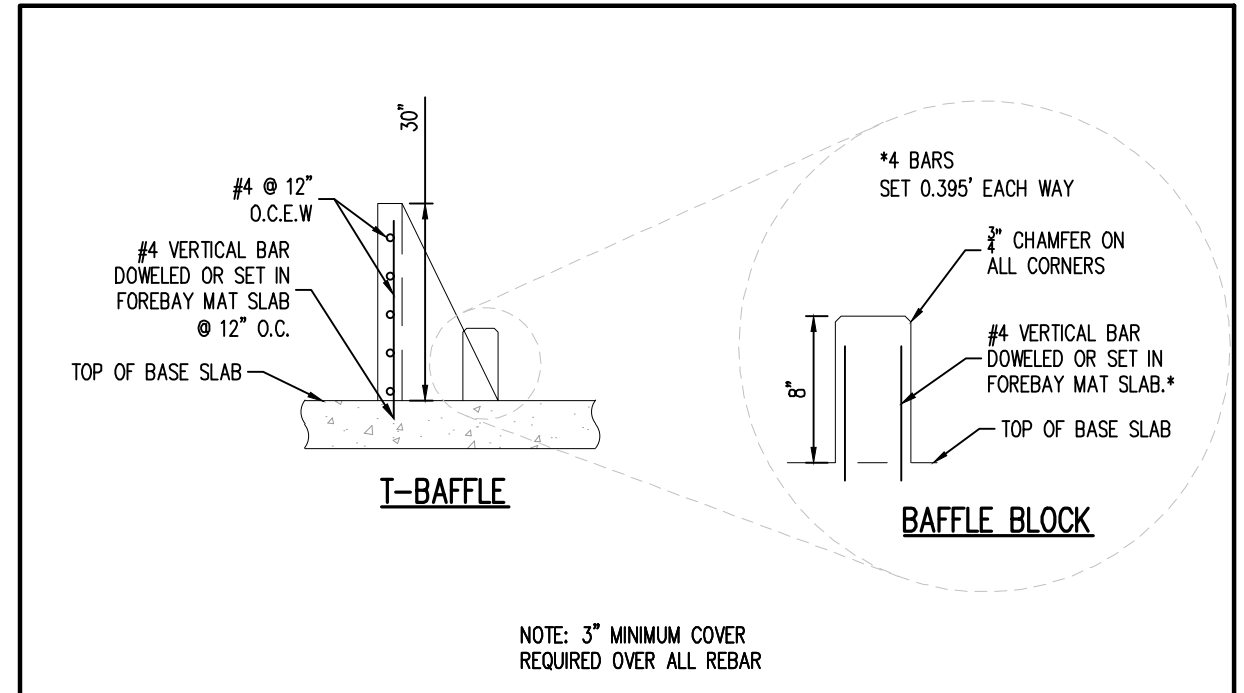
**WARNING**

UNAUTHORIZED MODIFICATION OF THIS OUTLET IS A KNOWING VIOLATION OF SECTION 309 OF THE CLEAN WATER ACT.

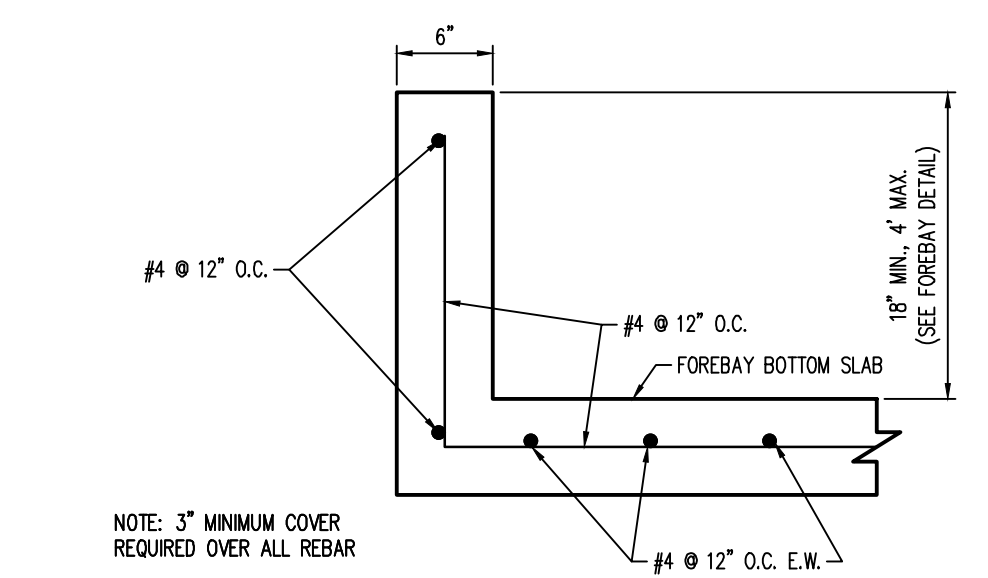
PUNISHMENT: FINE AND/OR IMPRISONMENT: 3-6 YEARS

- NOTES:**
- ONE (1) SIGN SHALL BE POSTED ON OR NEAR THE OUTLET STRUCTURE WITH THE ABOVE MESSAGE
  - SIGN SHOULD BE A MINIMUM OF 0.75 SQUARE FEET
  - SIGNS SHALL BE DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND.

**5 OUTLET STRUCTURE SIGN DETAIL**  
NOT TO SCALE



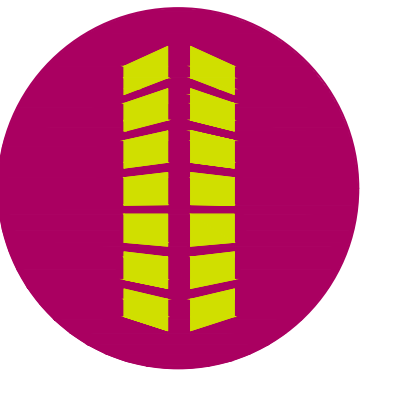
**7 FOREBAY - T-BAFFLES & BAFFLE BLOCKS REINFORCING DETAIL**  
NOT TO SCALE



**6 FOREBAY REINFORCING DETAIL**  
NOT TO SCALE



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**PRIVATE PERMANENT CONTROL MEASURE PLAN**  
**CONSTITUTION STORAGE**

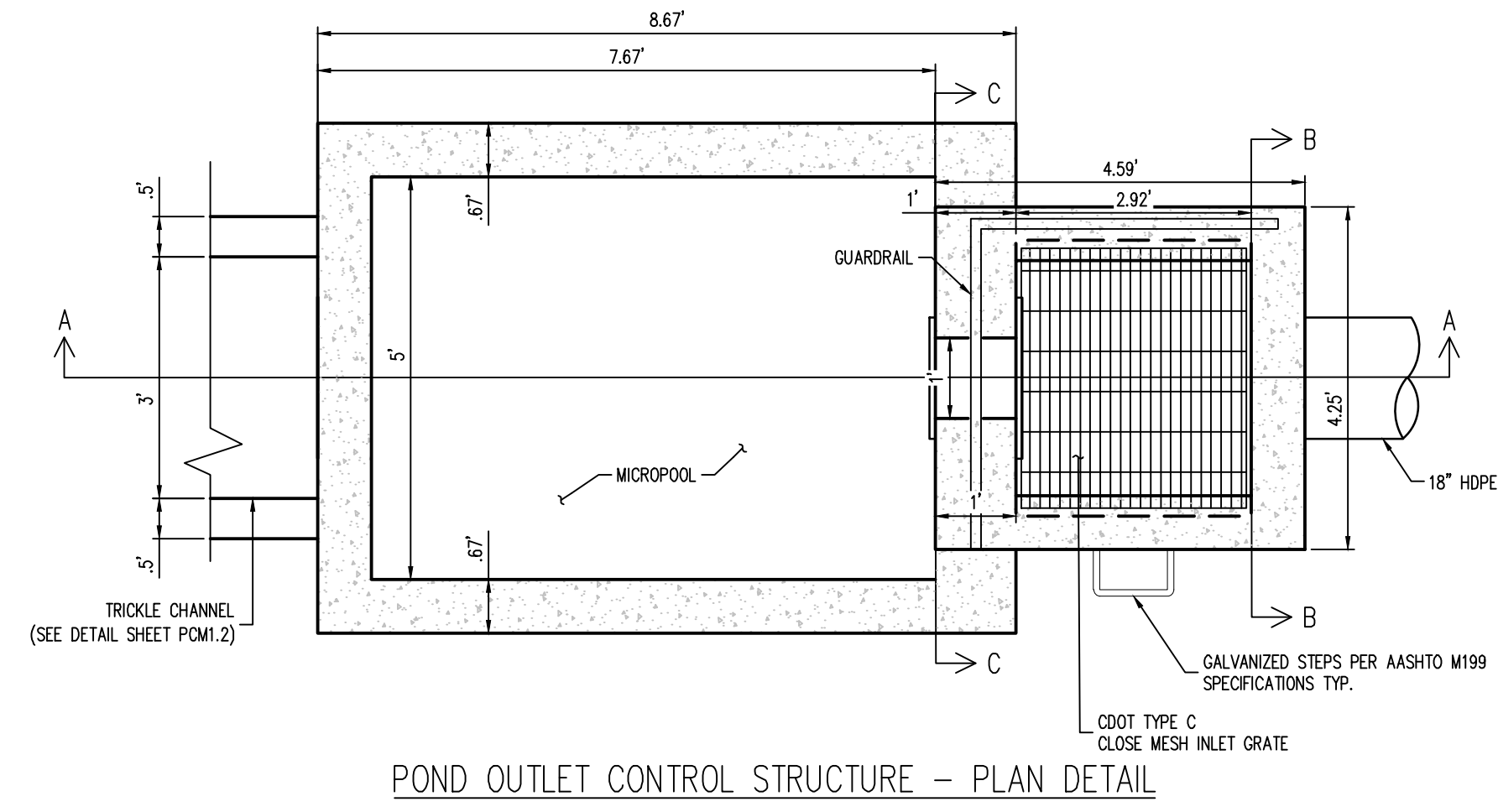
**JOHNSON DEVELOPMENT ASSOCIATES**

2460 CANADA DRIVE  
COLORADO SPRINGS, CO 80915

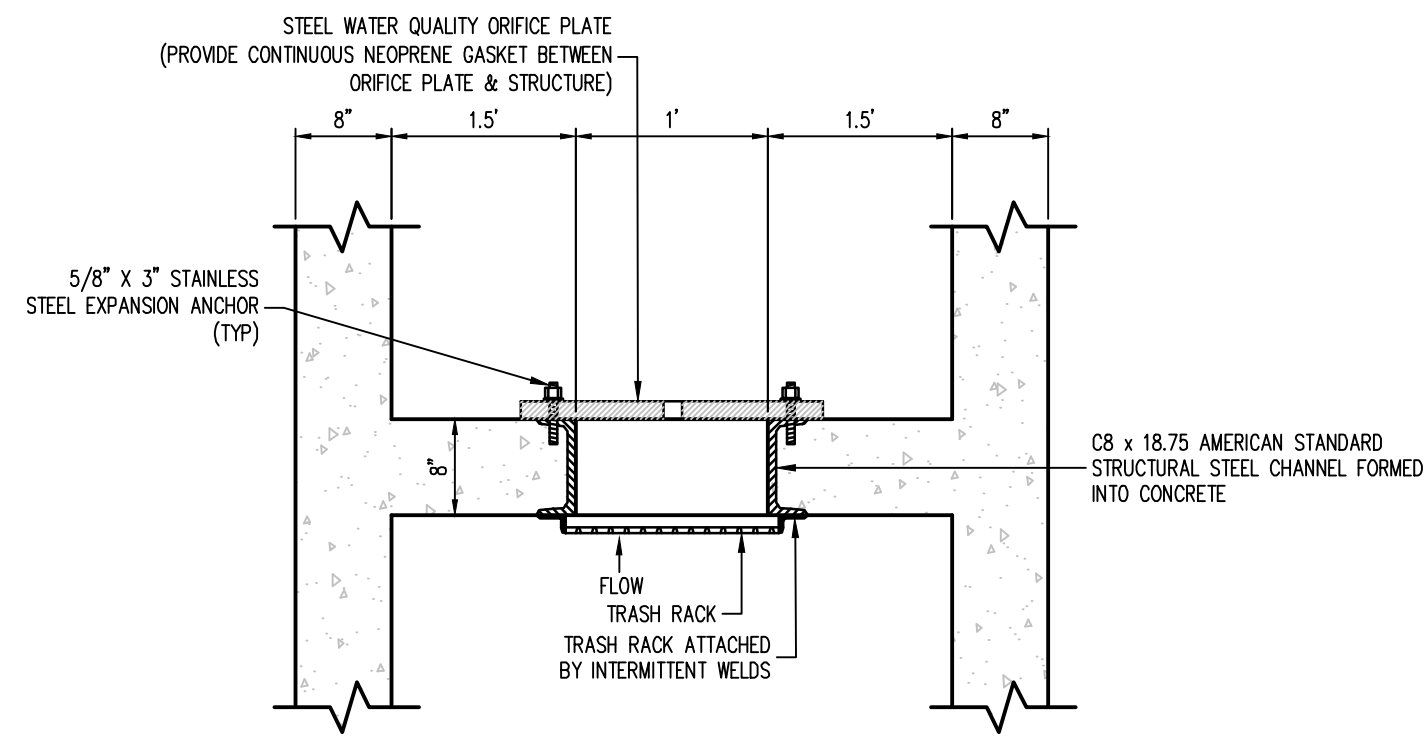
#	Date	Issue / Description	Init.

Project No:	JDA02
Drawn By:	ASA/MRK
Checked By:	BAS
Date:	JULY 2023

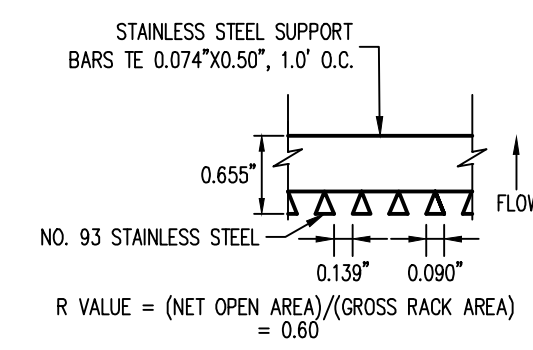




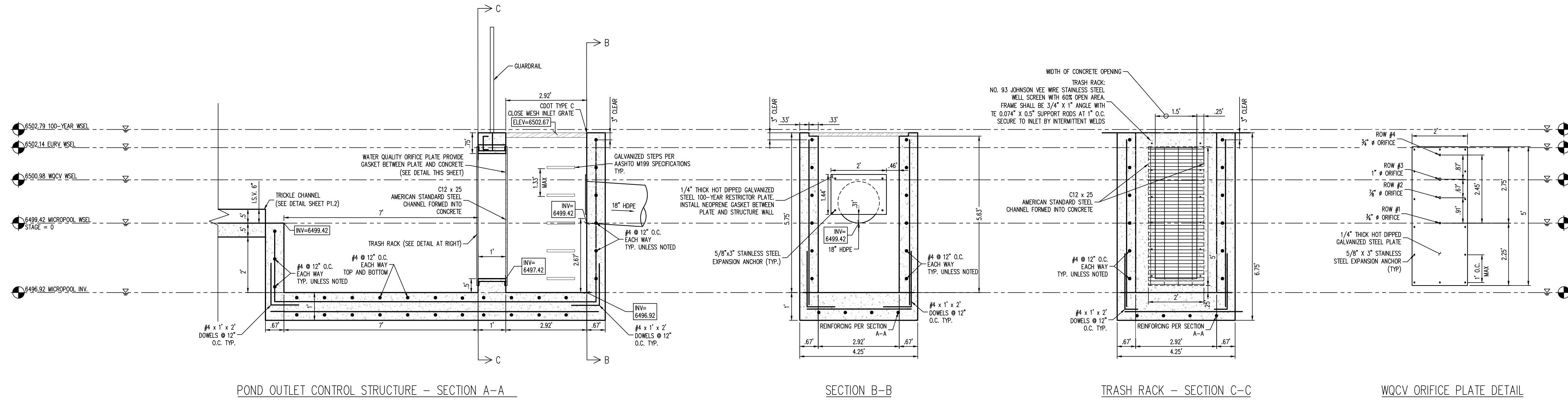
POND OUTLET CONTROL STRUCTURE - PLAN DETAIL



SECTION D-D  
NOT TO SCALE



TRASH RACK SECTION  
SCALE: 1" = 1



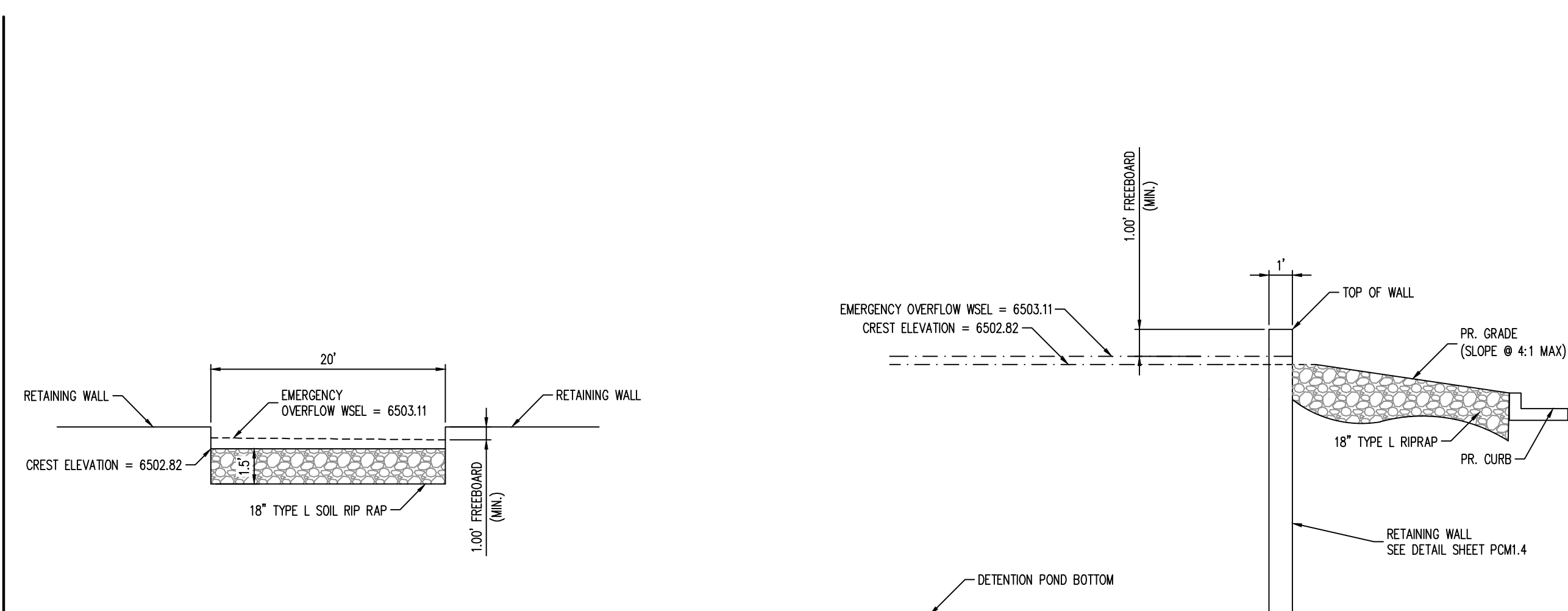
POND OUTLET CONTROL STRUCTURE - SECTION A-A

SECTION B-B

TRASH RACK - SECTION C-C

WQCV ORIFICE PLATE DETAIL

1 POND OUTLET STRUCTURE  
SCALE: 1" = 2'



2 POND 100-YEAR OVERFLOW - CROSS SECTION  
NOT TO SCALE

3 POND 100-YEAR OVERFLOW - PROFILE  
NOT TO SCALE



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PRIVATE PERMANENT CONTROL MEASURE PLAN  
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

2460 CANADA DRIVE  
COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

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Date: JULY 2023

MICROPOOL & OUTLET  
STRUCTURE DETAILS



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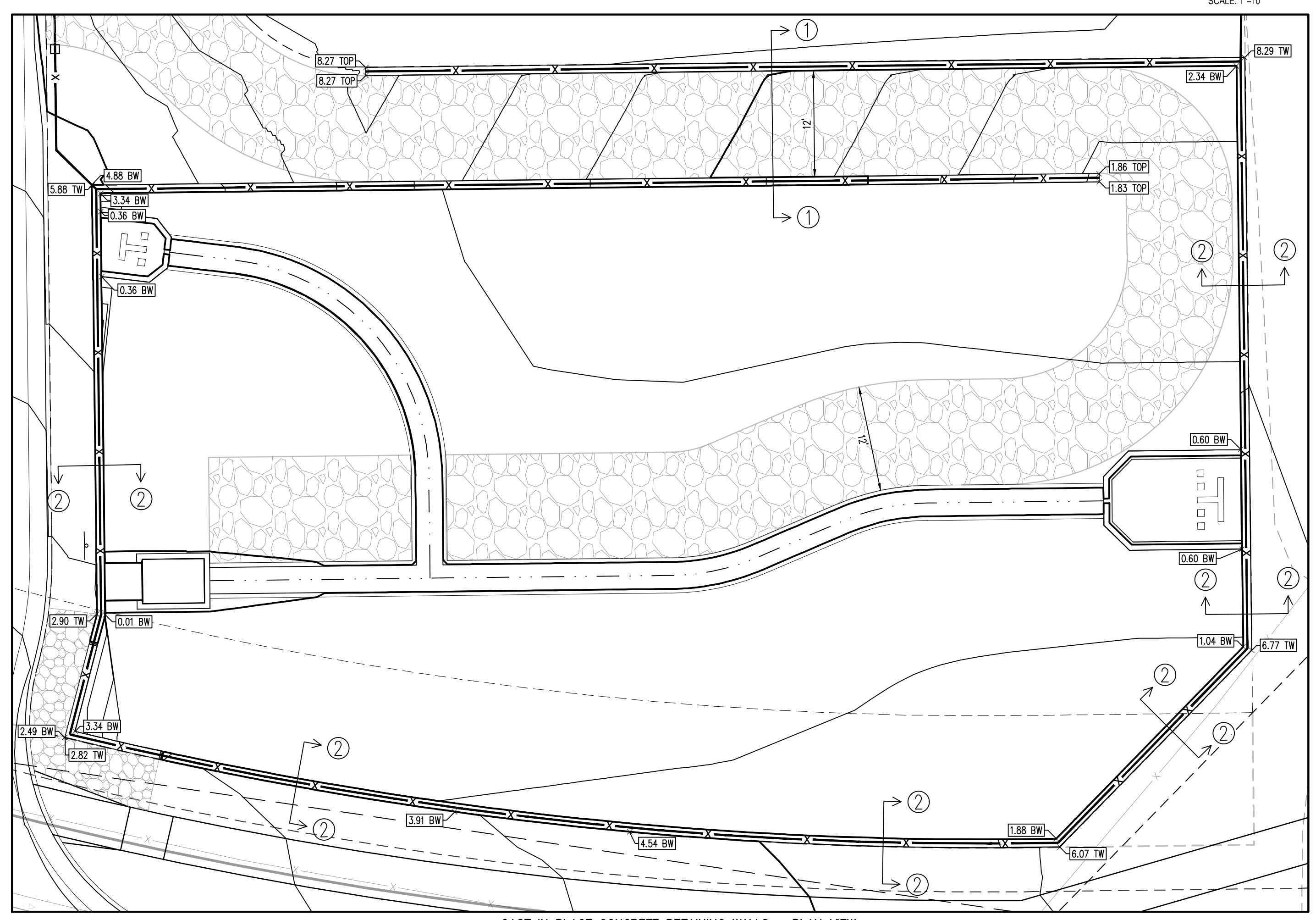
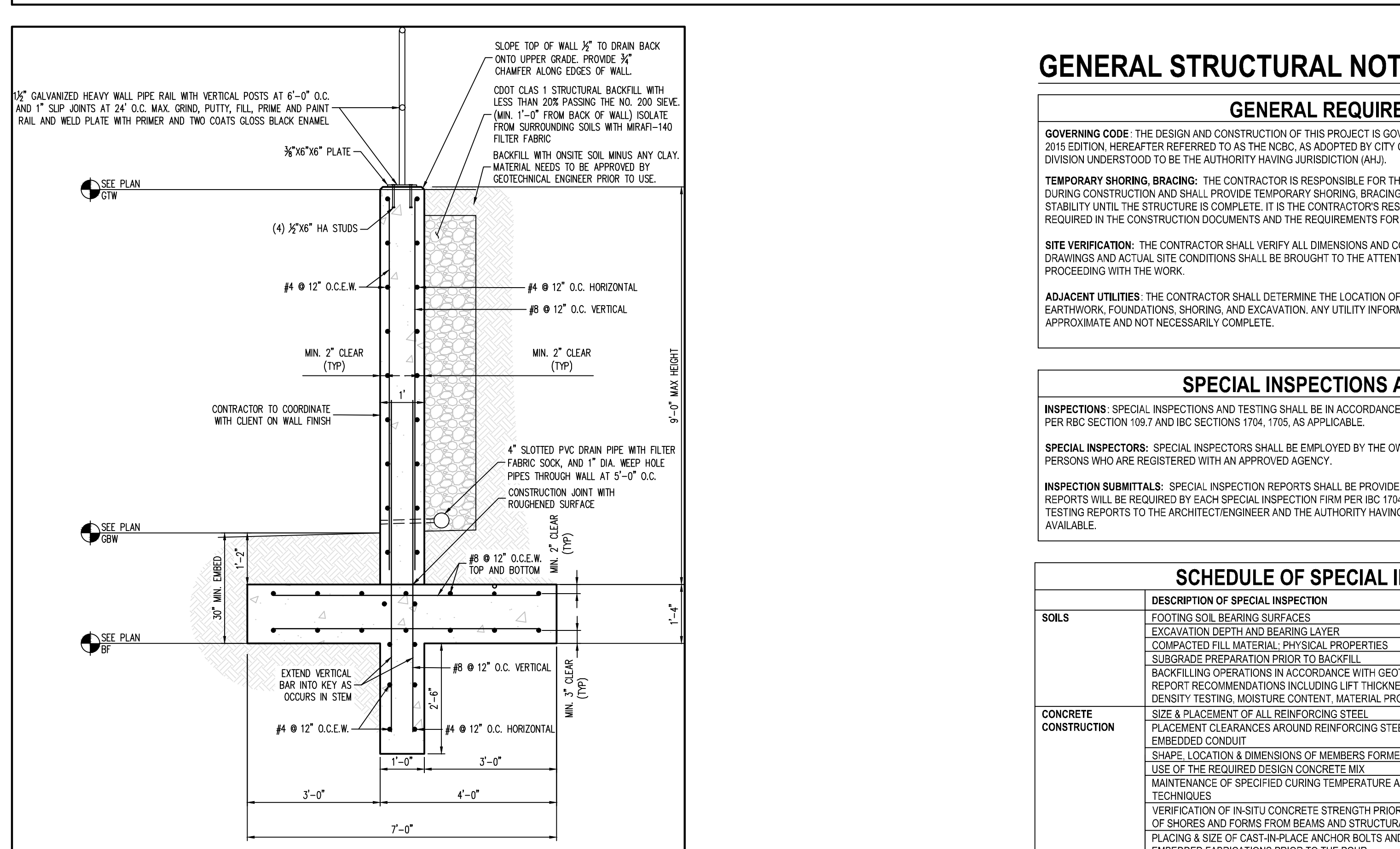
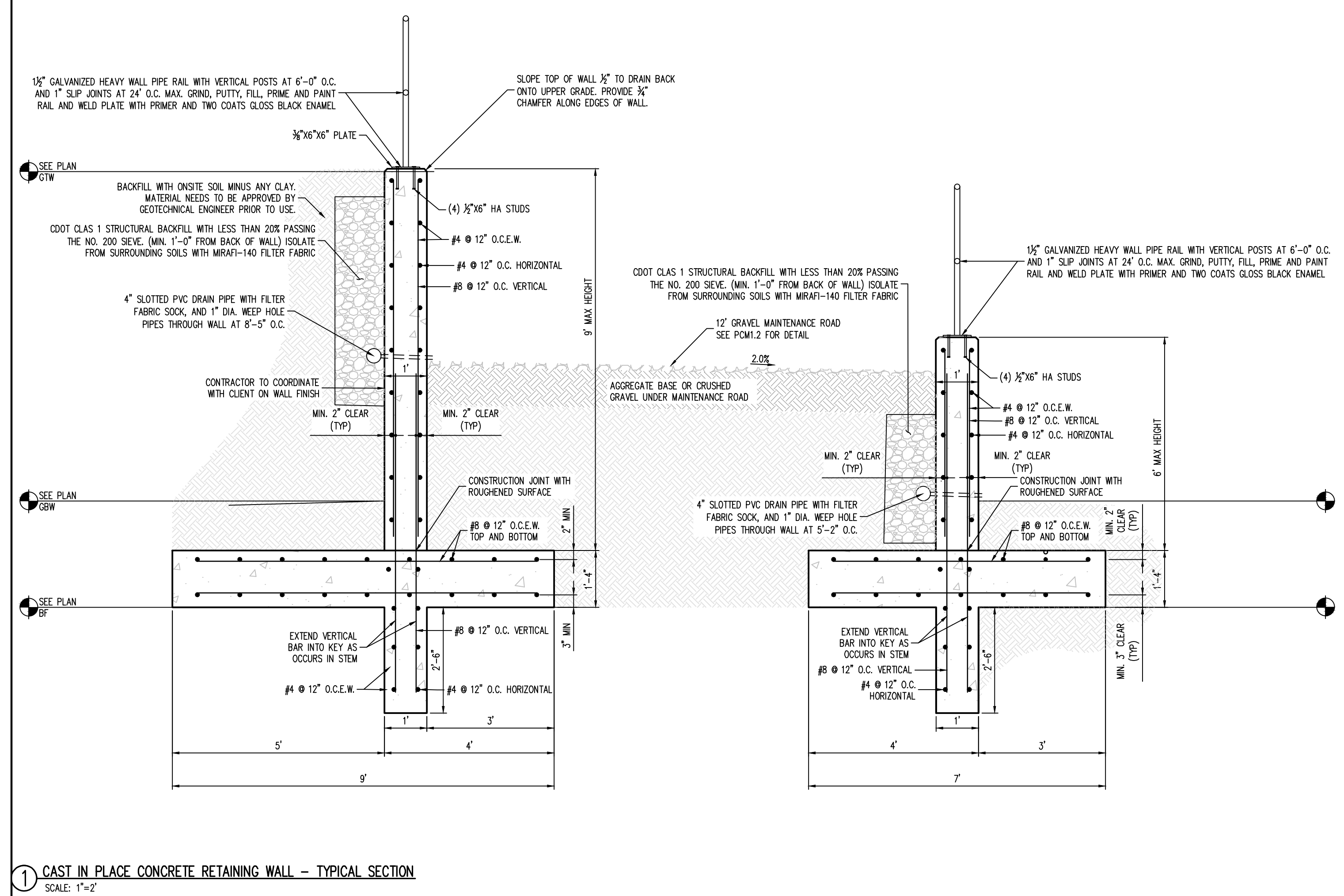
**PRIVATE PERMANENT CONTROL MEASURE PLAN CONSTITUTION STORAGE**  
**JOHNSON DEVELOPMENT ASSOCIATES**  
2460 CANADA DRIVE  
COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA/MRK  
Checked By: BAS  
Date: JULY 2023

**RETAINING WALL DETAILS**

**PCM1.4**  
Sheet 6 of 6



**GENERAL STRUCTURAL NOTES**

**GENERAL REQUIREMENTS**  
GOVERNING CODE: THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS GOVERNED BY THE "NORTH CAROLINA BUILDING CODE", 2015 EDITION, HEREAFTER REFERRED TO AS THE NCBC, AS ADOPTED BY CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS DIVISION UNDERSTOOD TO BE THE AUTHORITY HAVING JURISDICTION (AHJ).  
TEMPORARY SHORING, BRACING: THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY.  
SITE VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.  
ADJACENT UTILITIES: THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO EARTHWORK, FOUNDATIONS, SHORING, AND EXCAVATION. ANY UTILITY INFORMATION SHOWN ON THE DRAWINGS AND DETAILS IS APPROXIMATE AND NOT NECESSARILY COMPLETE.

**SPECIAL INSPECTIONS AND TESTING**  
INSPECTIONS: SPECIAL INSPECTIONS AND TESTING SHALL BE IN ACCORDANCE WITH THE STATEMENT OF SPECIAL INSPECTIONS PER RBC SECTION 109.7 AND IBC SECTIONS 1704, 1705, AS APPLICABLE.  
SPECIAL INSPECTORS: SPECIAL INSPECTORS SHALL BE EMPLOYED BY THE OWNER. SPECIAL INSPECTORS SHALL BE QUALIFIED PERSONS WHO ARE REGISTERED WITH AN APPROVED AGENCY.  
INSPECTION SUBMITTALS: SPECIAL INSPECTION REPORTS SHALL BE PROVIDED ON A WEEKLY BASIS. FINAL SPECIAL INSPECTION REPORTS WILL BE REQUIRED BY EACH SPECIAL INSPECTION FIRM PER IBC 1704.1.2. SUBMIT COPIES OF ALL INSPECTION AND TESTING REPORTS TO THE ARCHITECT/ENGINEER AND THE AUTHORITY HAVING JURISDICTION FOR REVIEW AS SOON AS THEY ARE AVAILABLE.

SOILS	DESCRIPTION OF SPECIAL INSPECTION	PERIODIC		CONTINUOUS	
		X			
	FOOTING SOIL BEARING SURFACES		X		
	EXCAVATION DEPTH AND BEARING LAYER		X		
	COMPACTED FILL MATERIAL - PHYSICAL PROPERTIES		X		
	SUBGRADE PREPARATION PRIOR TO BACKFILL		X		
	BACKFILLING OPERATIONS IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS INCLUDING LEFT THICKNESS, DENSITY TESTING, MOISTURE CONTENT, MATERIAL PROPERTIES			X	
CONCRETE CONSTRUCTION	SIZE & PLACEMENT OF ALL REINFORCING STEEL		X		
	PLACEMENT CLEARANCES AROUND REINFORCING STEEL AT EMBEDDED CONDUIT		X		
	SHAPE, LOCATION & DIMENSIONS OF MEMBERS FORMED		X		
	USE OF THE REQUIRED DESIGN CONCRETE MIX		X		
	MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES		X		
	VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS		X		
	PLACING & SIZE OF CAST-IN-PLACE ANCHOR BOLTS AND EMBEDDED FABRICATIONS PRIOR TO THE POUR		X		
	PLACING OF CONCRETE AROUND CAST-IN-PLACE BOLTS AND EMBEDS			X	
	SAMPLING OF FRESH CONCRETE			X	
	DETERMINATIONS OF SLUMP, AIR CONTENT, AND TEMPERATURE			X	
	GROUTING OPERATION OF REBAR DOWELS			X	

**SOILS AND FOUNDATIONS**

1. FOUNDATIONS FOR ALL STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE.  
2. THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION.  
3. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CDS.  
**GEOTECHNICAL REPORT**  
PREPARED BY: KUMAR & ASSOCIATES, INC.  
REPORT NO.: REPORT - 21-2-272  
ADDENDUM - 21-1-272  
ADDENDUM - 21-2-272.A  
REPORT DATE: FEBRUARY 3, 2022  
MARCH 22, 2022  
FEBRUARY 16, 2023  
**DESIGN CRITERIA**  
NET ALLOWABLE SOIL BEARING PRESSURE D+L: 1500 PSF  
MINIMUM EMBEDMENT (BELOW EXT. GRADE OR SLAB SURGRADE): 30 INCHES  
EQUIVALENT FLUID PRESSURE, ACTIVE: 45 PSF  
EQUIVALENT FLUID PRESSURE, PASSIVE: 180 PSF  
NOTE: PER GEOTECHNICAL ADDENDUM 21-2-272.A IT IS REQUIRED THAT CARE TO BE TAKEN NOT TO OVERCOMPACT THE BACKFILL. REFERENCE GEOTECHNICAL REPORT AND ADDENDUMS AND REPORT FOR ADDITIONAL INFORMATION.  
SUBGRADE PREPARATION AND COMPACTION FOR ALL ITEMS ARE TO BE PREPARED IN SAME MANNER AS 2022 REPORT 21-2-272. OVEREXCAVATION AND REPLACEMENT OF ALL EXISTING FILL WILL BE REQUIRED WHERE PRESENT BELOW THE BEARING ELEVATION. ADDITIONALLY, OVEREXCAVATION AND REPLACEMENT OF THE CLAY SOILS WILL BE REQUIRED WHERE ENCOUNTERED WITHIN 3 FEET OF BEARING ELEVATION. REFERENCE GEOTECHNICAL REPORT AND ADDENDUMS AND REPORT FOR ADDITIONAL INFORMATION.

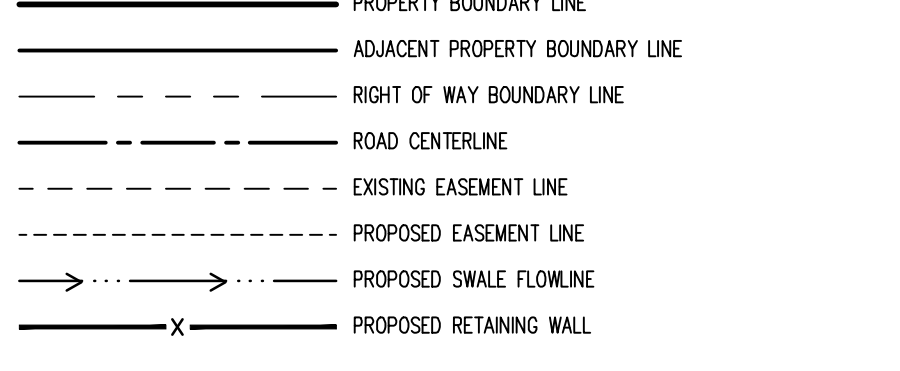
**CAST-IN-PLACE CONCRETE**

**REFERENCE STANDARDS:**  
1. ACI 301-10 "SPECIFICATIONS FOR STRUCTURAL CONCRETE"  
2. ACI 306-1-10 "SPECIFICATIONS FOR HOT WEATHER CONCRETING"  
3. ACI 306-1-10 "SPECIFICATION FOR COLD WEATHER CONCRETING"  
4. ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"  
5. ACI 117-10 "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"  
**SUBMITTALS**  
PROVIDE ALL SUBMITTALS REQUIRED BY ACI 301 SECTION 4.1.2. SUBMIT MIX DESIGNS FOR EACH MIX IN THE TABLE BELOW. SUBSTANTIATING STRENGTH RESULTS FROM PAST TESTS SHALL NOT BE OLDER THAN 12 MONTHS PER ACI 318 SECTION 5.3.  
**CONCRETE MIX DESIGN REQUIREMENTS**

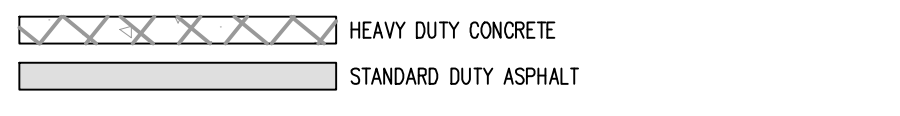
SPREAD FOOTING	STRENGTH F <sub>c</sub> (PSI)	TEST AGE	AGGREGATE		EXPOSURE CLASS	W/C RATIO	AIR CONTENT (%) (+/-1.5%)	SLUMP, MAX. (IN.)
			MAX. (IN.)	(M)				
	4500	28	1	F2/S0/W0/C1	0.45	6.0	4	
FOUNDATION WALLS	3500	28	1	F1/S0/W0/C1	0.55	4.5	4	

**CONCRETE REINFORCEMENT**  
**MATERIALS:** REINFORCING BARS ASTM: A615 GRADE 60 DEFORMED BARS  
**PLACING:** CONFORM TO ACI 301 SECTION 3.3.2 "PLACEMENT." PLACING TOLERANCES SHALL CONFORM TO ACI 117.  
**CONCRETE COVER:** CONCRETE CAST AGAINST EARTH: 3"  
CONFORM TO THE FOLLOWING COVER REQUIREMENTS: CONCRETE EXPOSED TO EARTH OR WEATHER: 2"  
TIES IN COLUMNS AND BEAMS: 1-1/2"  
BARS IN SLABS: 3/4"  
BARS IN WALLS: 3/4"  
EXTERIOR BARS IN TILT-UP PANELS: 1"  
**SPICES:** CONFORM TO ACI 301 SECTION 3.3.2.7. "SPICES" REFER TO "TYPICAL LAP SPICE AND DEVELOPMENT LENGTH SCHEDULE" FOR TYPICAL REINFORCEMENT SPICES.

**SITE LEGEND**



**PAVING LEGEND**



CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**BASIS OF BEARINGS**  
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**  
COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHWEST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.  
FIMS DATUM ELEVATION = 6534.61

**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.  
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.