

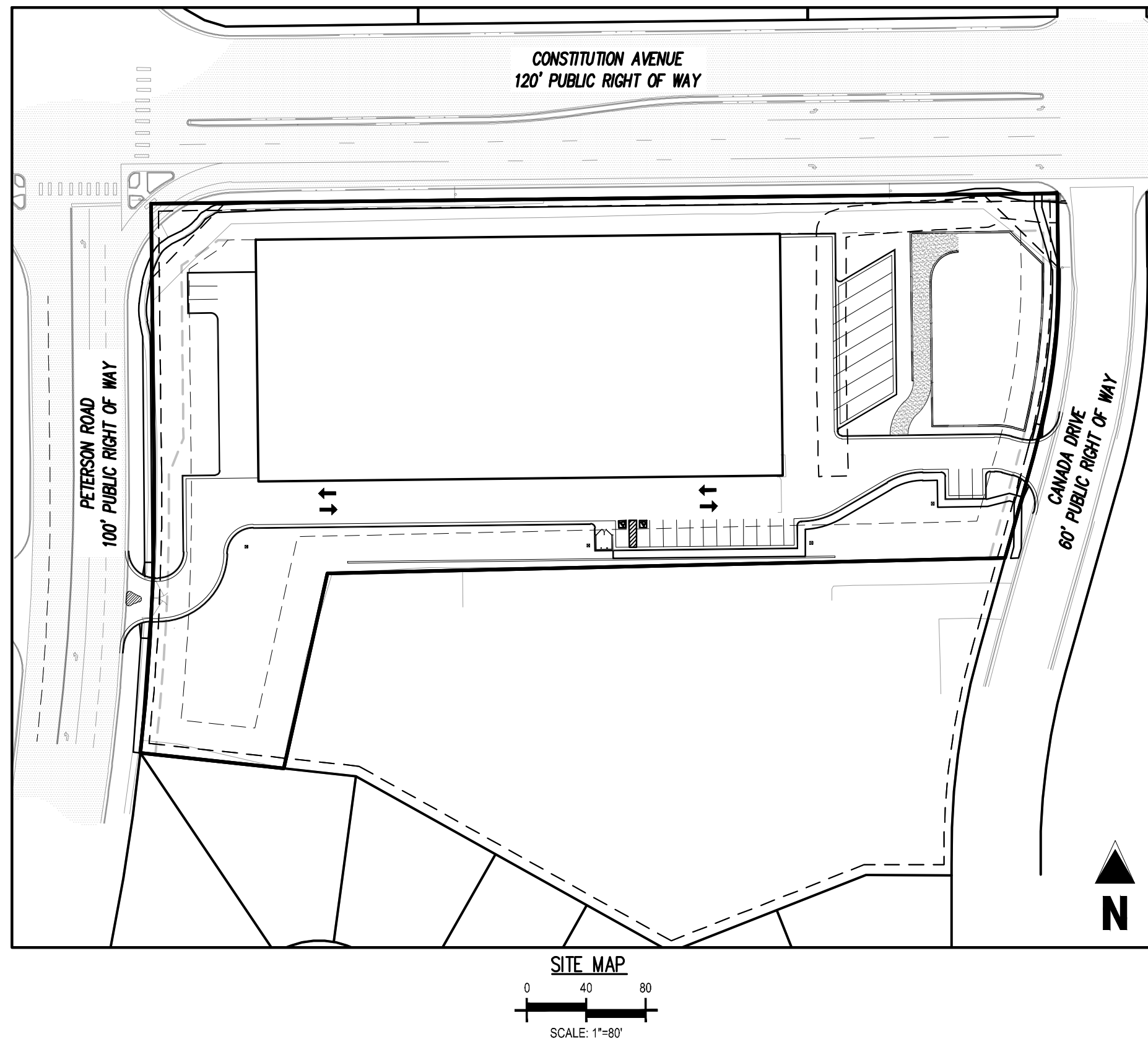
SITE DEVELOPMENT PLAN

PCD FILING NUMBER:

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 337-1262
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

CIMARRON HILLS FIRE PROTECTION DISTRICT
1835 TUSKEGEE PL
COLORADO SPRINGS, CO 80915
TELE: (719) 591-0960
EMAIL: JMCLEOD@CIMARRON

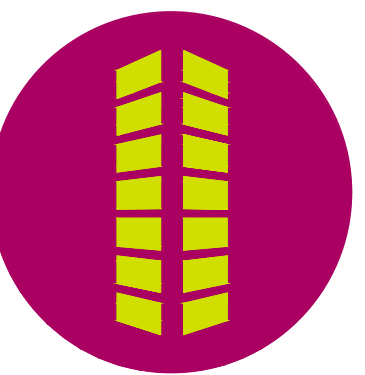
USE	PARKING RATIO	UNITS	PARKING REQUIRED	PARKING PROVIDED
MINI-STORAGE	1 / 100 UNITS	929	10	14
EMPLOYEE PARKING	1 / EMPLOYEE	3	3	3
TOTAL			14	19
LOADING/UNLOADING SPACES			—	6
ADA (INCLUDED IN TOTAL COUNT)			1	2
RV STORAGE SPACES			—	8



1. ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE PLUG, CUT-OFF OR SHIELD TO PREVENT LIGHTING SPILLAGE INTO ADJACENT PROPERTIES AND ROADWAYS.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTRACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
3. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
4. THE MINERAL ESTATE OWNER NOTIFICATION CERTIFICATION AFFIDAVIT WAS SUBMITTED AND CAN BE FOUND IN FILE CPC 011C-00XX-00X. THE APPLICANT (OR PROPERTY OWNER) HAS CERTIFIED THAT THERE IS NO SEPARATE MINERAL ESTATE OWNER(S) IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.
5. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

CRAIG DOSSEY
EXECUTIVE DIRECTOR

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SITE DEVELOPMENT PLAN CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

[illegible]

Project No:	JDA02
Drawn By:	RWO
Checked By:	BAS
Date:	4/22/2022

COVER SHEET

C0.0

NOT FOR
CONSTRUCTION

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SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

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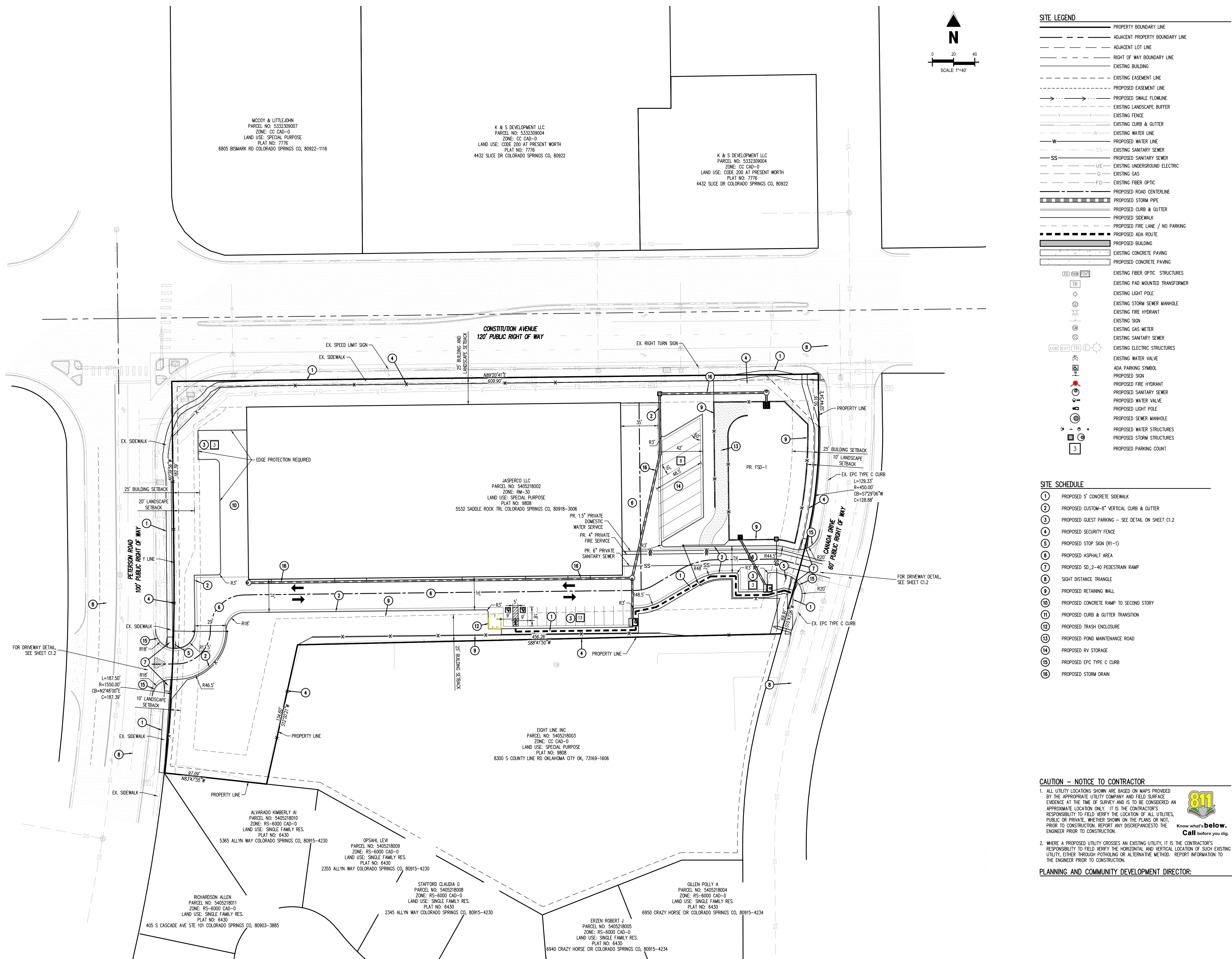
Know what's **below**.
Call before you dig.

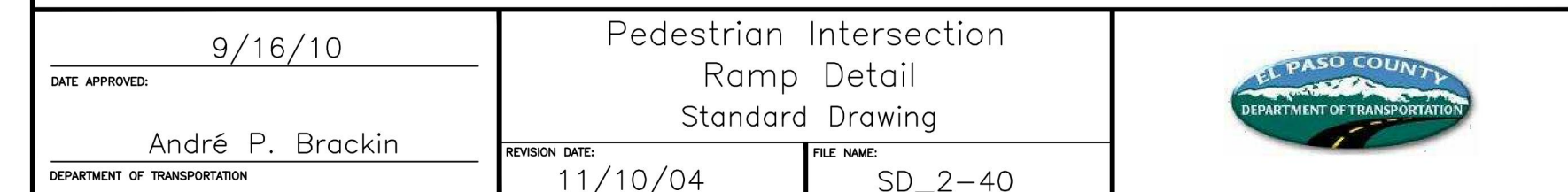
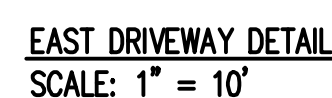
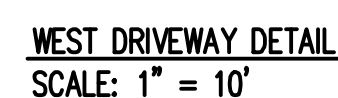
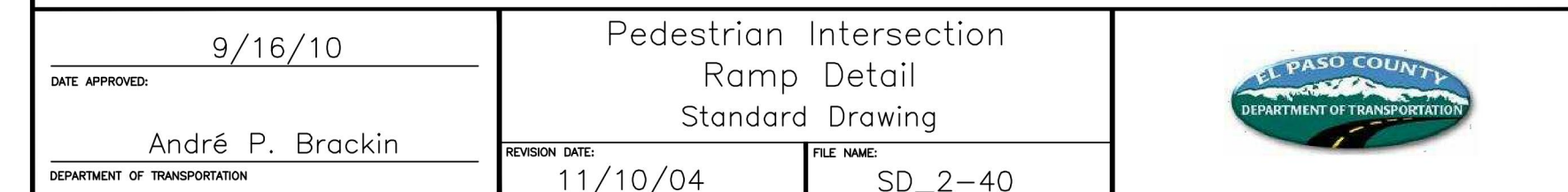
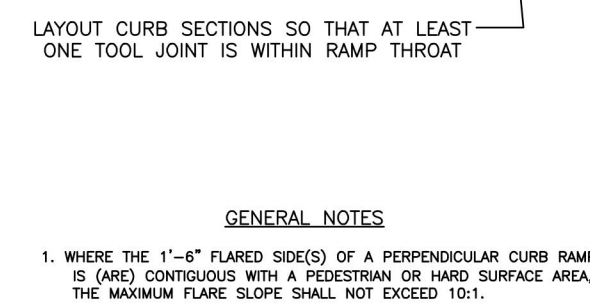
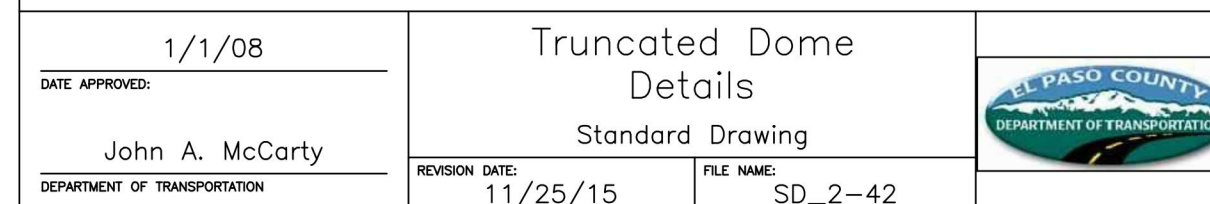
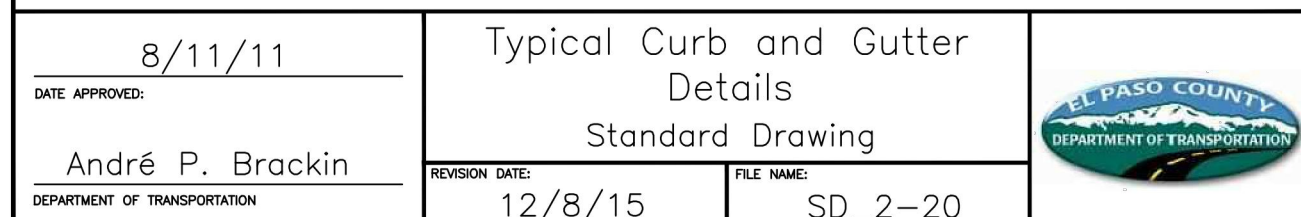
Project No:	JDA02
Drawn By:	RWO
Checked By:	BAS
Date:	4/22/2022

SITE DEVELOPMENT PLAN

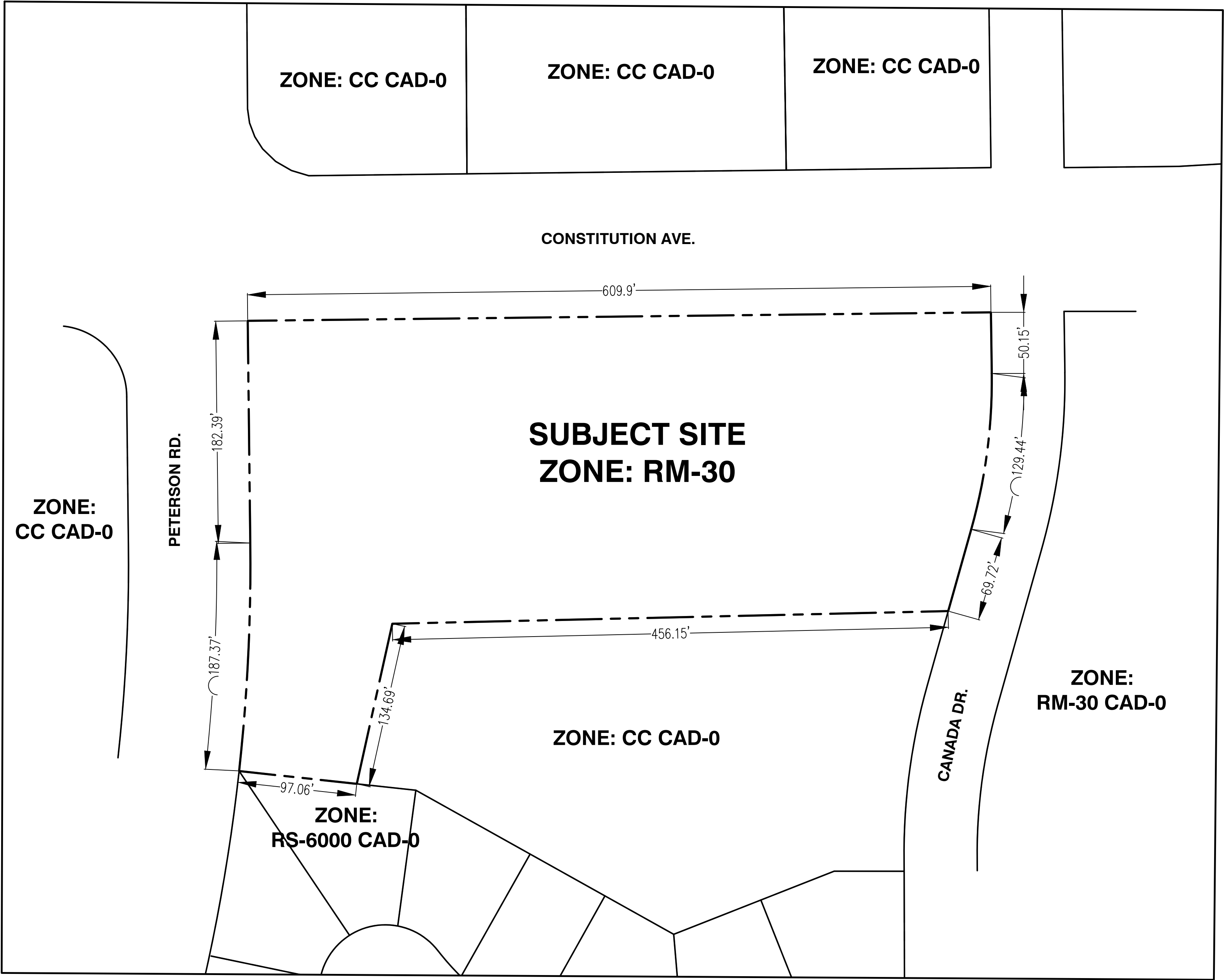
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Sheet 2 of 20



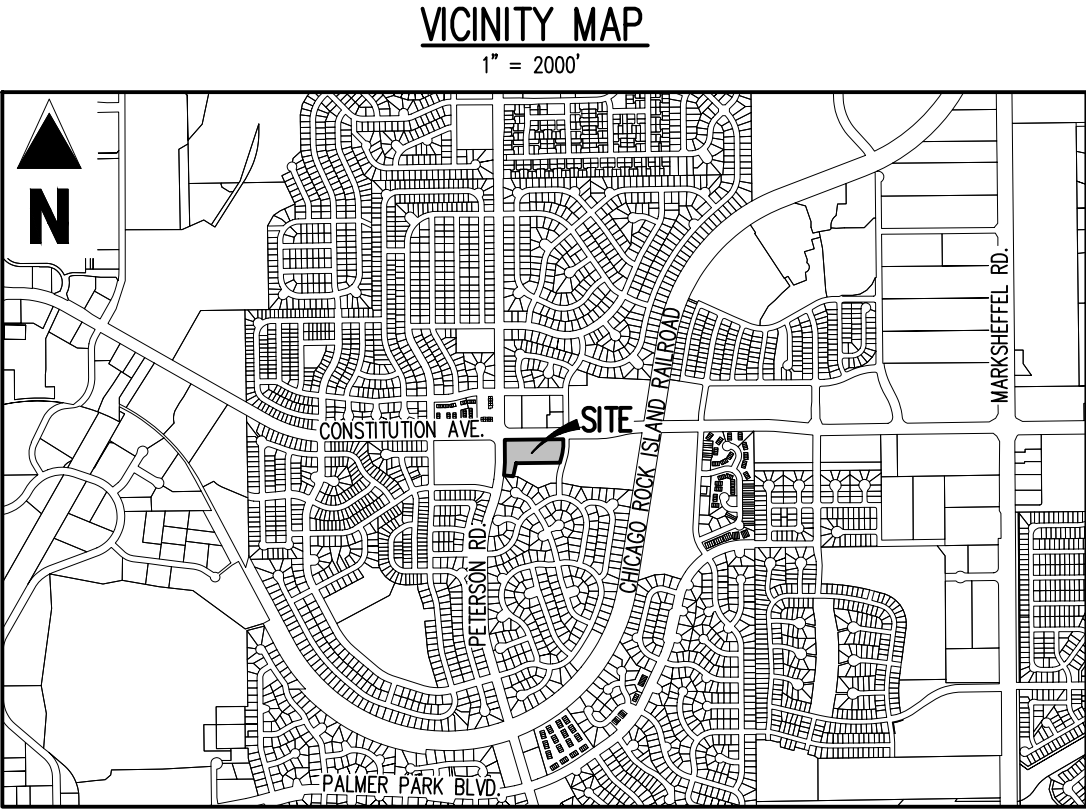


LANDSCAPE PLANS



ZONE MAP

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION
LIMITS. CONTRACTOR IS RESPONSIBLE
FOR IDENTIFYING THEIR LOCATION
PRIOR TO CONSTRUCTION.



PRELIMINARY
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NOT FOR CONSTRUCTION

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6855 CONSTITUTION AVE. STORAGE SITE
INDUSTRIAL DEVELOPMENT
REZONE PACKAGE
FOR JOHNSON DEVELOPMENT ASSOCIATES
LOT 1 OF THE EIGHT LINE SUBDIVISION
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Project No: JDA000002.20
Drawn By: JRW
Checked By:
Date: 04/22/2022

LANDSCAPE COVER SHEET





Know what's below.
Call before you dig.

L1.0

PLANT SCHEDULE

	DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
		CASP	1	NORTHERN CATALPA	CATALPA SPECIOSA	B&B	2" CAL	50'X30'	LOW	SUN
		CEOC	9	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B	2" CAL	60'X40'	LOW	SUN/PART SHADE
		GYDE	2	KENTUCKY COFFEETREE 'ESPRESSO'	GYMNOCLADUS DIOICA 'ESPRESSO'	B&B	2" CAL	50'X35'	LOW	SUN
		QURF	1	COLUMNAR ENGLISH OAK	QUERCUS ROBUR 'FASTIGIATA' TM	B&B	2" CAL	40'X20'	MODERATE	SUN
	EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
		PIPU	5	COLORADO SPRUCE	PICEA PUNGENS	B&B	6' HT	60'X25'	LOW	SUN/PART SHADE
		PIBU	4	LACEBARK PINE	PINUS BUNGEANA	B&B	6' HT	30'X20'	LOW	SUN
		PINI	4	AUSTRIAN PINE	PINUS NIGRA	B&B	6' HT	50'X20'	LOW	SUN/PART SHADE
		PNAS	22	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6' HT	25'X7'	LOW	SUN/PART SHADE
	UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	JUCH	11	BLUE POINT JUNIPER	JUNIPERUS CHINENSIS 'BLUE POINT'	#5 CONT.	12'X6'	VERY LOW	SUN/PART SHADE		
	DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		COSE	16	BAYLEY'S RED TWIG DOGWOOD	CORNUS SERICEA 'BAILEY'	#5 CONT.	8'X8'	LOW	SUN/PART SHADE	
		PEAT	15	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4'X4'	VERY LOW	SUN	
		RHAR	51	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3'X8'	LOW	SUN	
		SYVU	27	COMMON LILAC	SYRINGA VULGARIS	#5 CONT.	6'X6'	LOW	SUN/PART SHADE	
	VIRH	21	ALLEGHANY LANTANAPHYLLUM VIBURNUM	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	#5 CONT.	10'X10'	MODERATE	SUN/PART SHADE		
	EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		JNSO	42	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1'X6'	VERY LOW	SUN/PART SHADE	
	JNSM	7	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'MONNA'	#5 CONT.	9'X10'	VERY LOW	SUN/PART SHADE		
	ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
	CAAK	17	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5'X2'	LOW	SUN		
	SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE				
		SEED	29,091 SF	EL PASO LOW GROW SEED MIX	EL PASO LOW GROW SEED MIX	SEED				
		SOD1	5,790 SF	RTF (RHIZOMATOUS TALL FESCUE)	FESCUE SOD	SOD				

LANDSCAPE MATERIALS

	SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
		L-01 ROLLED TOP STEEL EDGER 1/8" THICK AND 6" DEEP	293 LF	SEE NOTES
	SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
		L-03 2"-4" ANGULAR ROCK MULCH - 4" DEEP COLOR: TANGRAY WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL, SEE PLANTING NOTES & DETAILS	303.97 CY	SEE NOTES

PLANTING NOTES

- GENERAL
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH PERFORATED STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS, COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE SCHEDULE. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE MCT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

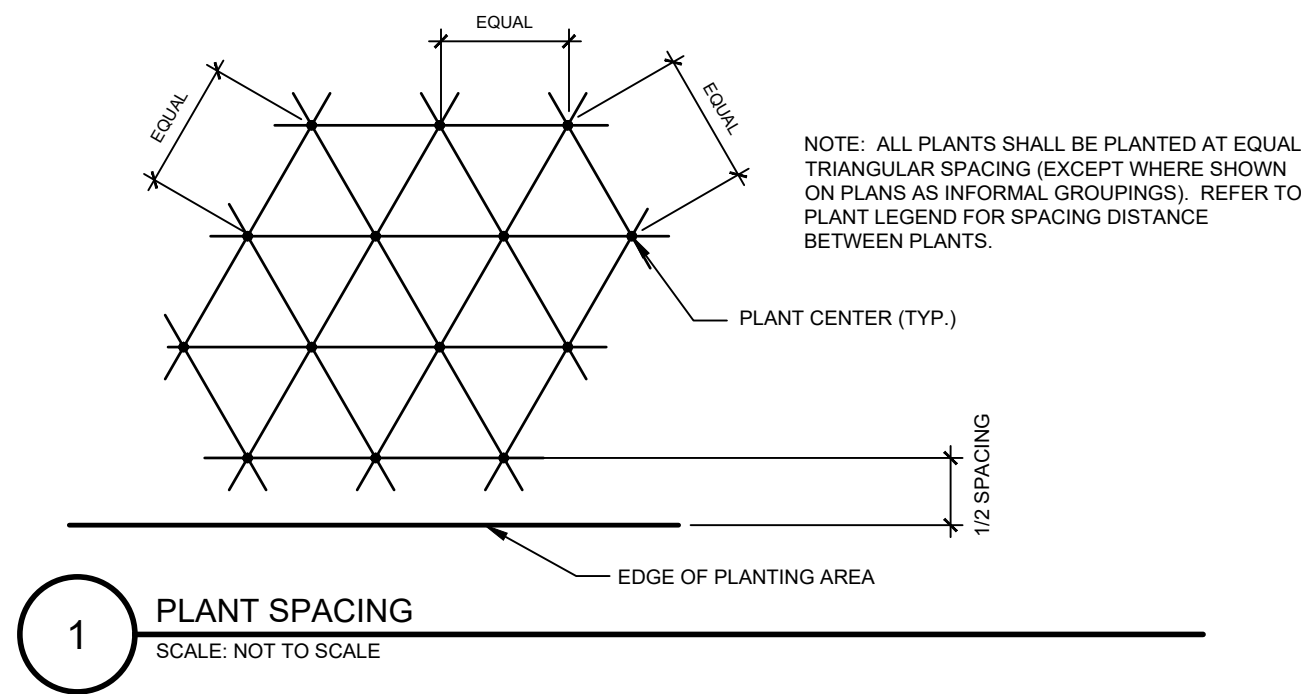
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

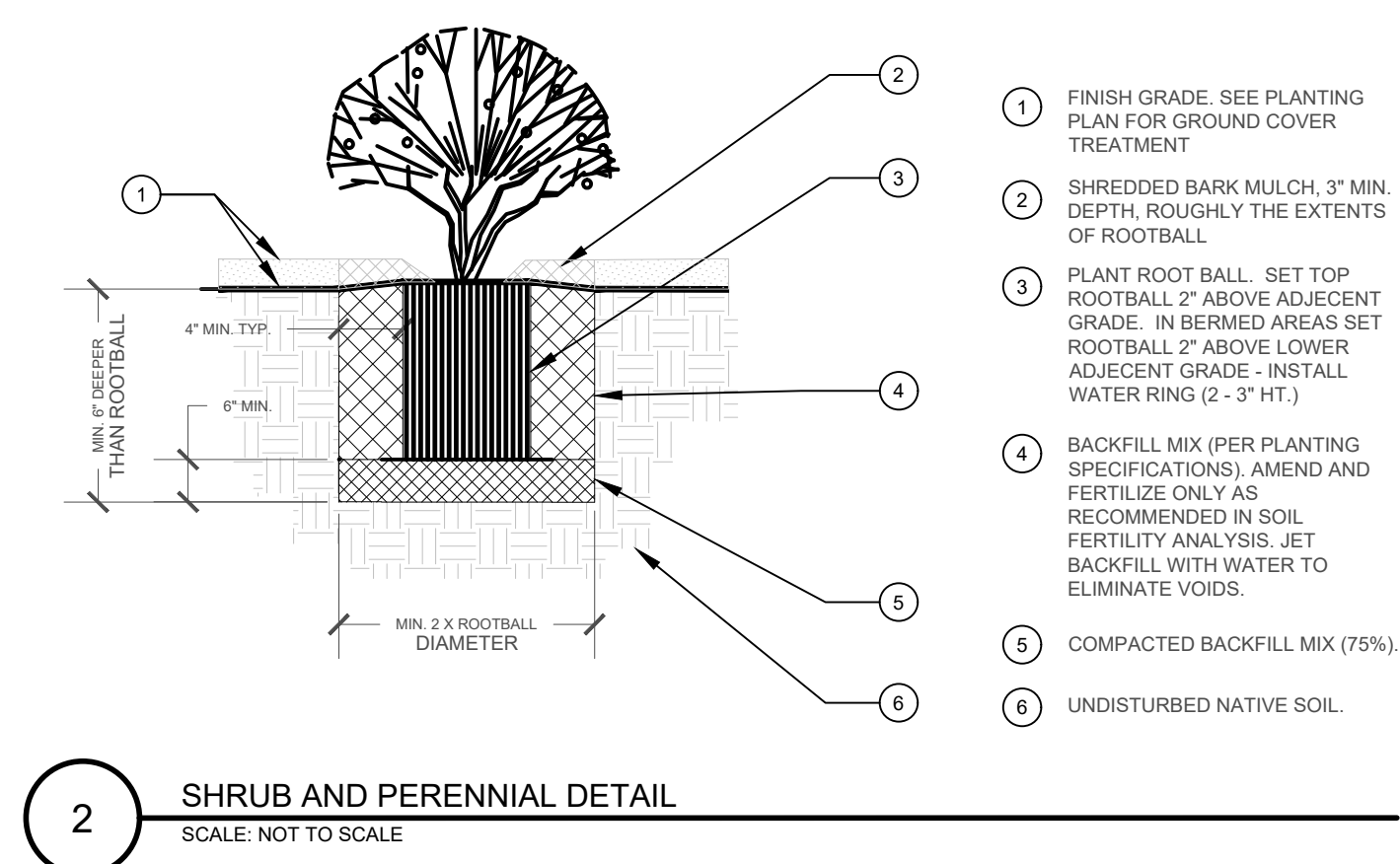
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



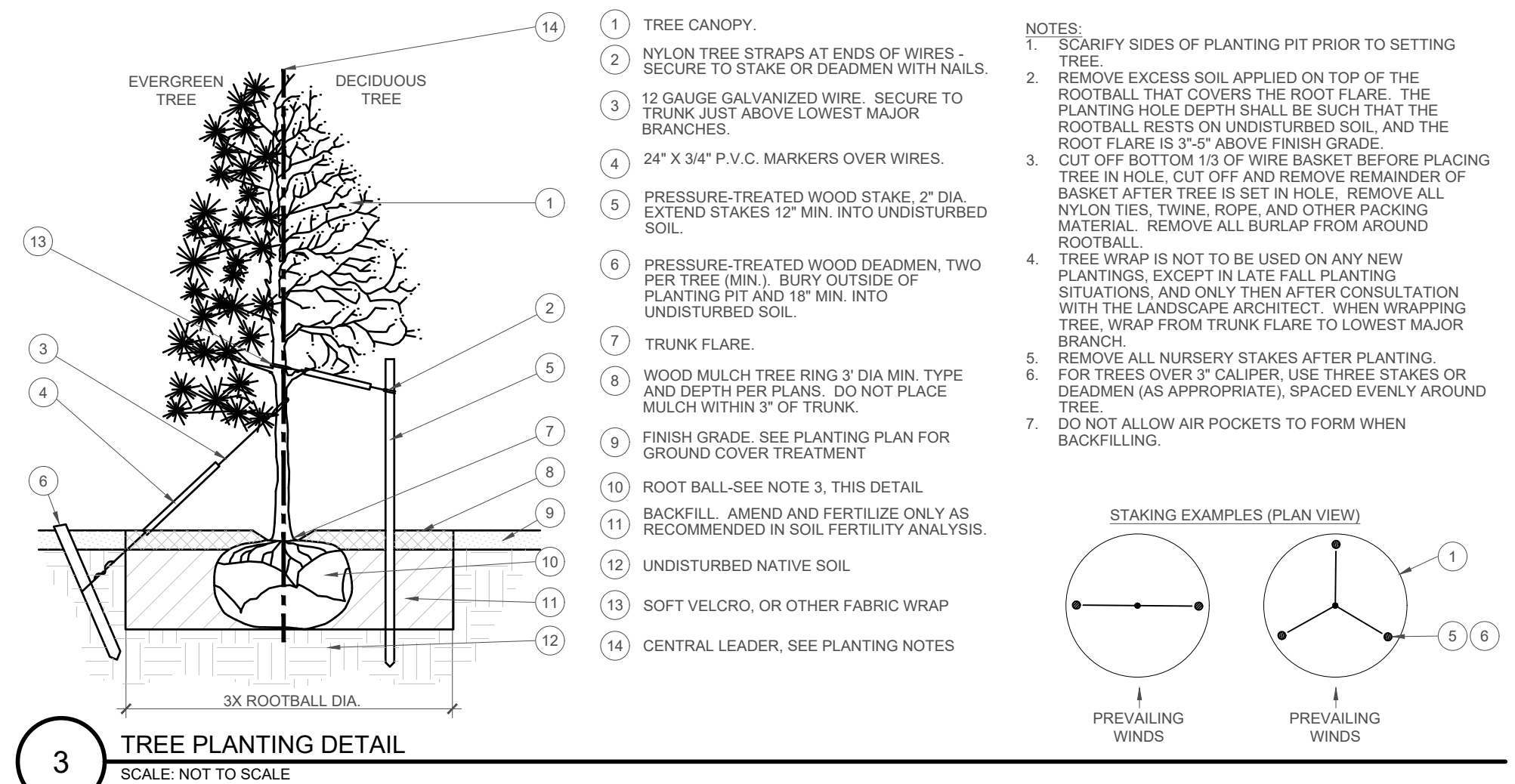
#	Date	Issue / Description	Init.
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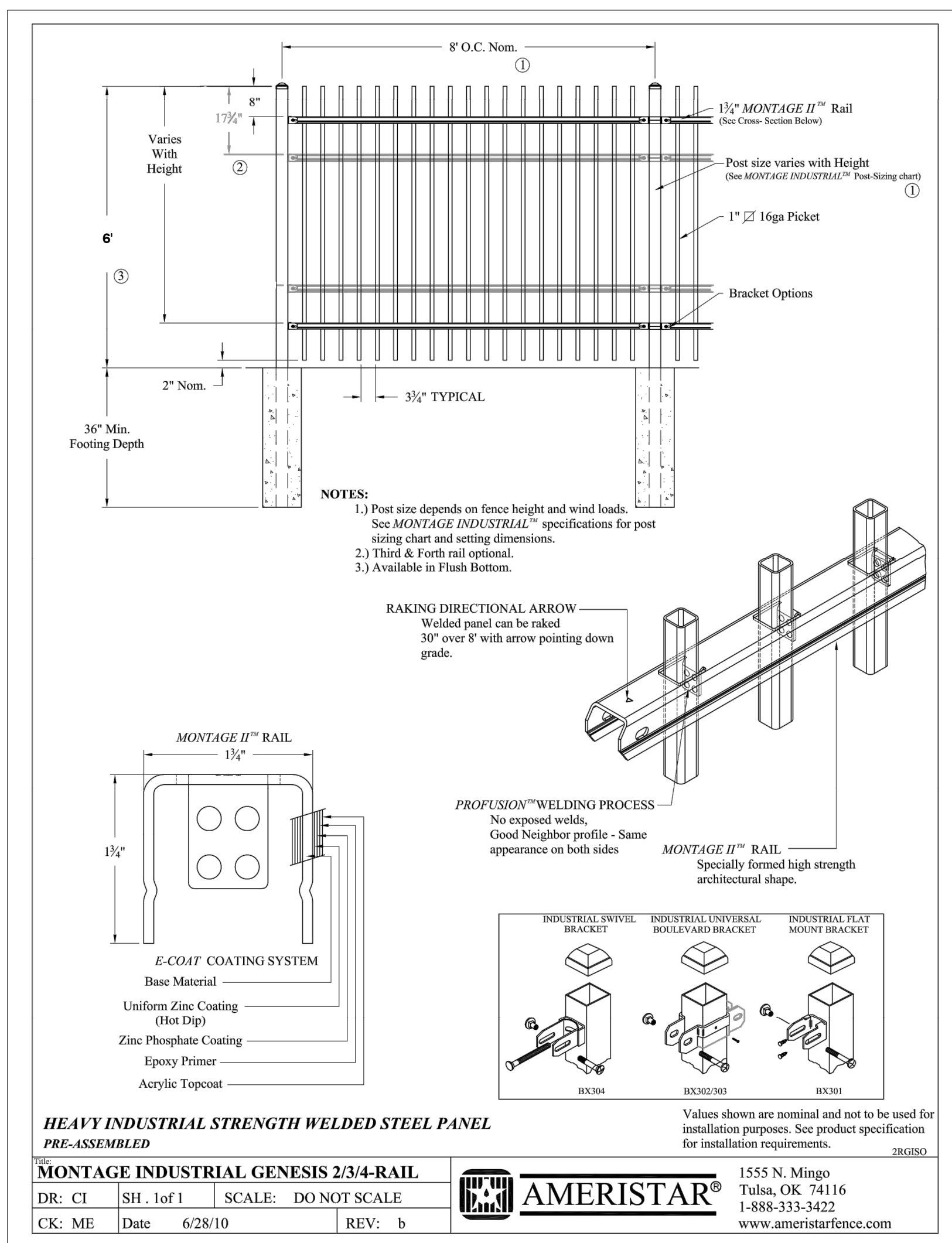
1 PLANT SPACING
SCALE: NOT TO SCALE



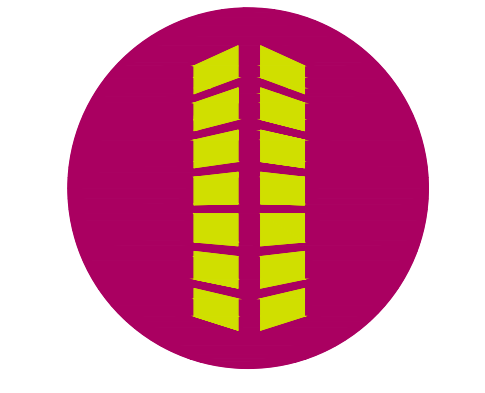
2 SHRUB AND PERENNIAL DETAIL
SCALE: NOT TO SCALE



3 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



4 6' FENCE
OR APPROVED EQUAL
SCALE: NTS



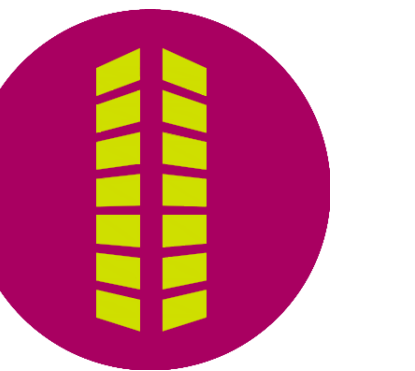
6855 CONSTITUTION AVE. STORAGE SITE
INDUSTRIAL DEVELOPMENT
REZONE PACKAGE
FOR JOHNSON DEVELOPMENT ASSOCIATES
LOT 1 OF THE EIGHT LINE SUBDIVISION
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.
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14			

Project No: JDA000002.20
Drawn By: JRW
Checked By:
Date: 04/22/2022
LANDSCAPE DETAILS

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**SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE**

Johnson Development Associates
6855 Constitution Avenue
Colorado Springs, CO 80915

[illegible]

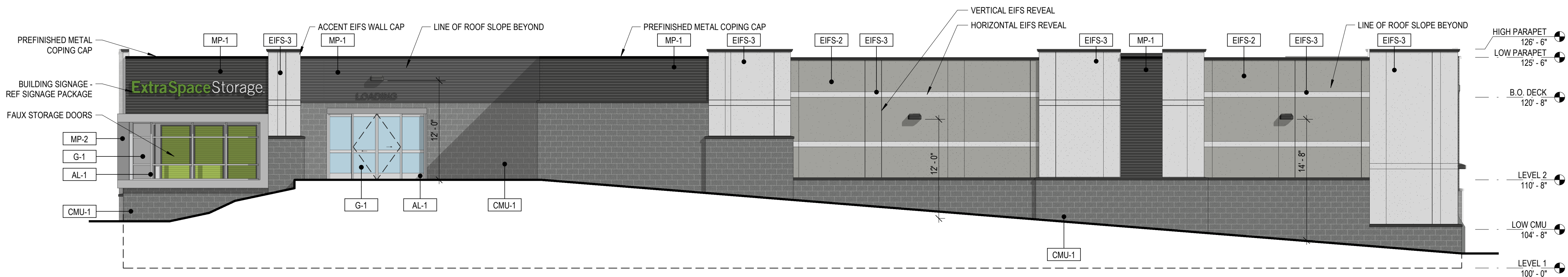
CONCEPT ELEVATIONS

A2.1

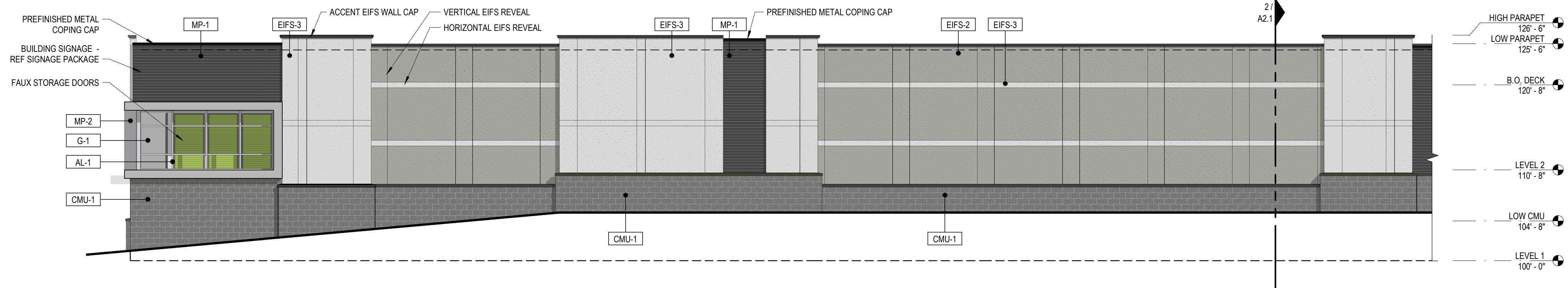
Sheet 8 of 20

EXTERIOR MATERIAL LEGEND

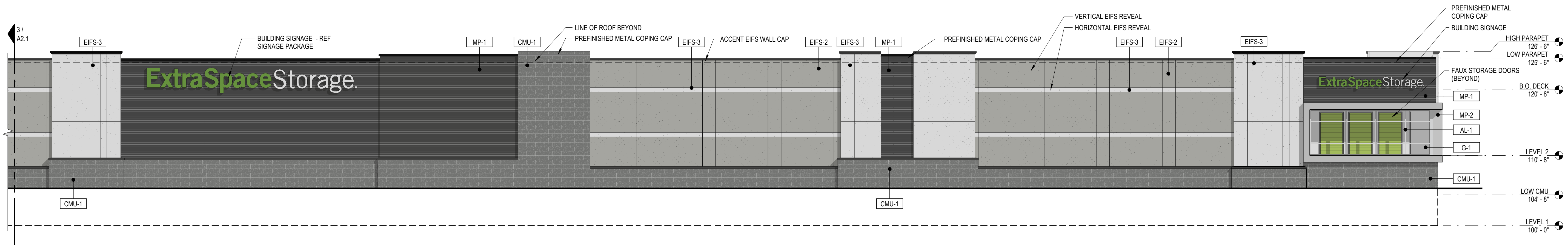
LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
EIFS-3	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	NEBULOUS WHITE (SHERWIN WILLIAMS 7063)
CMU-1	SPLIT FACE CMU	CITYSCAPE (SHERWIN WILLIAMS 7067)
PC-1	PRECAST CONCRETE SILL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MA-1	METAL AWNING	IRON ORE (SHERWIN WILLIAMS 7069)
G-1	1" INSULATED GLAZING GLAZING	CLEAR LOW-E
G-2	SPANDREL GLAZING	OPAC-COAT - 300 #03-0770 - WARM GREY
AL-1	ALUMINUM WINDOWS AND ENTRY SYSTEMS	ANODIZED ALUMINUM
PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE



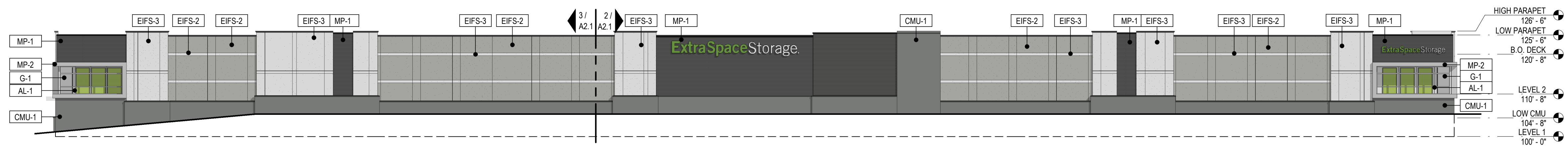
4 PLANNING ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3 PLANNING ELEVATION - NORTH (PART 2 OF 2)
SCALE: 1/8" = 1'-0"



2 PLANNING ELEVATION - NORTH (PART 1 OF 2)
SCALE: 1/8" = 1'-0"

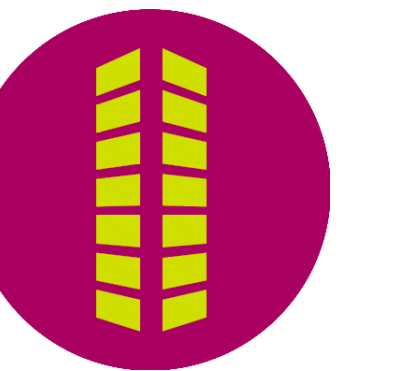


1 PLANNING ELEVATION - NORTH OVERALL
SCALE: 1/16" = 1'-0"



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SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

Johnson Development Associates
6855 Constitution Avenue
Colorado Springs, CO 80915

[illegible]

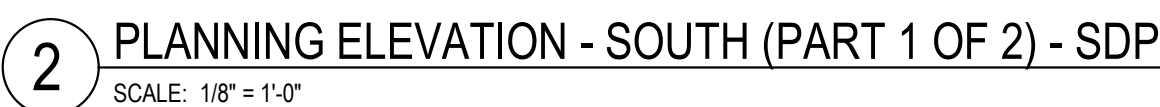
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Drawn By:	MK
Checked By:	SDM
Date:	04/22/22

CONCEPT ELEVATIONS

A2.2

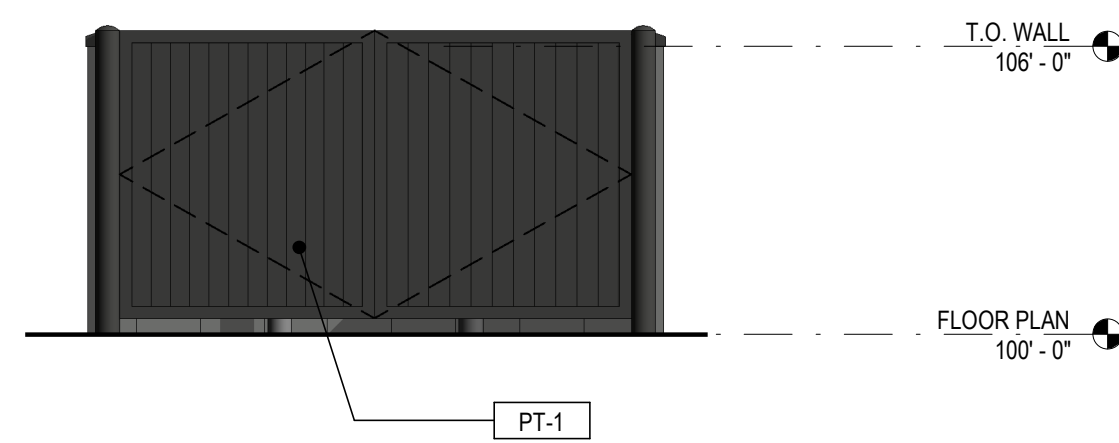
Sheet 9 of 20

LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
EIFS-3	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	NEBULOUS WHITE (SHERWIN WILLIAMS 7063)
CMU-1	SPLIT FACE CMU	CITYSCAPE (SHERWIN WILLIAMS 7067)
PC-1	PRECAST CONCRETE SILL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
M-1	METAL AWNING	IRON ORE (SHERWIN WILLIAMS 7069)
G-1	1" INSULATED GLAZING	CLEAR LOW-E
G-2	SPANDREL GLAZING	OPAC-COAT - 300 #03-0770 - WARM GREY
AL-1	ALUMINUM WINDOWS AND ENTRY SYSTEMS	ANODIZED ALUMINUM
PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE

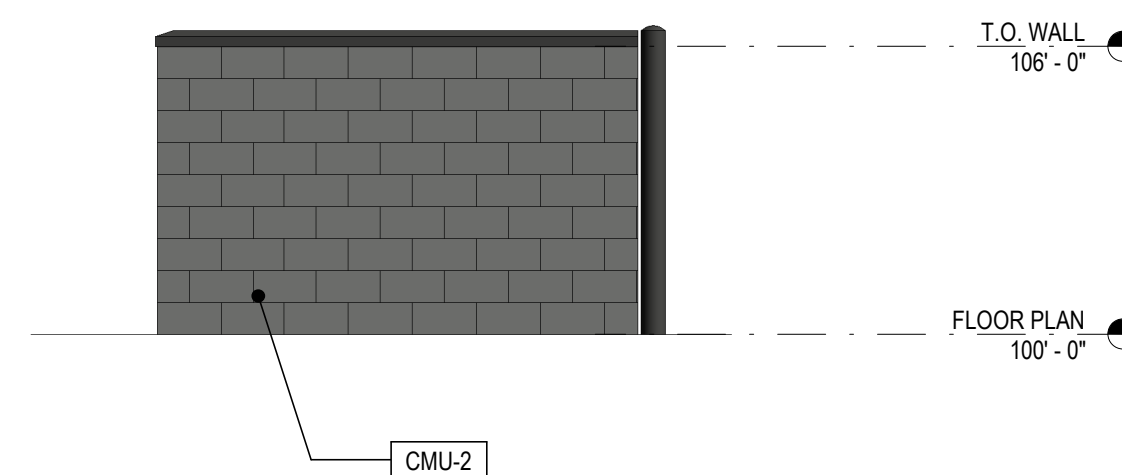


EXTERIOR MATERIAL LEGEND

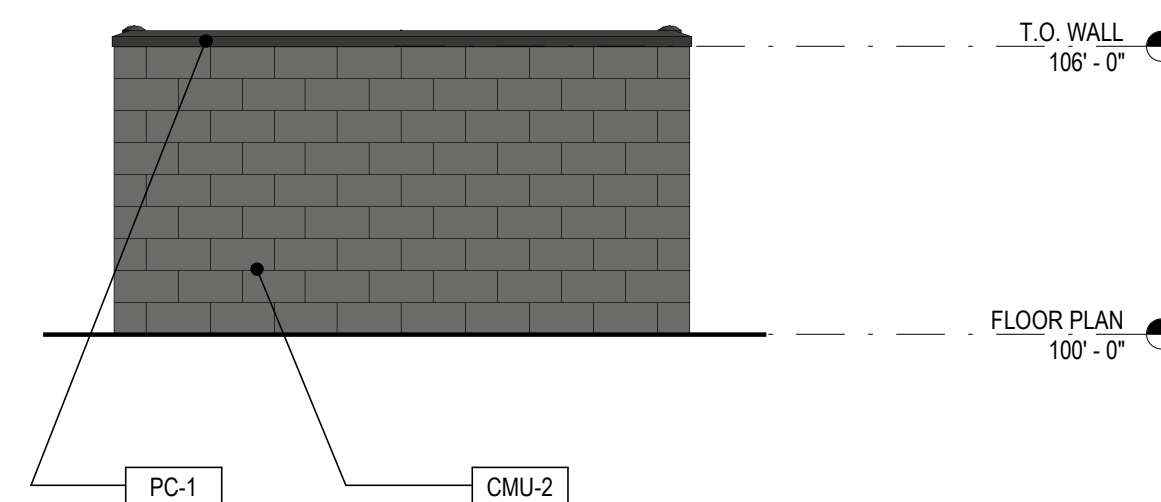
LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD (COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069))
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
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PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE



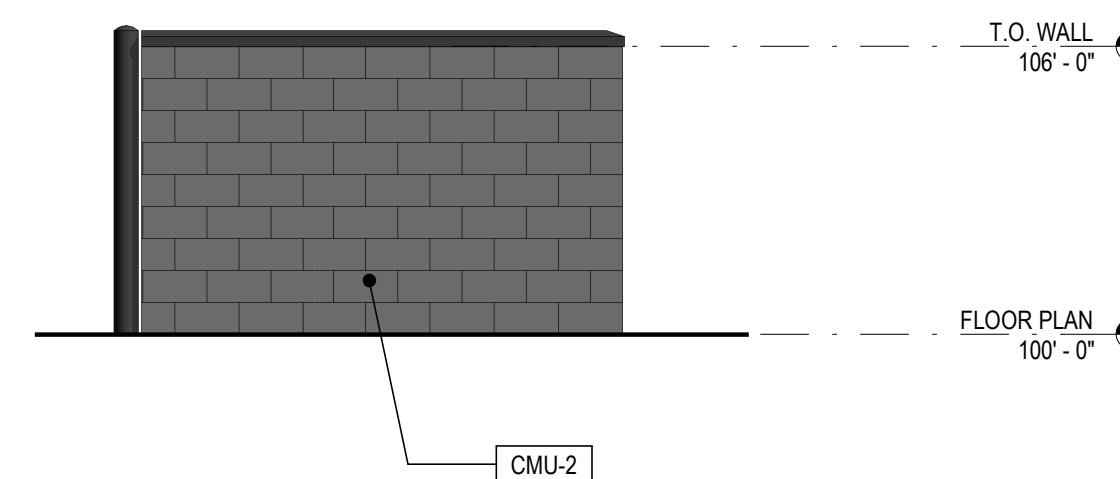
7 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



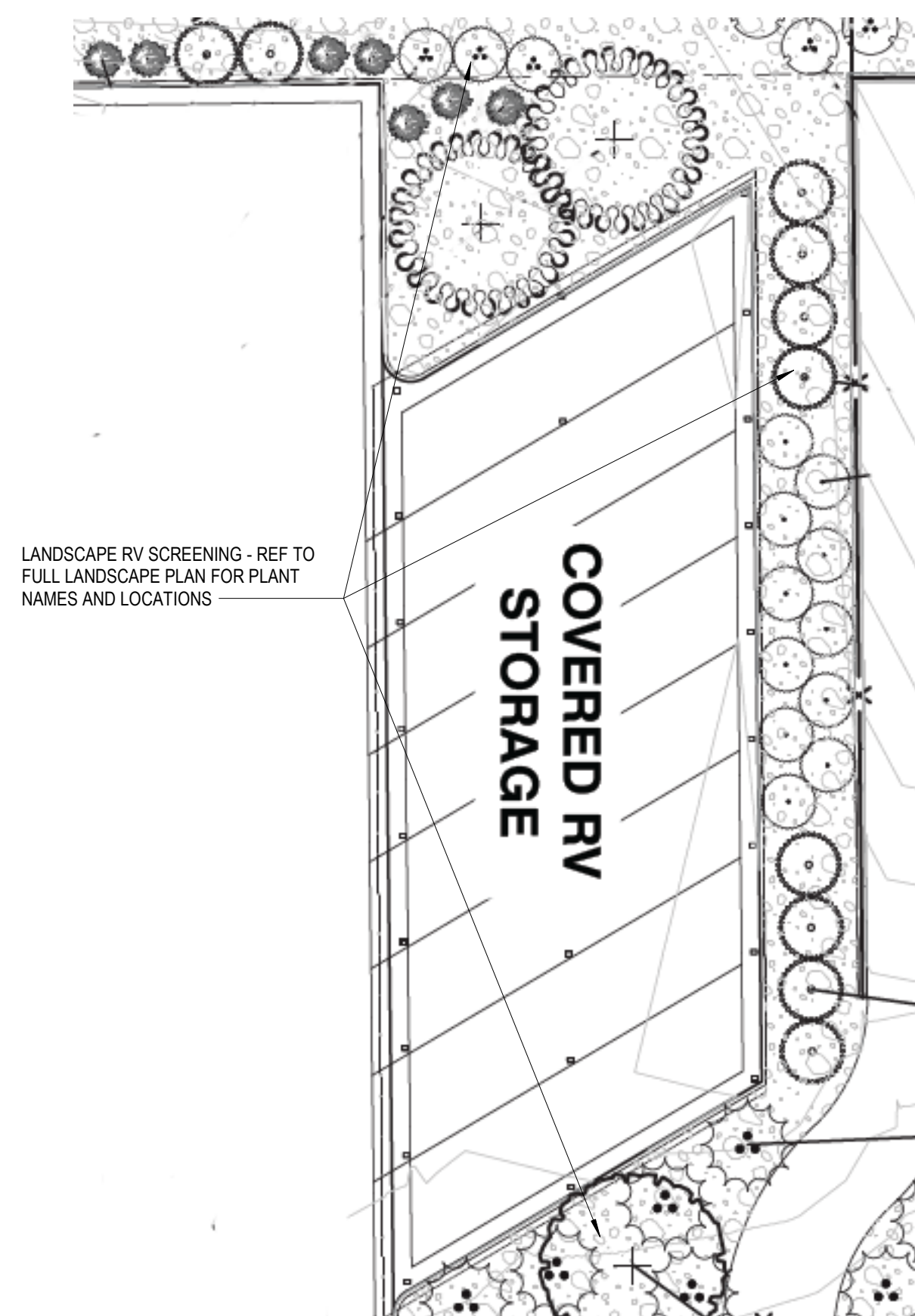
6 TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



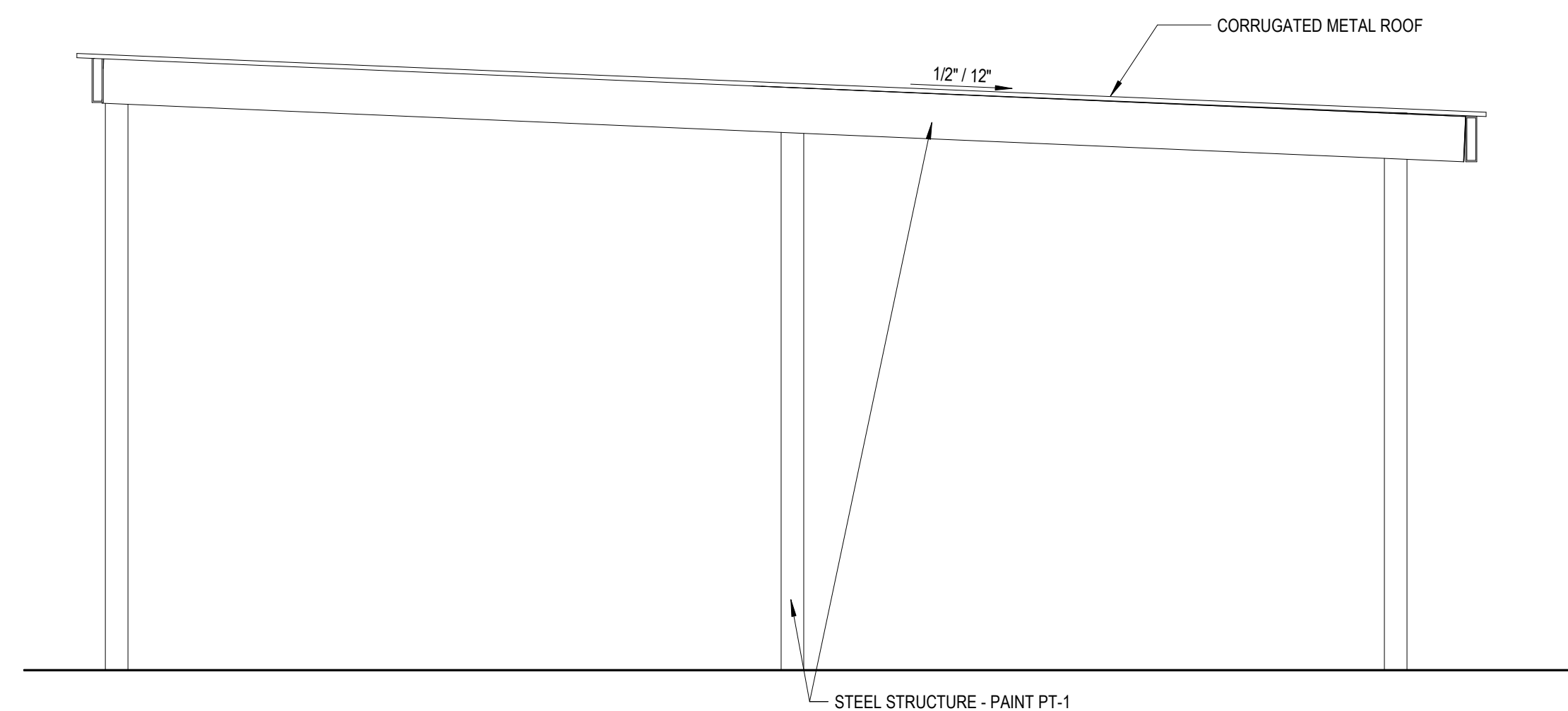
5 TRASH ENCLOSURE - BACK ELEVATION
SCALE: 1/4" = 1'-0"



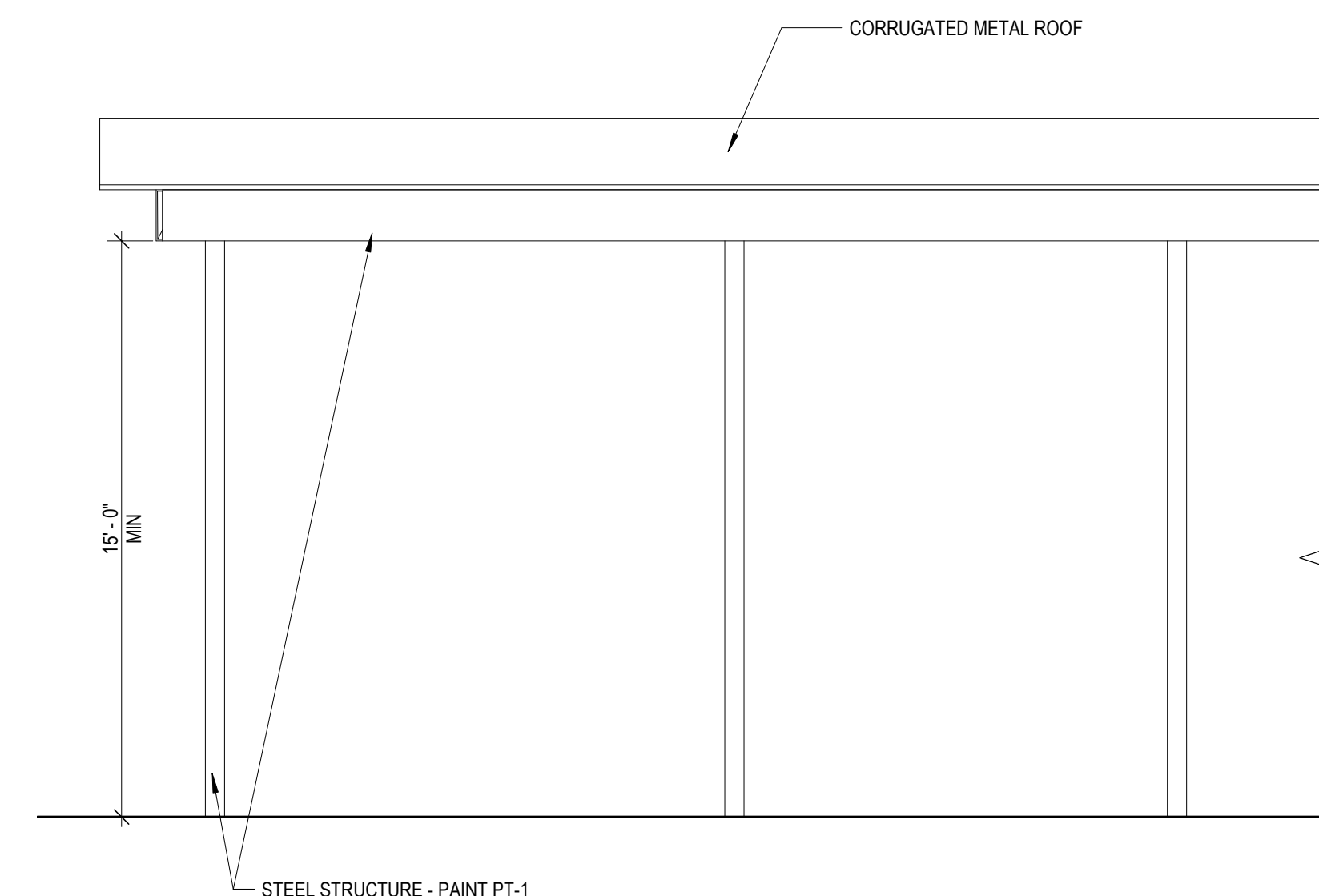
4 TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 RV CANOPY SCREENING EXHIBIT
SCALE: NTS



2 RV CANOPY - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 RV CANOPY - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

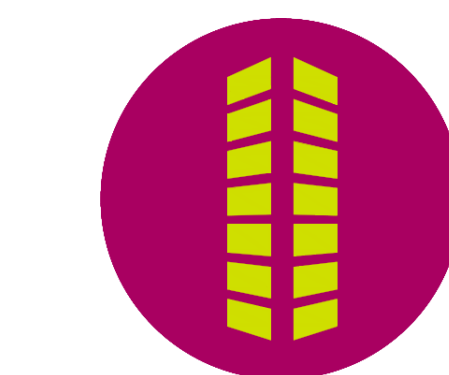
Galloway

6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

STAMP

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SITE DEVELOPMENT PLAN CONSTITUTION STORAGE

**SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE**

Johnson Development Associates

6855 Constitution Avenue
Colorado Springs, CO 80915

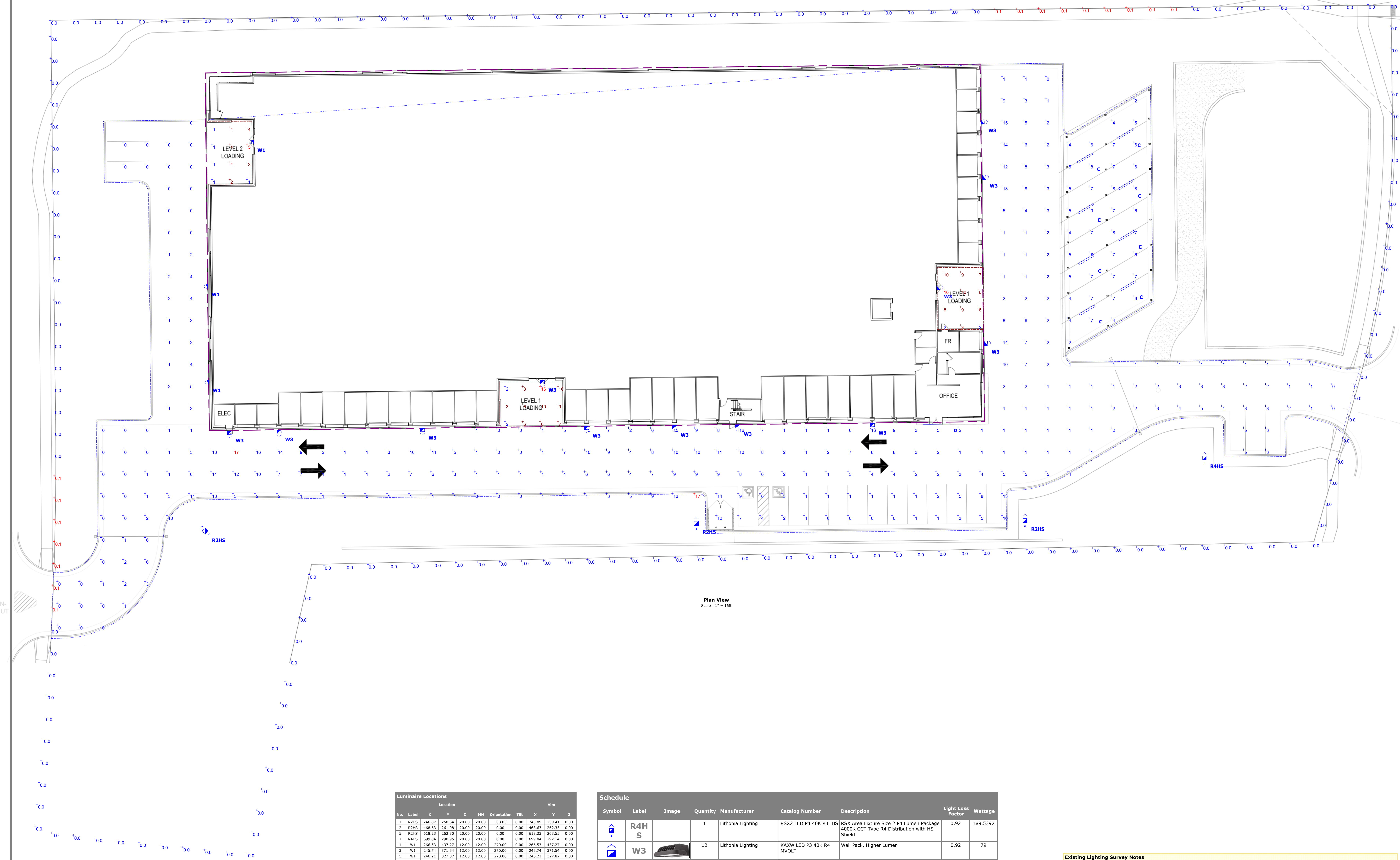
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Project No:	JDA000002
Drawn By:	SDM
Checked By:	SDM
Date:	04/22/22

CONCEPT ELEVATIONS

A2.3

Sheet 10 of 20



Plan View
Scale - 1" = 16ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area	+	4 fc	17 fc	0 fc	N/A	N/A
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Under Canopy 1	+	3 fc	5 fc	1 fc	5.0:1	3.0:1
Under Canopy 2	+	7 fc	16 fc	2 fc	8.0:1	3.5:1
Under Canopy 3	+	7 fc	16 fc	2 fc	8.0:1	3.5:1

Luminaire Locations										
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	R2HS	246.87	258.64	20.00	20.00	308.05	0.00	245.89	259.41	0.00
2	R2HS	468.63	261.08	20.00	20.00	0.00	0.00	468.63	262.33	0.00
5	R2HS	618.23	262.30	20.00	20.00	0.00	0.00	618.23	263.55	0.00
1	R4HS	699.84	290.95	20.00	20.00	0.00	0.00	699.84	292.14	0.00
1	W1	266.53	437.27	12.00	12.00	270.00	0.00	266.53	437.27	0.00
3	W1	245.74	371.54	12.00	12.00	270.00	0.00	245.74	371.54	0.00
5	W1	246.21	327.87	12.00	12.00	270.00	0.00	246.21	327.87	0.00
1	W3	278.58	305.44	12.00	12.00	177.93	0.00	278.58	305.44	0.00
2	W3	398.42	327.95	12.00	12.00	177.93	0.00	398.42	327.95	0.00
3	W3	418.60	307.15	12.00	12.00	177.93	0.00	418.60	307.15	0.00
4	W3	458.67	307.42	12.00	12.00	177.93	0.00	458.67	307.42	0.00
5	W3	487.40	307.82	12.00	12.00	177.93	0.00	487.40	307.82	0.00
6	W3	548.72	308.43	12.00	12.00	177.93	0.00	548.72	308.43	0.00
7	W3	598.93	446.42	9.00	9.00	86.76	0.00	598.93	446.42	0.00
8	W3	599.55	421.22	12.00	12.00	86.76	0.00	599.55	421.22	0.00
9	W3	578.75	370.84	12.00	12.00	86.76	0.00	578.75	370.84	0.00
10	W3	600.41	345.62	12.00	12.00	86.76	0.00	600.41	345.62	0.00
11	W3	343.85	306.16	12.00	12.00	177.93	0.00	343.85	306.16	0.00
12	W3	256.06	304.89	12.00	12.00	177.93	0.00	256.06	304.89	0.00
1	C	663.99	441.05	15.00	15.00	59.17	0.00	663.99	441.05	0.00
2	C	645.58	430.03	15.00	15.00	59.17	0.00	645.58	430.03	0.00
5	C	664.24	417.93	15.00	15.00	59.17	0.00	664.24	417.93	0.00
6	C	645.82	406.92	15.00	15.00	59.17	0.00	645.82	406.92	0.00
9	C	664.50	394.71	15.00	15.00	59.17	0.00	664.50	394.71	0.00
10	C	646.08	383.70	15.00	15.00	59.17	0.00	646.08	383.70	0.00
13	C	664.94	371.76	15.00	15.00	59.17	0.00	664.94	371.76	0.00
14	C	646.52	360.74	15.00	15.00	59.17	0.00	646.52	360.74	0.00
1	D	577.81	308.86	12.00	12.00	89.64	0.00	577.81	308.86	0.00

Schedule							
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor Wattage
	R4H S		1	Lithonia Lighting	RSX2 LED P4 40K R4 HS	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	0.92 189,5392
	W3		12	Lithonia Lighting	KAXW LED P3 40K R4 MVOLT	Wall Pack, Higher Lumen	0.92 79
	R2H S		3	Lithonia Lighting	RSX2 LED P4 40K R2 HS	RSX LED Area Luminaire Size 2 P4 Lumen Package 4000K CCT Type R2 Distribution with HS shield	0.92 189.54
	W1		3	Lithonia Lighting	KAXW LED P1 40K R3 MVOLT	Wall Pack, Lower Lumen	0.92 29
	C		8	Lithonia Lighting	CSVT L48 5000LM MVOLT 40K 80CRI	Contractor Select LED Vapor Tite, 48", 5000LM, 120-277V, 4000K, 80 CRI	0.95 41.99
	D		1	Nova Flex LED	Custom Build - Coordinate with Lighting Vendor	LED Tape Light 4000K, 250 Lumens per Linear Foot, Enclosed in Aluminum Channel	0.5 7

Existing Lighting Survey Notes
1. Readings are shown in units of maintained footcandles.
2. Total Light Loss Factor (LLF) = 8% or 0.92
3. Test Plane = 0' AFF
4. Fixture Mounting Height = 20' AG for all pole-mounted area lights, 12' for wall packs; 15' for under-canopy lights; see fixture location schedule.
5. Building Height = 35' AFF
6. Building Reflectance Value = 10/10/10
7. Fixture Spacing = See Fixture Locations Schedule
8. This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

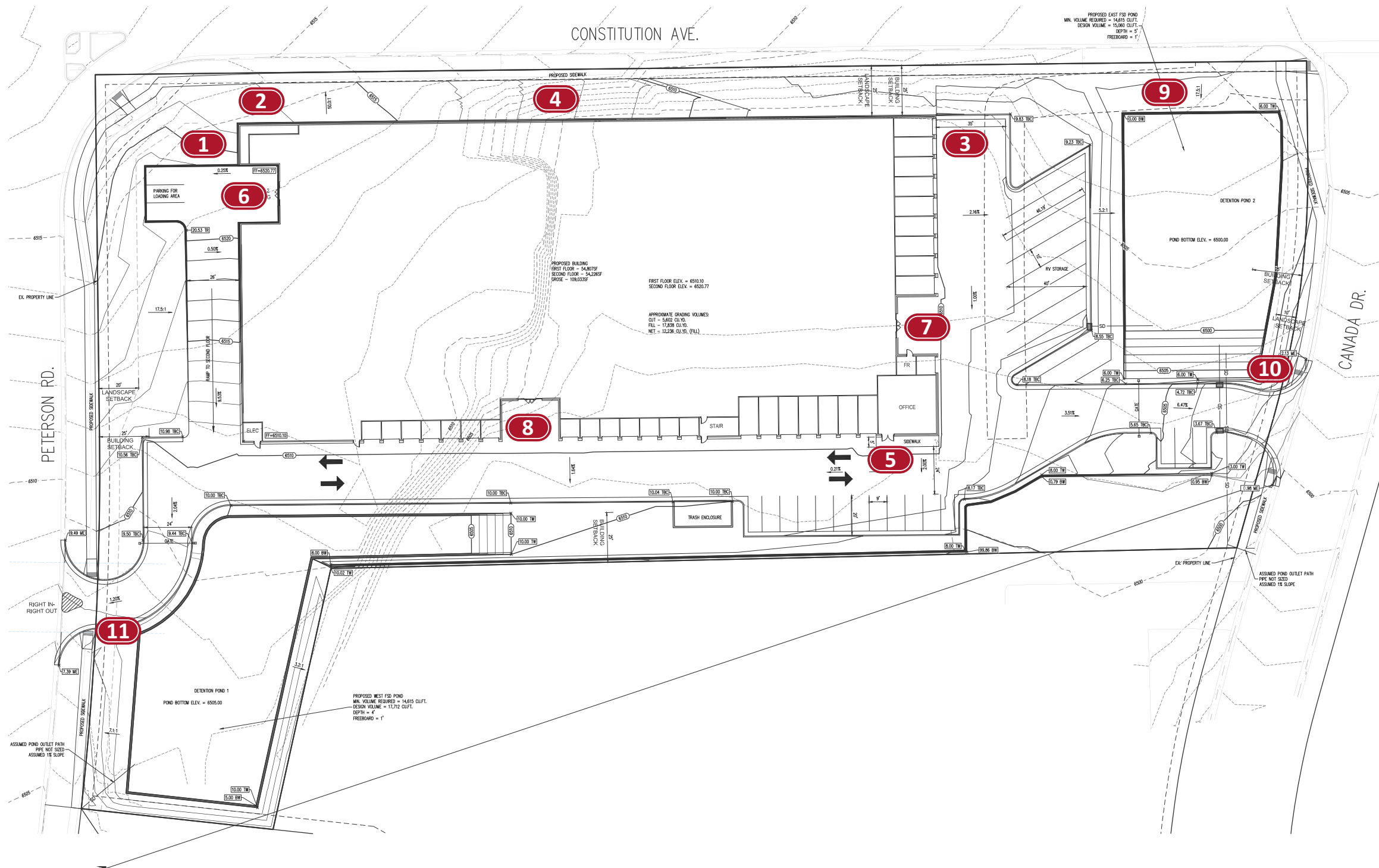
ExtraSpace Storage

**6855 Constitution Avenue
El Paso County
Colorado Springs, Colorado**

Offered by:



**700 PARKER SQUARE, SUITE 205
FLOWER MOUND, TX 75028
T. 800.675.6353**



SITE PLAN

1	Remote Face-Lit Channel Letters
2	Remote Face-Lit Channel Letters
3	Remote Face-Lit Channel Letters
4	Remote Face-Lit Channel Letters
5	Office Raceway Channel Letters
6	Loading Raceway Channel Letters
7	Loading Raceway Channel Letters
8	Loading Raceway Channel Letters
9	D/F Pylon sign Structure
10	Directional Ground Sign
11	Directional Ground Sign

SITE PLAN : OVERVIEW



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

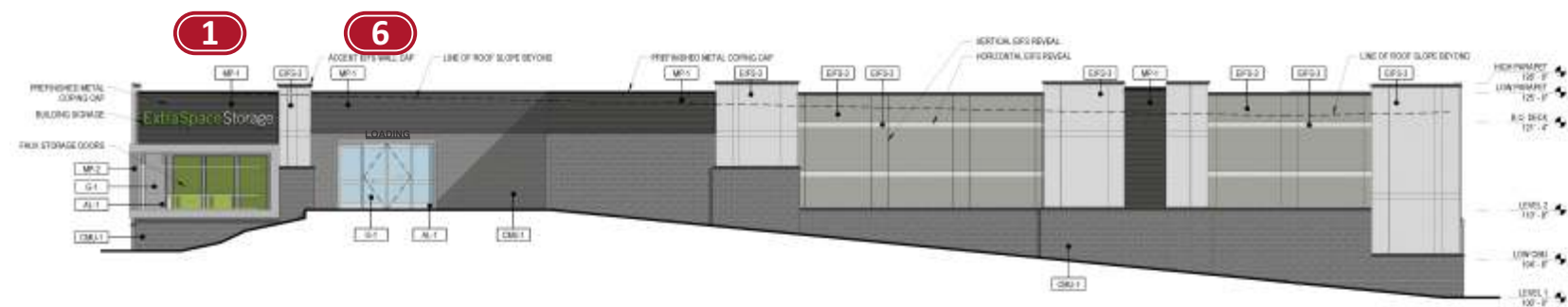
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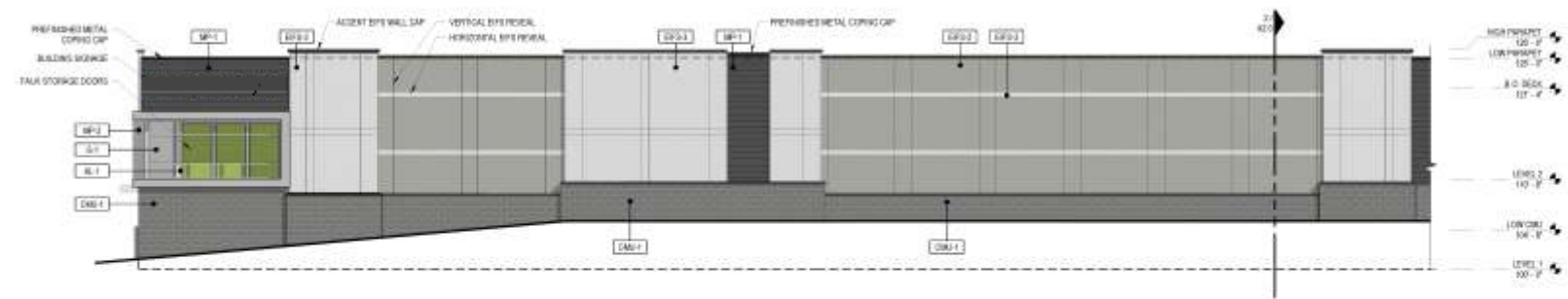
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SHEET

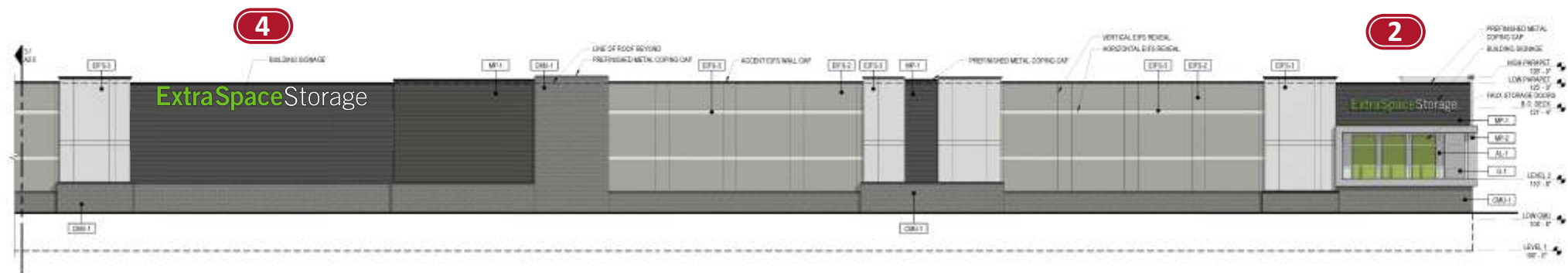
2



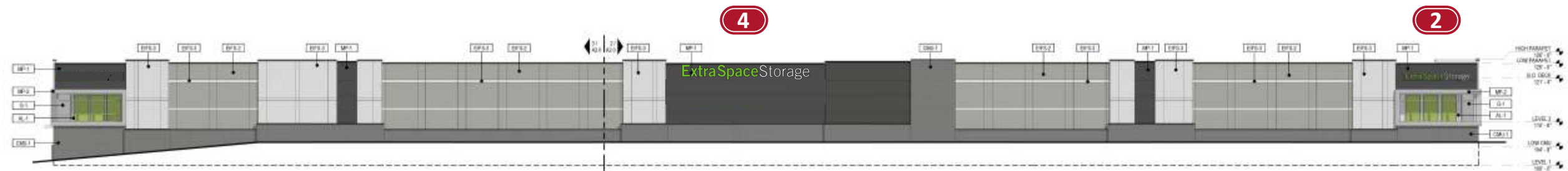
WEST ELEVATION



NORTH ELEVATION : PART 1



NORTH ELEVATION : PART 2



NORTH ELEVATION : COMPLETE



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

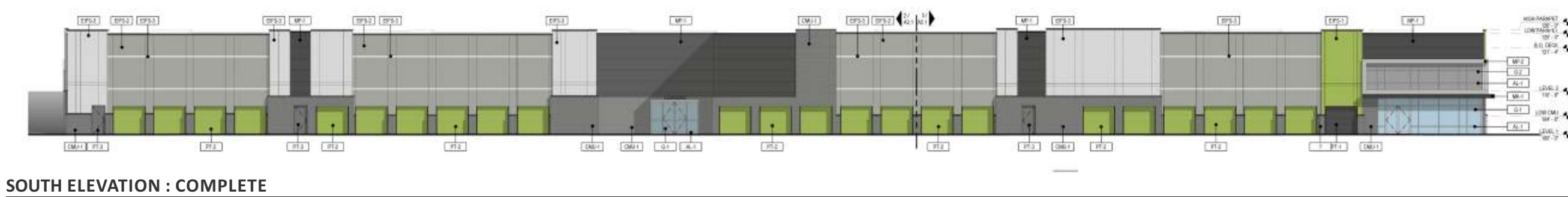
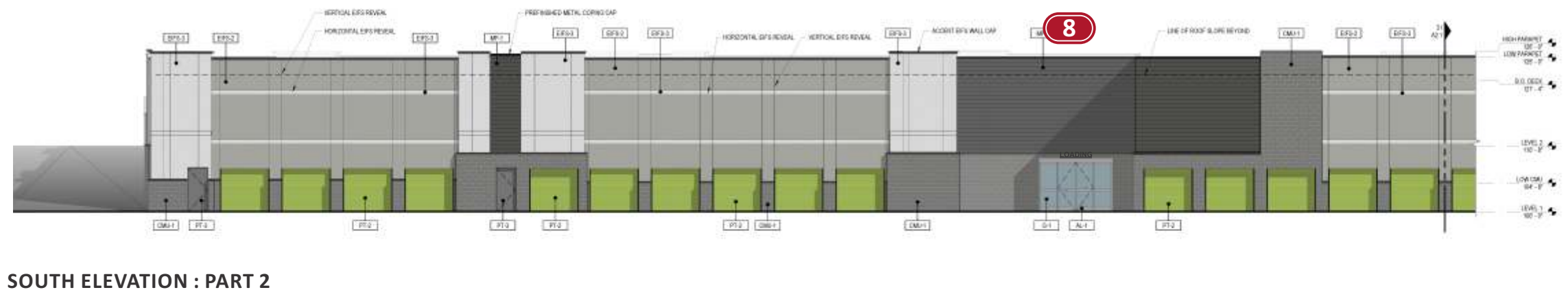
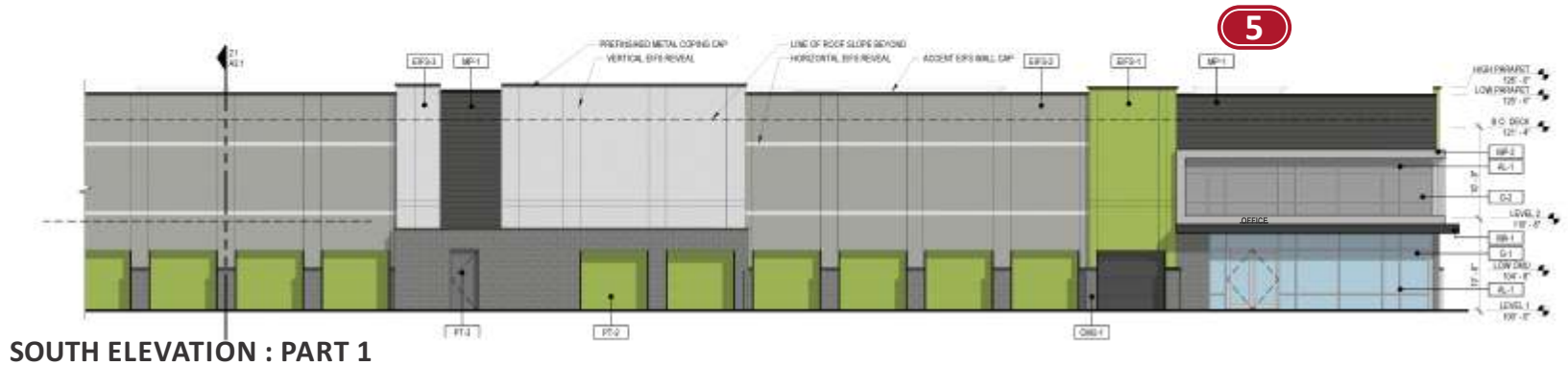
Landlord:

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SHEET

3





1/4" ALUMINUM PAINTED WHITE WITH ARLON #2500-022 BLACK VINYL COPY.
PIN MOUNT FLUSH TO FASCIA

SCALE: 3/4" = 1'-0"

29.5 SF

1 2 3

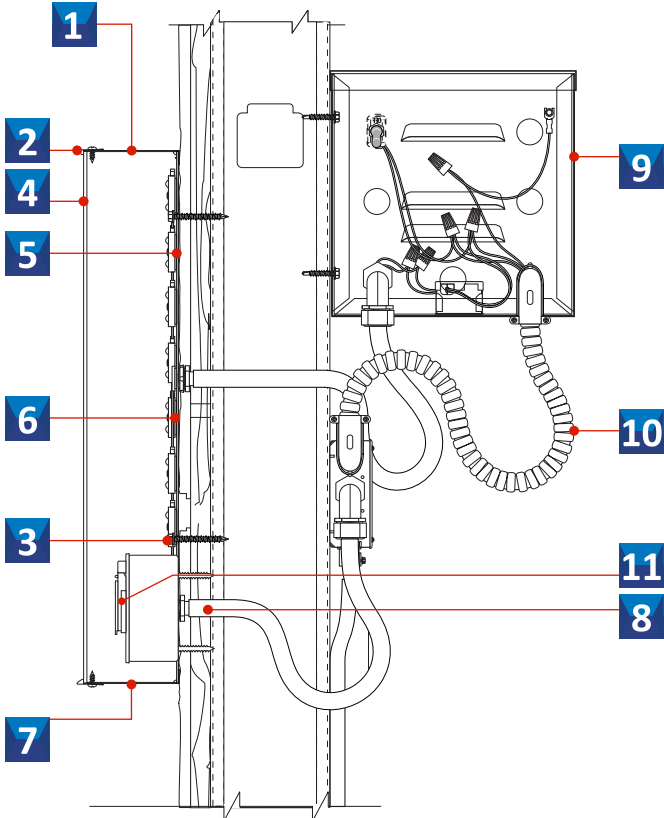
17 3/4" FACE-LIT, REMOTE CHANNEL LETTERS

(3) REQUIRED - FABRICATE AND INSTALL -

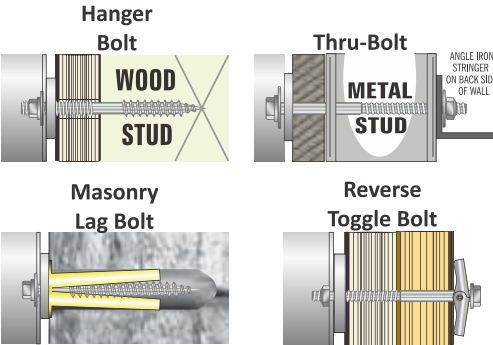
SPECIFICATIONS

- 1 5" DEEP FABRICATED ALUMINUM RETURNS
SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS
BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 2 1" TRIM CAP RETAINER: METALLIC SILVER
- 3 NON-CORROSIVE INSTALLATION HARDWARE:
GALVANIZED
- 4 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE
TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 5 TRUE WHITE STREET FIGHTER HEAVYWEIGHT
LED MODULES
- 6 FLAT ALUMINUM BACK
- 7 1/4" WEEP HOLES (2) TWO PER LETTER
- 8 GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE.
- 9 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN INTERIOR WALL AREA INSIDE A
PROTECTIVE CASE/BOX
- 10 WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- 11 VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



*All Hardware to be
Galvanized and Non Corrosive

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48"
WILL CONSTRUCTED USING .040 ALUMINUM
RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE
CONSTRUCTED USING .063 ALUMINUM
RETURNS & .090 ALUMINUM BACKS.

COLOR SCHEDULE

- GREEN:
2500-106 BRILLIANT GREEN VINYL
PANTONE 368 C GREEN
- GREY: SW 7067 CITY SCAPE PAINT
- METALLIC SILVER: TRIM CAP
- PERFORATED DAY / NIGHT VINYL
- BLACK: 2500-022 BLACK VINYL
- WHITE:



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

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SHEET

5



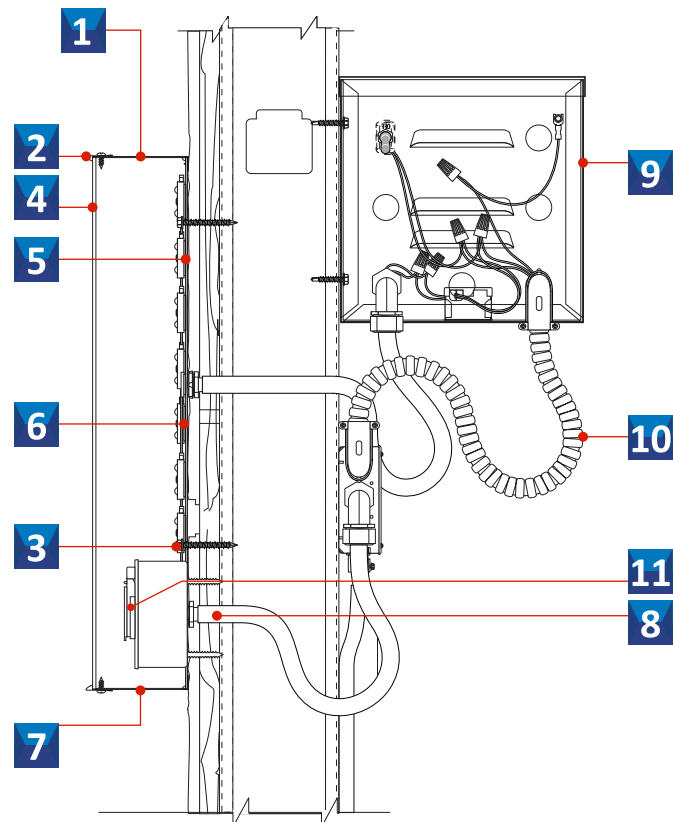
4 35 1/2" FACE-LIT, REMOTE CHANNEL LETTERS

(1) REQUIRED - FABRICATE AND INSTALL -

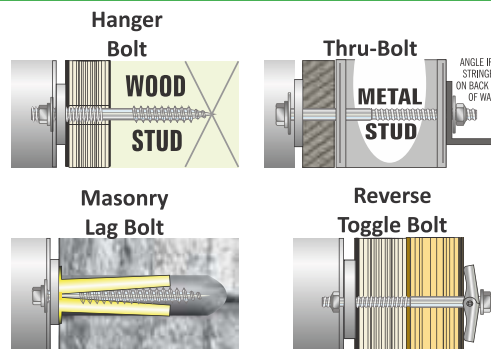
SPECIFICATIONS

- 5" DEEP FABRICATED ALUMINUM RETURNS SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 1" TRIM CAP RETAINER: METALLIC SILVER
- NON-CORROSIVE INSTALLATION HARDWARE: GALVANIZED
- 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE TRANSLUCENT & PERFORATED VINYL AS SHOWN
- TRUE WHITE STREET FIGHTER HEAVYWEIGHT LED MODULES
- FLAT ALUMINUM BACK
- 1/4" WEEP HOLES (2) TWO PER LETTER
- GROUNDLED WALL PASS-THRU SEALED WATER TIGHT. WHIP ON LEFT SIDE.
- LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE/BOX
- WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



*All Hardware to be Galvanized and Non Corrosive

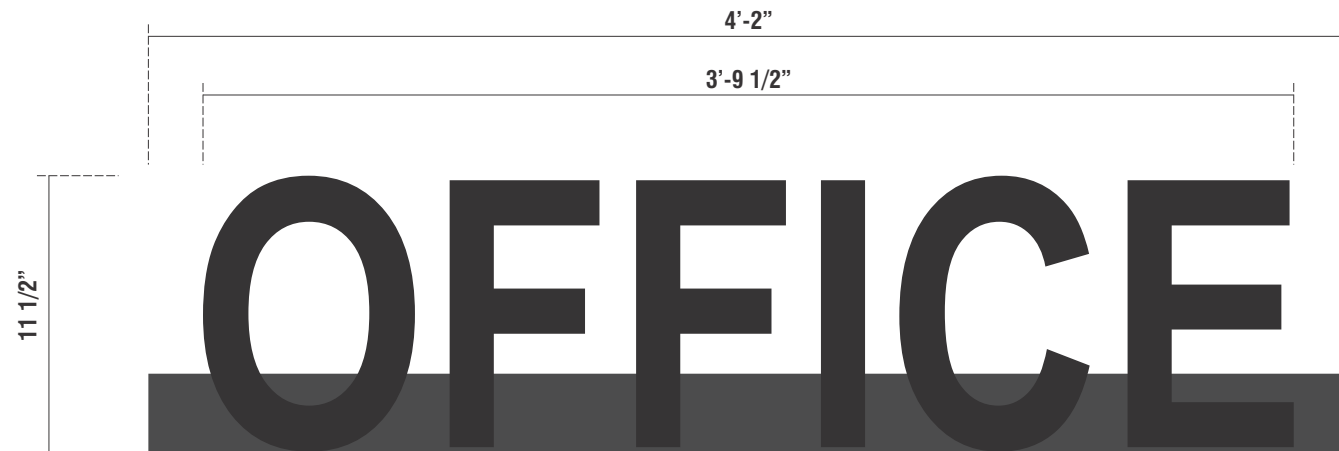
MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48" WILL CONSTRUCTED USING .040 ALUMINUM RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE CONSTRUCTED USING .063 ALUMINUM RETURNS & .090 ALUMINUM BACKS.

COLOR SCHEDULE

- GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
- GREY: SW 7067 CITY SCAPPE PAINT
- METALLIC SILVER: TRIM CAP
- PERFORATED DAY / NIGHT VINYL
- BLACK: 2500-022 BLACK VINYL
- WHITE:



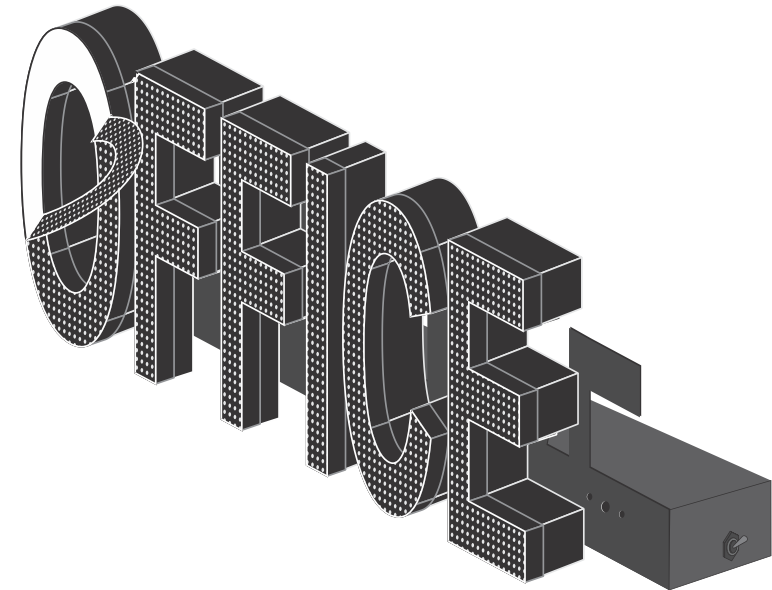
5

OFFICE SIGN

(1) REQUIRED - FABRICATE AND INSTALL -

SCALE: 1 1/2" = 1'-0"

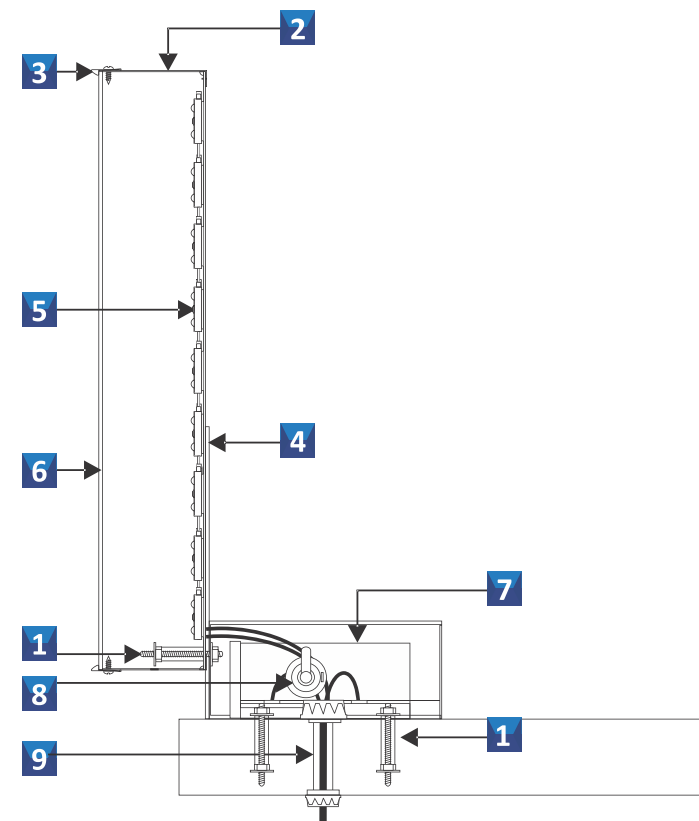
3.99 SQ.FT.



SPECIFICATIONS

- 1
- NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2
- 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3
- 1" TRIM CAP RETAINER: BLACK
- 4
- FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5
- SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6
- 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7
- LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8
- VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9
- GROUNDING WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

SECTION DETAIL



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

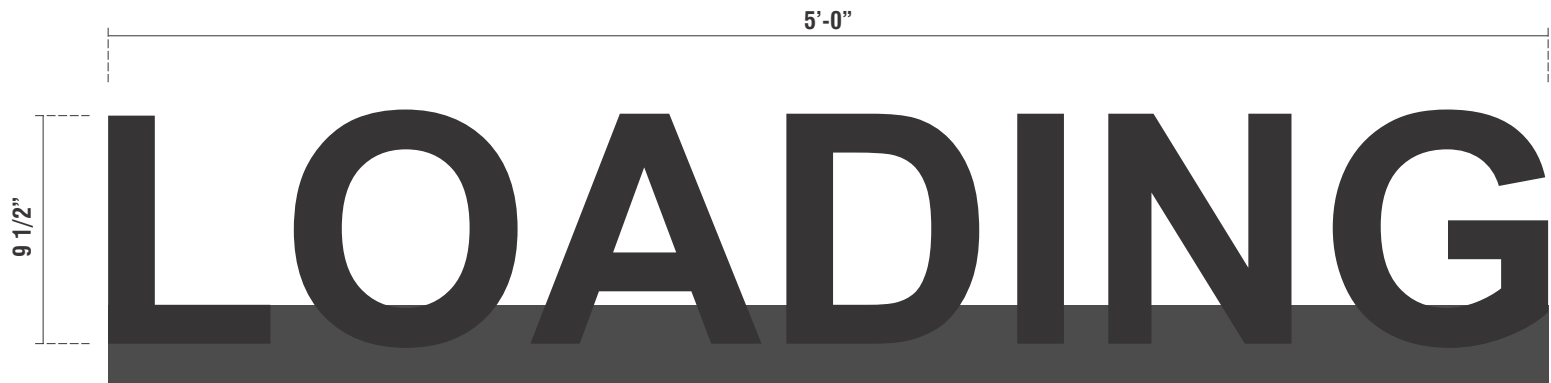
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SHEET

7



6 7 8

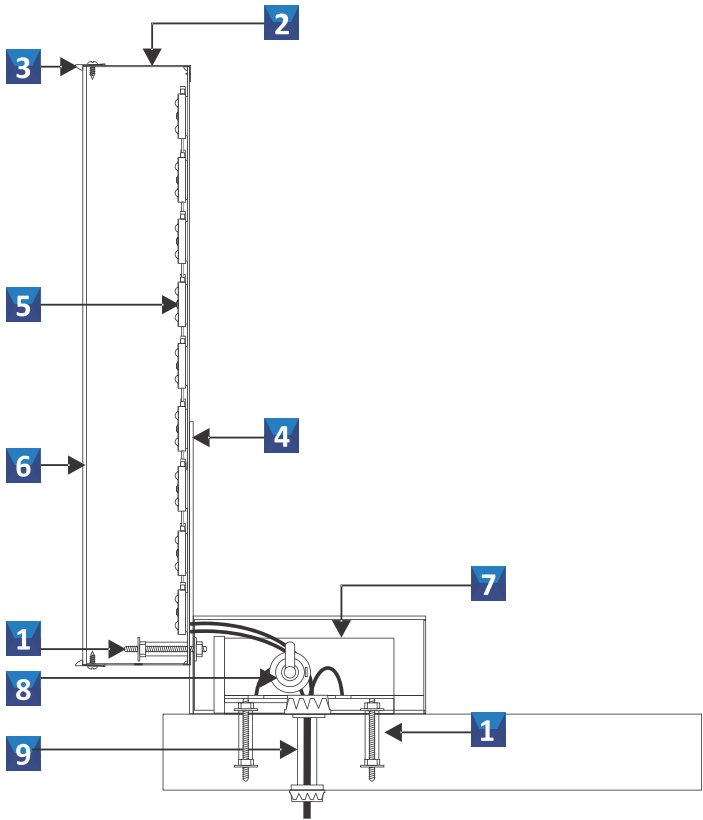
LOADING SIGN
(3) REQUIRED - FABRICATE AND INSTALL -

SCALE: 1 1/2" = 1'-0"
3.99 SQ.FT.

SPECIFICATIONS

- 1 NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3 1" TRIM CAP RETAINER: BLACK
- 4 FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5 SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8 VISIBLE CUT-OFF SWITCH WITH FLIP COVER
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TIGHT. WHIP ON LEFT SIDE

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Customer:

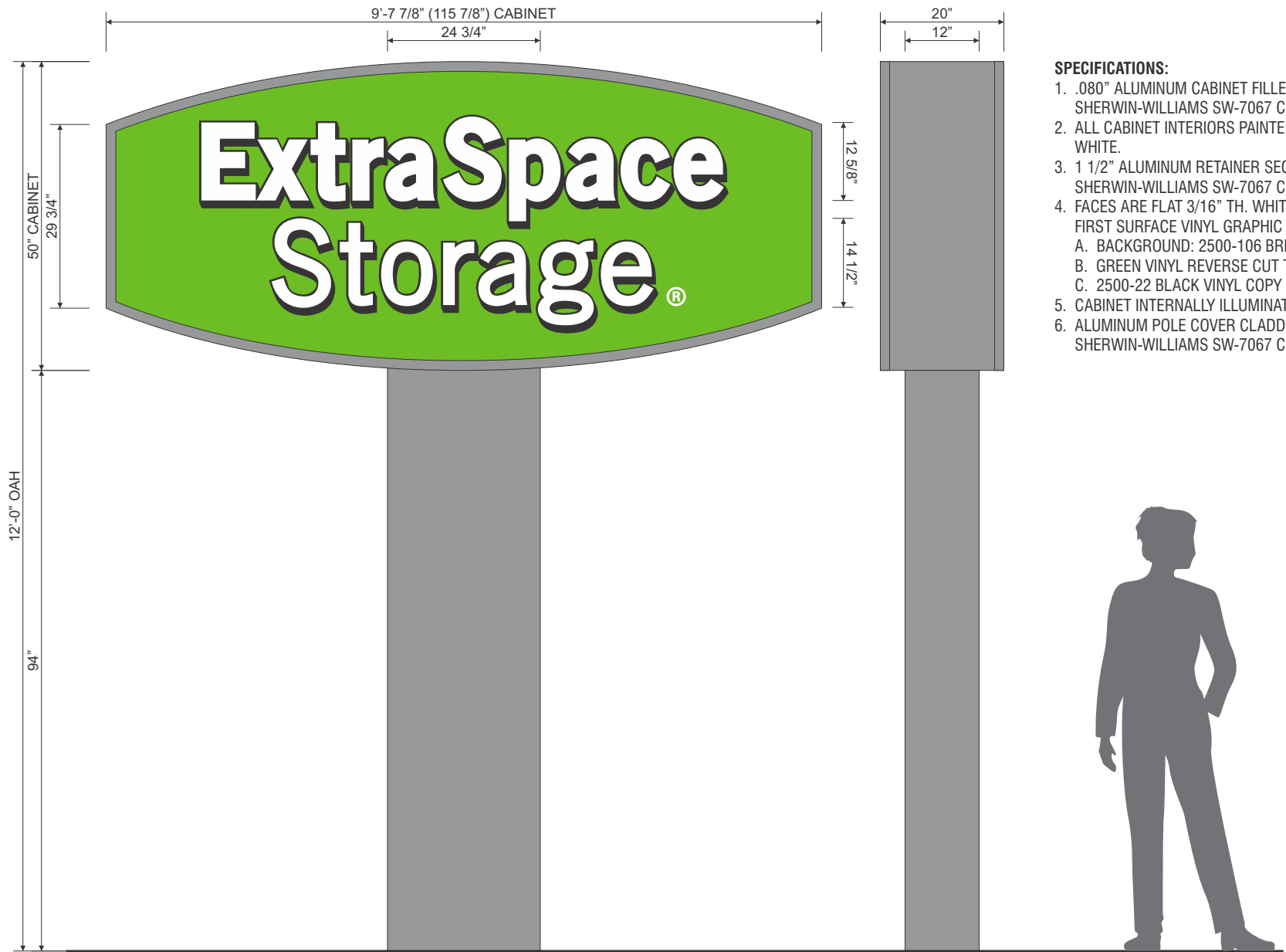
Landlord:

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- SPECIFICATIONS:**
- 1. .080" ALUMINUM CABINET FILLER PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
 - 2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE.
 - 3. 1 1/2" ALUMINUM RETAINER SECTIONS PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
 - 4. FACES ARE FLAT 3/16" TH. WHITE POLYCARBONATE WITH FIRST SURFACE VINYL GRAPHIC OVERLAYS.
 - A. BACKGROUND: 2500-106 BRILLIANT GREEN VINYL
 - B. GREEN VINYL REVERSE CUT TO COPY THRU WHITE
 - C. 2500-22 BLACK VINYL COPY DROP SHADOW & DETAILS
 - 5. CABINET INTERNALLY ILLUMINATED WITH WHITE LEDS.
 - 6. ALUMINUM POLE COVER CLADDING PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.

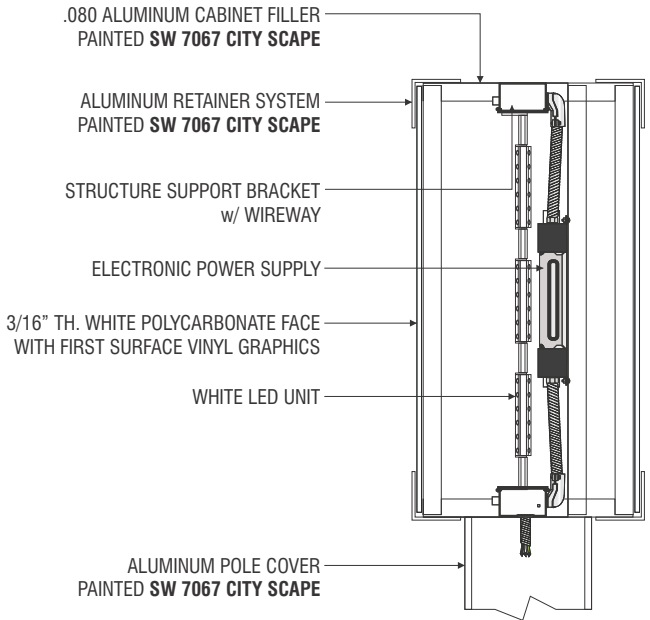


9

PYLON SIGN STRUCTURE
(1) REQUIRED - FABRICATE & INSTALL

SCALE: 1/2" = 1'-0"
Cabinet: 40.0 SF

COLOR SCHEDULE	
<div></div>	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
<div></div>	GREY: SW 7067 CITY SCAPE PAINT
<div></div>	METALLIC SILVER: TRIM CAP
<div></div>	PERFORATED DAY / NIGHT VINYL
<div></div>	BLACK: 2500-022 BLACK VINYL
<div></div>	WHITE:



SECTION DETAIL

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Customer:

Landlord:

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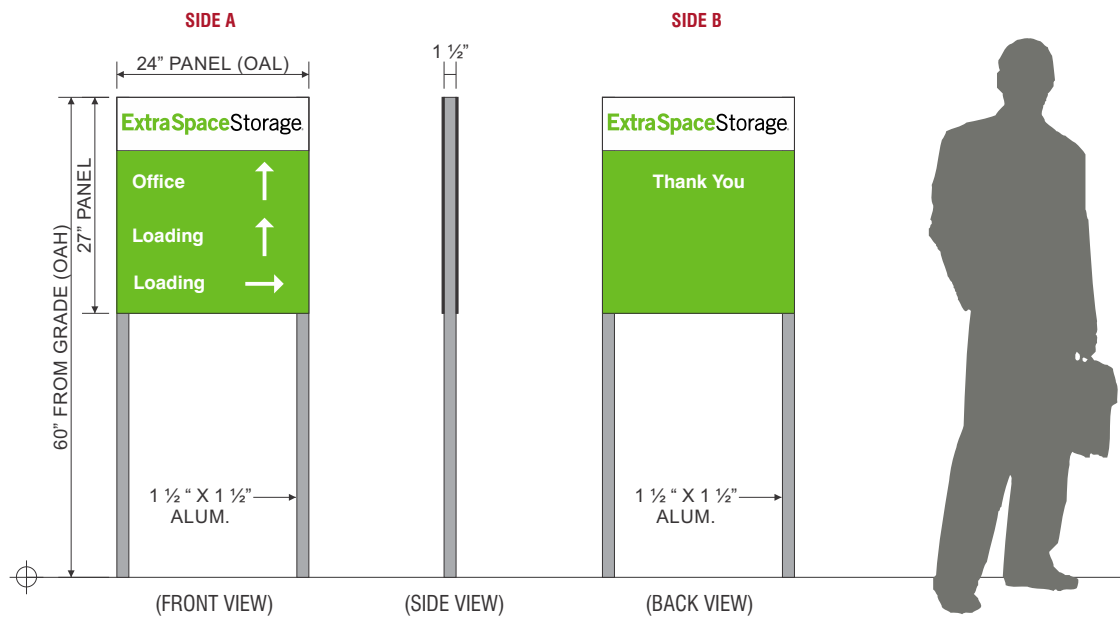
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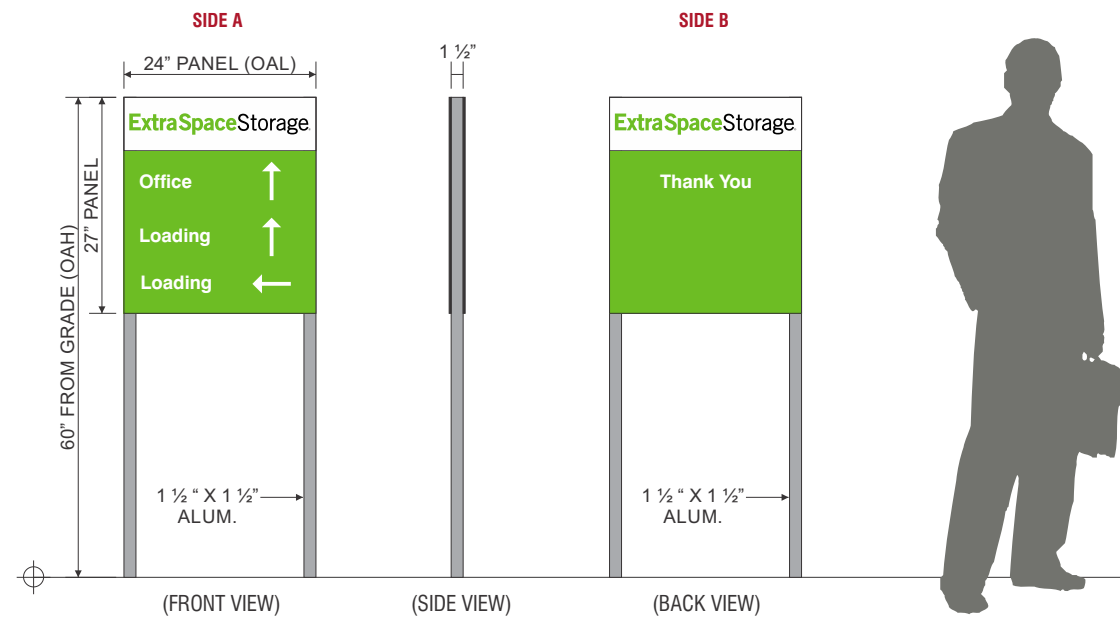
SHEET

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10 D/F DIRECTIONAL GROUND SIGN: CANADA DR SCALE: 1/2" = 1'-0"
(1) QTY PANEL: 4.5 SF

- SPECIFICATIONS:
- 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
 - COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.



11 D/F DIRECTIONAL GROUND SIGN: PETERSON RD SCALE: 1/2" = 1'-0"
(1) QTY PANEL: 4.5 SF

- SPECIFICATIONS:
- 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
 - COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.

COLOR SCHEDULE	
	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPe PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE:



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