

Plan View
Scale = 1" = 16'

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area	+	4 fc	17 fc	0 fc	N/A	N/A
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Under Canopy 1	+	3 fc	5 fc	1 fc	5.0:1	3.0:1
Under Canopy 2	+	7 fc	16 fc	2 fc	8.0:1	3.5:1
Under Canopy 3	+	7 fc	16 fc	2 fc	8.0:1	3.5:1

Luminaire Locations

No.	Label	X	Y	Z	MH	Orientation	Tilt	Aim X	Aim Y	Aim Z
1	R2HS	246.87	258.64	20.00	20.00	308.05	0.00	245.89	259.41	0.00
2	R2HS	468.63	261.08	20.00	20.00	0.00	0.00	468.63	262.33	0.00
5	R2HS	618.23	262.30	20.00	20.00	0.00	0.00	618.23	263.55	0.00
1	R4HS	699.84	290.95	20.00	20.00	0.00	0.00	699.84	292.14	0.00
1	W1	266.53	437.27	12.00	12.00	270.00	0.00	266.53	437.27	0.00
3	W1	245.74	371.54	12.00	12.00	270.00	0.00	245.74	371.54	0.00
5	W1	246.21	327.87	12.00	12.00	270.00	0.00	246.21	327.87	0.00
1	W3	278.38	305.44	12.00	12.00	177.93	0.00	278.38	305.44	0.00
2	W3	398.42	327.95	12.00	12.00	177.93	0.00	398.42	327.95	0.00
3	W3	418.60	307.15	12.00	12.00	177.93	0.00	418.60	307.15	0.00
4	W3	458.67	307.42	12.00	12.00	177.93	0.00	458.67	307.42	0.00
5	W3	487.40	307.83	12.00	12.00	177.93	0.00	487.40	307.83	0.00
6	W3	548.72	308.43	12.00	12.00	177.93	0.00	548.72	308.43	0.00
7	W3	598.93	446.42	9.00	9.00	86.76	0.00	598.93	446.42	0.00
8	W3	599.55	421.22	12.00	12.00	86.76	0.00	599.55	421.22	0.00
9	W3	578.75	378.84	12.00	12.00	86.76	0.00	578.75	378.84	0.00
10	W3	600.41	345.62	12.00	12.00	86.76	0.00	600.41	345.62	0.00
11	W3	343.85	306.16	12.00	12.00	177.93	0.00	343.85	306.16	0.00
12	W3	256.06	304.89	12.00	12.00	177.93	0.00	256.06	304.89	0.00
1	C	663.99	441.05	15.00	15.00	59.17	0.00	663.99	441.05	0.00
2	C	645.58	430.03	15.00	15.00	59.17	0.00	645.58	430.03	0.00
5	C	664.24	417.93	15.00	15.00	59.17	0.00	664.24	417.93	0.00
6	C	645.82	406.92	15.00	15.00	59.17	0.00	645.82	406.92	0.00
9	C	664.50	394.71	15.00	15.00	59.17	0.00	664.50	394.71	0.00
10	C	646.08	383.70	15.00	15.00	59.17	0.00	646.08	383.70	0.00
13	C	664.94	371.76	15.00	15.00	59.17	0.00	664.94	371.76	0.00
14	C	646.52	360.74	15.00	15.00	59.17	0.00	646.52	360.74	0.00
1	D	577.81	308.86	12.00	12.00	89.64	0.00	577.81	308.86	0.00

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	R4HS		1	Lithonia Lighting	RSX2 LED P4 40K R4 HS	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	0.92	189,5392
	W3		12	Lithonia Lighting	KAXW LED P3 40K R4 MVOLT	Wall Pack, Higher Lumen	0.92	79
	R2HS		3	Lithonia Lighting	RSX2 LED P4 40K R2 HS	RSX LED Area Luminaire Size 2 P4 Lumen Package 4000K CCT Type R2 Distribution with HS shield	0.92	189.54
	W1		3	Lithonia Lighting	KAXW LED P1 40K R3 MVOLT	Wall Pack, Lower Lumen	0.92	29
	C		8	Lithonia Lighting	CSVT L48 5000LM MVOLT 40K 80CRI	Contractor Select LED Vapor Tite, 48", 5000LM, 120-277V, 4000K, 80 CRI	0.95	41.99
	D		1	Nova Flex LED	Custom Build - Coordinate with Lighting Vendor	LED Tape Light 4000K, 250 Lumens per Linear Foot, Enclosed in Aluminum Channel	0.5	7

Existing Lighting Survey Notes

- Readings are shown in units of maintained footcandles.
- Total Light Loss Factor (LLF) = 8% or 0.92
- Test Plane = 0' AFF
- Fixture Mounting Height = 20' AG for all pole-mounted area lights, 12' for wall packs; 15' for under-canopy lights; see fixture location schedule.
- Building Height = 35' AFF
- Building Reflectance Value = 10/10/10
- Fixture Spacing = See Fixture Locations Schedule
- This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
- These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

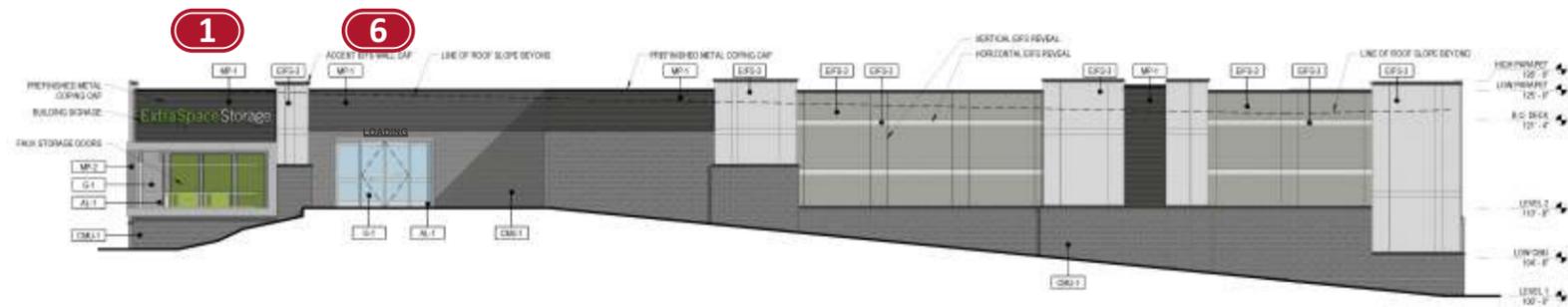
Extra Space Storage

**6855 Constitution Avenue
El Paso County
Colorado Springs, Colorado**

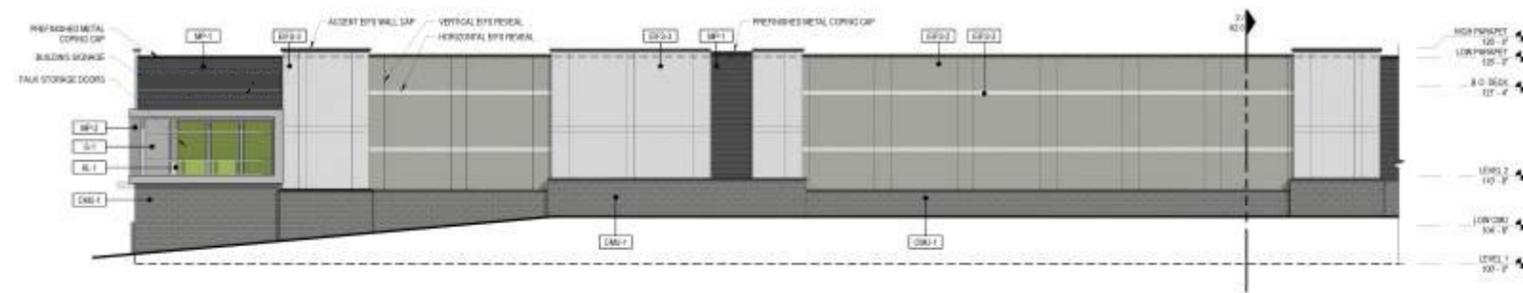
Offered by:



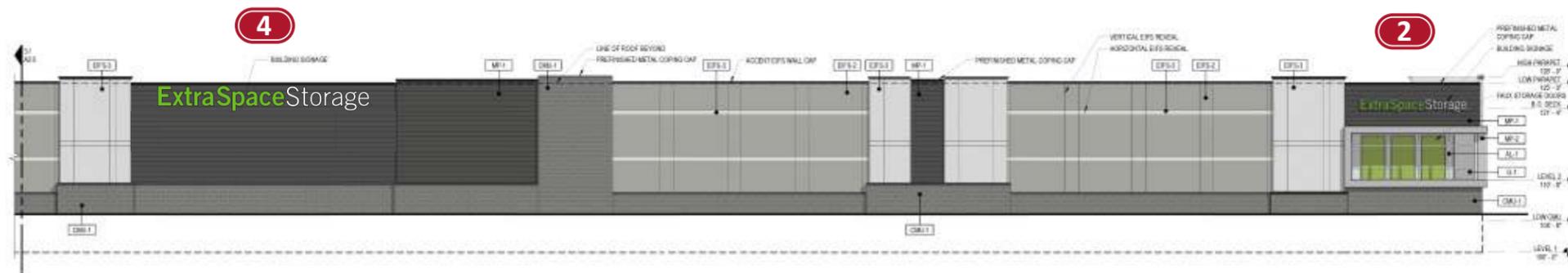
**700 PARKER SQUARE, SUITE 205
FLOWER MOUND, TX 75028
T. 800.675.6353**



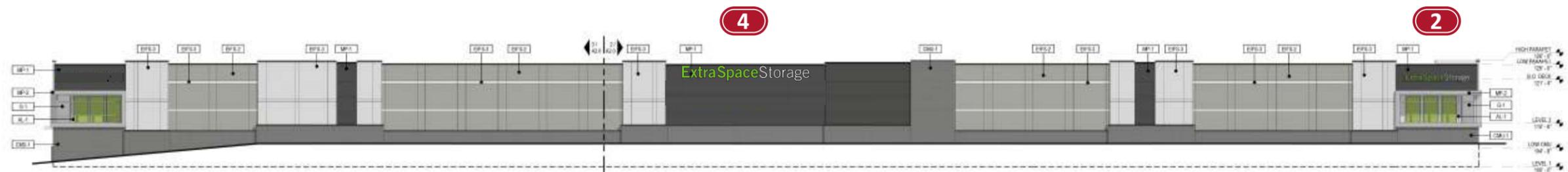
WEST ELEVATION



NORTH ELEVATION : PART 1



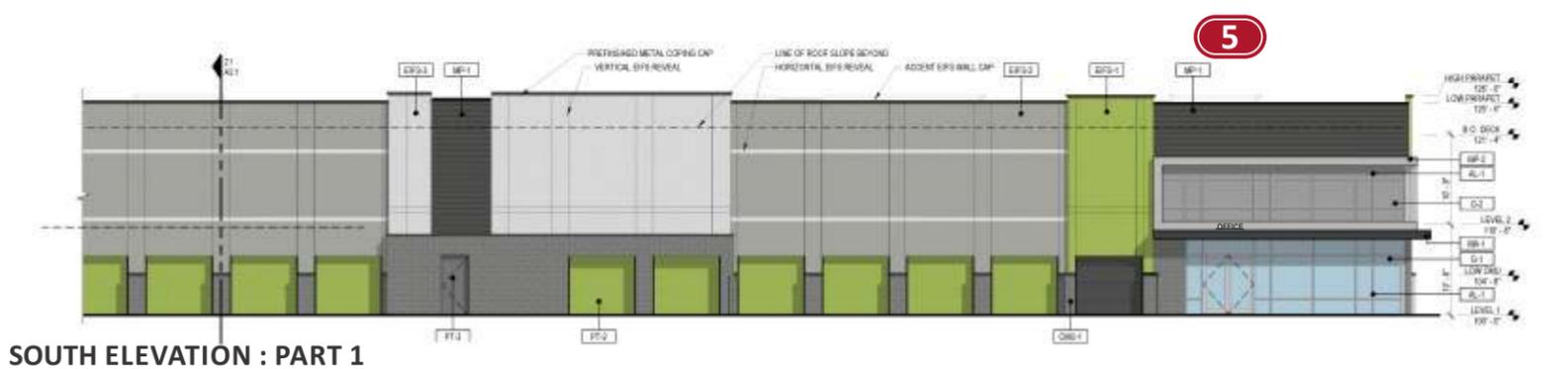
NORTH ELEVATION : PART 2



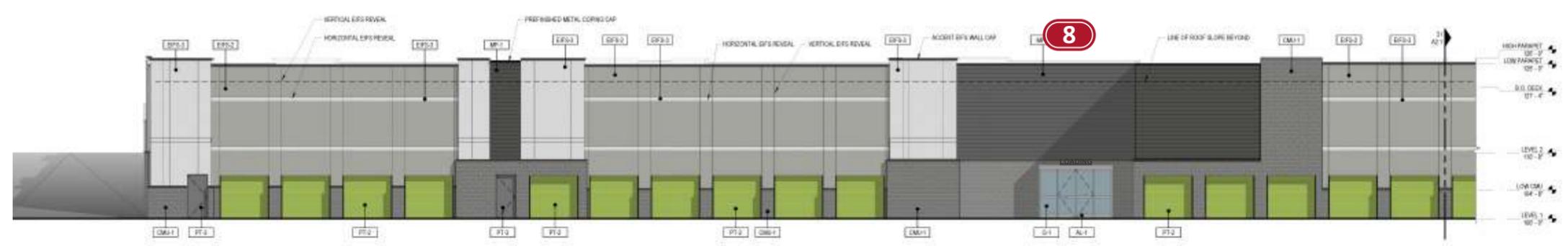
NORTH ELEVATION : COMPLETE



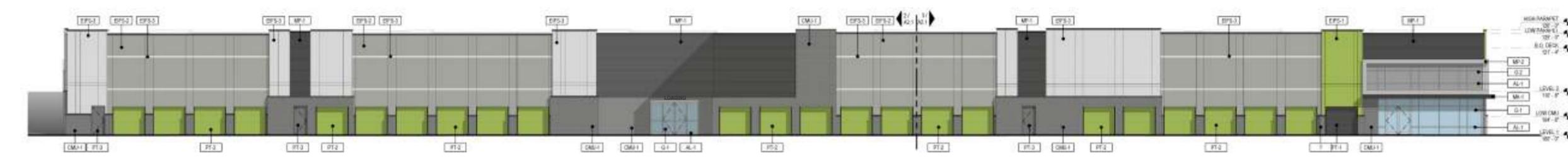
EAST ELEVATION



SOUTH ELEVATION : PART 1



SOUTH ELEVATION : PART 2



SOUTH ELEVATION : COMPLETE



Project: Extra Space Storage
Location: 6855 Constitution Avenue
 USA
Date: 4/18/22 **Sales:** KB **Designer:** MH
File Name: ESS - 6855 Constitution Ave

Revision
 R1:MH:4/19/22: Revised S3 location.
 R2:MH:4/26/22: Revised adding additional signage.
 R3:
 R4:
 R5:

Approvals
Customer:
Landlord:

CONCEPTUAL DRAWINGS ONLY:
 Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.
ALL RIGHTS RESERVED:
 This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.



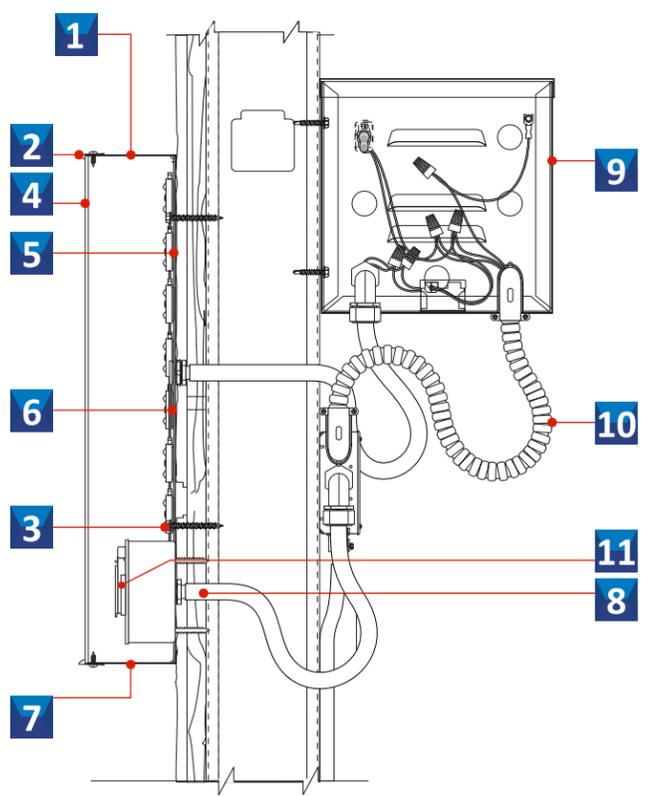
1 2 3 17 3/4" FACE-LIT, REMOTE CHANNEL LETTERS
 (3) REQUIRED - FABRICATE AND INSTALL -

SCALE: 3/4" = 1'-0"
 29.5 SF

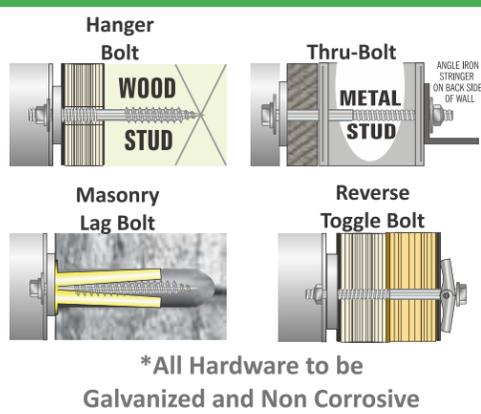
SPECIFICATIONS

- 1** 5" DEEP FABRICATED ALUMINUM RETURNS SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 2** 1" TRIM CAP RETAINER: METALLIC SILVER
- 3** NON-CORROSIVE INSTALLATION HARDWARE: GALVANIZED
- 4** 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 5** TRUE WHITE STREET FIGHTER HEAVYWEIGHT LED MODULES
- 6** FLAT ALUMINUM BACK
- 7** 1/4" WEEP HOLES (2) TWO PER LETTER
- 8** GROUNDED WALL PASS-THRU SEALED WATER TIGHT. WHIP ON LEFT SIDE.
- 9** LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE/BOX
- 10** WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- 11** VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



COLOR SCHEDULE

	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPE PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE:

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48" WILL CONSTRUCTED USING .040 ALUMINUM RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE CONSTRUCTED USING .063 ALUMINUM RETURNS & .090 ALUMINUM BACKS.

ADART
 700 Parker Sq STE 205
 Flower Mound, TX 75028
 T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH

File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.

R2:MH:4/26/22: Revised adding additional signage.

R3:

R4:

R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:
 Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:
 This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

5



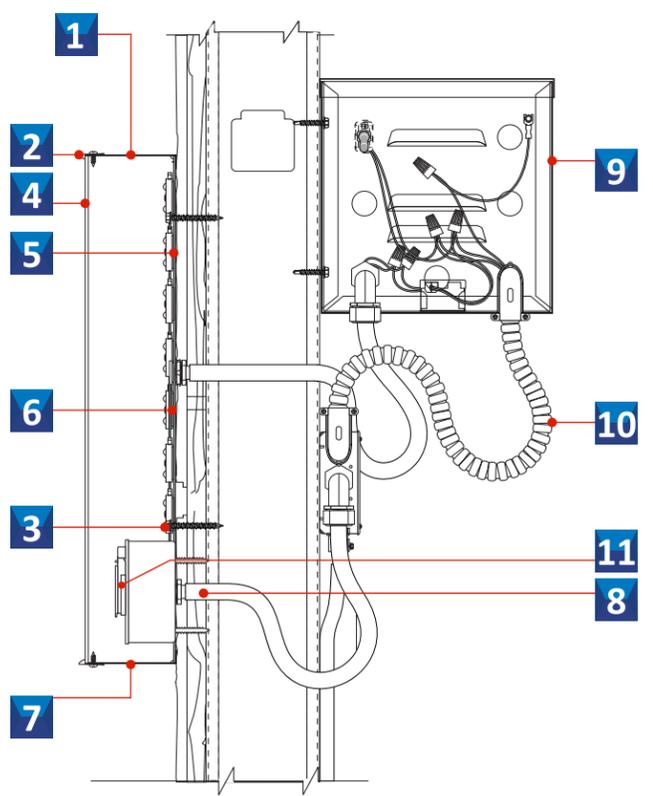
4 35 1/2" FACE-LIT, REMOTE CHANNEL LETTERS
 (1) REQUIRED - FABRICATE AND INSTALL -

SCALE: 3/8" = 1'-0"
 118.1 SF

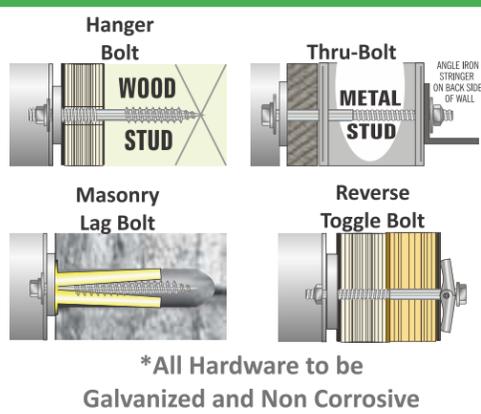
SPECIFICATIONS

- 1** 5" DEEP FABRICATED ALUMINUM RETURNS SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 2** 1" TRIM CAP RETAINER: METALLIC SILVER
- 3** NON-CORROSIVE INSTALLATION HARDWARE: GALVANIZED
- 4** 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 5** TRUE WHITE STREET FIGHTER HEAVYWEIGHT LED MODULES
- 6** FLAT ALUMINUM BACK
- 7** 1/4" WEEP HOLES (2) TWO PER LETTER
- 8** GROUNDED WALL PASS-THRU SEALED WATER TIGHT. WHIP ON LEFT SIDE.
- 9** LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE/BOX
- 10** WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- 11** VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



COLOR SCHEDULE

	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPE PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE:

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48" WILL CONSTRUCTED USING .040 ALUMINUM RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE CONSTRUCTED USING .063 ALUMINUM RETURNS & .090 ALUMINUM BACKS.

ADART
 700 Parker Sq STE 205
 Flower Mound, TX 75028
 T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH

File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
 R2:MH:4/26/22: Revised adding additional signage.
 R3:
 R4:
 R5:

Approvals

Customer:

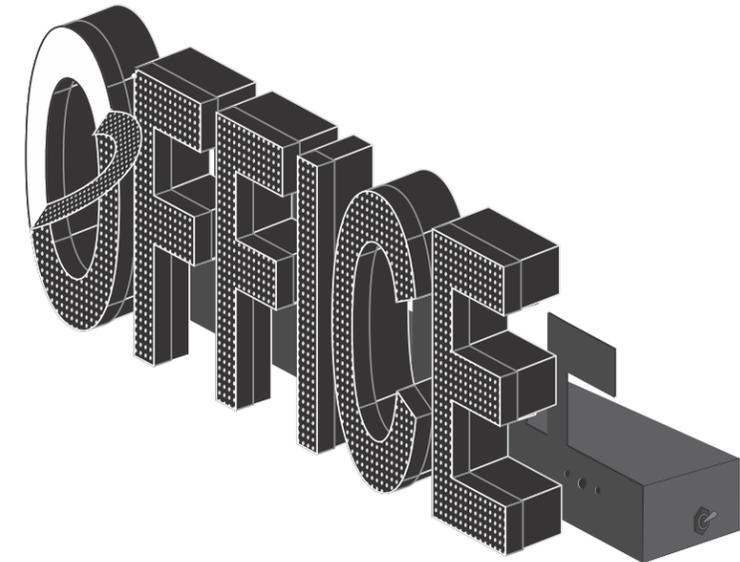
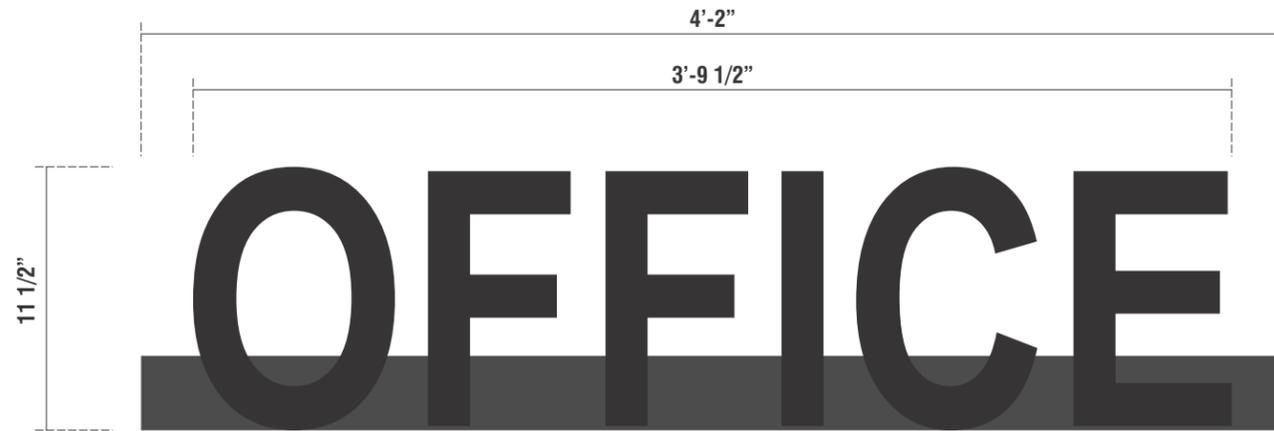
Landlord:

CONCEPTUAL DRAWINGS ONLY:
 Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:
 This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

6



5 OFFICE SIGN

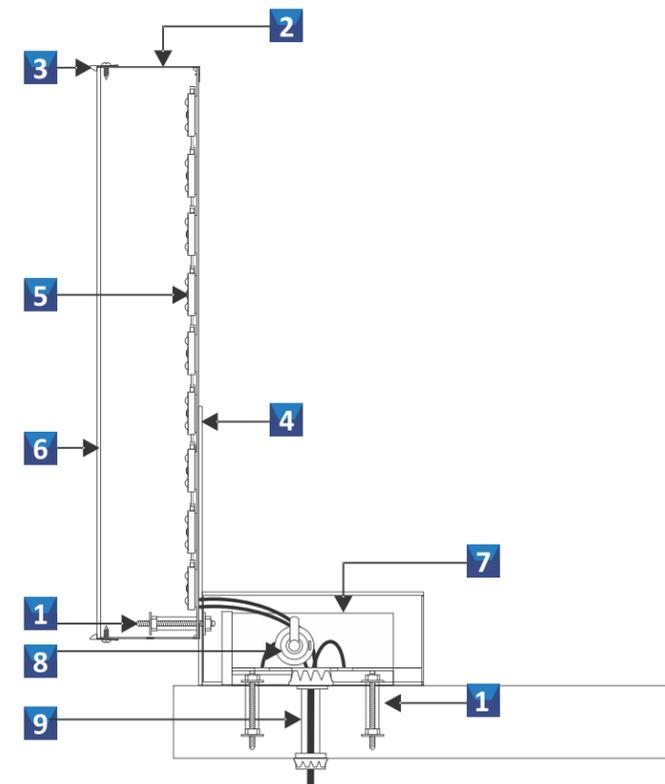
(1) REQUIRED - FABRICATE AND INSTALL -

SCALE: 1 1/2" = 1'-0"
3.99 SQ.FT.

SPECIFICATIONS

- 1** NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2** 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3** 1" TRIM CAP RETAINER: BLACK
- 4** FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5** SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6** 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7** LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8** VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9** GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

SECTION DETAIL



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH

File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

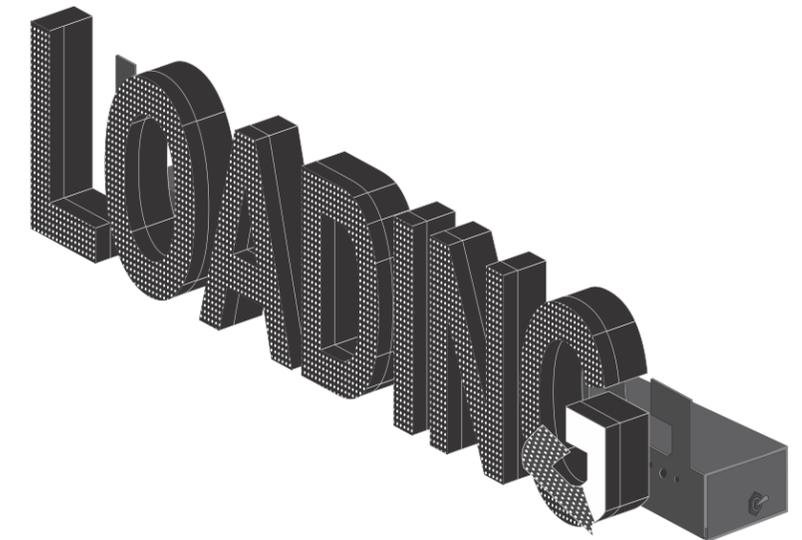
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

7



6 7 8

LOADING SIGN

(3) REQUIRED - FABRICATE AND INSTALL -

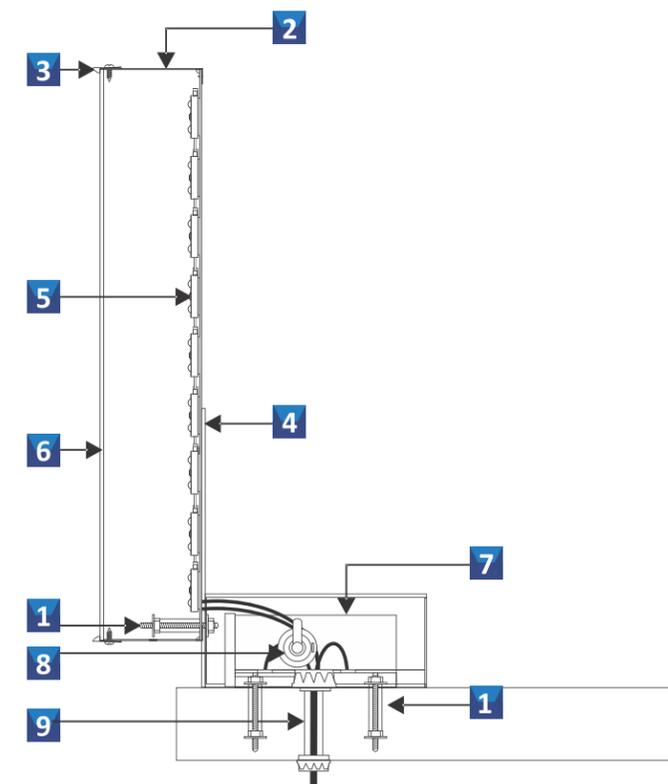
SCALE: 1 1/2" = 1'-0"

3.99 SQ.FT.

SPECIFICATIONS

- 1** NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2** 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3** 1" TRIM CAP RETAINER: BLACK
- 4** FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5** SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6** 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7** LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8** VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9** GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

SECTION DETAIL



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH

File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

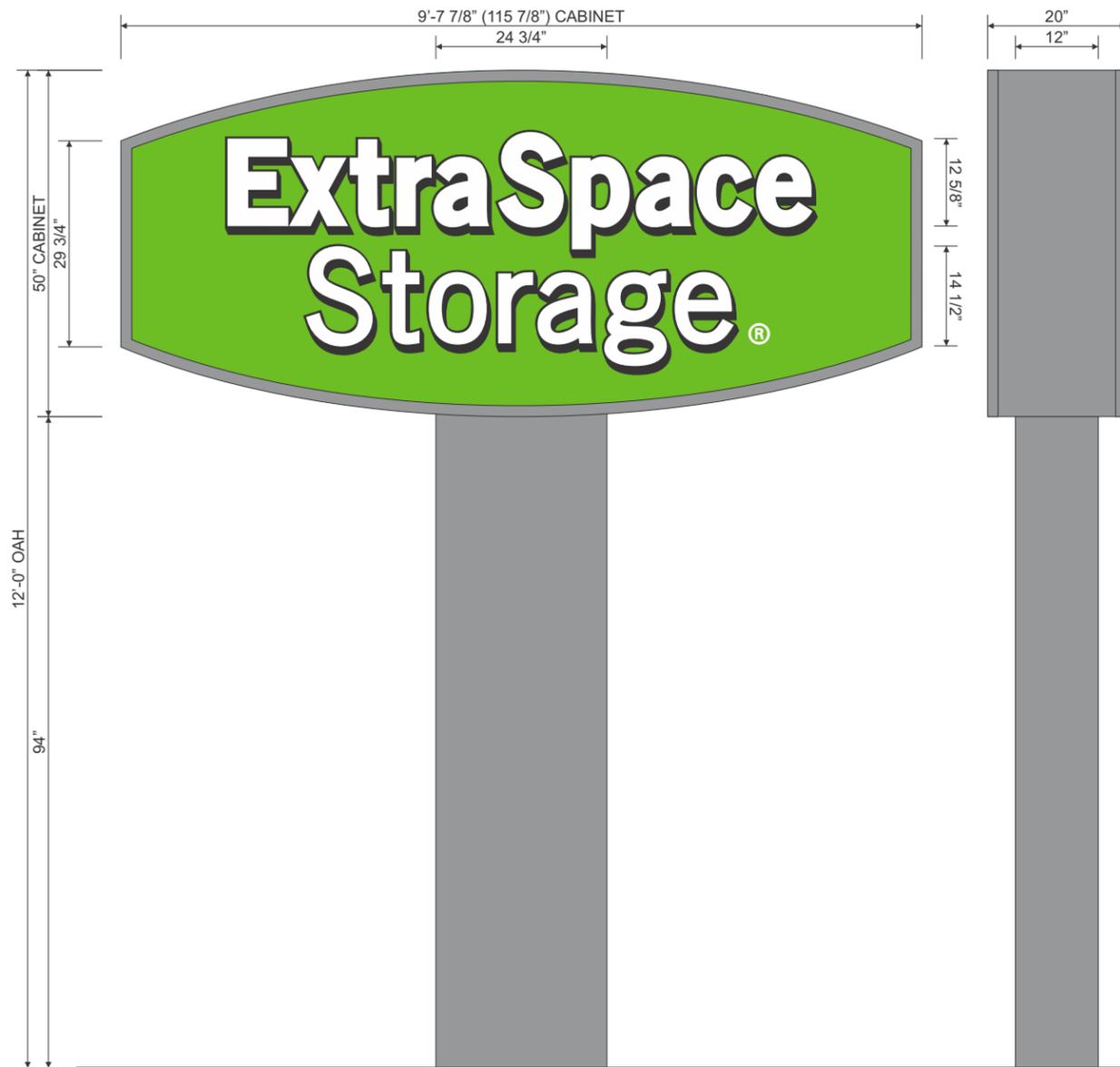
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

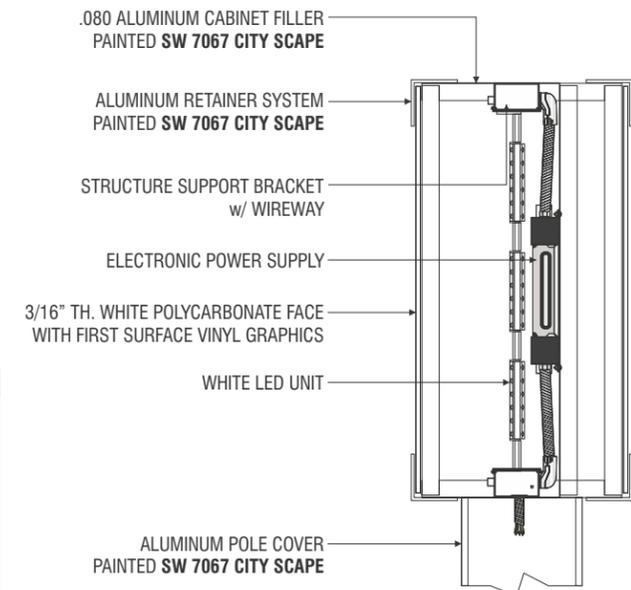
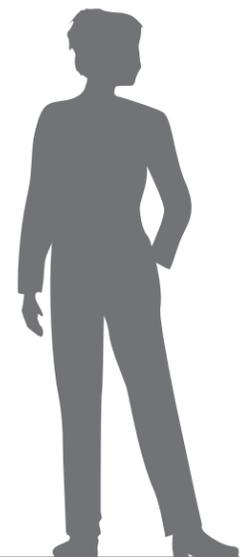
SHEET

8



SPECIFICATIONS:

1. .080" ALUMINUM CABINET FILLER PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE.
3. 1 1/2" ALUMINUM RETAINER SECTIONS PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
4. FACES ARE FLAT 3/16" TH. WHITE POLYCARBONATE WITH FIRST SURFACE VINYL GRAPHIC OVERLAYS.
 - A. BACKGROUND: 2500-106 BRILLIANT GREEN VINYL
 - B. GREEN VINYL REVERSE CUT TO COPY THRU WHITE
 - C. 2500-22 BLACK VINYL COPY DROP SHADOW & DETAILS
5. CABINET INTERNALLY ILLUMINATED WITH WHITE LEDS.
6. ALUMINUM POLE COVER CLADDING PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.



COLOR SCHEDULE	
	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPE PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE:

SECTION DETAIL

9

PYLON SIGN STRUCTURE

(1) REQUIRED - FABRICATE & INSTALL

SCALE: 1/2" = 1'-0"

Cabinet: 40.0 SF



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH

File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

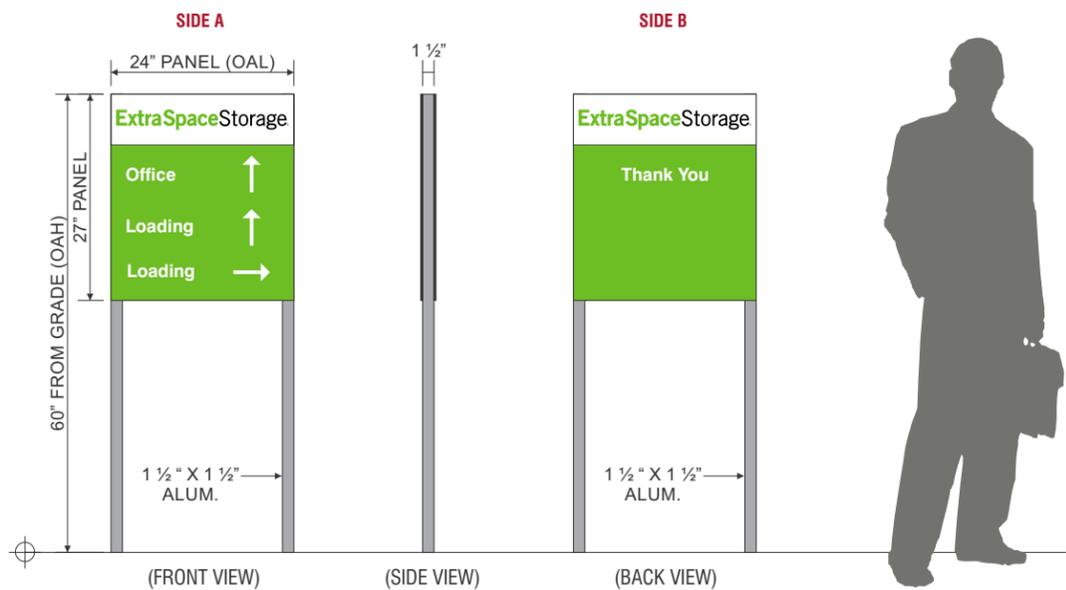
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

9



10 D/F DIRECTIONAL GROUND SIGN: CANADA DR

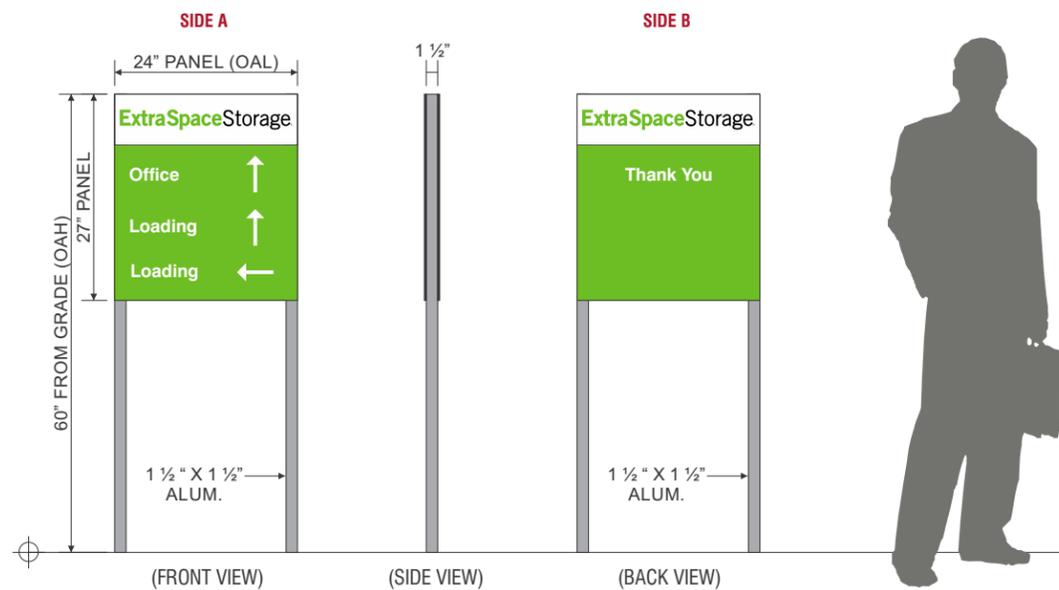
SCALE: 1/2" = 1'-0"

(1) QTY

PANEL: 4.5 SF

SPECIFICATIONS:

1. 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
2. ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
3. COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
4. ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.



11 D/F DIRECTIONAL GROUND SIGN: PETERSON RD

SCALE: 1/2" = 1'-0"

(1) QTY

PANEL: 4.5 SF

SPECIFICATIONS:

1. 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
2. ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
3. COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
4. ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.

COLOR SCHEDULE	
	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPE PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE:



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH
File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

10