# LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

# PROJECT CONTACTS

# PROPERTY OWNER JASPERCO, LLC.

5532 SADDLE ROCK TRAIL COLORADO SPRINGS, CO 80918 ATTN: TONY COLON EMAIL: TONYC@COLONFAM.COM

# APPLICANT JOHNSON DEVELOPMENT ASSOCIATES, INC. 100 DUNBAR STREET, SUITE 400

SPARTANBURG, SC 29306 TELE: (864) 529–1297 ATTN: BRIAN KEARNEY EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

# CIVIL ENGINEER

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900–7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER ROCKY MOUNTAIN GEOTECHNICAL, INC 555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634–1999 ATTN: KENNETH L. MEYERS, PE

# TRAFFIC ENGINEER GALLOWAY & CO., INC.

5500 GREENWOOD PLAZA BLVD, SUITE 200 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BRIANHORAN@GALLOWAYUS.COM

SURVEYOR GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337–1262 ATTN: BRIAN DENNIS EMAIL: BRIANDENNIS@GALLOWAYUS.COM

# <u>UTILITY</u> CONTACTS

WATER & WASTEWATER CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BLVD. COLORADO SPRINGS, CO 80915 TELE: (719) 597–5080 ATTN: ŘEVIŃ BROWN EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

# ELECTRIC

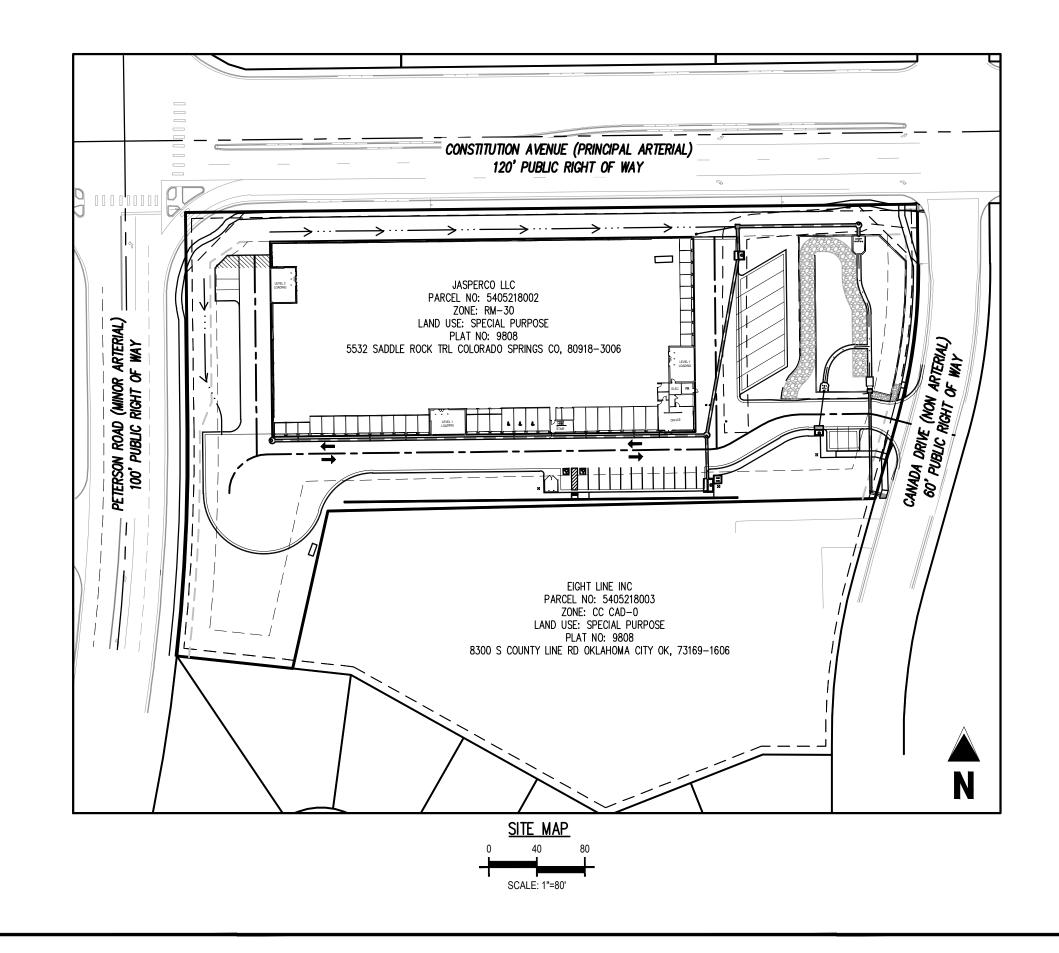
MOUNTAIN VIEW ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 TELE: (719) 495-2283 CATHY HANSEN-LEE EMAIL: CATHY.HOMVEA.COOP

# NATURAL GAS

COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 TELE: (719) 668-5573 AARON CASSIO EMAIL: ACASSIO@CSU.ORG

# FIRE

CIMARRON HILLS FIRE PROTECTION DISTRICT 1835 TUSKEGEE PL COLORADO SPRINGS, CO 80915 TELE: (719) 591–0960 EMAIL: JMCLEOD@CIMARRON



LIST OF ABBREVIATIONS SHT - SHEET  $\Delta$  – Deflection angle LENGTH r – Radius CB – CHORD BEARING C – CHORD LENGTH N - NORTH/NORTHING W - WEST e – east/easting s — South DET – DETAIL ex — existing W/—WITH PC – POINT OF CURVATURE/PORTLAND CEMENT WWF – WELDED WIRE FABRIC VERT – VERTICAL OC - ON CENTER FDC - FIRE DEPARTMENT CONNECTION CT – COURT DR – DRIVE TYP – TYPICAL REC - RECEPTION NUMBER ø, DIA – DIAMETER PT - POINT OF TANGENCY MIN — MINIMUM MAX – MAXIMUM HDPE - HIGH DENSITY POLYETHYLENE

# **JOHNSON DEVELOPMENT ASSOCIATES CONSTITUTION STORAGE**

# **CONSTRUCTION DOCUMENTS**



0 100 200

SCALE: 1"=400'

		SHEE1	INDEX		
SHEE DESCRIF		SHE	et title		SHEET NUMBER
1		COVE	ER SHEET		C0.0
2		١	NOTES		C0.1
3	SITE	PLAN & H	ORIZONTAL CONTR	OL	C1.1
4		DETAIL G	RADING PLAN		C2.1
5		DETAIL G	RADING PLAN		C2.2
6	ST	ORM DRAIN	PLAN & PROFILE		C3.1
7	ST	ORM DRAIN	PLAN & PROFILE		C3.2
8	0	SIGNAGE &	STRIPING PLAN		C4.1
9		SITE	DETAILS		C4.2
10		SITE	DETAILS		C4.3

# **BASIS OF BEARINGS**

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

## **BENCHMARK**

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE. FIMS DATUM ELEVATION = 6534.6

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS

BRADY A. SHYROCK, COLORADO P.E. NO. 003816

# OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

## BRIAN DUNCAN OHNSON DEVELOPMENT ASSOCIAT

# EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS. AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

PCD FILING NO.

PPR-2224

# Date Issue / Description \_\_\_\_\_ \_\_\_\_\_ \_ \_\_\_\_

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Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JUNE 2023
COVER SHEET	

Sheet 1 of 10

<u>CAUTION</u> –

1. ALL UTILITY LO BY THE APPRO EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION. Call before you dig.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

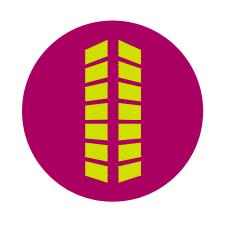


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Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com



6855 CONSTITUTION AVENUE INDUSTRIAL DEVELOPMENT CONSTRUCTION DOCUMENTS FOR JOHNSON DEVELOPMENT ASSOCIATES	I OT 1 OF THE FIGHT I INF SUBDIVISION
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<b>F 1 OF THE EIGHT LINE SUBDIV</b>	LORADO SPRINGS, CO 80916
LOT 1 (	COLOF

NOTICE TO COM	ITRACTOR
	BASED ON MAPS PROVIDED

# GENERAL CONSTRUCTION NOTES

- 1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
- 5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- 6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K 1.2C.
- 7. ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
- 8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP), ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 – CULVERTS.
- 9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
- 10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
- 11. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH CHEROKEE METROPOLITAN DISTRICT CONSULTING ENGINEER APPROVAL.
- 12. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- 13. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- 14. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE CHEROKEE METROPOLITAN DISTRICT CONSULTING ENGINEER APPROVAL.
- 15. MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25' OR 22.5' BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
- 16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY. SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
- 17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" 8" ASTM D3034, TYPE PSM, SDR 35: PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

# STANDARD NOTES FOR EPC CONSTRUCTION PLAN

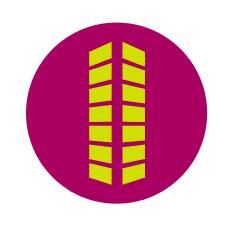
- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
   A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR
- ROAD AND BRIDGE CONSTRUCTION D. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

# SIGNING AND STRIPING NOTES

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- 3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- 4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- 5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- 6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- 7. ALL STREET NAME SIGNS SHALL HAVE 'D' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- 8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- 9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- 10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- 11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- 12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- 13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- 14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



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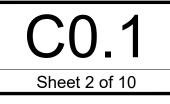


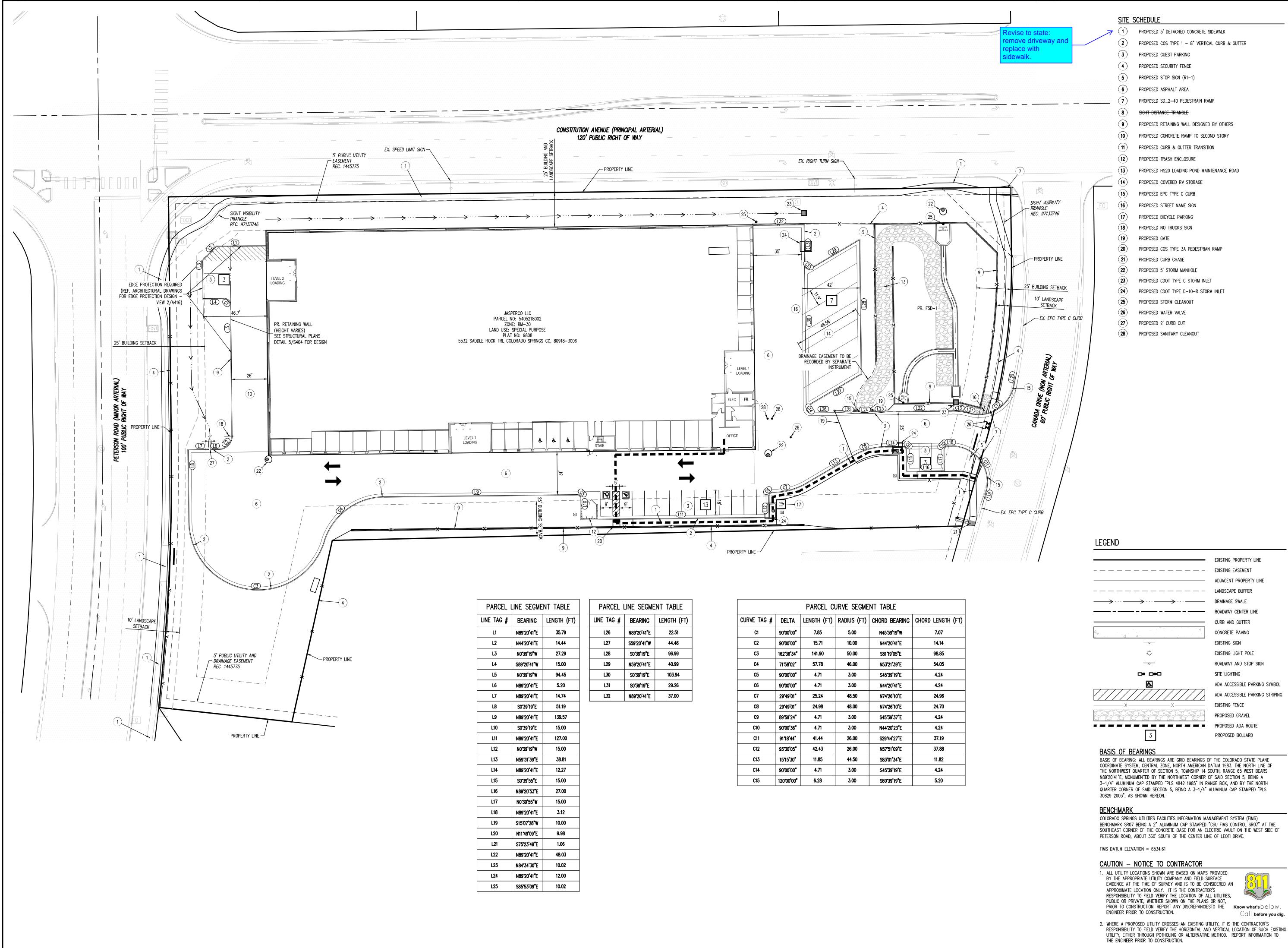
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6855 CONSTITUTION AVENUE INDUSTRIAL DEVELOPMENT	CONSTRUCTION DOCUMENTS FOR JOHNSON DEVELOPMENT ASSOCIAT	LOT 1 OF THE EIGHT LINE SUBDIVISION	COLORADO SPRINGS, CO 80916
# Date			Init
-			  

Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JUNE 2023
NOTES	





PARCEL LINE SEGMENT TABLE						
LINE TAG # BEARING LENGTH (FT)						
L1	N89°20'41"E	35.79				
L2	N44°20'41"E	14.44				
L3	N0°39'19"W	27.29				
L4	S89*20'41*W	15.00				
L5	N0°39'19"W	94.45				
L6	N89°20'41"E	5.20				
L7	N89°20'41"E	14.74				
L8	S0'39'19"E	51.19				
L9	N89"20'41"E	139.57				
L10	S0'39'19"E	15.00				
L11	N89"20'41"E	127.00				
L12	N0'39'19 <b>"</b> W	15.00				
L13	N59'31'39"E	38.81				
L14	N89°20'41"E	12.27				
L15	S0"39'55"E	15.00				
L16	N89'20'53"E	27.00				
L17	N0°39'55"W	15.00				
L18	N89"20'41"E	3.12				
L19	S15'07'28"W	10.00				
L20	N11'49'09"E	9.98				
L21	S75"23"49"E	1.06				
L22	N89"20'41"E	48.03				
L23	N84'34'30"E	10.02				
L24	N89"20'41"E	12.00				
L25	S85*53'09"E	10.02				

PARCEL LINE SEGMENT TABLE					
LINE TAG #	BEARING	LENGTH (FT)			
L26	N89°20'41"E	22.51			
L27	S59°20'41"W	44.46			
L28	S0"39'19"E	96.99			
L29	N59°20'41"E	40.99			
L30	S0"39'19"E	103.94			
L31	S0"39'19"E	29.26			
L32	N89°20'41"E	37.00			

PARCEL CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
Cl	90'00'00"	7.85	5.00	N45'39'19"W	7.07
C2	90'00'00"	15.71	10.00	N44°20'41"E	14.14
C3	162'36'34"	141.90	50.00	S81'19'05"E	98.85
C4	71*58'02"	57.78	46.00	N53°21'39"E	54.05
C5	90'00'00"	4.71	3.00	S45'39'19"E	4.24
C6	90'00'00"	4.71	3.00	N44°20'41"E	4.24
C7	29'49'01"	25.2 <del>4</del>	48.50	N74°26'10"E	24.96
C8	29'49'01"	24.98	48.00	N74°26'10"E	24.70
C9	89*59'24"	4.71	3.00	S45*39'37*E	4.24
C10	90'00'36"	4.71	3.00	N44"20'23"E	4.24
C11	91'18'44"	41.44	26.00	S29*44'27"E	37.19
C12	93*30'05*	42.43	26.00	N57"51'09"E	37.88
C13	1515'30"	11.85	44.50	S83'01'34"E	11.82
C14	90'00'00"	4.71	3.00	S45'39'19"E	4.24
C15	120'00'00"	6.28	3.00	S60"39'19"E	5.20

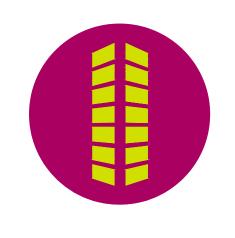
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PROPOSED 5' DETACHED CONCRETE SIDEWALK
PROPOSED COS TYPE 1 - 8" VERTICAL CURB & GUTTER
PROPOSED GUEST PARKING
PROPOSED SECURITY FENCE
PROPOSED STOP SIGN (R1-1)
PROPOSED ASPHALT AREA
PROPOSED SD_2-40 PEDESTRAIN RAMP
SIGHT DISTANCE TRIANGLE
PROPOSED RETAINING WALL DESIGNED BY OTHERS
PROPOSED CONCRETE RAMP TO SECOND STORY
PROPOSED CURB & GUTTER TRANSITION
PROPOSED TRASH ENCLOSURE
PROPOSED HS20 LOADING POND MAINTENANCE ROAD
PROPOSED COVERED RV STORAGE
PROPOSED EPC TYPE C CURB
PROPOSED STREET NAME SIGN
PROPOSED BICYCLE PARKING
PROPOSED NO TRUCKS SIGN
PROPOSED GATE
PROPOSED COS TYPE 3A PEDESTRIAN RAMP
PROPOSED CURB CHASE
PROPOSED 5' STORM MANHOLE
PROPOSED CDOT TYPE C STORM INLET
PROPOSED CDOT TYPE D-10-R STORM INLET

- RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO



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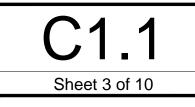
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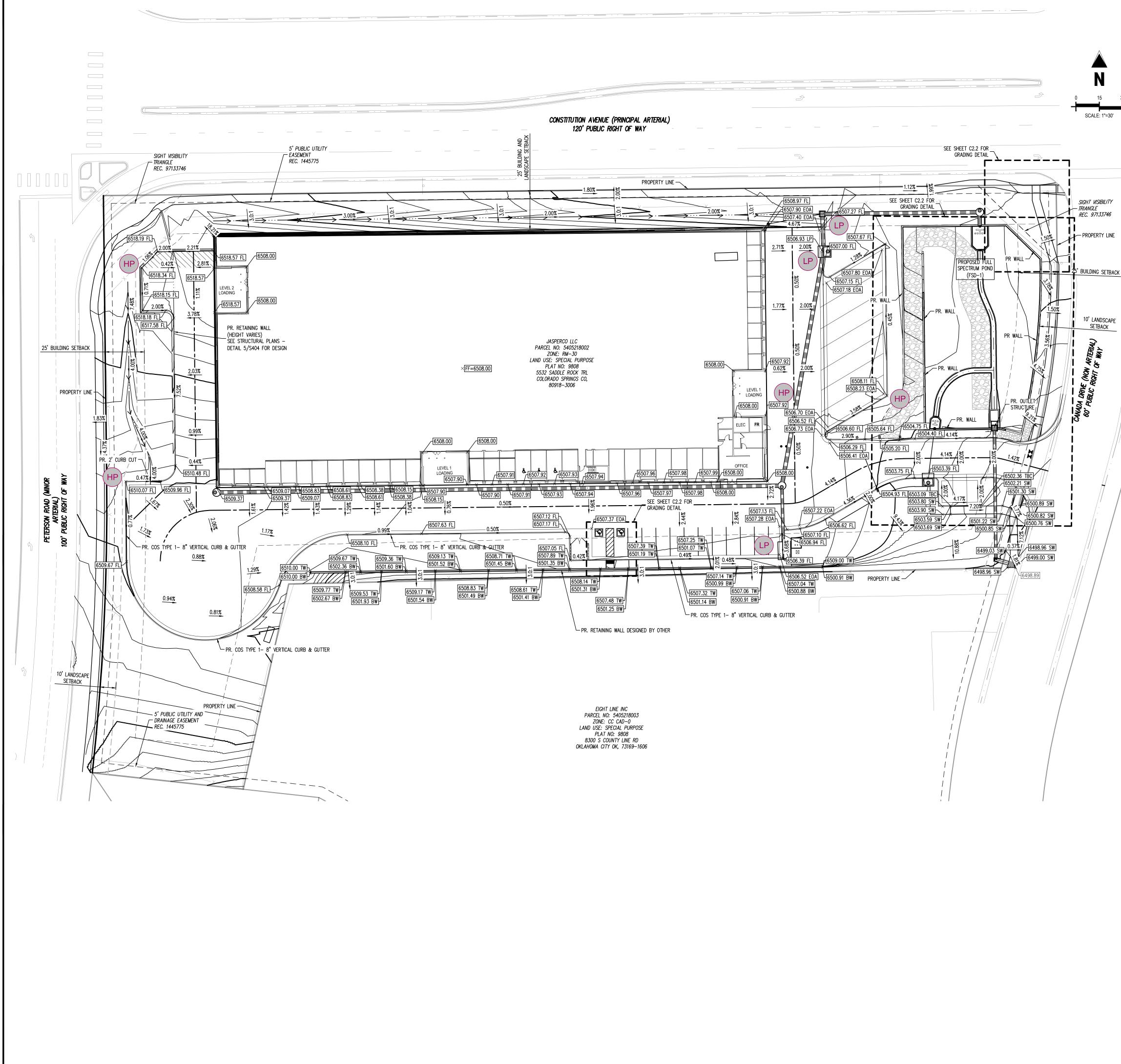
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Date:	JUNE 2023
Checked By:	BAS
Drawn By:	ASA
Project No:	JDA02

SITE PLAN & HORIZONTAL CONTROL





# LEGEND

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EXISTING PROPERTY LINE ADJACENT PROPERTY LINE LANDSCAPE BUFFER ROADWAY CENTER LINE CURB AND GUTTER CONCRETE PAVING EXISTING SIGN EXISTING LIGHT POLE ROADWAY AND STOP SIGN SITE LIGHTING ADA ACCESSIBLE PARKING SYMBOL ADA ACCESSIBLE PARKING STRIPING EXISTING FENCE PROPOSED GRAVEL PROPOSED ADA ROUTE

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719 900 7220 GallowayUS.com \_\_\_\_\_

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Project No:	JDA02
Drawn By:	ASA
Checked By:	BAS
Date:	JUNE 2023

DETAIL GRADING PLAN

# BASIS OF BEARINGS

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

# BENCHMARK

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

# CAUTION - NOTICE TO CONTRACTOR

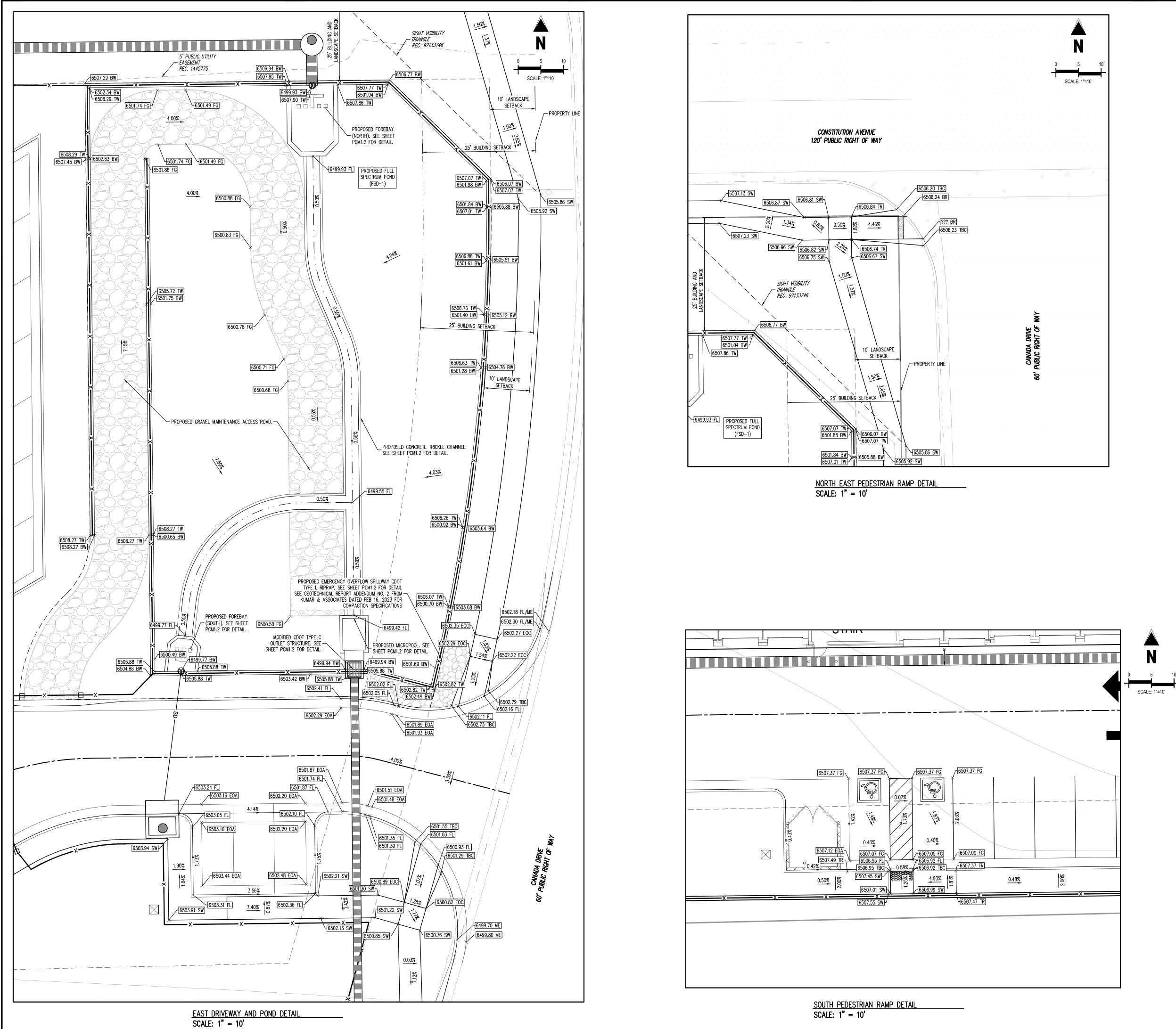
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE. WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig.

 $\neg \cap$ \_\_\_\_ Sheet 4 of 10

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





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PROPOSED ADA ROUTE

EXISTING PROPERTY LINE ADJACENT PROPERTY LINE ROADWAY CENTER LINE CURB AND GUTTER CONCRETE PAVING EXISTING SIGN EXISTING LIGHT POLE ROADWAY AND STOP SIGN SITE LIGHTING ADA ACCESSIBLE PARKING SYMBOL ADA ACCESSIBLE PARKING STRIPING EXISTING FENCE PROPOSED GRAVEL

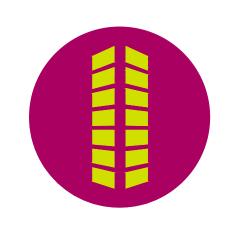
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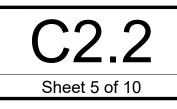


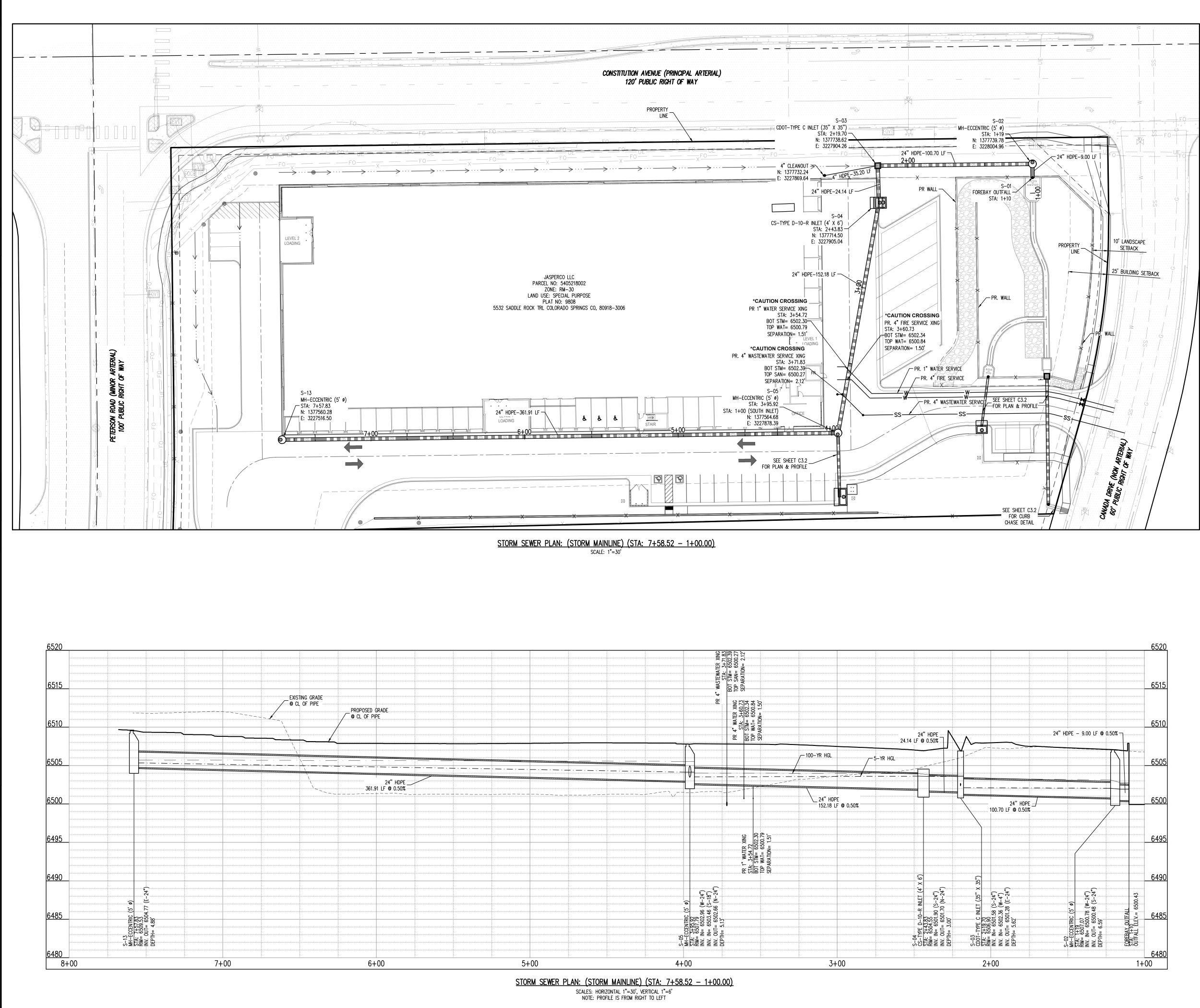
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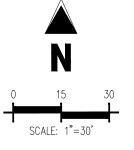
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DETAIL GRADING PLAN







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ROADWAY CENTER LINE
CURB AND GUTTER
CONCRETE PAVING
EXISTING SIGN
EXISTING LIGHT POLE
ROADWAY AND STOP SIGN
SITE LIGHTING
ADA ACCESSIBLE PARKING SYMBOL
ADA ACCESSIBLE PARKING STRIPING
EXISTING FENCE
PROPOSED GRAVEL
PROPOSED ADA ROUTE
EXISTING GAS
EXISTING WASTEWATER
EXISTING WATER
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JUNE 2023

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# 1. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE

NOTES

- DEPRESSION AT STORM SEWER INLET 2. ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
- 3. SEE GRADING PLAN FOR ALL GRADING INFORMATION 4. ALL STORM SEWER SHALL BE HDPE
- 5. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED 6. ALL CROSS PANS SHALL CONFORM TO EL PASO COUNTY DETAIL SD2-26

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

# BASIS OF BEARINGS

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UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

FIMS DATUM ELEVATION = 6534.61

# CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

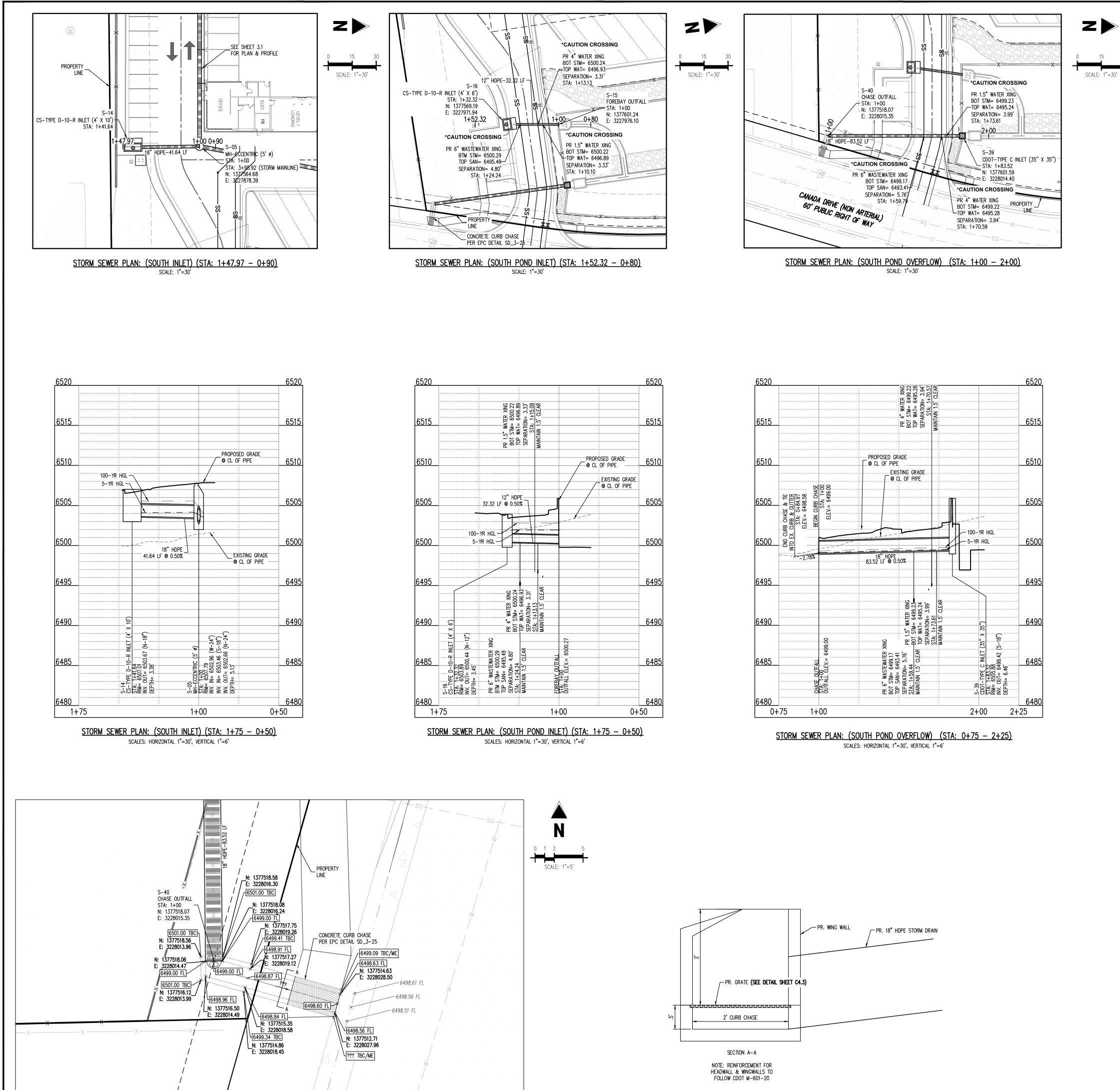
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Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING

PROFILE
C3.1
Sheet 6 of 10

STORM DRAIN PLAN &



## Gallowav 1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 LEGEND 719.900.7220 GallowayUS.com EXISTING PROPERTY LINE - - - EXISTING EASEMENT ADJACENT PROPERTY LINE LANDSCAPE BUFFER $\longrightarrow \cdots \longrightarrow \cdots \longrightarrow \cdots \longrightarrow \cdots \longrightarrow$ DRAINAGE SWALE ROADWAY CENTER LINE \_\_\_\_\_ CURB AND GUTTER CONCRETE PAVING \_\_\_\_ EXISTING SIGN -Ò-EXISTING LIGHT POLE \_\_\_\_ ROADWAY AND STOP SIGN SITE LIGHTING ADA ACCESSIBLE PARKING SYMBOL COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE ADA ACCESSIBLE PARKING STRIPING AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCE EXISTING FENCE WITHOUT THE WRITTEN CONSENT OF GALLOWAY. PROPOSED GRAVEL COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED. PROPOSED ADA ROUTE EXISTING GAS EXISTING WASTEWATER EXISTING WATER

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# NOTES

1. STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED

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UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

# FIMS DATUM ELEVATION = 6534.61

# CAUTION - NOTICE TO CONTRACTOR

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1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.

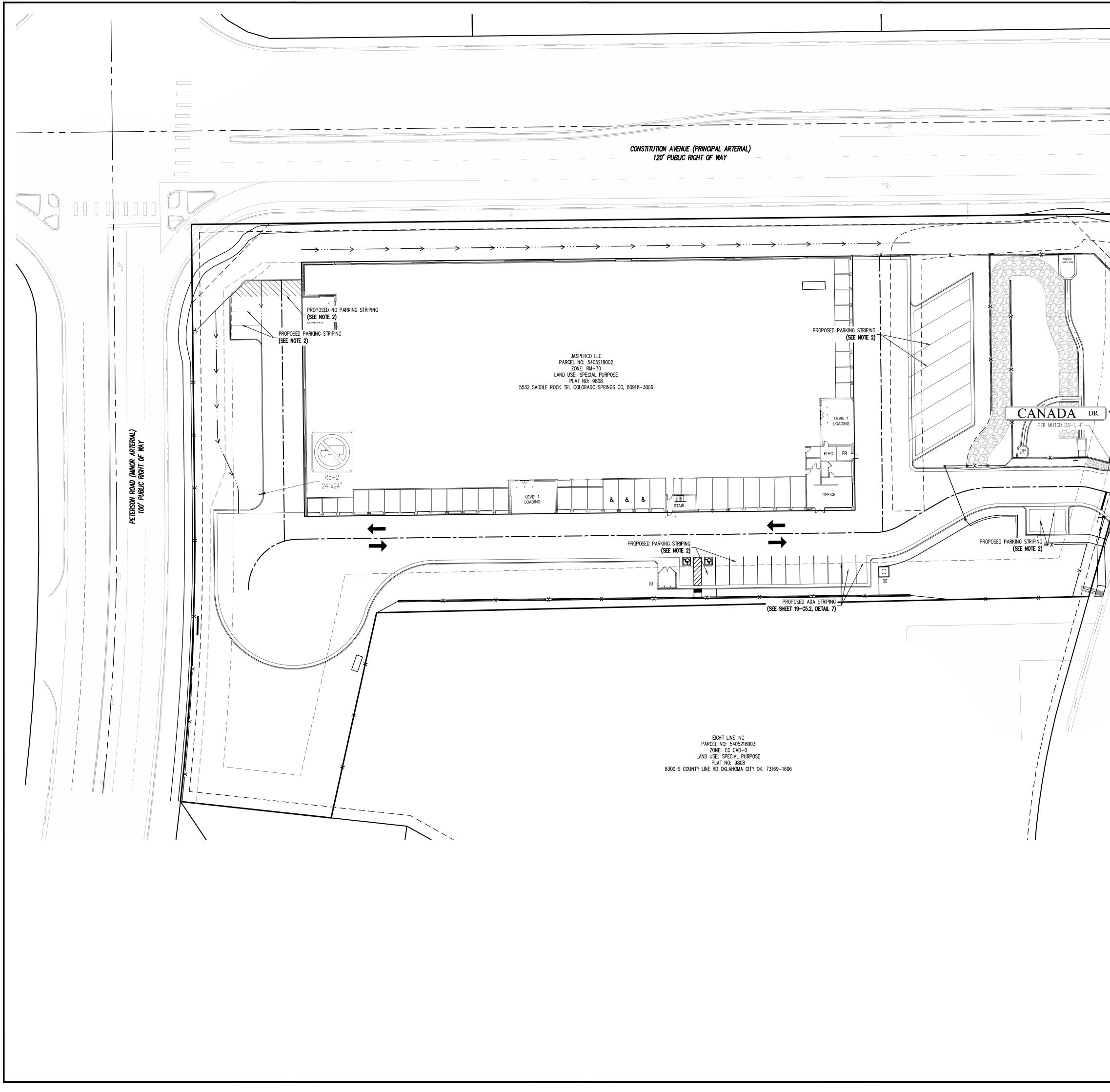


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Sheet 7 of 10	

6855 CONSTITUTION AVENUE	CONSTRUCTION DOCUMENTS FOR JOHNSON DEVELOPMENT ASSOCIATE	LOT 1 OF THE EIGHT LINE SUBDIVISION	COLORADO SPRINGS, CO 80916
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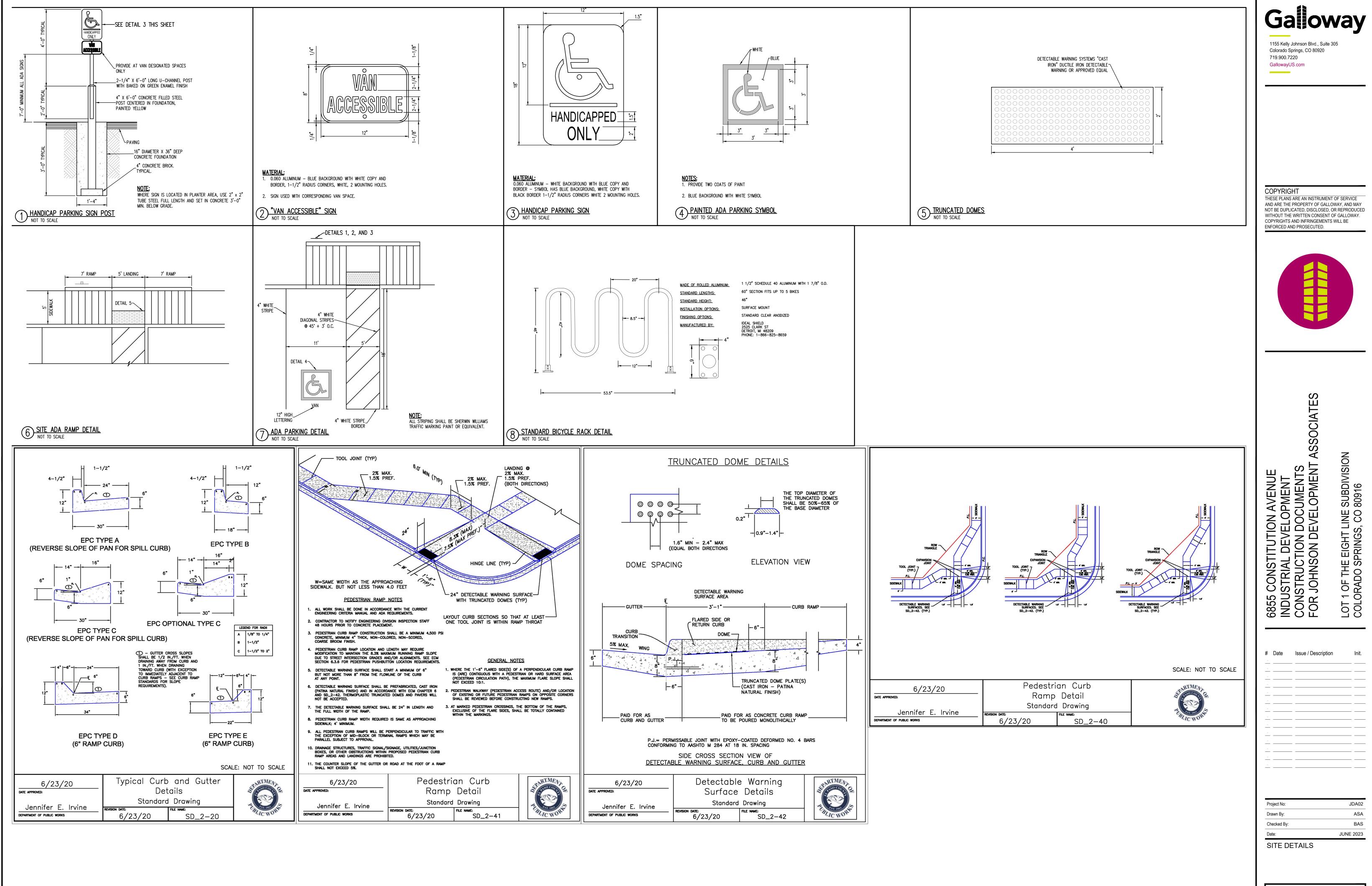
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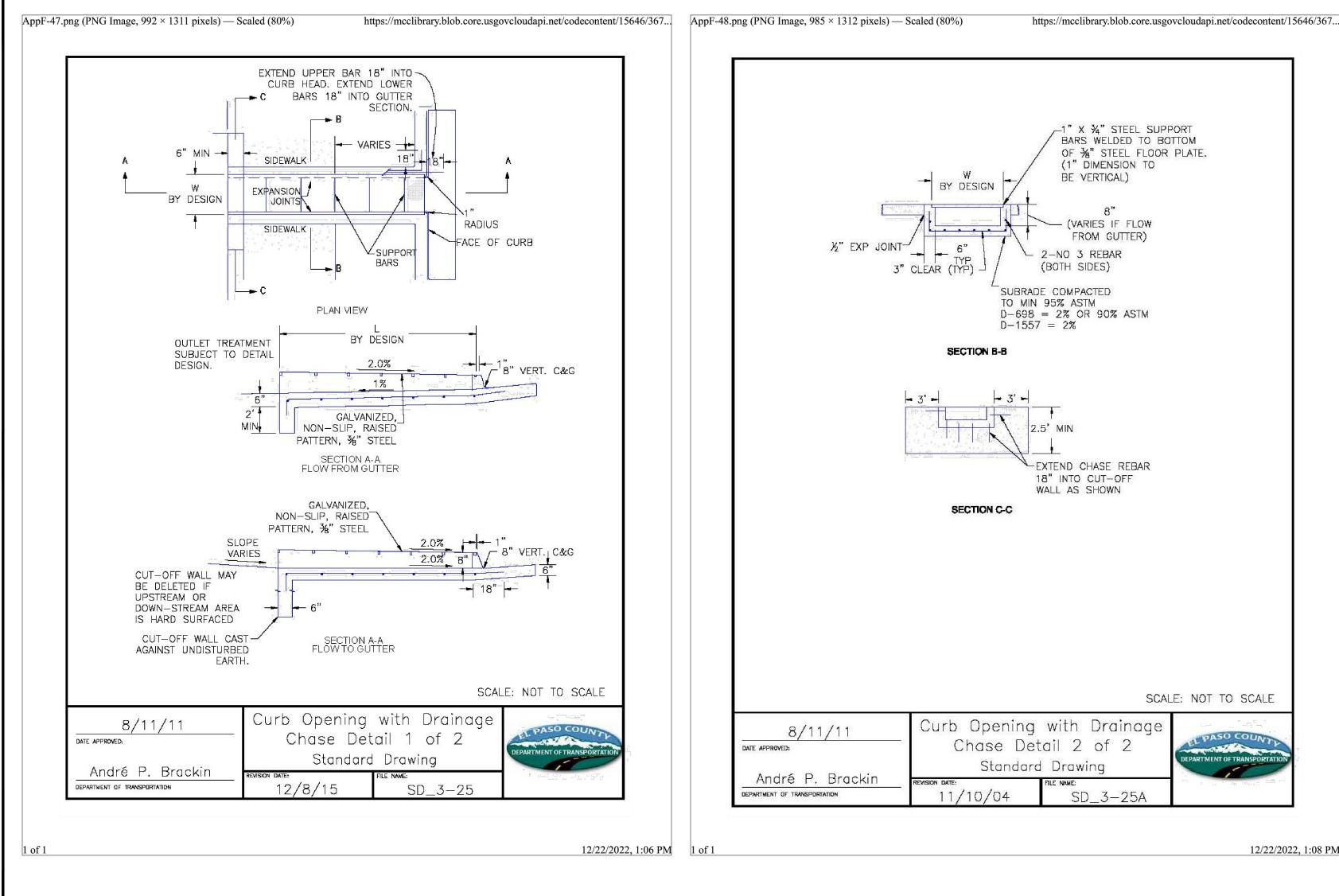
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PUBLIC (SEE NOTE 4)*	NOTES	AND STRIPING DETAILS LID WHITE 15 MIL THICKNESS EPOXY PAINT -1 FOR CROSSWALK AND STOP LINE STRIPING	6855 CONSTITUTION AVENUE INDUSTRIAL DEVELOPMENT CONSTRUCTION DOCUMENTS FOR JOHNSON DEVELOPMENT ASSOCIATES	LOT 1 OF THE EIGHT LINE SUBDIVISION COLORADO SPRINGS, CO 80916
	SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINE DIMENSIONING PRIOR TO CONSTRUCTION STAKING. BASIS OF BEARING AND DATUM INFORMATION TO EL SAME HORIZONTAL AND VERTICAL LOCATIONS SHOW DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY OWNER AND ENGINEER PRIOR TO CONTINUATION OF WORK. NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SHALL HAVE LICENSED SURVEYOR REPLACE ANY D/ THEIR COST. <b>BASIS OF BEARING:</b> ALL BEARINGS ARE GRID BEARIN COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERIC THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP N89'20'41"E, MONUMENTED BY THE NORTHWEST CORN 3–1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" QUARTER CORNER OF SAID SECTION 5, BEING A 3–1 30829 2003", AS SHOWN HEREON. <b>BENCHMARK</b> COLORADO SPRINGS UTILITIES FACILITIES INFORMATION BENCHMARK SRO7 BEING A 2" ALUMINUM CAP STAMI	SURVEYOR MUST VERIFY ALL BENCHMARK, NSURE IMPROVEMENTS WILL BE AT THE N ON THE DESIGN CONSTRUCTION (DISCREPANCY MUST BE REPORTED TO ANY FURTHER STAKING OR CONSTRUCTION SURVEY MONUMENTATION. CONTRACTOR AMAGED OR DISTURBED MONUMENTATION AT GS OF THE COLORADO STATE PLANE CAN DATUM 1983. THE NORTH LINE OF 14 SOUTH, RANGE 65 WEST BEARS NER OF SAID SECTION 5, BEING A IN RANGE BOX, AND BY THE NORTH /4" ALUMINUM CAP STAMPED "PLS	#       Date       Issue / Description <td< td=""><td>Init.</td></td<>	Init.
	SOUTHEAST CORNER OF THE CONCRETE BASE FOR A PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTE FIMS DATUM ELEVATION = 6534.61 <b>CAUTION – NOTICE TO CONTRACTOO</b> 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON M BY THE APPROPRIATE UTILITY COMPANY AND FIEL EVIDENCE AT THE TIME OF SURVEY AND IS TO BE APPROXIMATE LOCATION ONLY. IT IS THE CONTR RESPONSIBILITY TO FIELD VERIFY THE LOCATION O PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PL PRIOR TO CONSTRUCTION. REPORT ANY DISCREPA ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTIN RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAI UTILITY, EITHER THROUGH POTHOLING OR ALTERN. THE ENGINEER PRIOR TO CONSTRUCTION.	R ELECTRIC VAULT ON THE WEST SIDE OF R LINE OF LEOTI DRIVE. APS PROVIDED D SURFACE E CONSIDERED AN ACTOR'S F ALL UTILITIES, LANS OR NOT, NCIESTO THE Know what's below. Call before you dig. IG UTILITY, IT IS THE CONTRACTOR'S L AND VERTICAL LOCATION OF SUCH EXISTING	Project No: Drawn By: Checked By: Date: SIGNAGE & STRIPIN	

Sheet 8 of 10

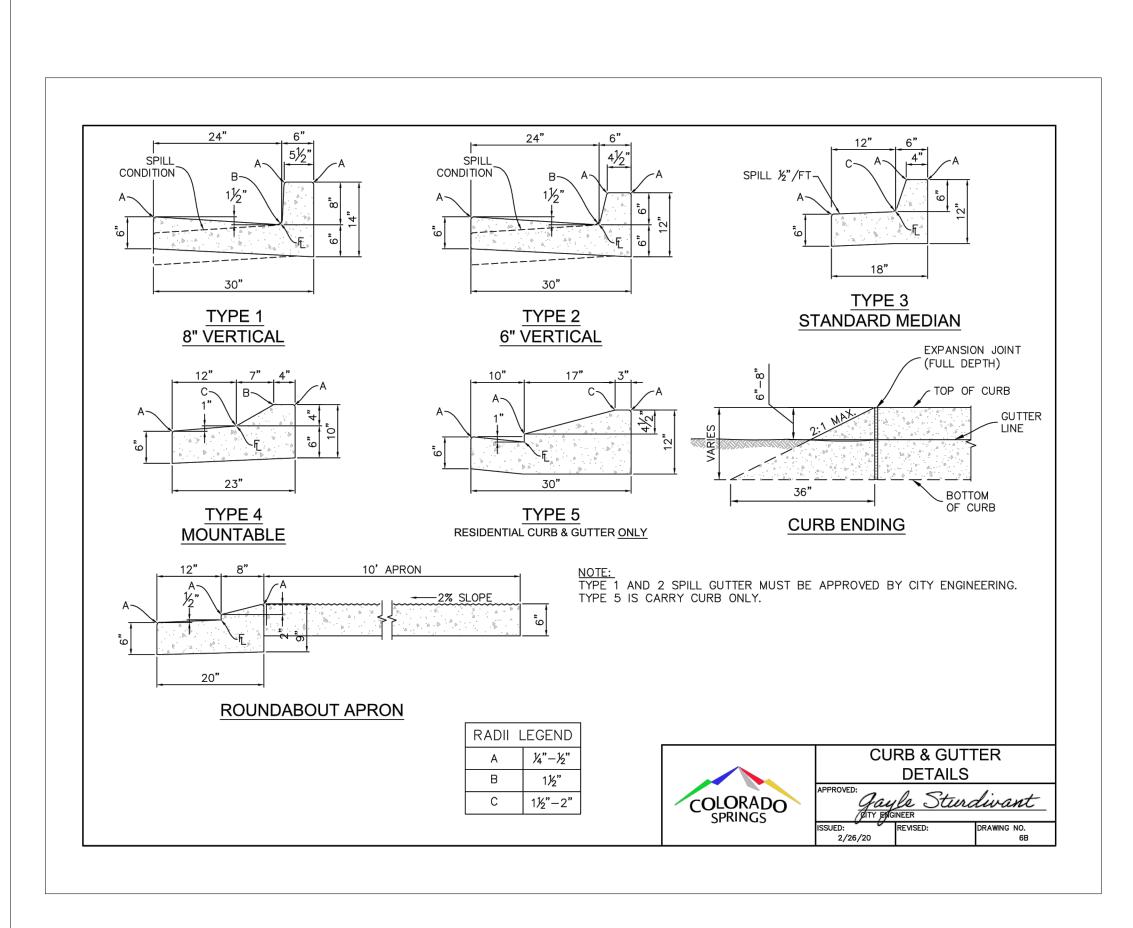


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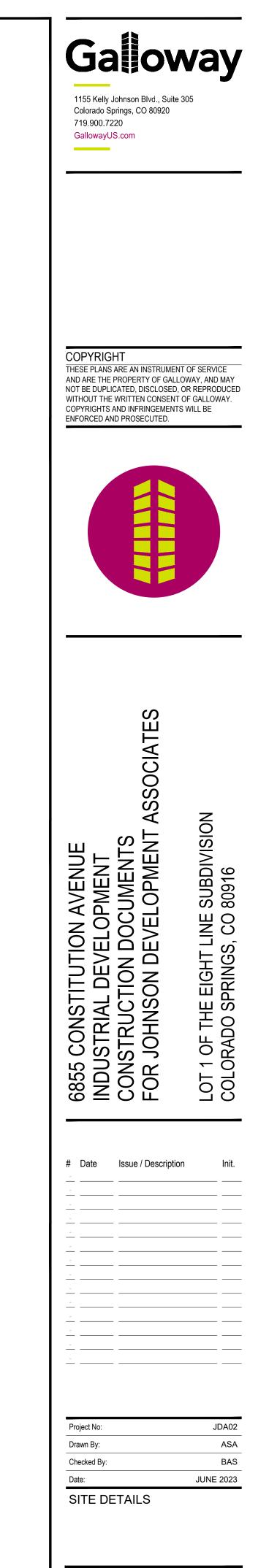
Sheet 9 of 10







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# LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

# PROJECT CONTACTS

# PROPERTY OWNER JASPERCO, LLC. 5532 SADDLE ROCK TRAIL

COLORADO SPRINGS, CO 80918 ATTN: TONY COLON EMAIL: TONYC@COLONFAM.COM

APPLICANT JOHNSON DEVELOPMENT ASSOCIATES, INC. 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 TELE: (864) 529–1297 ATTN: BRIAN KEARNEY EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

# CIVIL ENGINEER GALLOWAY & CO., INC.

1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900-7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

# GEOTECHNICAL ENGINEER ROCKY MOUNTAIN GEOTECHNICAL, INC

555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634–1999 ATTN: KENNETH L. MEYERS, PE

# TRAFFIC ENGINEER

GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 200 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BRIANHORAN@GALLOWAYUS.COM

# SURVEYOR

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337–1262 ATTN: BRIAN DENNIS EMAIL: BRIANDENNIS@GALLOWAYUS.COM

# STANDARD PCM NOTES

- NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED PRIOR TO APPROVAL OF THE SITE GRADING AND EROSION CONTROL (GEC) PLAN. REFERENCE THE CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL (DCM) VOLUME 2, CHAPTER 7 FOR MORE INFORMATION.
- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR. OR OTHER PERSON SHALL COMPLY WITH THE POLICIES AND PROCEDURES OUTLINED IN THE CITY DCM, AND THE APPROVED GEC PLAN.
- THIS PERMANENT BMP PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS IF WORK ON THE PERMANENT BMP DOES NOT COMMENCE WITHIN 12 MONTHS OF PLAN APPROVAL, OR SHOULD ANY OF THE FOLLOWING OCCUR: A CHANGE IN OWNERSHIP, A CHANGE IN THE PROPOSED DEVELOPMENT, OR CHANGES TO THE DESIGN OF THE
- CONTACT CITY GEC INSPECTIONS, 719-385-5918, AND THE CITY ENGINEERING INSPECTIONS, 719-385-5977, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE OR CAUSE ANY DISTURBANCE WITHIN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO WORK WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OF RIGHT-OF-WAY WITHOUT THE APPROPRIATE WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE APPLICANT IS RESPONSIBLE FOR THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS.
- A PROFESSIONAL ENGINEER (PE) CERTIFICATION THAT THE BMP HAS BEEN INSTALLED AND CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE PLANS WILL BE REQUIRED ONCE THE BMP IS FULLY CONSTRUCTED. AN AS-CONSTRUCTED SURVEY MUST BE COMPLETED TO VERIFY FACILITY VOLUMES AND ELEVATIONS. THE AS-BUILT DRAWINGS MUST BE SUBMITTED ALONG WITH THE PE CERTIFICATION. A PE CERTIFICATION REQUIRES PERIODIC ON-SITE OBSERVATIONS BY THE ENGINEER OF RECORD OR A PERSON UNDER THEIR RESPONSIBLE CHARGE. COORDINATION WITH THE ENGINEER OF RECORD TO ENSURE THAT THE NECESSARY ON-SITE OBSERVATIONS ARE COMPLETED IS THE RESPONSIBILITY OF THE APPLICANT.
- THE CONTRACTOR SHOULD CONTACT THE ENGINEER OF RECORD AND GEC INSPECTOR IMMEDIATELY SHOULD CONSTRUCTION OF THE BMP VARY IN ANY WAY FROM THE PLANS.
- RETAINING WALLS WILL BE DESIGNED FOR ADDITIONAL LOADING SUCH AS FOOTINGS BELOW EURV, ETC.

# UTILITY CONTACTS

## WATER & WASTEWATER CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BLVD. COLORADO SPRINGS, CO 80915 TELE: (719) 597-5080 ATTN: KEVIN BROWN EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

ELECTRIC MOUNTAIN VIEW ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 TELE: (719) 495-2283 CATHY HANSEN-LEE EMAIL: CATHY.HOMVEA.COOP

# NATURAL GAS

COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 TELE: (719) 668–5573 AARON CASSIO EMAIL: ACASSIO@CSU.ORG

FIRE CIMARRON HILLS FIRE PROTECTION DISTRICT 1835 TUSKEGEE PL COLORADO SPRINGS, CO 80915 TELE: (719) 591–0960 EMAIL: JMCLEOD@CIMARRON

	PROJECT DATA
PARCEL NUMBER	
BMP CALCULATIONS	FINAL DRAINAGE REPORT CONSTITUTION STORAGE DEVELOPMENT
GRADING, EROSION & STORMWATER QUALITY CONTROL PLAN	GRADING & EROSION CONTROL PLANS IN PROGRESS
FUNCTIONAL MAINTENANCE OF THE PCM STRUCTURES WILL BE COMPLETED BY:	JOHNSON DEVELOPMENT ASSOCIATES, INC.
AESTHETIC MAINTENANCE OF THE PCM WILL BE COMPLETED BY:	JOHNSON DEVELOPMENT ASSOCIATES, INC.
100-YEAR WATER SURFACE ELEVATION	6502.79
EURV WATER SURFACE ELEVATION	6502.14
WQCV WATER SURFACE ELEVATION	6500.98
SOIL DATA	SOIL DATA FOR CONSTITUTION STORAGE WAS OBTAINED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY. SOILS WITHIN THE SITE ARE PREDOMINATELY TRUCKTON SANDY LOAM SOIL CLASSIFICATION A. GEOTECH PER KUMAR & ASSOCIATES, INC., REPORT AND AMMENDUM #21-2-272
VEGETATION	SITE DEVELOPMENT PLAN IN PROGRESS
FEMA FLOOD INSURANCE RATE MAP	ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM NUMBER 08041C0752G), EFFECTIVE DATE DECEMBER 7, 2018, THE PROJECT SITE LIES OUTSIDE OF THE 100-YEAR AND 500-YEAR FLOODPLAINS. THE PROJECT SITE IS LOCATED IN ZONE X DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

I OND COST ESTIMATE						
	ITEM	JOB TOTAL	UNIT	UNIT PRICE	TOTAL	
1	SOIL RIP RAP TRICKLE CHANNEL	158	LF	\$306.00	\$48,350.00	
2	FOREBAY W/ T-BAFFLE	2	EA	\$15,000.00	\$30,000.00	
3	OUTLET STRUCTURE	1	EA	\$20,000.00	\$20,000.00	
4	MICROPOOL	1	EA	\$5,000.00	\$5,000.00	
5	POND ACCESS ROAD (GRAVEL)	299	SY	\$57.87	\$17,300.00	
6	GRADING (NOT PART OF GEC)	0.24	AC	\$12,283.00	\$2,950.00	
7	SPILLWAY	30.5	LF	\$526.00	\$16,043.00	
8	PERMANENT SEEDING	1	LS	\$3,000.00	\$3,000.00	
	SUBTOTAL =				\$142,643.00	
	CONTINGENCY (10%)				\$14,264.30	
	GRAND TOTAL =				\$156,907.30	

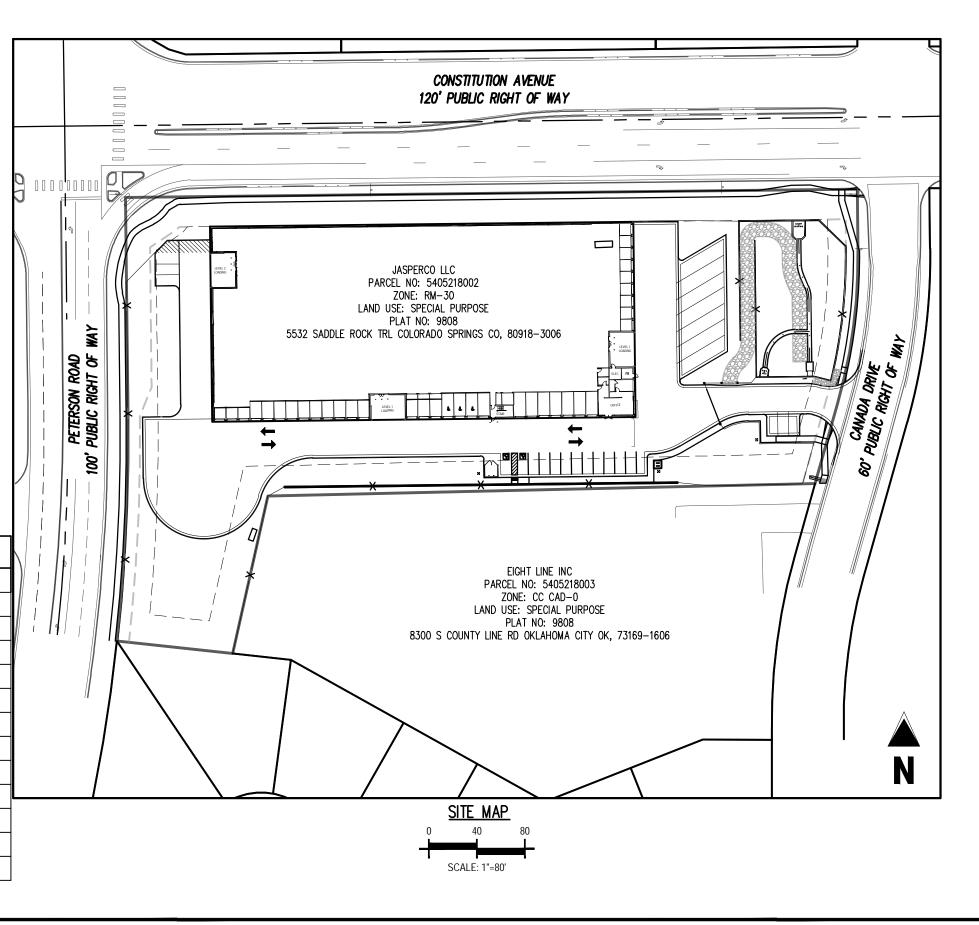
# POND COST ESTIMATE

# **CONSTITUTION STORAGE**

# PERMANENT CONTROL MEASURE PLAN



SHEET INDEX				
SHEET DESCRIPTION	SHEET TITLE	SHEET NUMBER		
PCM0.0	COVER SHEET	1		
PCM1.0	OVERALL PCM PLAN	2		
PCM1.1	POND PLAN	3		
PCM1.2	FOREBAY DETAILS	4		
PCM1.3	MICROPOOL & OUTLET STRUCTURE DETAILS	5		
PCM1.4	RETAINING WALL DETAILS	6		



LEGAL DESCRIPTION LOT 1. EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5. TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL

# **BASIS OF BEARINGS**

PASO, STATE OF COLORADO.

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

# BENCHMARK

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

# DESCRIPTION OF CONSTRUCTION ACTIVITIES

ALL DATES ARE SUBJECT TO CHANGE. CONSTRUCTION IS ANTICIPATED TO COMMENCE IN NOVEMBER OF 2021 AND BE COMPLETED BY MARCH OF 2022. FINAL STABILIZATION IS EXPECTED TO BE COMPLETED BY JULY OF 2022.

# RECEIVING WATERS

INDIAN HILLS VILLAGE IS LOCATED WITHIN THE MESA DRAINAGE BASIN AS DESCRIBED IN THE "MASTER PLAN FOR MESA DRAINAGE BASIN," PREPARED BY GILBERT, MEYER & SAMS, INC. DATED AUGUST 10,1989.

# ENGINEER'S STATEMENT

THIS PERMANENT CONTROL MEASURE (PCM) PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, WAS DESIGNED IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL (MAY 2014), AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THIS PERMANENT BMP PLAN.

# PRINTED NAME: BRADY A. SHYROCK, P.E. # 38164

# DEVELOPER'S/OWNER'S STATEMENT

JOHNSON DEVELOPMENT ASSOCIATES HEREBY CERTIFIES THAT THE PCM FOR CONSTITUTION STORAGE SHALL BE CONSTRUCTED ACCORDING TO THE DESIGN PRESENTED IN THIS PLAN. I UNDERSTAND THAT EL PASO COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY MY ENGINEER AND THAT ARE SUBMITTED TO EL PASO COUNTY; AND CANNOT, ON BEHALF OF JOHNSON DEVELOPMENT ASSOCIATES, GUARANTEE THAT DESIGN REVIEW WILL ABSOLVE JOHNSON DEVELOPMENT ASSOCIATES AND/OR THEIR SUCCESSORS AND/O e liability FOR IMPROPER DESIGN.

DEVELOPER/OWNER SIGNATURE: \_

SIGNATURE:

NAME OF DEVELOPER/OWNER:	DATE:
DBA: JOHNSON DEVELOPMENT ASSOCIATES, INC.	PHONE:
ТІПЕ:	EMAIL:
ADDRESS:	FAX:

# CITY OF COLORADO SPRINGS STATEMENT: FILED IN ACCORDANCE WITH SECTION 7.7.1503 OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001, AS AMENDED.

FOR THE CITY ENGINEER

THE CITY OF COLORADO SPRINGS APPROVES THESE PLANS BASED UPON THE NON-JURISDICTIONAL STATUS OF THE FACILITY. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO FOLLOW UP WITH THE STATE DIVISION OF WATER RESOURCES FOR JURISDICTIONAL DETERMINATION. IF UPON STATE REVIEW THE CLASSIFICATION CHANGES TO JURISDICTIONAL, ADDITIONAL CITY REVIEW AND APPROVAL WILL BE NECESSARY.

# CAUTION - NOTICE TO CONTRACTOR

THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING

UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO

COVER SHEET

BAS

JUNE 2023

Checked By

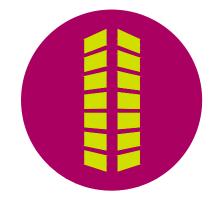


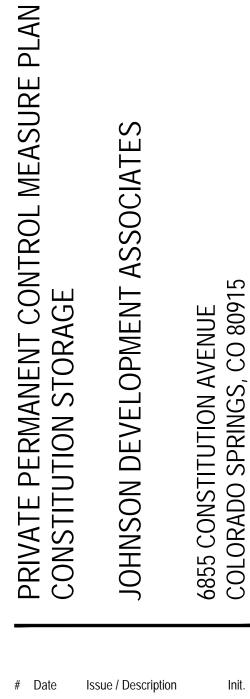
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Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com



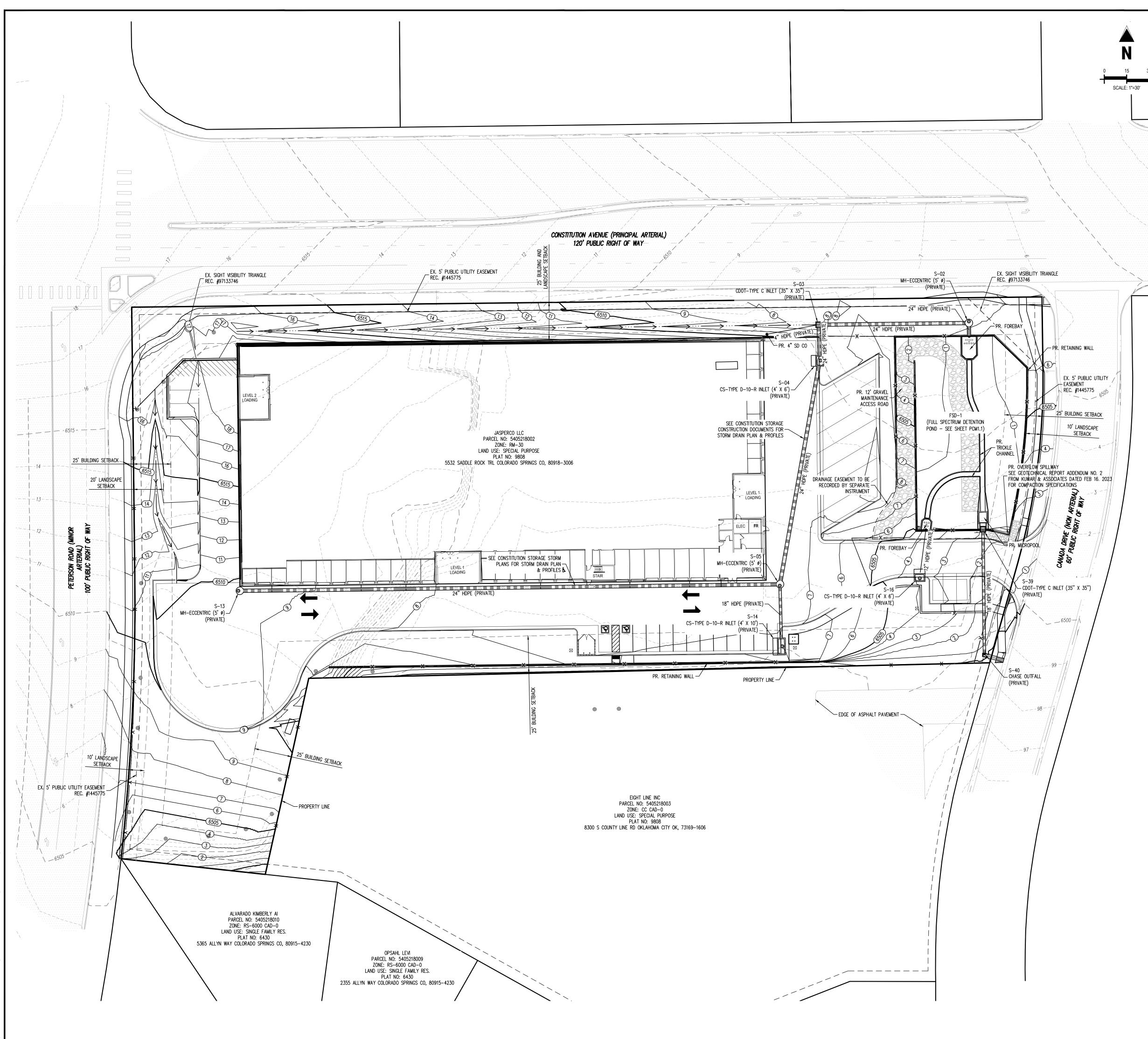


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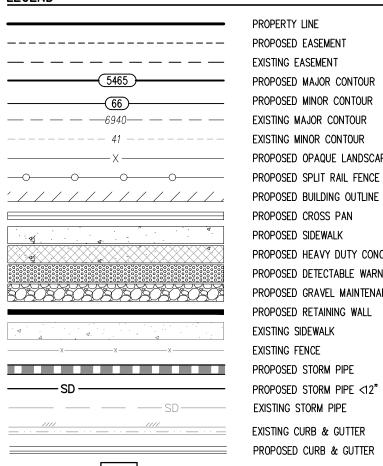


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# LEGEND





PROPERTY LINE PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR EXISTING MINOR CONTOUR PROPOSED OPAQUE LANDSCAPE FENCE PROPOSED BUILDING OUTLINE PROPOSED CROSS PAN PROPOSED SIDEWALK PROPOSED HEAVY DUTY CONCRETE PROPOSED DETECTABLE WARNING SURFACE PROPOSED GRAVEL MAINTENANCE ACCESS PROPOSED RETAINING WALL EXISTING SIDEWALK EXISTING FENCE PROPOSED STORM PIPE <12" EXISTING STORM PIPE PROPOSED CURB & GUTTER

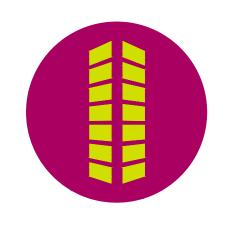
PROPOSED STORM DRAIN STRUCTURES

EXISTING STORM DRAIN STRUCTURES



Colorado Springs, CO 80920 719.900.7220 GallowayUS.com \_\_\_\_\_

## COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



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Project No: JDA02 ASA/MRK Drawn By: Checked By: BAS Date: JUNE 2023

OVERALL PCM PLAN

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

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FIMS DATUM ELEVATION = 6534.61

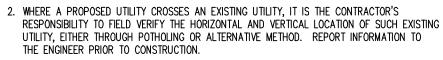
BASIS OF BEARINGS

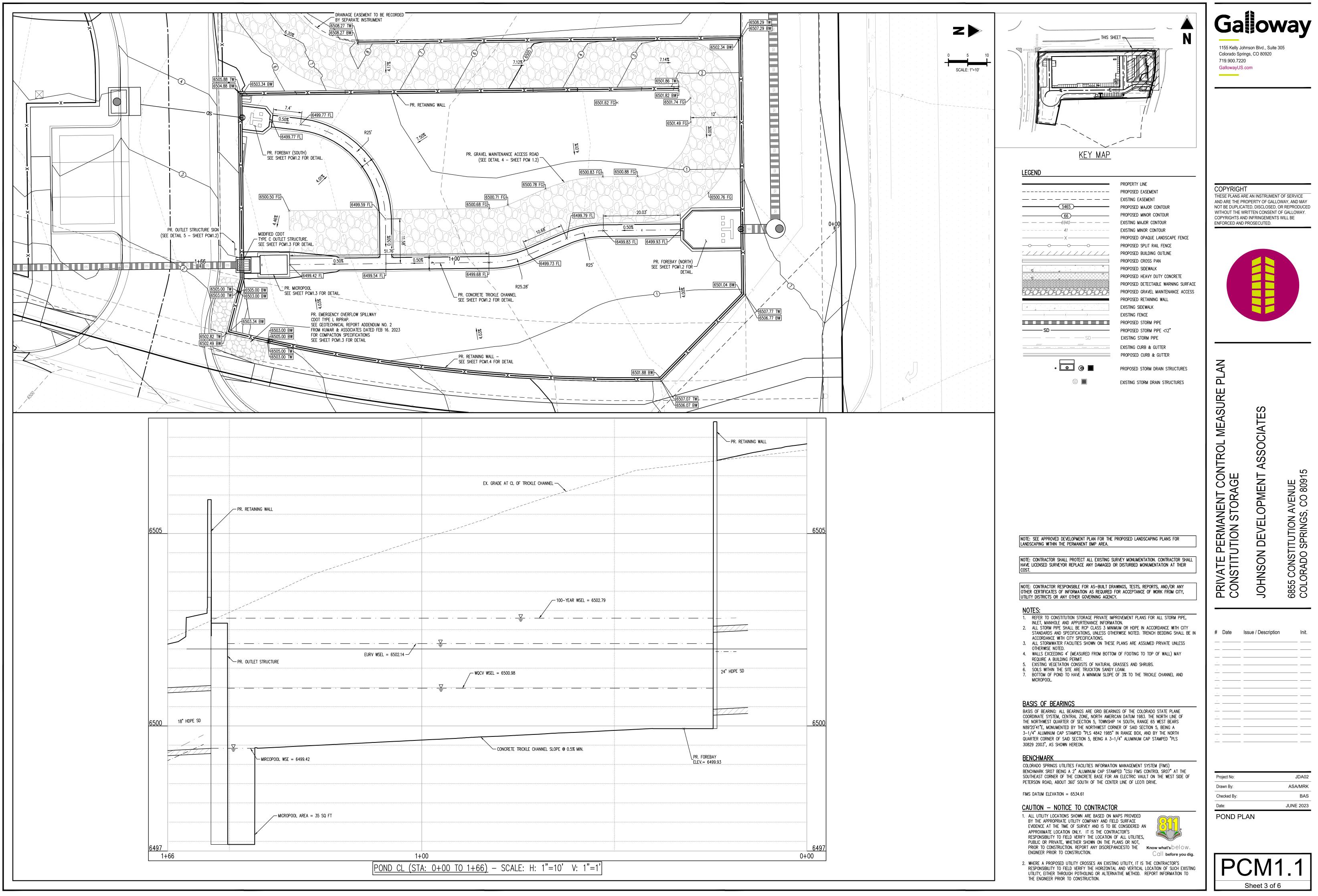
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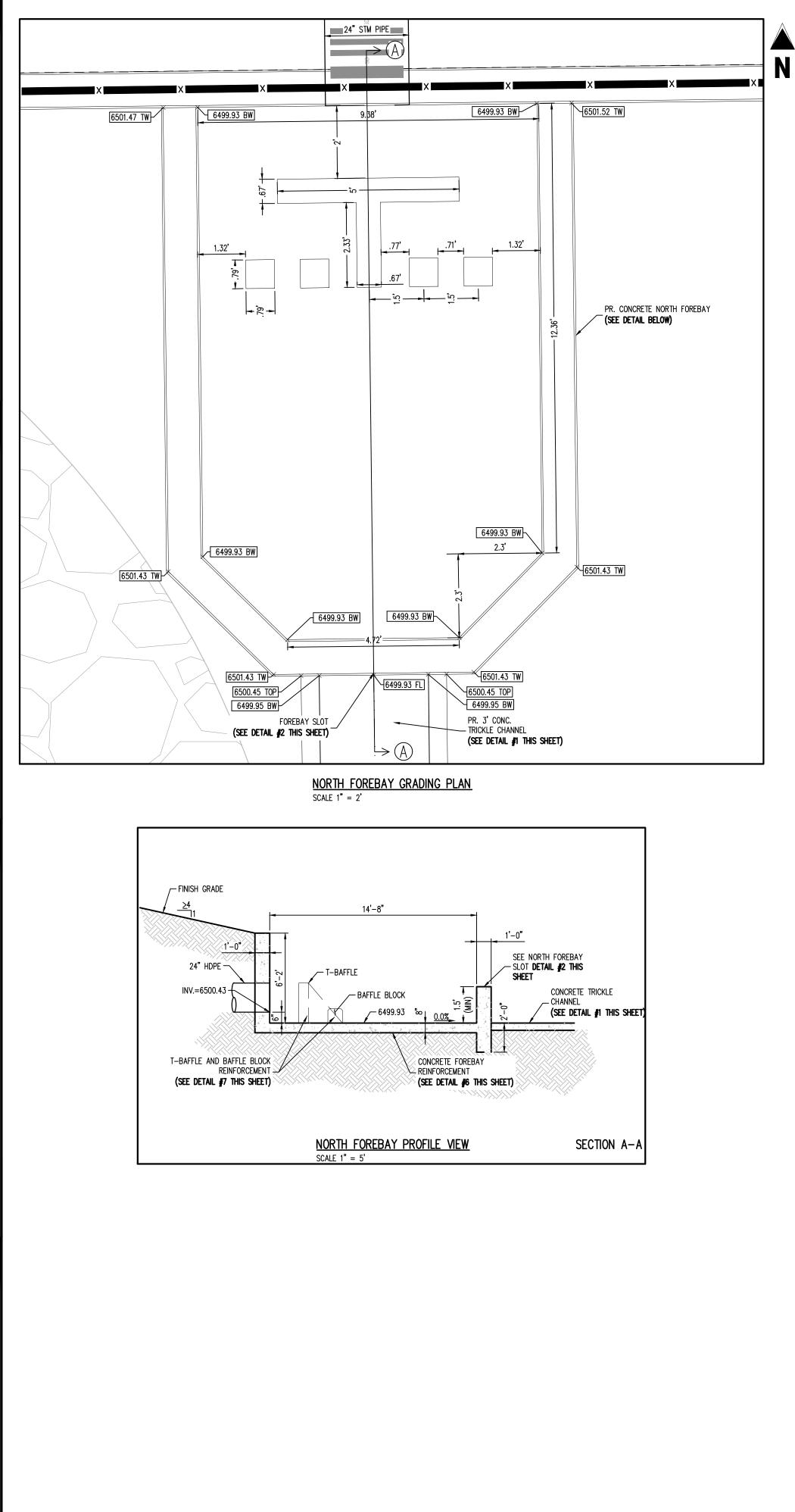


Sheet 2 of 6

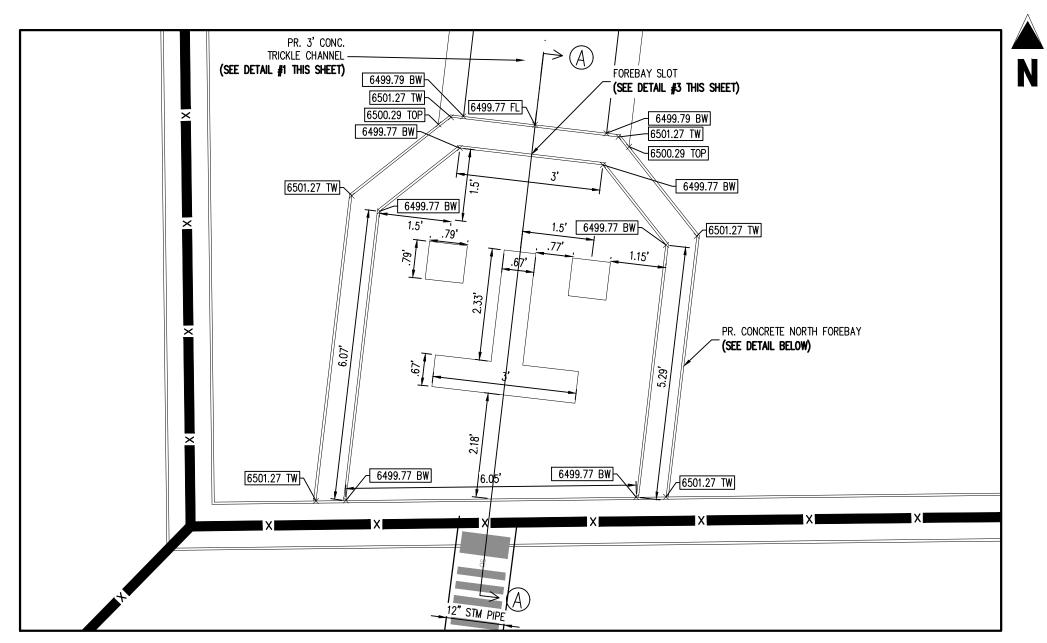




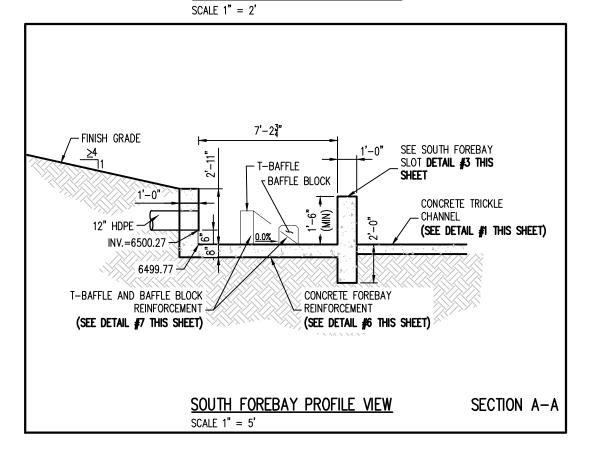
Development Associates/CO, Colorado Springs - Constitution Ave SS\0CIVI3-CD\PCMJDA02\_PCM 1.1 - PCM Pond Plan.dwg - Chelsea McPherson - 6/1

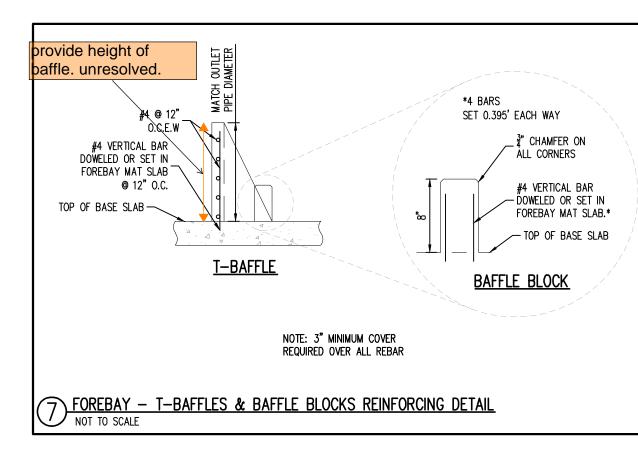


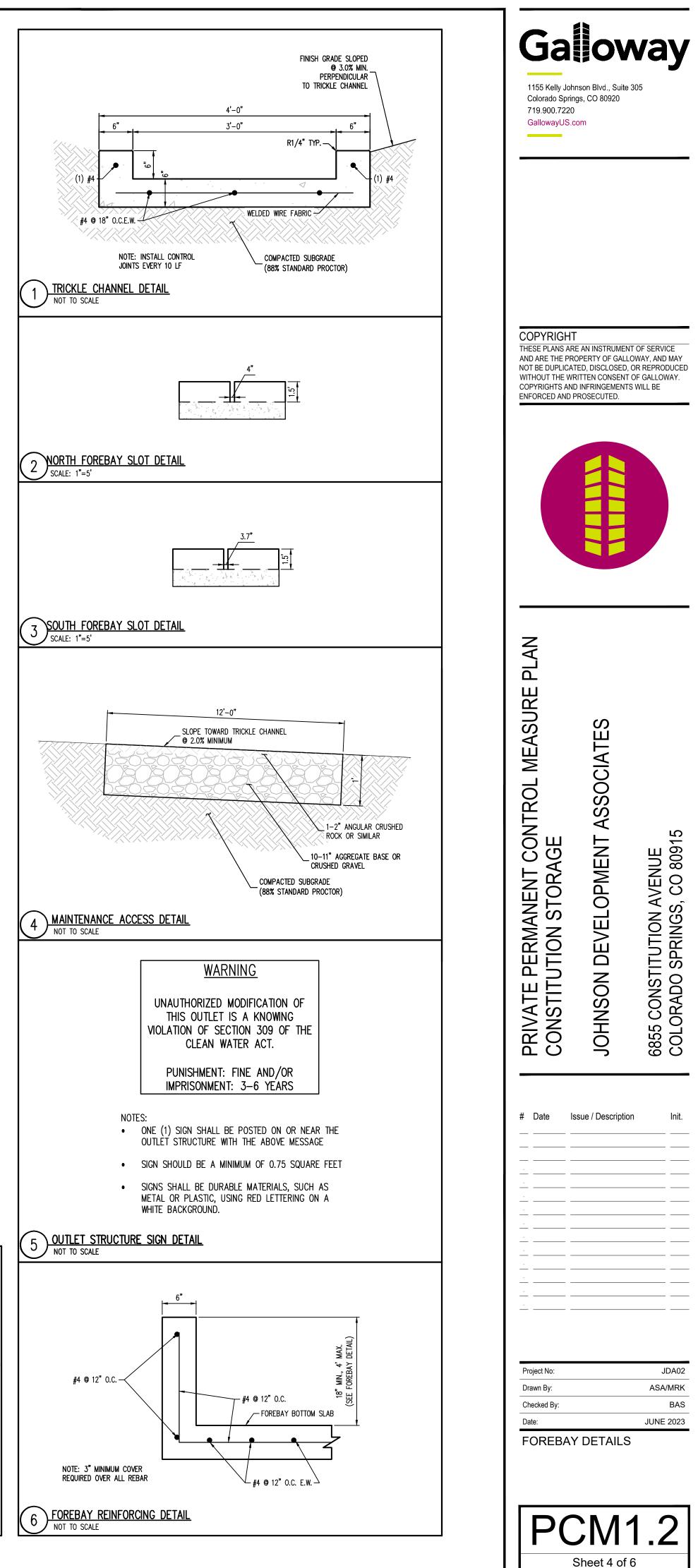


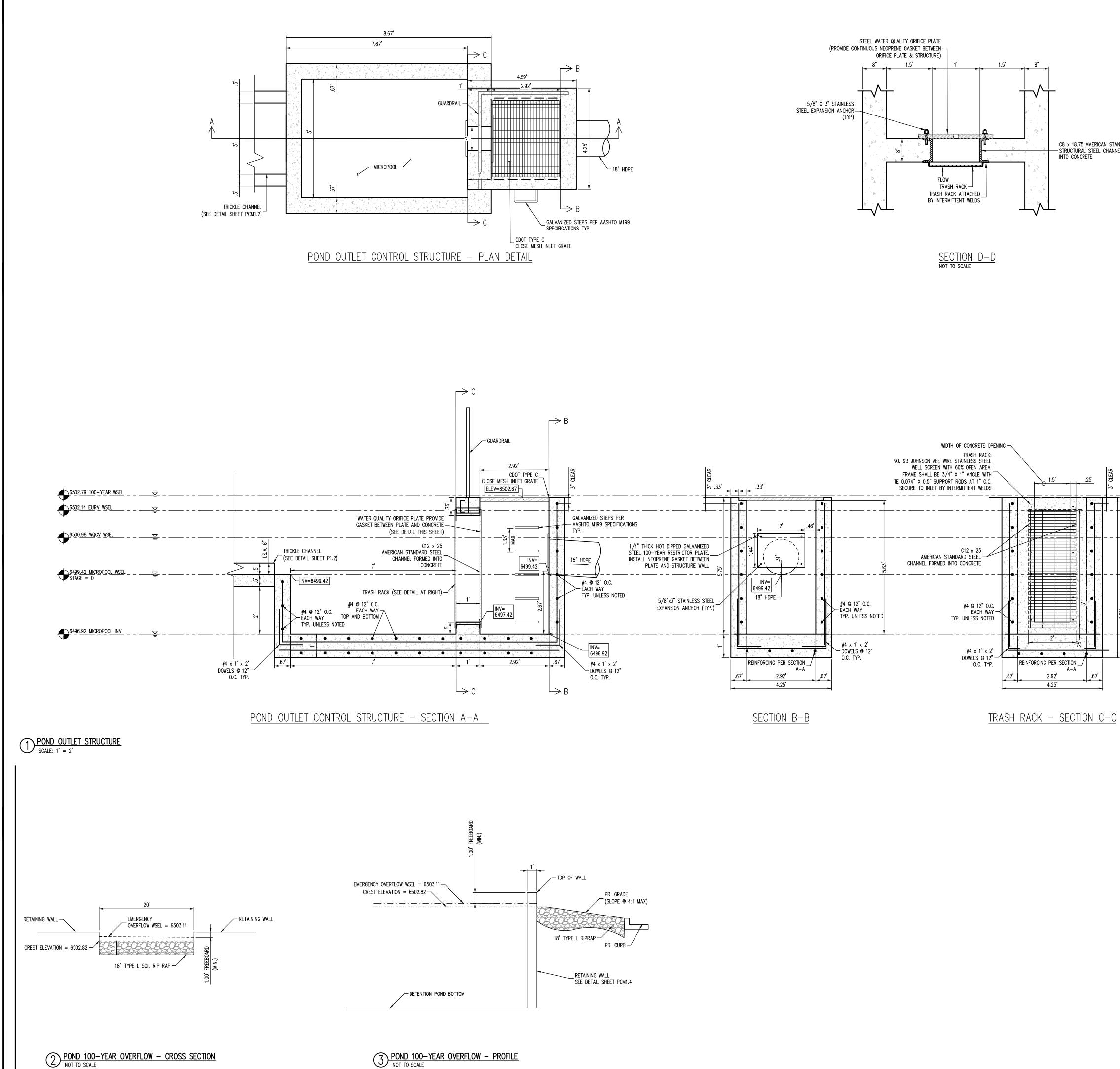








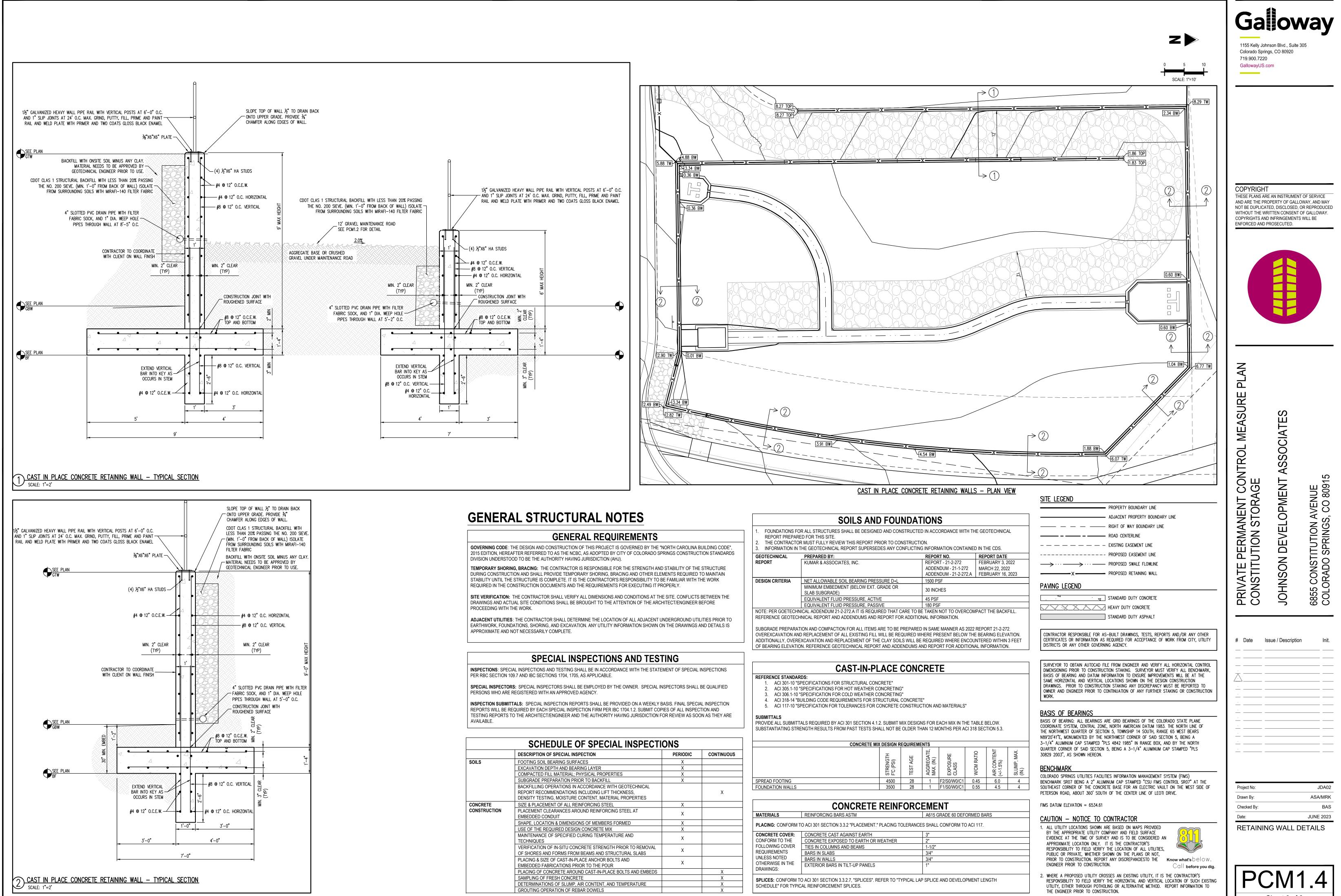




		GailowayUS.com	
STANDARD NNNEL FORMED $ \begin{array}{c} \text{STAINLESS STEEL SUPPORT} \\ \text{BARS TE 0.074*X0.50", 1.0' 0.C.} \\         0.655^{\bullet} \\         0.655^{\bullet} \\         0.139" 0.090 \\ \text{R VALUE = (NET OPEN AREA)/(GROSS RACK = 0.60)} \\ \text{R VALUE = (NET OPEN AREA)/(GROSS RACK = 0.60)} \\ \begin{array}{c} \text{TRASH RACK SEC} \\ \text{SCALE: 1" = 1'} \end{array} $	AREA)	COPYRIGHT         THESE PLANS ARE AN INSTRUMENT OF SERVICE         AND ARE THE PROPERTY OF GALLOWAY, AND MAY         NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED         WITHOUT THE WRITTEN CONSENT OF GALLOWAY.         COPYRIGHTS AND INFRINGEMENTS WILL BE         ENFORCED AND PROSECUTED.	
Match Mi unresolve 34" ø ORIFICE 1" ø ORIFICE 34" ø ORIFICE	DRIFICE PLATE DETAIL	PRIVATE PERMANENT CONTROL MEASURE PLAN CONSTITUTION STORAGE JOHNSON DEVELOPMENT ASSOCIATES 6855 CONSTITUTION AVENUE 6855 CONSTITUTION AVENUE COLORADO SPRINGS, CO 80915	
		#       Date       Issue / Description       Init.	
		Project No:JDA02Drawn By:ASA/MRKChecked By:BASDate:JUNE 2023MICROPOOL & OUTLET STRUCTURE DETAILS	

PCM1.3

Sheet 5 of 6



	DESCRIPTION OF SPECIAL INSPECTION	PERIODIC	CONTINUOUS
SOILS	FOOTING SOIL BEARING SURFACES	Х	
	EXCAVATION DEPTH AND BEARING LAYER	Х	
	COMPACTED FILL MATERIAL; PHYSICAL PROPERTIES	Х	
	SUBGRADE PREPARATION PRIOR TO BACKFILL	Х	
	BACKFILLING OPERATIONS IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS INCLUDING LIFT THICKNESS, DENSITY TESTING, MOISTURE CONTENT, MATERIAL PROPERTIES		x
CONCRETE	SIZE & PLACEMENT OF ALL REINFORCING STEEL	Х	
CONSTRUCTION	PLACEMENT CLEARANCES AROUND REINFORCING STEEL AT EMBEDDED CONDUIT	Х	
	SHAPE, LOCATION & DIMENSIONS OF MEMBERS FORMED	Х	
	USE OF THE REQUIRED DESIGN CONCRETE MIX	Х	
	MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	Х	
	VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS	Х	
	PLACING & SIZE OF CAST-IN-PLACE ANCHOR BOLTS AND EMBEDDED FABRICATIONS PRIOR TO THE POUR	Х	
	PLACING OF CONCRETE AROUND CAST-IN-PLACE BOLTS AND EMBEDS		X
	SAMPLING OF FRESH CONCRETE		Х
	DETERMINATIONS OF SLUMP, AIR CONTENT, AND TEMPERATURE		X
	GROUTING OPERATION OF REBAR DOWELS		Х

	CONCRETE MIX	DESIGN R	EQUIREME	l
		STRENGTH F'C (PSI)	TEST AGE	
SPREAD FOOTING		4500	28	Ī
OUNDATION WALLS		3500	28	
				7

CONCRETE REINFORCE					
MATERIALS	REINFORCING BARS ASTM				
PLACING: CONFORM 1	O ACI 301 SECTION 3.3.2 "PLACEMENT." PLACING TOLEI	RANCES			
CONCRETE COVER:	CONCRETE CAST AGAINST EARTH	3			
CONFORM TO THE	CONCRETE EXPOSED TO EARTH OR WEATHER				
FOLLOWING COVER	TIES IN COLUMNS AND BEAMS	1			
REQUIREMENTS	BARS IN SLABS	3			
UNLESS NOTED	BARS IN WALLS	3			
OTHERWISE IN THE DRAWINGS:	EXTERIOR BARS IN TILT-UP PANELS	1			
	O ACI 301 SECTION 3.3.2.7, "SPLICES". REFER TO "TYPIC CAL REINFORCEMENT SPLICES.	AL LAP S			

Sheet 6 of 6

# LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

# PROJECT CONTACTS

PROPERTY OWNER JASPERCO, LLC. 5532 SADDLE ROCK TRAIL COLORADO SPRINGS, CO 80918 ATTN: TONY COLON EMAIL: TONYC@COLONFAM.COM

APPLICANT JOHNSON DEVELOPMENT ASSOCIATES, INC. 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 TELE: (864) 529–1297 ATTN: BRIAN KEARNEY EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

# CIVIL ENGINEER

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900–7220 ATTN: BRADY SHYROCK, P.E. EMAIL: BRADYSHYROCK@GALLOWAYUS.COM

# GEOTECHNICAL ENGINEER ROCKY MOUNTAIN GEOTECHNICAL, INC

555 E. PIKES PEAK AVE, SUITE 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634–1999 ATTN: KENNETH L. MEYERS, PE

# TRAFFIC ENGINEER

GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 200 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BRIANHORAN@GALLOWAYUS.COM

# SURVEYOR

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# UTILITY SERVICE PLAN NOTES:

THE CONTRACTOR SHALL NOTIFY CHEROKEE METROPOLITAN DISTRICT A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

# <u>GENERAL:</u>

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET COLORADO SPRINGS UTILITIES' WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS) AND CHEROKEE METROPOLITAN DISTRICT INFRASTRUCTURE CONSTRUCTION STANDARDS.
- 2. CHEROKEE METROPOLITAN DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METROPOLITAN DISTRICT.
- 4. ALL FIELD STAKING SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND THE INFRASTRUCTURE CONSTRUCTION STANDARDS.
- 5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND THE INFRASTRUCTURE CONSTRUCTION STANDARDS.
- 6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICE SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METROPOLITAN DISTRICT INSPECTOR.
- ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH CHAPTER 4 OF THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND SECTION 5.18 OF THE WATER LESS.

# <u>WASTEWATER:</u>

- 1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"X4"X12" STEEL OR WOODEN POST.
- SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
- ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.

- SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE DETAIL DRAWING B2-3).
- SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER
- ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-SECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
- ALL TAPS ON CHEROKEE METRO DISTRICT WATER MAINS SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE SUPERVISION OF CHEROKEE METROPOLITAN DISTRICT PERSONNEL.
- ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY CHEROKEE METROPOLITAN DISTRICT
- 6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 5 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
- ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.

# UTILITY CONTACTS

## WATER & WASTEWATER CHEROKEE METROPOLITAN DISTRIC 6250 PALMER PARK BLVD. COLORADO SPRINGS, CO 80915 TELE: (719) 597–5080 ATTN: KEVIN BROWN EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

# ELECTRIC

MOUNTAIN VIEW ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 TELE: (719) 495-2283 CATHY HANSEN-LEE EMAIL: CATHY.HOMVEA.COOP

# NATURAL GAS

COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 TELE: (719) 668–5573 AARON CASSIO EMAIL: ACASSIO@CSU.ORG

# FIRE

CIMARRON HILLS FIRE PROTECTION DISTRICT 1835 TUSKEGEE PL COLORADO SPRINGS, CO 80915 TELE: (719) 591-0960 EMAIL: JMCLEOD@CIMARRON

## PLAN INFORMATION BLOCK FIMS MAP NUMBER. TAX SCHEDULE NO.

DEVELOPMENT PLAN NUMBER.

# LIST OF ABBREVIATIONS

 $\Delta$  – DEFLECTION ANGLE L – LENGTH

SHT - SHEET

- r Radius CB - CHORD BEARING
- C CHORD LENGTH N - NORTH/NORTHING
- W WEST E - EAST/EASTING
- S SOUTH DFT – DFTAII
- EX EXISTING W/ — WITH
- PC POINT OF CURVATURE/PORTLAND CEMENT WWF - WELDED WIRE FABRIC
- VERT VERTICAL OC - ON CENTER
- FDC FIRE DEPARTMENT CONNECTION CT - COURT
- DR DRIVE TYP – TYPICAL
- REC RECEPTION NUMBER
- Ø. DIA DIAMETER PT - POINT OF TANGENCY MIN – MINIMUM
- MAX MAXIMUM HDPE - HIGH DENSITY POLYETHYLENE

- .08041C0752G .5405218002 .PPR-2224

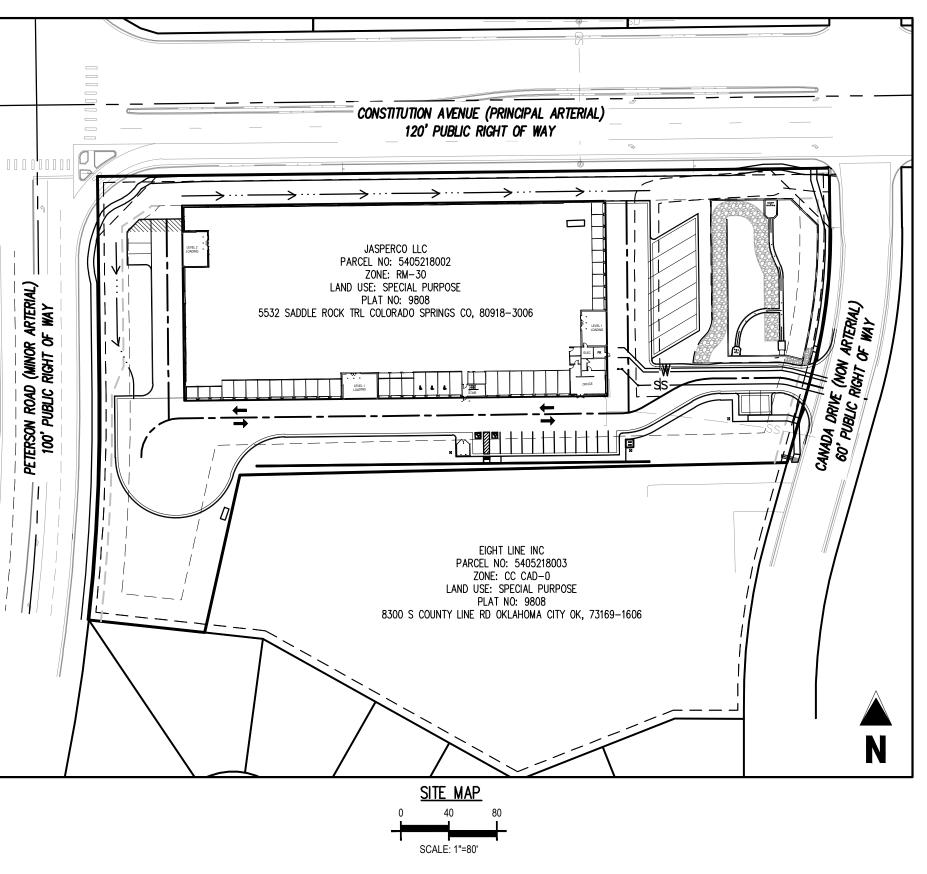
# **JOHNSON DEVELOPMENT ASSOCIATES CONSTITUTION STORAGE**

# **UTILITY SERVICE PLAN**



	SHEET INDEX	
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	U0.0
2	UTILITY SERVICE PLAN	U1.1

VICINITY MAP 0 100 200 SCALE: 1"=400'



# **BASIS OF BEARINGS**

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89'20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

## **BENCHMARK**

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SR07 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SR07" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

# FIMS DATUM ELEVATION = 6534.6 EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

DATE

COUNTY ENGINEER / ECM ADMINISTRATOR

PCD FILING NO PPR-2224

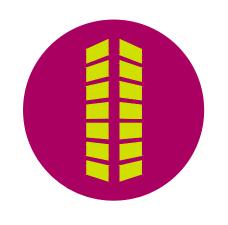
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Galloway

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920

719.900.7220 GallowayUS.com



2460 CANADA DRIVE. STORAGE SITE INDUSTRIAL DEVELOPMENT	UTILITY PLAN FOR JOHNSON DEVELOPMENT ASSOCIATES	LOT 1 OF THE EIGHT LINE SUBDIVISION COLORADO SPRINGS. CO 80916
# Date	Issue / Description	Init
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COVER SHEET

# CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Sheet 1 of 2

