

JOHNSON DEVELOPMENT ASSOCIATES

CONSTITUTION STORAGE

LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

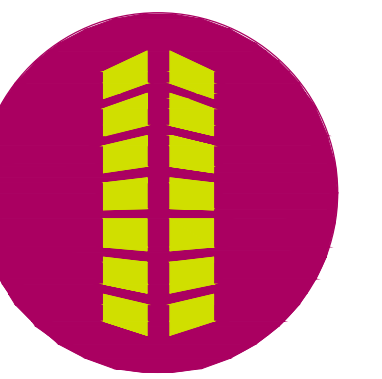
PERMANENT CONTROL MEASURE PLAN



1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com

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PRIVATE PERMANENT CONTROL MEASURE PLAN CONSTITUTION STORAGE JOHNSON DEVELOPMENT ASSOCIATES 6855 CONSTITUTION AVENUE COLORADO SPRINGS, CO 80915

PROJECT CONTACTS

PROPERTY OWNER

JASPERCO, LLC 5532 SADDLE ROCK TRAIL COLORADO SPRINGS, CO 80918 ATTN: TOMY COLON EMAIL: TONYC@COLONFAM.COM

APPLICANT

JOHNSON DEVELOPMENT ASSOCIATES, INC. 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 TELE: (864) 529-1927 ATTN: BRIAN KEARNEY EMAIL: BKEARNEY@JOHNSONDEVELOPMENT.NET

CIVIL ENGINEER

GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 305 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BPHORAN@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC. 555 E. Pikes Peak Ave. Suite 107 COLORADO SPRINGS, CO 80903 TELE: (303) 634-1999 ATTN: KENNETH L. MEYERS, PE

TRAFFIC ENGINEER

GALLOWAY & CO., INC. 5500 GREENWOOD PLAZA BLVD, SUITE 200 GREENWOOD VILLAGE, CO 80111 TELE: (303) 770-8884 ATTN: BRIAN HORAN, P.E. EMAIL: BPHORAN@GALLOWAYUS.COM

SURVEYOR

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337-1282 ATTN: BRIAN EDWARDS EMAIL: BREDA@GALLOWAYUS.COM

STANDARD PCM NOTES

- 1. NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED PRIOR TO APPROVAL OF THE SITE GRADING AND EROSION CONTROL (GEC) PLAN... 2. ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE POLICES AND PROCEDURES OUTLINED IN THE CITY DCM, AND THE APPROVED GEC PLAN... 3. THIS PERMANENT BMP PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS IF WORK ON THE PERMANENT BMP DOES NOT COMMENCE WITHIN 12 MONTHS OF PLAN APPROVAL... 4. CONTACT CITY GEC INSPECTIONS, 719-385-5918, AND THE CITY ENGINEERING INSPECTIONS, 719-385-5977, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION... 5. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE OR CAUSE ANY DISTURBANCE WITHIN ANY UTILITY EASEMENT OR RIGHT-OF-WAY... 6. A PROFESSIONAL ENGINEER (PE) CERTIFICATION THAT THE BMP HAS BEEN INSTALLED AND CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE PLANS WILL BE REQUIRED ONCE THE BMP IS FULLY CONSTRUCTED... 7. THE CONTRACTOR SHOULD CONTACT THE ENGINEER OF RECORD AND GEC INSPECTOR IMMEDIATELY SHOULD CONSTRUCTION OF THE BMP VARY IN ANY WAY FROM THE PLANS... 8. RETAINING WALLS WILL BE DESIGNED FOR ADDITIONAL LOADING SUCH AS FOOTINGS BELOW EURV, ETC.

UTILITY CONTACTS

WATER & WASTEWATER

CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BLVD. COLORADO SPRINGS, CO 80915 TELE: (719) 507-5000 ATTN: KEVIN BROWN EMAIL: KBROWN@CHEROKEEMETROPOLITAN.ORG

ELECTRIC

MOUNTAIN VIEW ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 TELE: (719) 495-2283 CATHY HANSEN-LEE EMAIL: CATHY.HANSEN@MV.EA.COOP

NATURAL GAS

COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 TELE: (719) 668-5573 AARON CASSIDY EMAIL: ACASSIDY@CSU.CO

FIRE

CIARRON HILLS FIRE PROTECTION DISTRICT 1835 TUSKIEE PL COLORADO SPRINGS, CO 80915 TELE: (719) 591-0960 EMAIL: JMCLEOD@CIARRONHILLS.CO



VICINITY MAP SCALE 1"=400'

SHEET INDEX table with columns: SHEET NUMBER, SHEET DESCRIPTION, SHEET TITLE

LEGAL DESCRIPTION LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

BASIS OF BEARINGS BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983... BENCHMARK COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

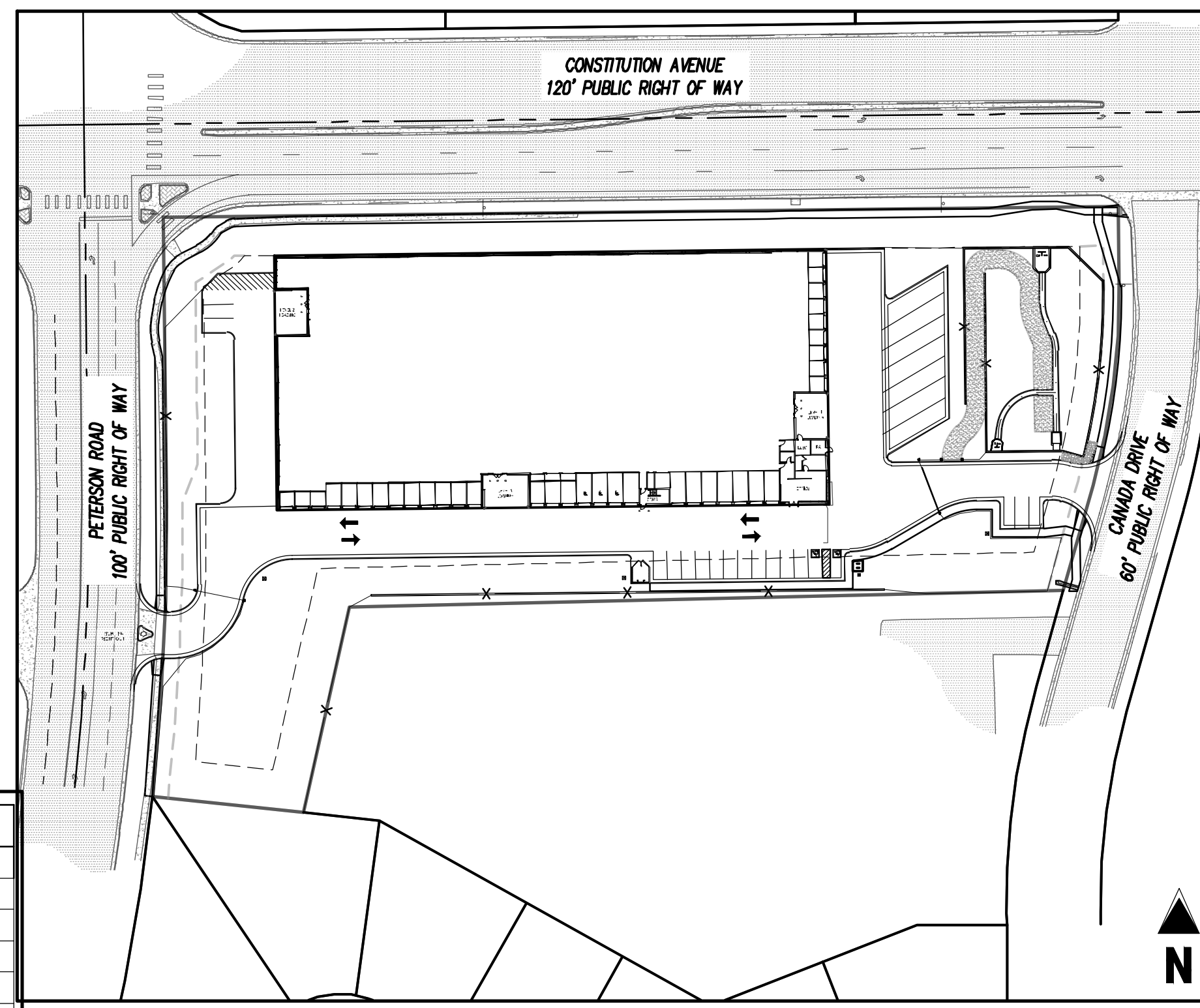
BENCHMARK COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S707 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S707" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

DESCRIPTION OF CONSTRUCTION ACTIVITIES ALL DATES ARE SUBJECT TO CHANGE. CONSTRUCTION IS ANTICIPATED TO COMMENCE IN NOVEMBER OF 2021 AND BE COMPLETED BY MARCH OF 2022. FINAL STABILIZATION IS EXPECTED TO BE COMPLETED BY JULY OF 2022.

RECEIVING WATERS INDIAN HILLS VILLAGE IS LOCATED WITHIN THE MESA DRAINAGE BASIN AS DESCRIBED IN THE "MASTER PLAN FOR MESA DRAINAGE BASIN," PREPARED BY GILBERT, MEYER & SAM, INC. DATED AUGUST 10, 1989.

PROJECT DATA table with rows: PARCEL NUMBER, BMP CALCULATIONS, GRADING, EROSION & STORMWATER QUALITY CONTROL PLAN, FUNCTIONAL MAINTENANCE OF THE PCM STRUCTURES WILL BE COMPLETED BY: JOHNSON DEVELOPMENT ASSOCIATES, INC., SOIL DATA, VEGETATION, FEMA FLOOD INSURANCE RATE MAP.

POND COST ESTIMATE table with columns: ITEM, JOB TOTAL, UNIT, UNIT PRICE, TOTAL



SITE MAP SCALE 1"=80'

ENGINEER'S STATEMENT

THIS PERMANENT CONTROL MEASURE (PCM) PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, WAS DESIGNED IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL (MAY 2014), AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THIS PERMANENT BMP PLAN.

SIGNATURE: DATE: PRINTED NAME: SEAL

DEVELOPER'S/OWNER'S STATEMENT

JOHNSON DEVELOPMENT ASSOCIATES HEREBY CERTIFIES THAT THE PCM FOR CONSTITUTION STORAGE SHALL BE CONSTRUCTED ACCORDING TO THE DESIGN PRESENTED IN THIS PLAN. I UNDERSTAND THAT EL PASO COUNTY DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY MY ENGINEER AND THAT ARE SUBMITTED TO EL PASO COUNTY, AND CANNOT, ON BEHALF OF JOHNSON DEVELOPMENT ASSOCIATES, GUARANTEE THAT THE FINAL DRAINAGE DESIGN REVIEW WILL ASSOLVE JOHNSON DEVELOPMENT ASSOCIATES AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN.

DEVELOPER/OWNER SIGNATURE: DATE: NAME OF DEVELOPER/OWNER: PHONE: DBA: JOHNSON DEVELOPMENT ASSOCIATES, INC. TITLE: EMAIL: ADDRESS: FAX:

CITY OF COLORADO SPRINGS STATEMENT:

FILED IN ACCORDANCE WITH SECTION 7.7.1503 OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001, AS AMENDED. FOR THE CITY ENGINEER DATE:

NOTES: THE CITY OF COLORADO SPRINGS APPROVES THESE PLANS BASED UPON THE NON-JURISDICTIONAL STATUS OF THE FACILITY. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO FOLLOW UP WITH THE STATE DIVISION OF WATER RESOURCES FOR JURISDICTIONAL DETERMINATION. IF UPON STATE REVIEW THE CLASSIFICATION CHANGES TO JURISDICTIONAL, ADDITIONAL CITY REVIEW AND APPROVAL WILL BE NECESSARY.

CAUTION - NOTICE TO CONTRACTOR

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY... 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Revision table with columns: #, Date, Issue / Description, Init.

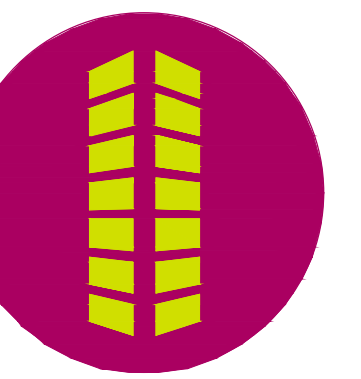
Project No: JIDA02 Drawn By: ASA/MRK Checked By: RGD Date: DECEMBER 2022

COVER SHEET

PCM0.0 Sheet 1 of 6

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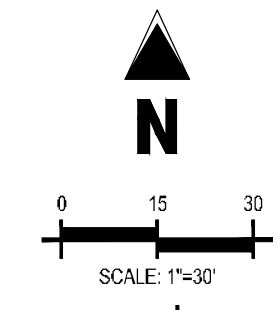
**PRIVATE PERMANENT CONTROL MEASURE PLAN**  
**CONSTITUTION STORAGE**  
**JOHNSON DEVELOPMENT ASSOCIATES**  
**6855 CONSTITUTION AVENUE**  
**COLORADO SPRINGS, CO 80915**

#	Date	Issue / Description	Init.

Project No:	JDA02
Drawn By:	ASA/MRK
Checked By:	RGD
Date:	DECEMBER 2022

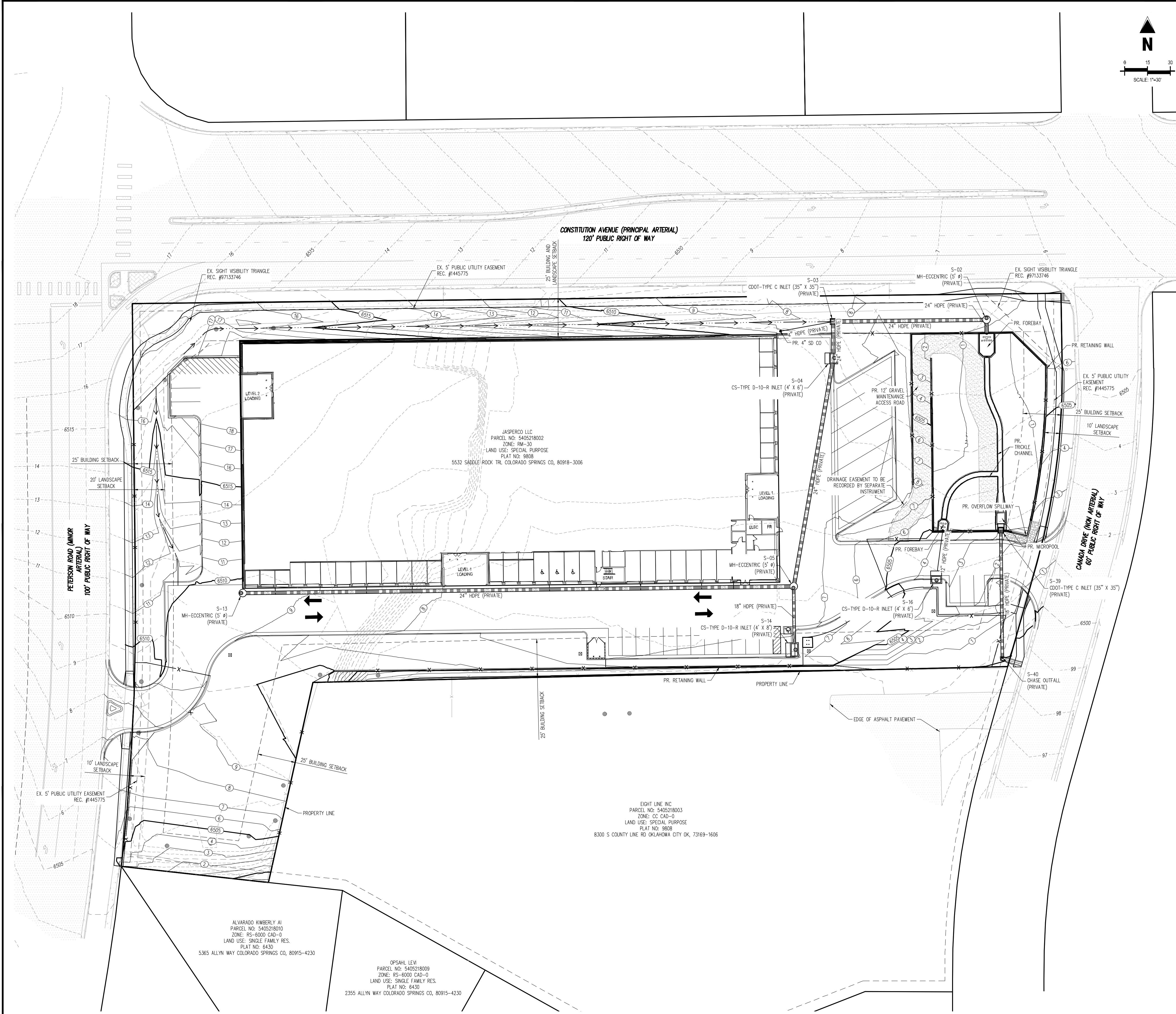
OVERALL PCM PLAN

PCM1.0



**LEGEND**

	PROPERTY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED OPAQUE LANDSCAPE FENCE
	PROPOSED SPLIT RAIL FENCE
	PROPOSED BUILDING OUTLINE
	PROPOSED CROSS PAN
	PROPOSED SIDEWALK
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED DETECTABLE WARNING SURFACE
	PROPOSED GRAVEL MAINTENANCE ACCESS
	PROPOSED RETAINING WALL
	EXISTING SIDEWALK
	EXISTING FENCE
	PROPOSED STORM PIPE
	EXISTING STORM PIPE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED STORM DRAIN STRUCTURES
	EXISTING STORM DRAIN STRUCTURES



**CONSTITUTION AVENUE (PRINCIPAL ARTERIAL)**  
**120' PUBLIC RIGHT OF WAY**

**CAMDRA DRIVE (NON ARTERIAL)**  
**60' PUBLIC RIGHT OF WAY**

JASPERCO LLC  
 PARCEL NO: 5405218002  
 ZONE: RM-30  
 LAND USE: SPECIAL PURPOSE  
 PLAT NO: 9808  
 5532 SADDLE ROCK TRL COLORADO SPRINGS CO, 80918-3006

EIGHT LINE INC  
 PARCEL NO: 5405218003  
 ZONE: CC CAD-0  
 LAND USE: SPECIAL PURPOSE  
 PLAT NO: 9809  
 8300 S COUNTY LINE RD OKLAHOMA CITY OK, 73169-1606

ALVARADO KIMBERLY AI  
 PARCEL NO: 5405218010  
 ZONE: RS-6000 CAD-0  
 LAND USE: SINGLE FAMILY RES.  
 PLAT NO: 6430  
 5365 ALLYN WAY COLORADO SPRINGS CO, 80915-4230

OPSAHL LEVI  
 PARCEL NO: 5405218009  
 ZONE: RS-6000 CAD-0  
 LAND USE: SINGLE FAMILY RES.  
 PLAT NO: 6430  
 2355 ALLYN WAY COLORADO SPRINGS CO, 80915-4230



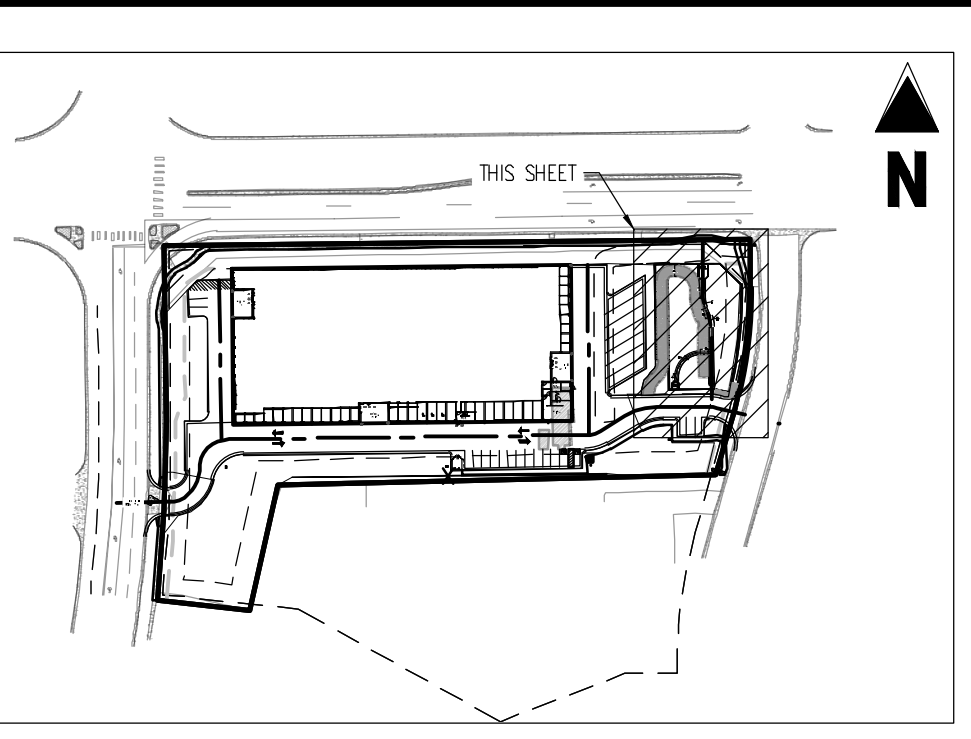
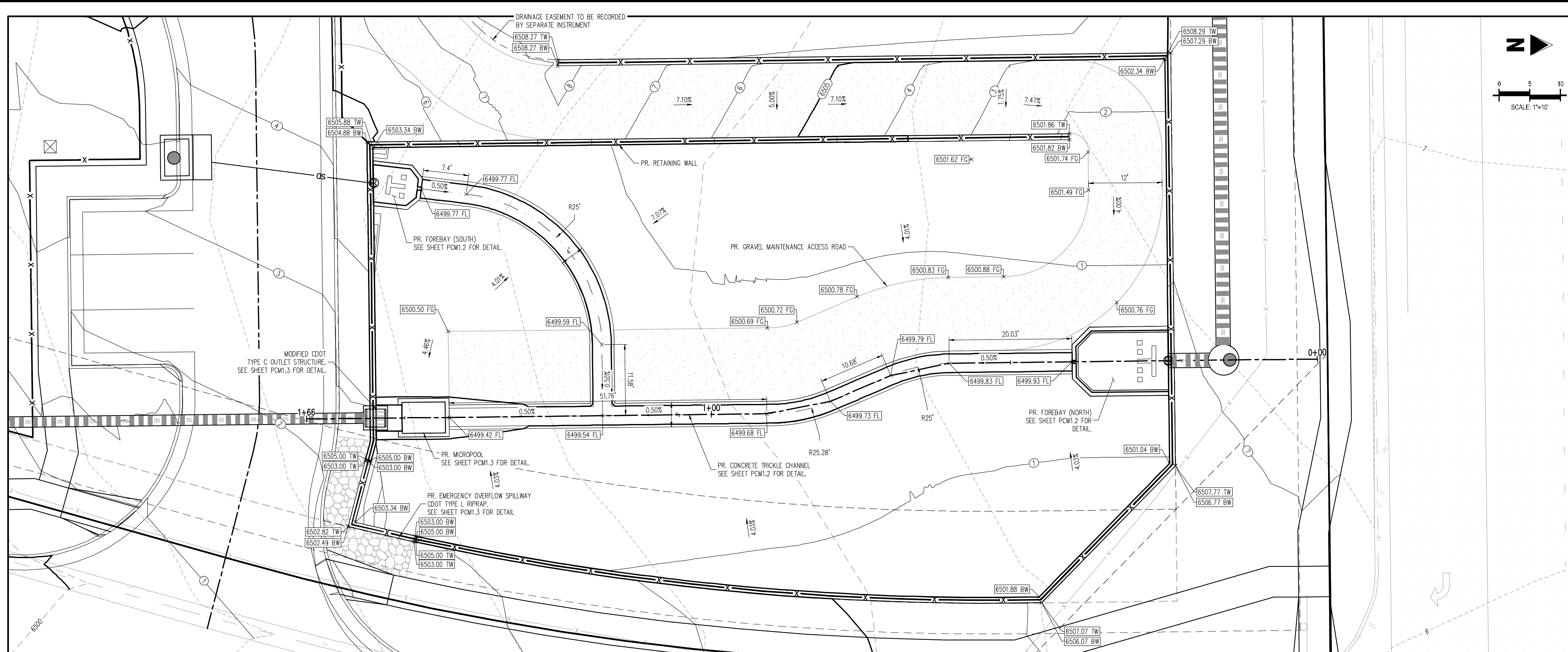
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**BENCHMARK**  
 COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS)  
 BENCHMARK SHOT BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SHOT" AT THE SOUTHWEST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEGTI DRIVE.

FMS DATUM ELEVATION = 6534.61

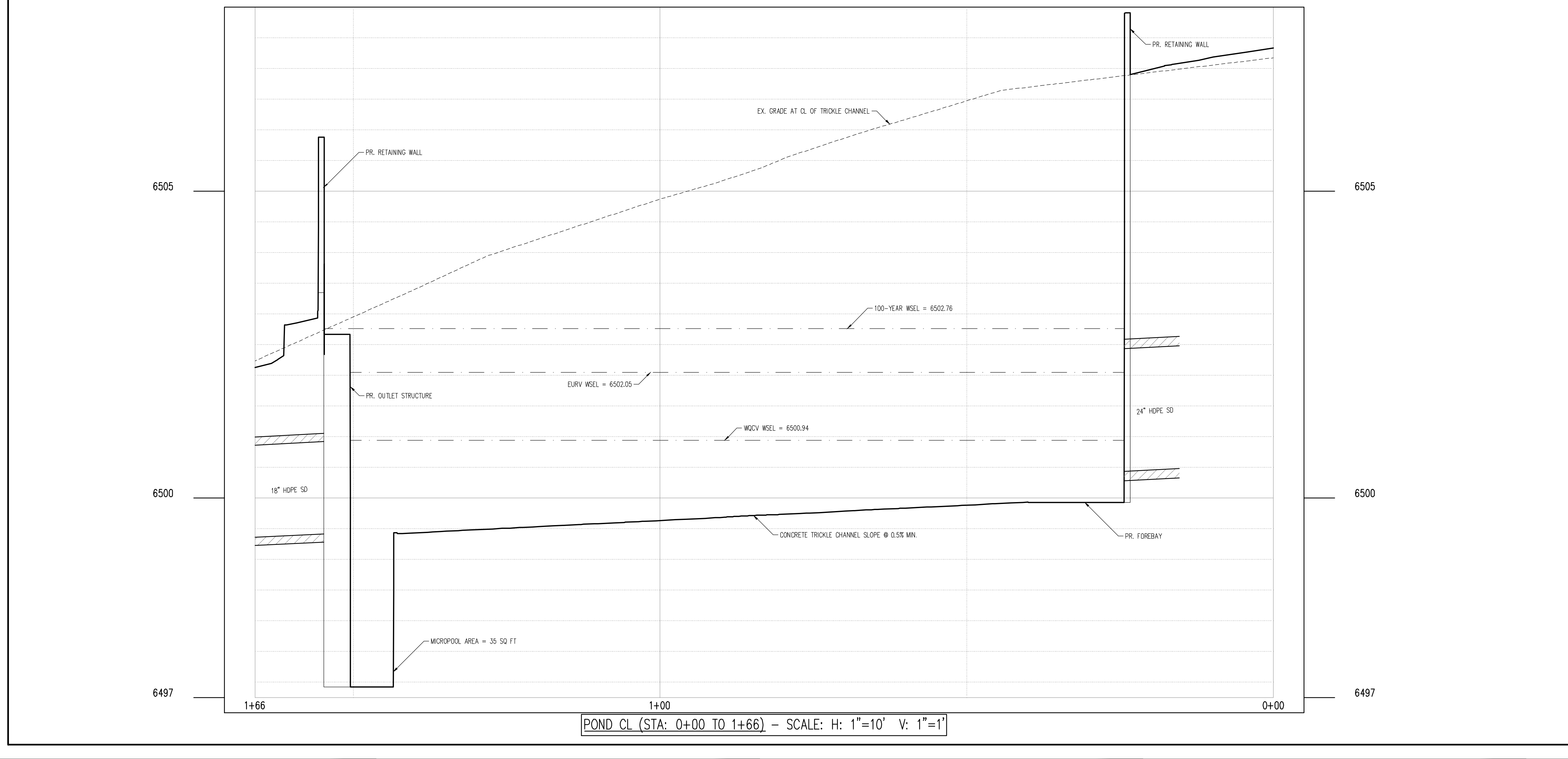
**CAUTION - NOTICE TO CONTRACTOR**

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**LEGEND**

	PROPERTY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED MAJOR CONTOUR
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	PROPOSED RETAINING WALL
	EXISTING SIDEWALK
	EXISTING FENCE
	PROPOSED STORM PIPE
	PROPOSED STORM PIPE <12"
	EXISTING STORM PIPE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED STORM DRAIN STRUCTURES
	EXISTING STORM DRAIN STRUCTURES



NOTE: SEE APPROVED DEVELOPMENT PLAN FOR THE PROPOSED LANDSCAPING PLANS FOR LANDSCAPING WITHIN THE PERMANENT BMP AREA.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS, AND/OR ANY OTHER CERTIFICATES OF INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

- NOTES:**
- ADD 6500 TO ALL SPOT ELEVATIONS.
  - REFER TO CONSTITUTION STORAGE PRIVATE IMPROVEMENT PLANS FOR ALL STORM PIPE, INLET, MANHOLE AND APPURTENANCE INFORMATION.
  - ALL STORM PIPE SHALL BE RCP CLASS 3 MINIMUM OR HDPE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED. TRENCH BEDDING SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
  - ALL STORMWATER FACILITIES SHOWN ON THESE PLANS ARE ASSUMED PRIVATE UNLESS OTHERWISE NOTED.
  - WALLS EXCEEDING 4" (MEASURED FROM BOTTOM OF FOOTING TO TOP OF WALL) MAY REQUIRE A BUILDING PERMIT.
  - EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.
  - SOILS WITHIN THE SITE ARE TRUCKTON SANDY LOAM.
  - SEE SHEET #1.2 FOR POND DETAILS.
  - BOTTOM OF POND TO HAVE A MINIMUM SLOPE OF 3% TO THE TRICKLE CHANNEL AND MICROPOOL.

**BASIS OF BEARINGS**

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**BENCHMARK**

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SPO7 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SPO7" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

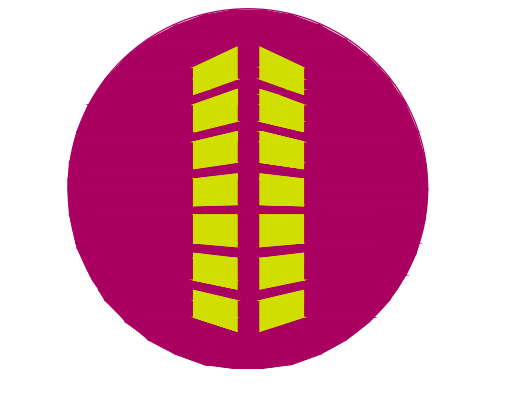
FIMS DATUM ELEVATION = 6534.61

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**PRIVATE PERMANENT CONTROL MEASURE PLAN  
 CONSTITUTION STORAGE**

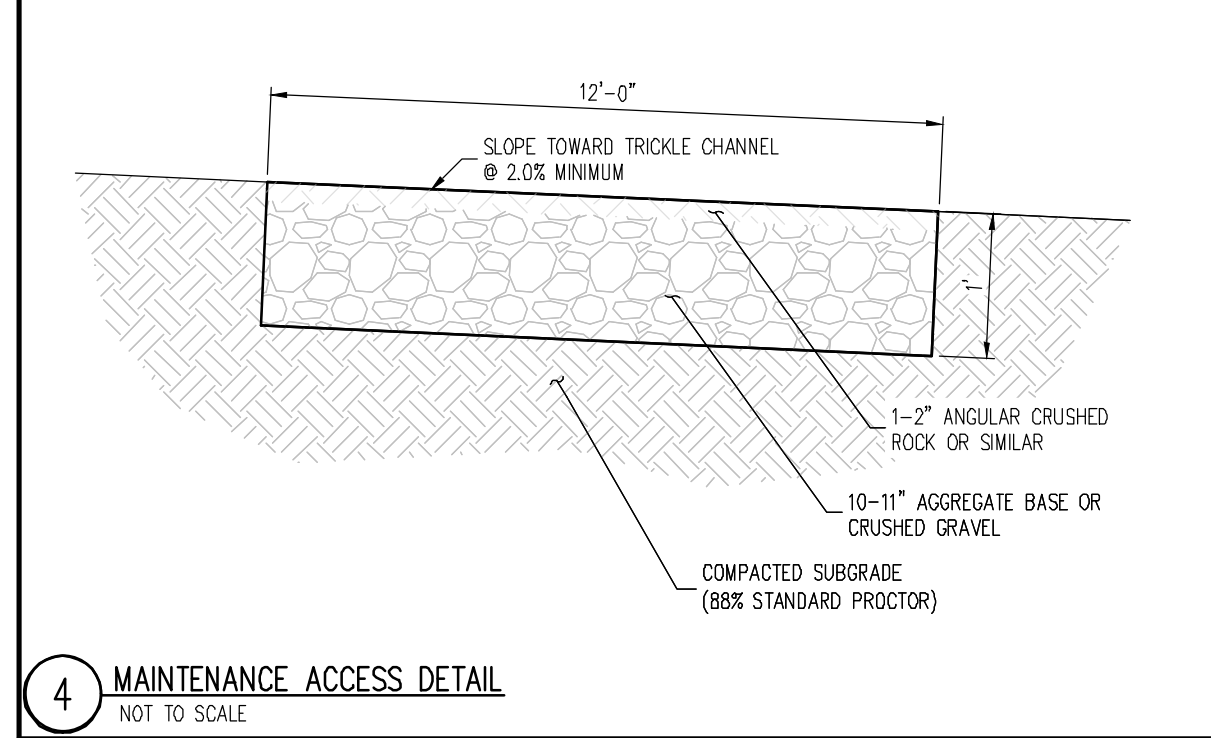
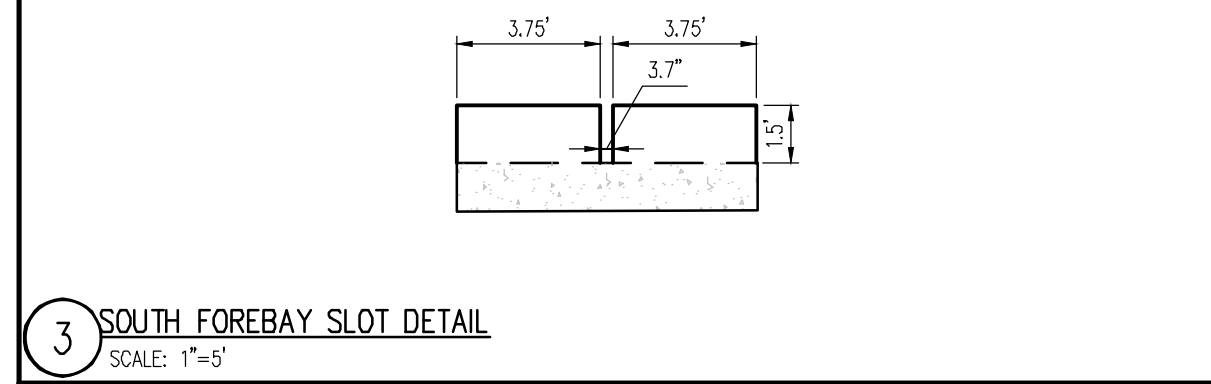
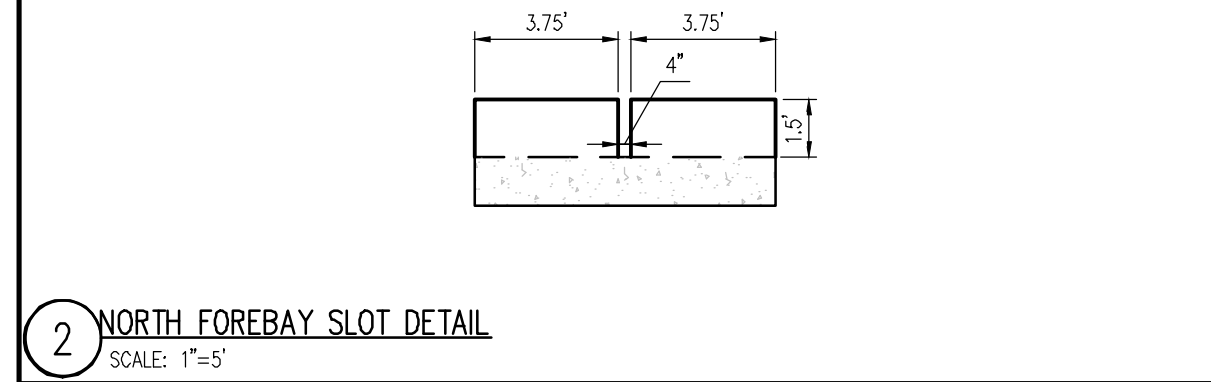
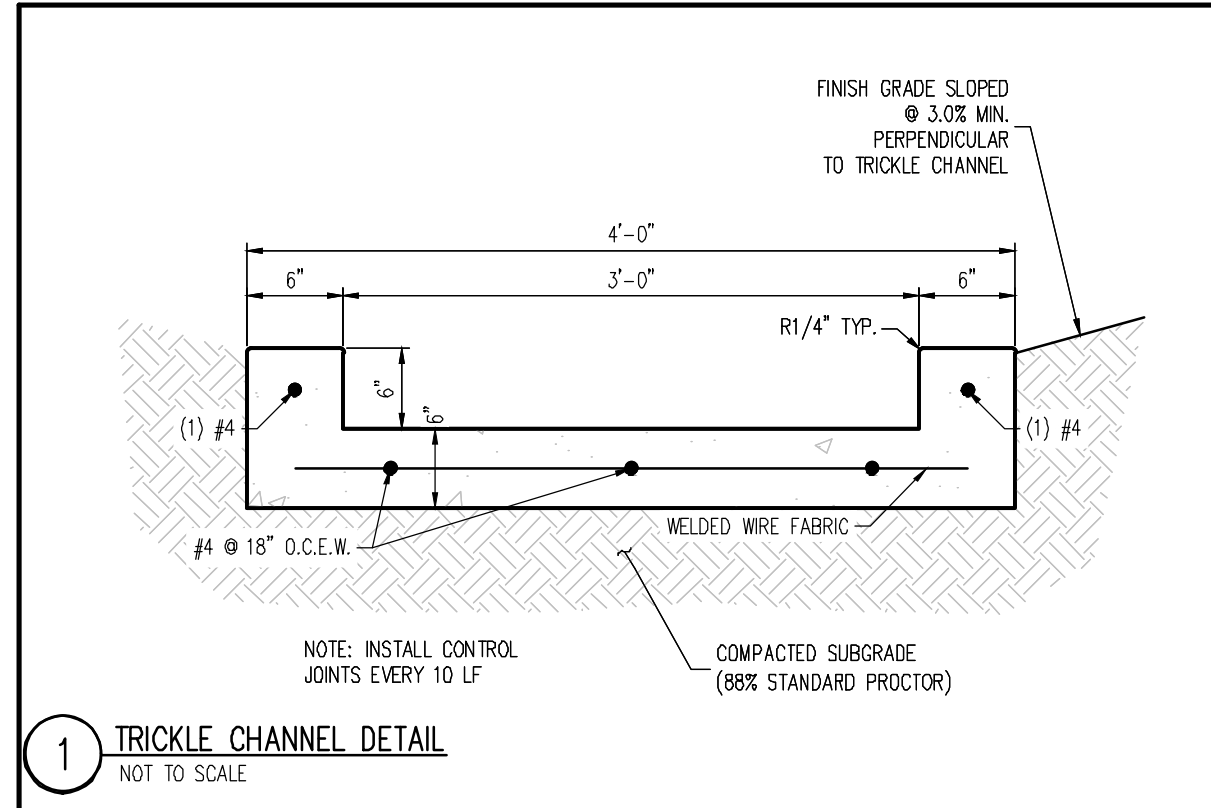
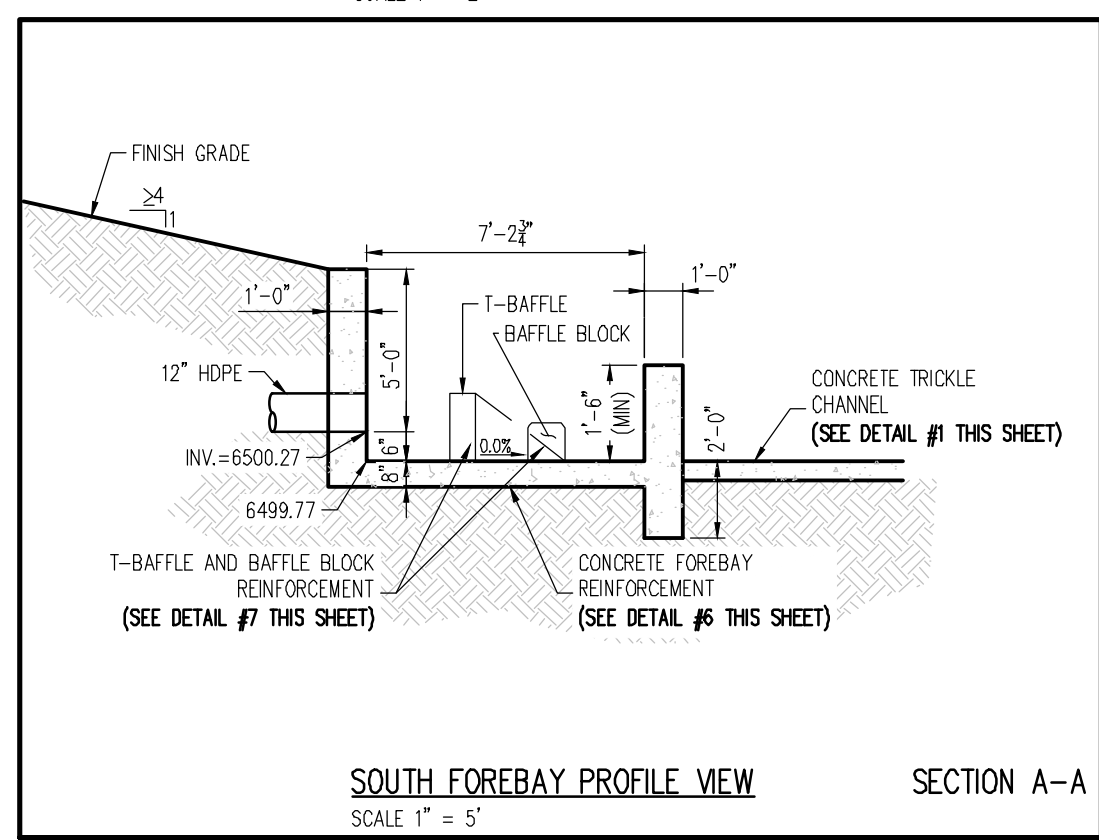
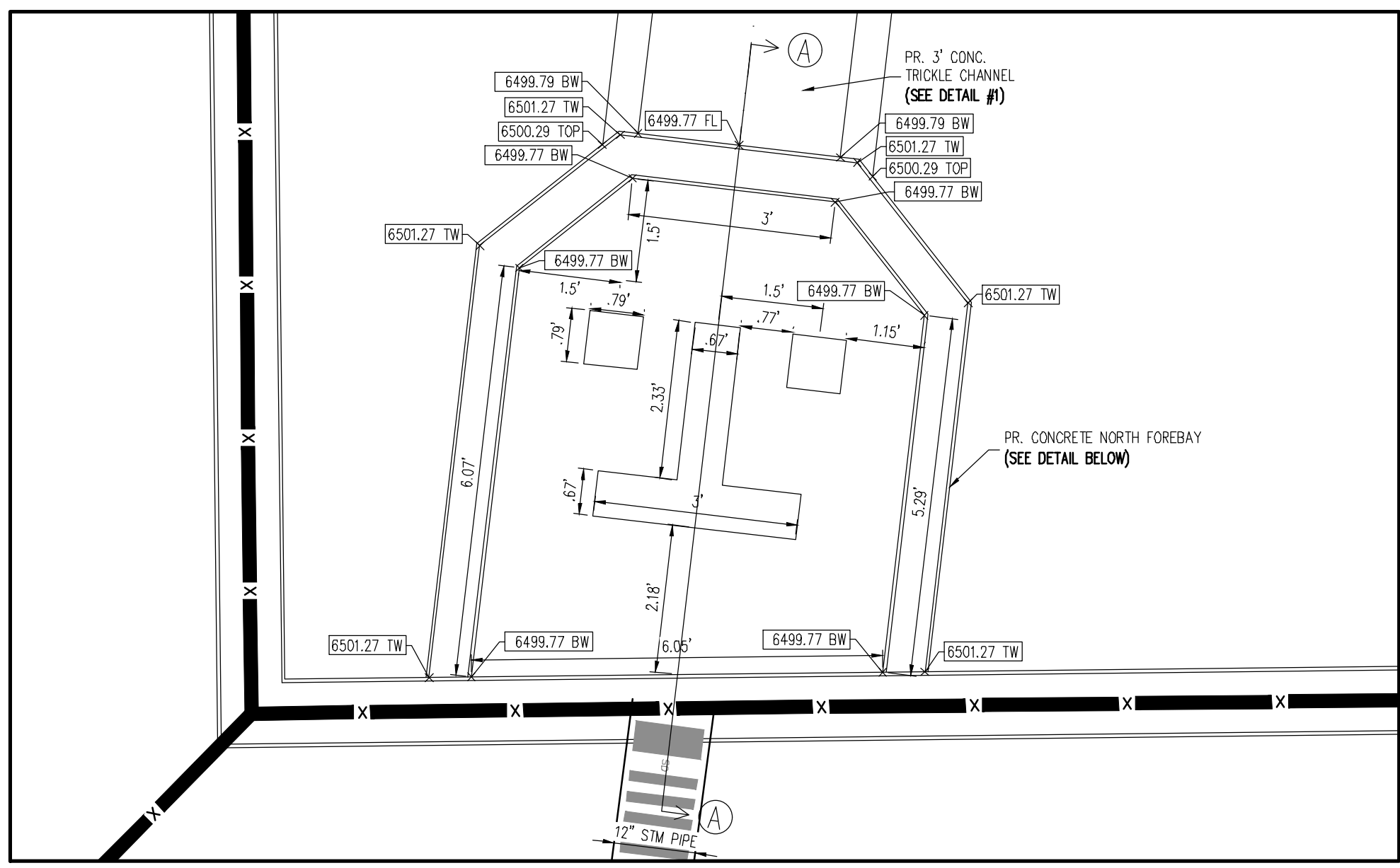
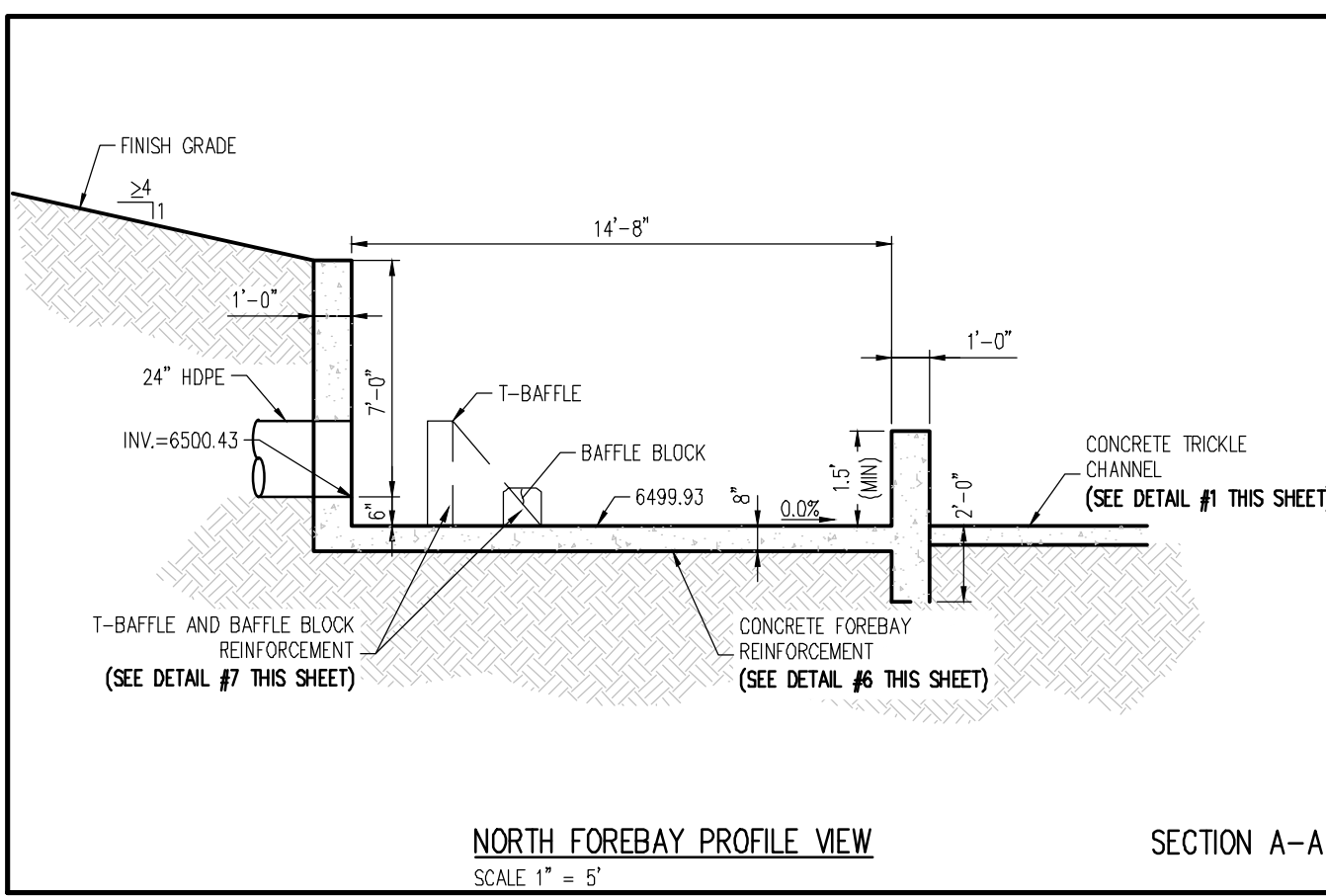
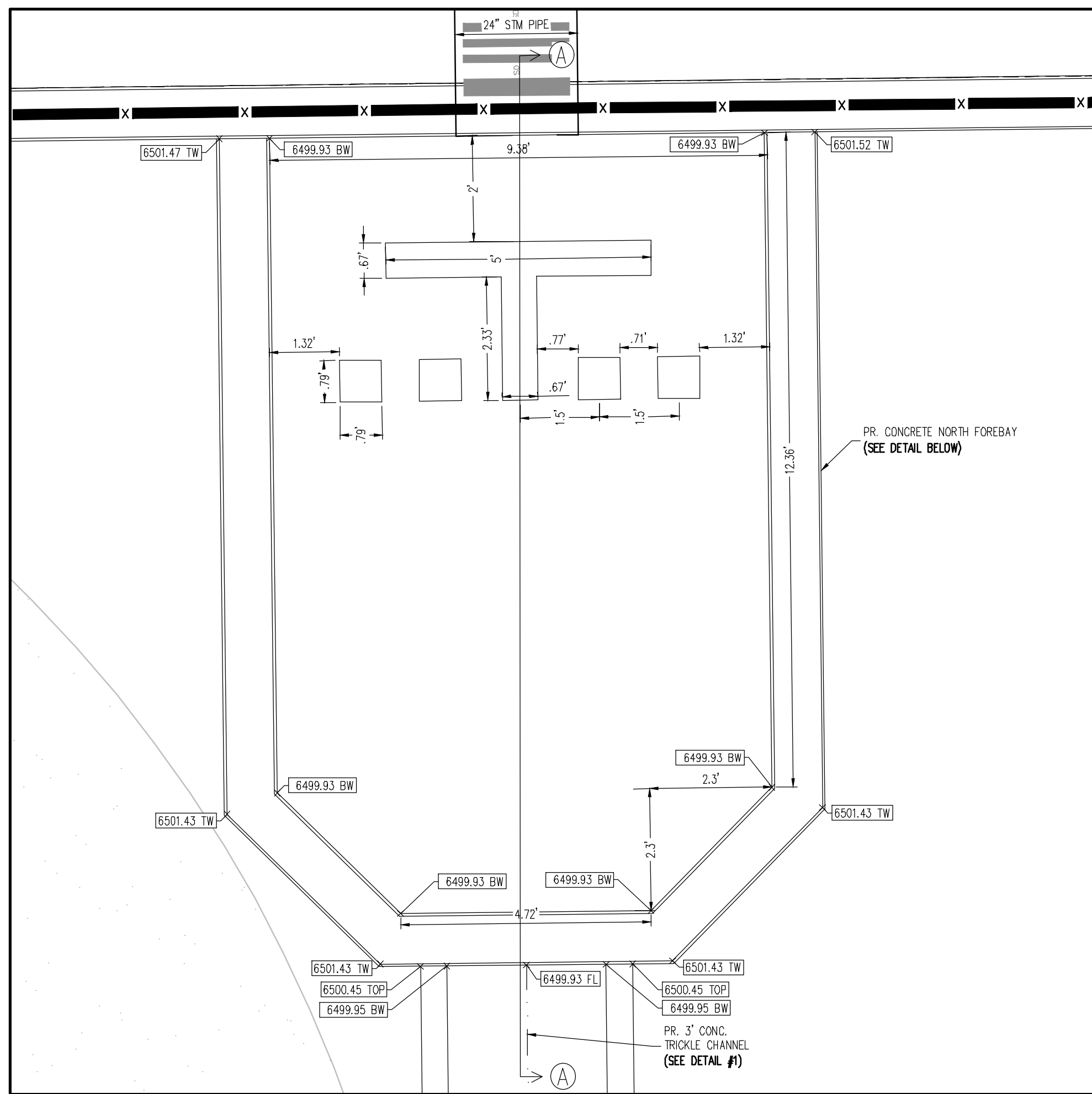
**JOHNSON DEVELOPMENT ASSOCIATES**

6855 CONSTITUTION AVENUE  
 COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA/MRK  
 Checked By: RGD  
 Date: DECEMBER 2022

**POND PLAN**



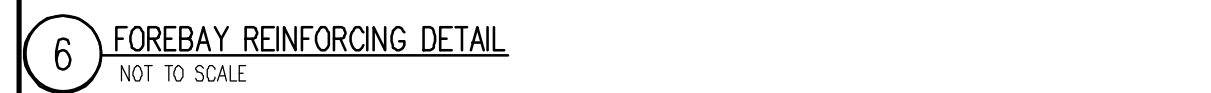
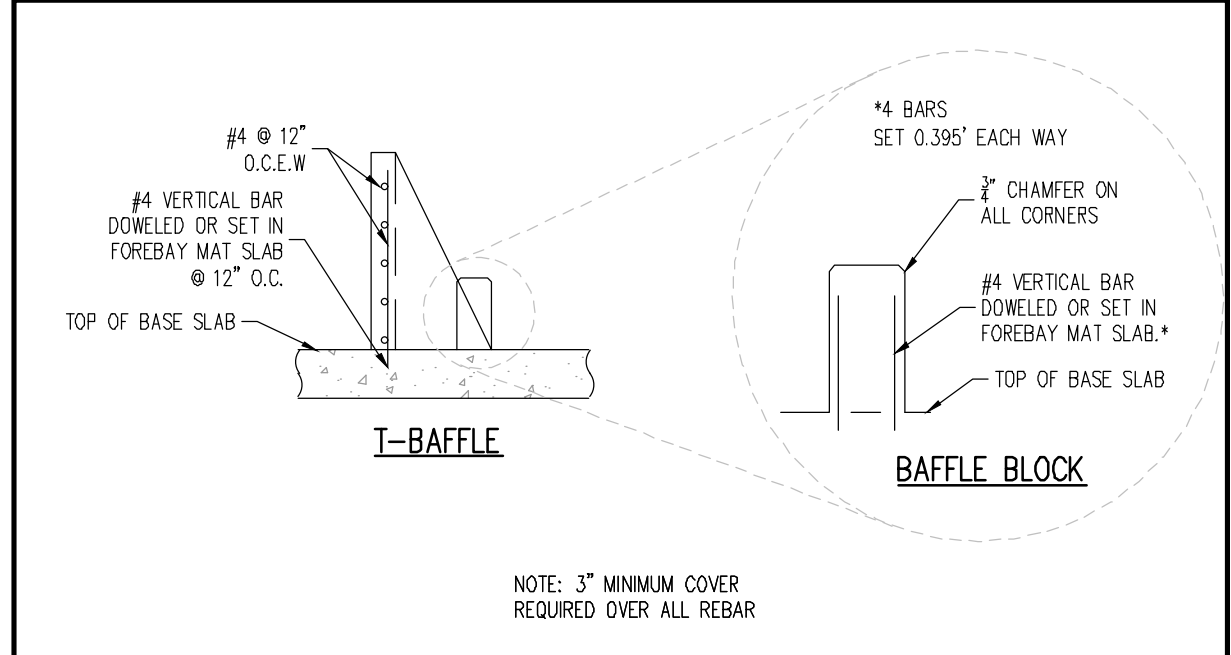
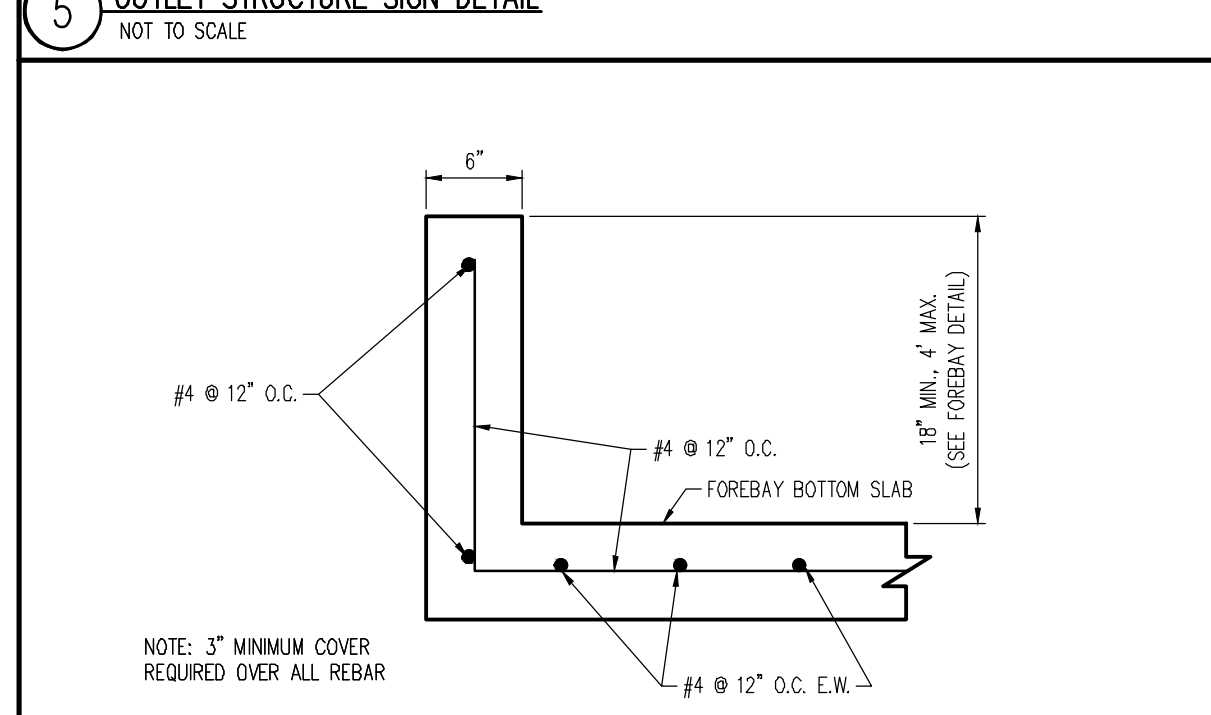
**WARNING**

UNAUTHORIZED MODIFICATION OF THIS OUTLET IS A KNOWING VIOLATION OF SECTION 309 OF THE CLEAN WATER ACT.

PUNISHMENT: FINE AND/OR IMPRISONMENT: 3-6 YEARS

NOTES:

- ONE (1) SIGN SHALL BE POSTED ON OR NEAR THE OUTLET STRUCTURE WITH THE ABOVE MESSAGE.
- SIGN SHOULD BE A MINIMUM OF 0.75 SQUARE FEET
- SIGNS SHALL BE DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND.



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CONSTITUTION STORAGE**

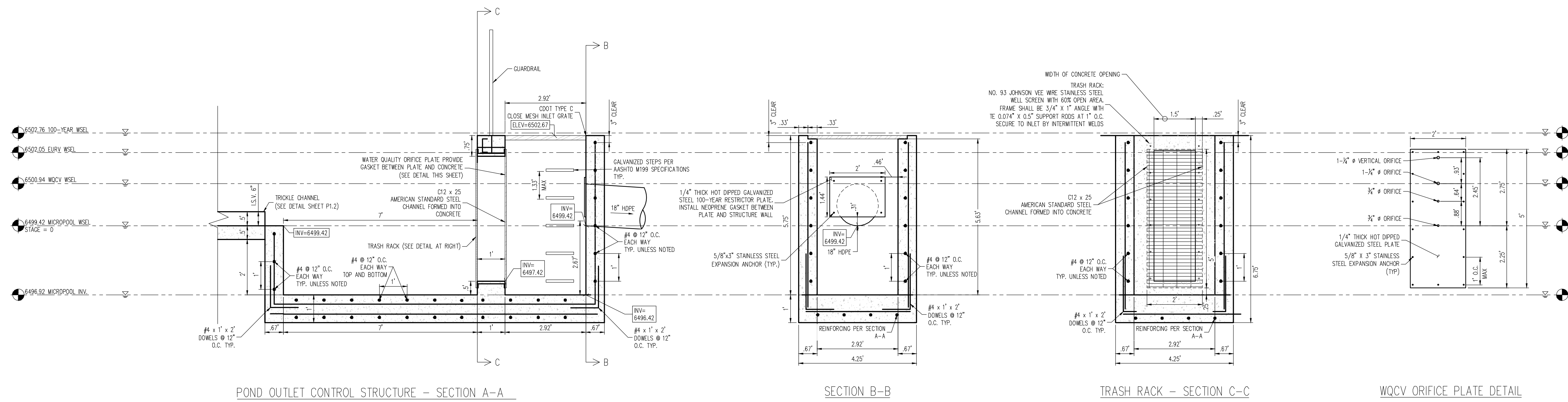
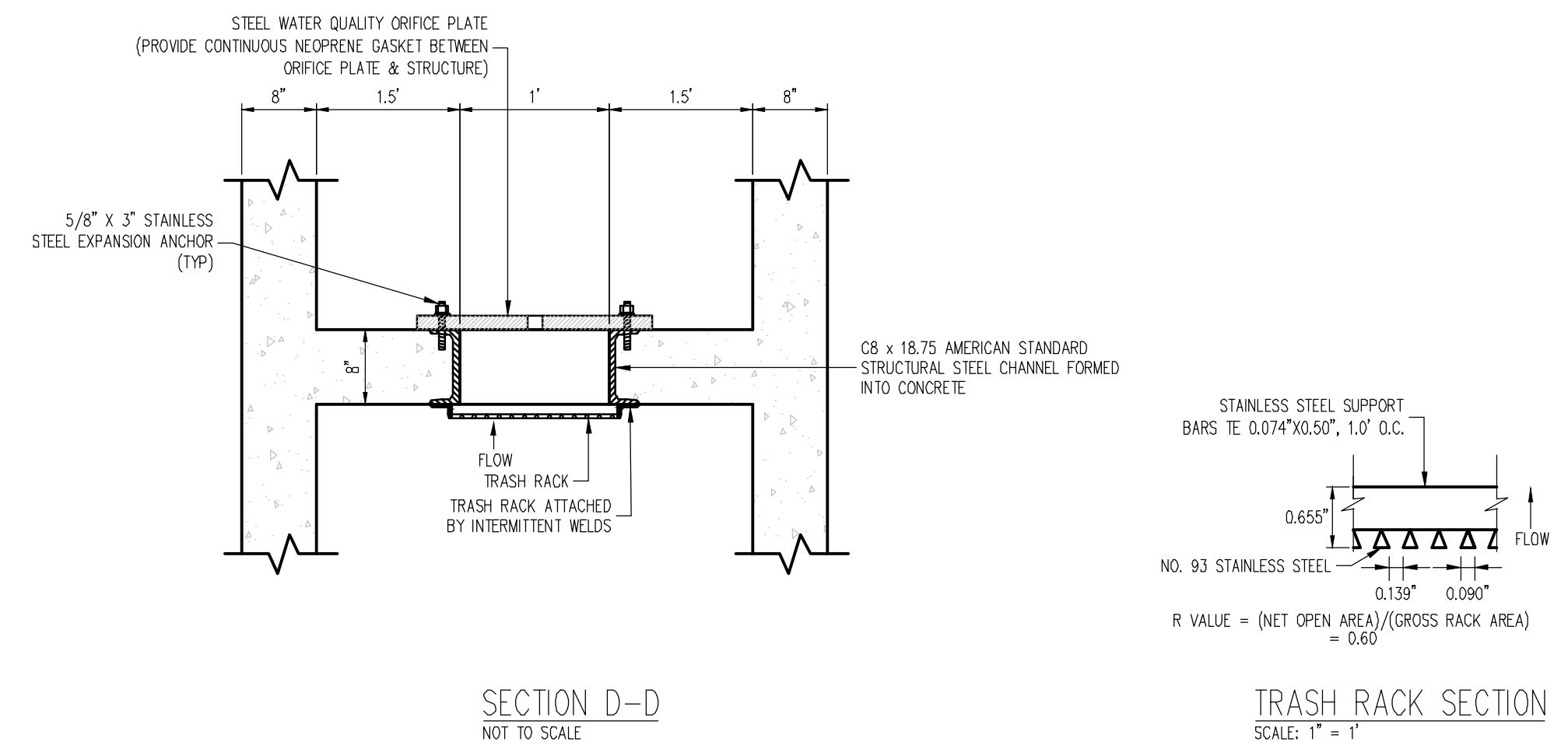
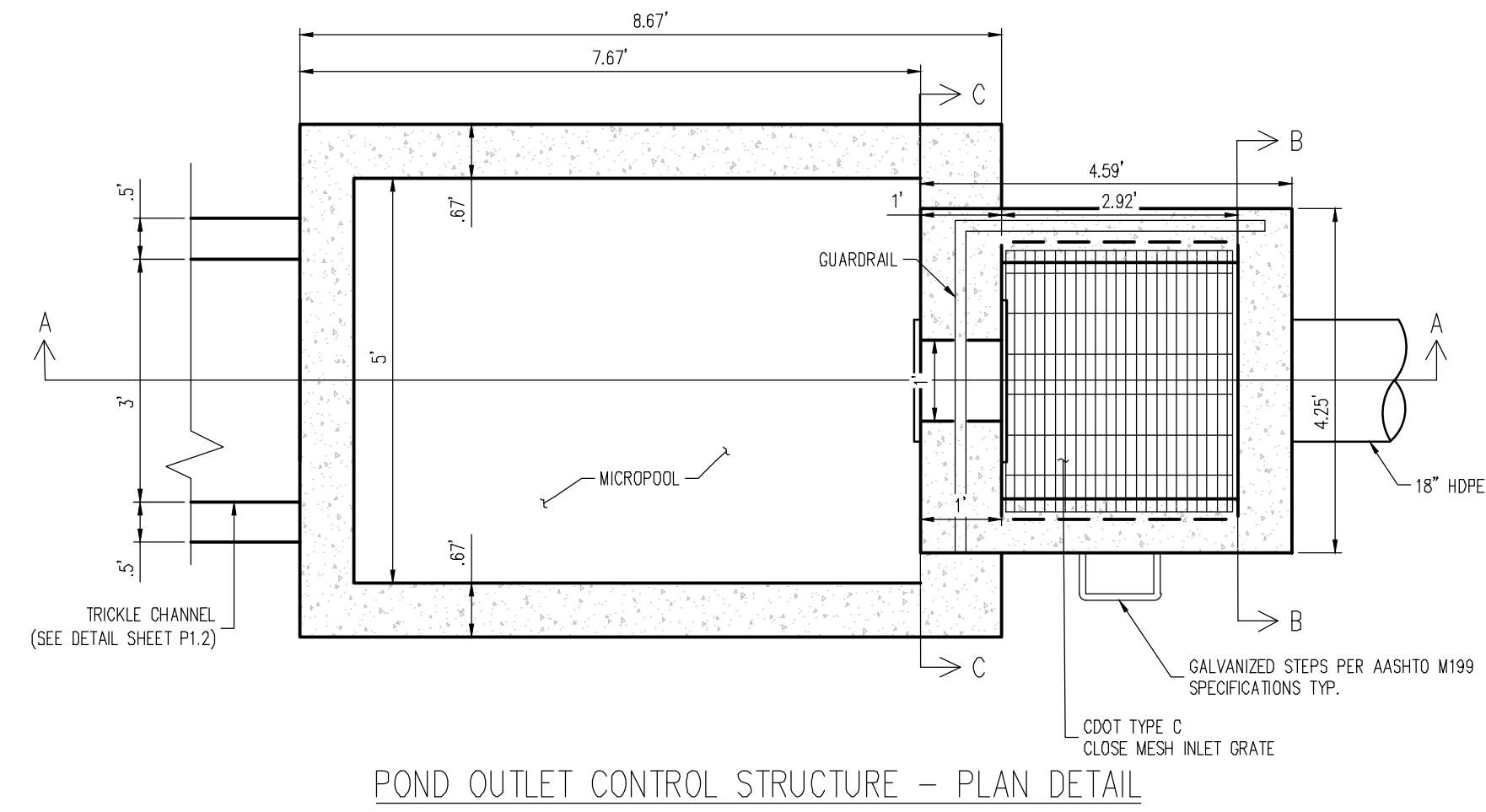
**JOHNSON DEVELOPMENT ASSOCIATES**

6855 CONSTITUTION AVENUE  
COLORADO SPRINGS, CO 80915

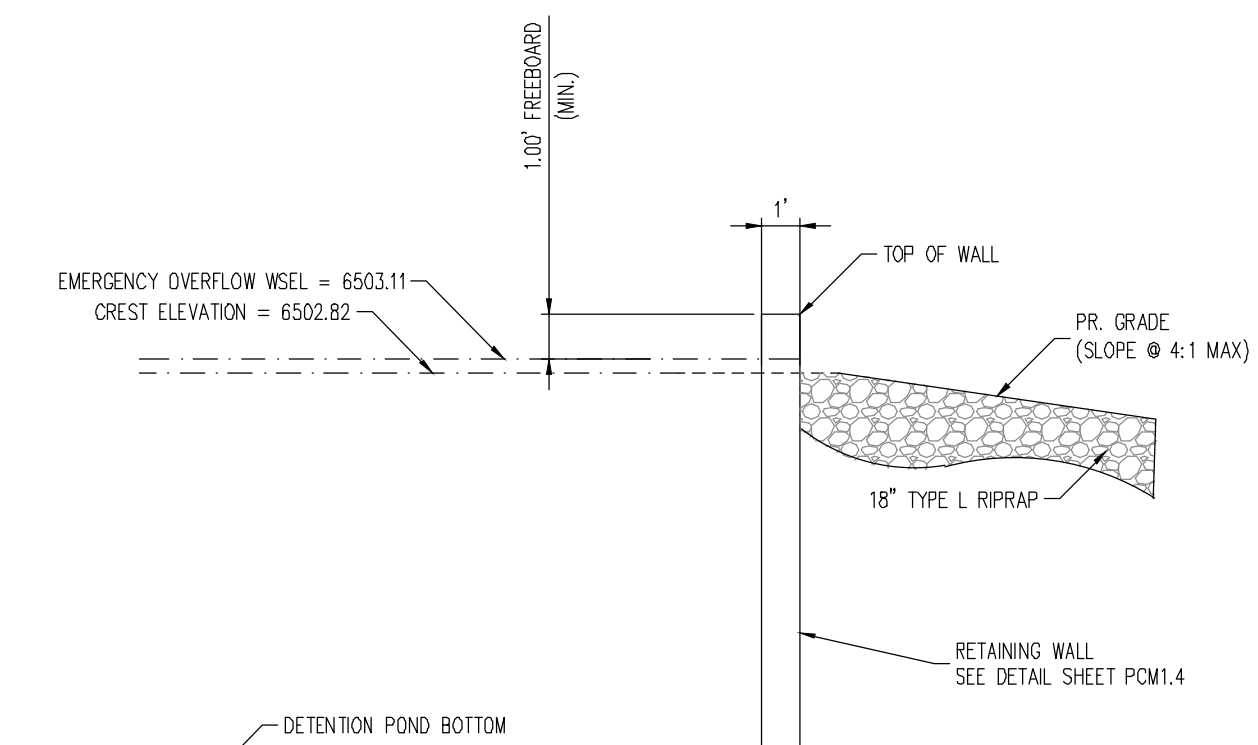
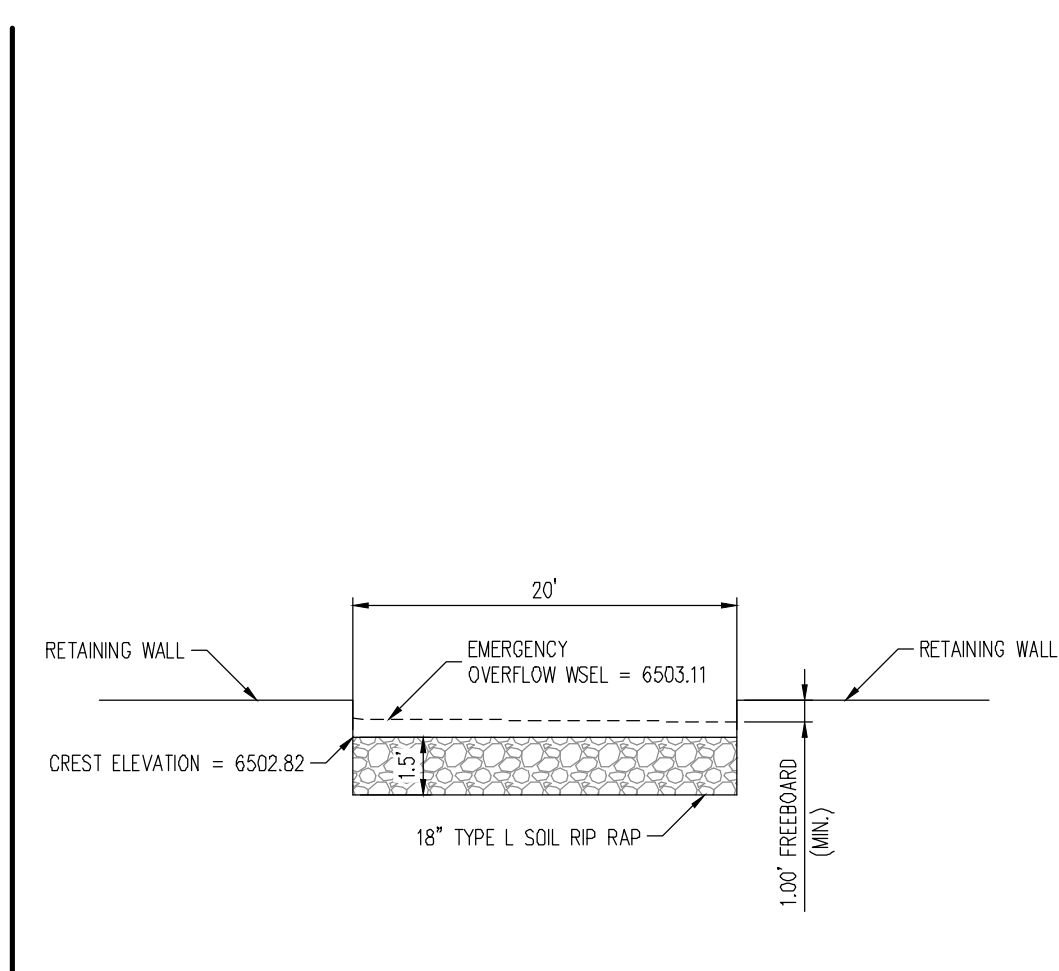
#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA/MLK  
Checked By: RGD  
Date: DECEMBER 2022

FOREBAY DETAILS



① POND OUTLET STRUCTURE  
SCALE: 1" = 2'

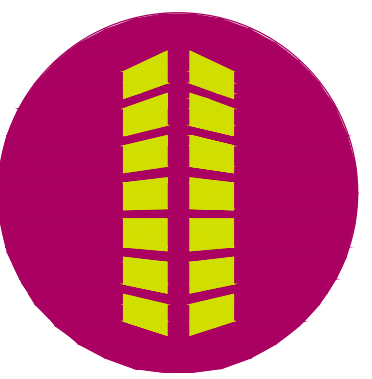


② POND 100-YEAR OVERFLOW - CROSS SECTION  
NOT TO SCALE

③ POND 100-YEAR OVERFLOW - PROFILE  
NOT TO SCALE

**NOT FOR CONSTRUCTION**

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PRIVATE PERMANENT CONTROL MEASURE PLAN  
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE  
COLORADO SPRINGS, CO 80915

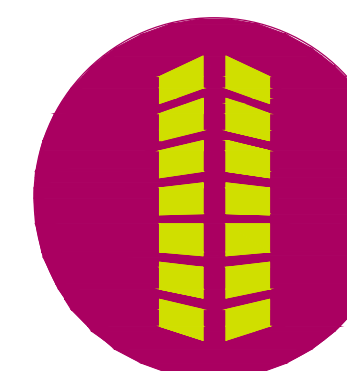
#	Date	Issue / Description	Init.

Project No: JDA02  
Drawn By: ASA/MRK  
Checked By: RGD  
Date: DECEMBER 2022

MICROPOOL DETAILS



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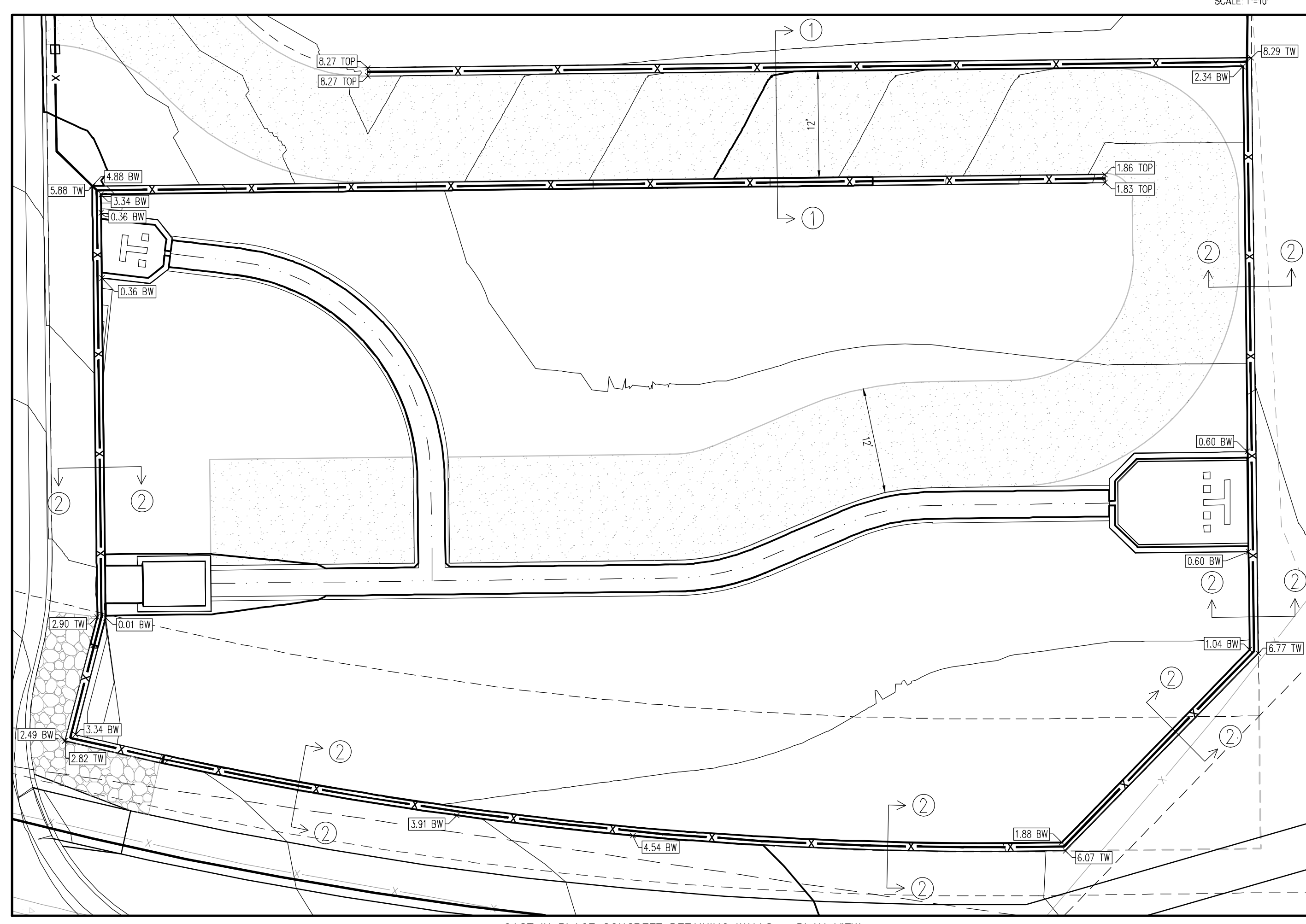
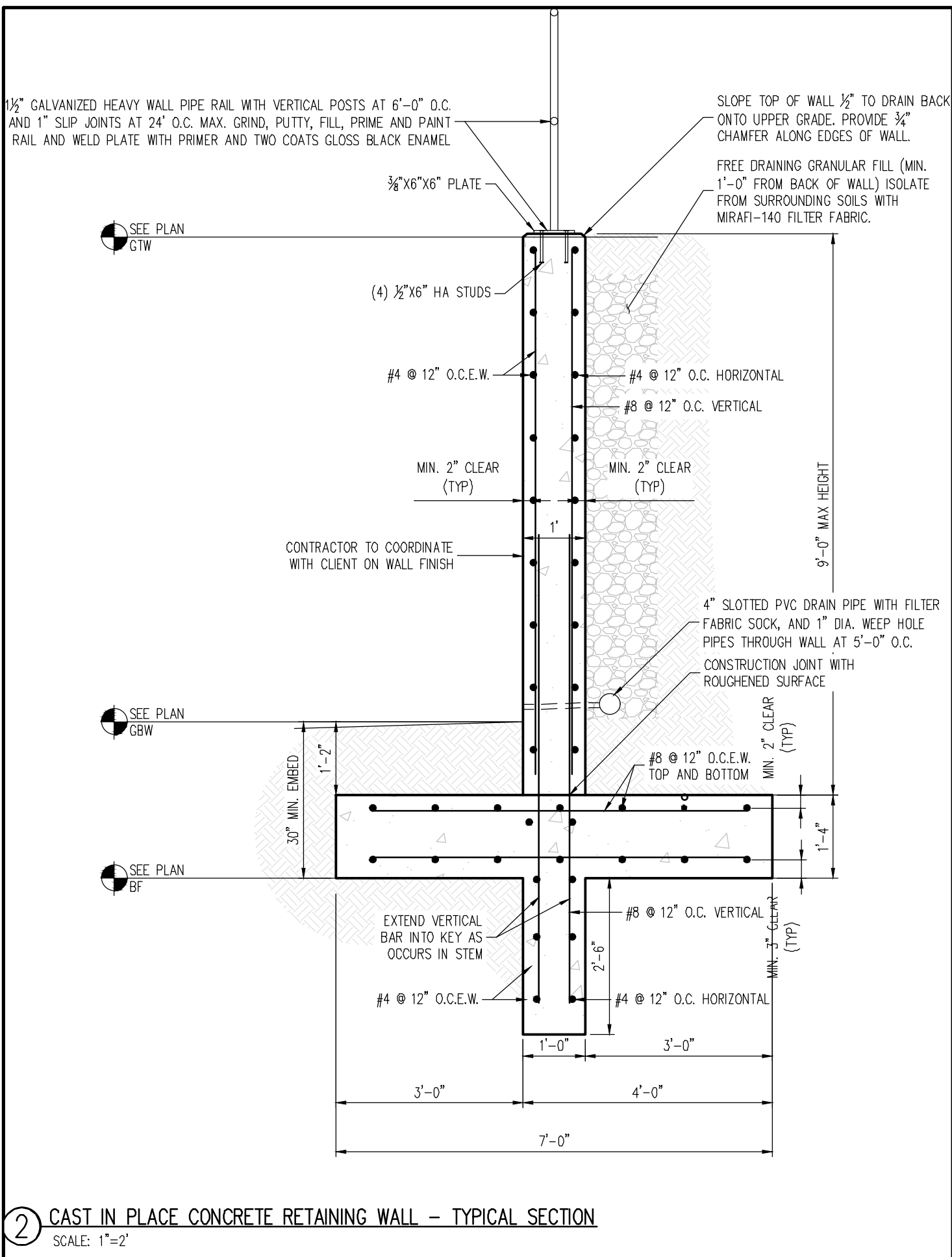
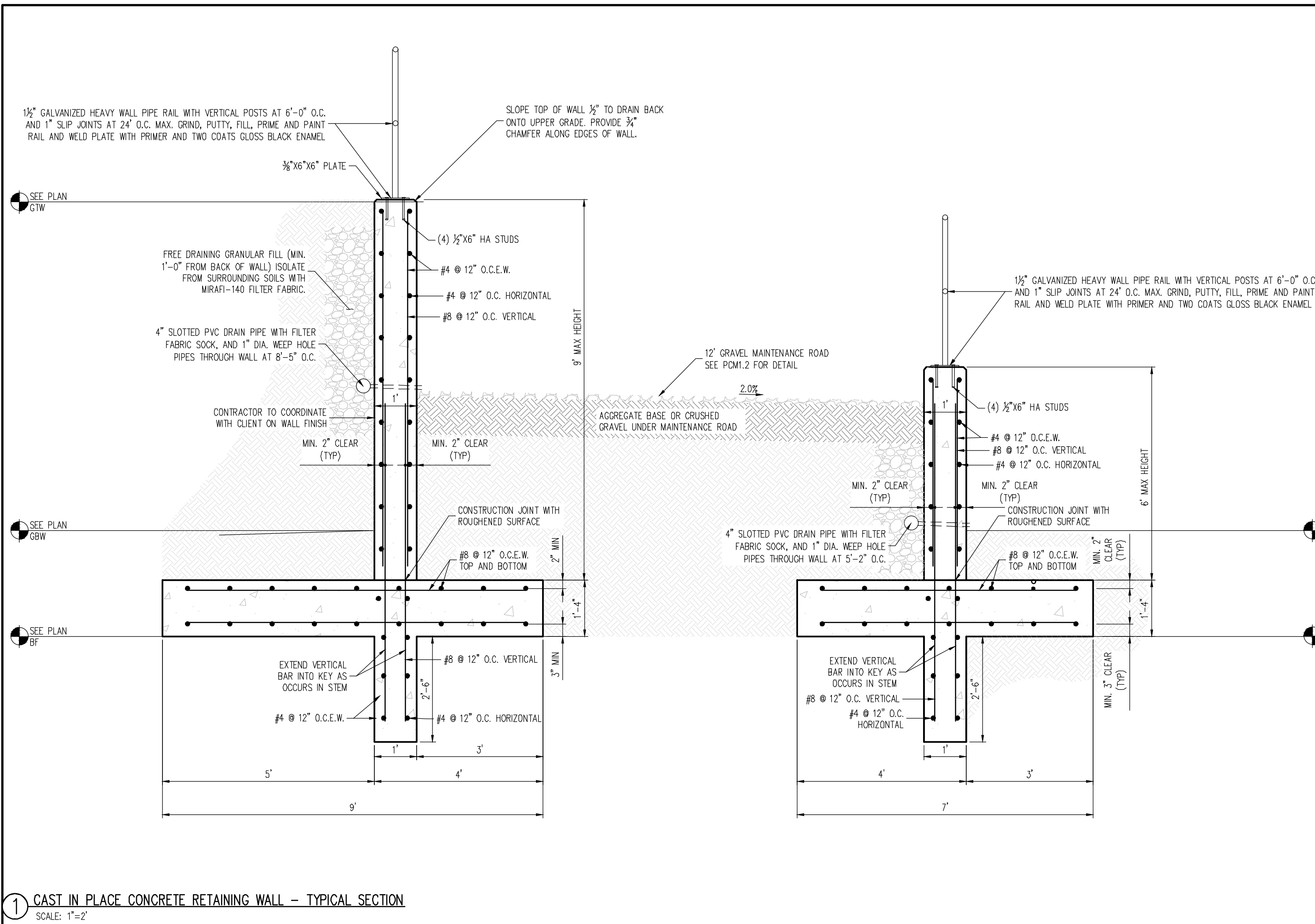
PRIVATE PERMANENT CONTROL MEASURE PLAN  
 CONSTITUTION STORAGE  
 JOHNSON DEVELOPMENT ASSOCIATES  
 6855 CONSTITUTION AVENUE  
 COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.

Project No: JDA02  
 Drawn By: ASA/MRK  
 Checked By: RGD  
 Date: DECEMBER 2022  
**RETAINING WALL DETAILS**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.  
 Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



① CAST-IN-PLACE CONCRETE RETAINING WALL - TYPICAL SECTION  
 SCALE: 1"=2'

② CAST-IN-PLACE CONCRETE RETAINING WALL - TYPICAL SECTION  
 SCALE: 1"=2'

CAST-IN-PLACE CONCRETE RETAINING WALLS - PLAN VIEW

## GENERAL STRUCTURAL NOTES

### GENERAL REQUIREMENTS

**GOVERNING CODE:** THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS GOVERNED BY THE "NORTH CAROLINA BUILDING CODE", 2015 EDITION, HEREAFTER REFERRED TO AS THE NCBC, AS ADOPTED BY CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS DIVISION UNDERSTOOD TO BE THE AUTHORITY HAVING JURISDICTION (A.H.J.).

**TEMPORARY SHORING, BRACING:** THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY.

**SITE VERIFICATION:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

**ADJACENT UTILITIES:** THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO EARTHWORK, FOUNDATIONS, SHORING, AND EXCAVATION. ANY UTILITY INFORMATION SHOWN ON THE DRAWINGS AND DETAILS IS APPROXIMATE AND NOT NECESSARILY COMPLETE.

### SPECIAL INSPECTIONS AND TESTING

**INSPECTIONS:** SPECIAL INSPECTIONS AND TESTING SHALL BE IN ACCORDANCE WITH THE STATEMENT OF SPECIAL INSPECTIONS PER RBC SECTION 109.7 AND IBC SECTIONS 1704, 1705, AS APPLICABLE.

**SPECIAL INSPECTORS:** SPECIAL INSPECTORS SHALL BE EMPLOYED BY THE OWNER. SPECIAL INSPECTORS SHALL BE QUALIFIED PERSONS WHO ARE REGISTERED WITH AN APPROVED AGENCY.

**INSPECTION SUBMITTALS:** SPECIAL INSPECTION REPORTS SHALL BE PROVIDED ON A WEEKLY BASIS. FINAL SPECIAL INSPECTION REPORTS WILL BE REQUIRED BY EACH SPECIAL INSPECTION FIRM PER RBC 1704.1.2. SUBMIT COPIES OF ALL INSPECTION AND TESTING REPORTS TO THE ARCHITECT/ENGINEER AND THE AUTHORITY HAVING JURISDICTION FOR REVIEW AS SOON AS THEY ARE AVAILABLE.

### SCHEDULE OF SPECIAL INSPECTIONS

	DESCRIPTION OF SPECIAL INSPECTION	PERIODIC		CONTINUOUS
		BEFORE	AFTER	
<b>SOILS</b>	FOOTING SOIL BEARING SURFACES		X	
	EXCAVATION DEPTH AND BEARING LAYER		X	
	COMPACTED FILL MATERIAL; PHYSICAL PROPERTIES		X	
	SUBGRADE PREPARATION PRIOR TO BACKFILL		X	
<b>CONCRETE CONSTRUCTION</b>	BACKFILLING OPERATIONS IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS INCLUDING LIFT THICKNESS, DENSITY TESTING, MOISTURE CONTENT, MATERIAL PROPERTIES			X
	SIZE & PLACEMENT OF ALL REINFORCING STEEL		X	
	PLACEMENT CLEARANCES AROUND REINFORCING STEEL AT EMBEDDED CONDUIT		X	
	SHAPE, LOCATION & DIMENSIONS OF MEMBERS FORMED		X	
	USE OF THE REQUIRED DESIGN CONCRETE MIX		X	
	MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES		X	
	VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS		X	
	PLACING & SIZE OF CAST-IN-PLACE ANCHOR BOLTS AND EMBEDDED FABRICATIONS PRIOR TO POUR		X	
	PLACING OF CONCRETE AROUND CAST-IN-PLACE BOLTS AND EMBEDS			X
	SAMPLING OF FRESH CONCRETE			X
	DETERMINATIONS OF SLUMP, AIR CONTENT, AND TEMPERATURE			X
	GROUTING OPERATION OF REBAR DOWELS			X

### SOILS AND FOUNDATIONS

1. FOUNDATIONS FOR ALL STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE.  
 2. THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION.  
 3. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CDS.

DESIGN CRITERIA	NET ALLOWABLE SOIL BEARING PRESSURE D+L (MINIMUM EMBEDMENT (BELOW EXT. GRADE OR SLAB SUBGRADE))	EQUIVALENT FLUID PRESSURE, ACTIVE	EQUIVALENT FLUID PRESSURE, PASSIVE
	2500 PSF	30 INCHES	56 PSF
			180 PSF

### CAST-IN-PLACE CONCRETE

**REFERENCE STANDARDS:**

- ACI 301-10 "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
- ACI 305-1-10 "SPECIFICATIONS FOR HOT WEATHER CONCRETING"
- ACI 306-1-10 "SPECIFICATION FOR COLD WEATHER CONCRETING"
- ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
- ACI 111-10 "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"

**SUBMITTALS:** PROVIDE ALL SUBMITTALS REQUIRED BY ACI 301 SECTION 4.1.2. SUBMIT MIX DESIGNS FOR EACH MIX IN THE TABLE BELOW. SUBSTITUTING STRENGTH RESULTS FROM PAST TESTS SHALL NOT BE OLDER THAN 12 MONTHS PER ACI 318 SECTION 6.3.

### CONCRETE MIX DESIGN REQUIREMENTS

FOUNDATION TYPE	WATER/CEMENT (W/C) (%)	TEST AGE	AGGREGATE (MAX. (IN.))	EXPOSURE CLASS	W/C/M/P RATIO	AIR CONTENT (% ± 1.0%)	SLUMP (IN.)	SLUMP (MAX. (IN.))
SPEAD FOOTING	4500	28	1	F250/W/C1	0.45	6.0	4	
FOUNDATION WALLS	3500	28	1	F150/W/C1	0.56	4.5	4	

### CONCRETE REINFORCEMENT

**MATERIALS:** REINFORCING BARS ASTM A615 GRADE 60 DEFORMED BARS

**PLACING:** CONFORM TO ACI 301 SECTION 3.3.2 "PLACEMENT". PLACING TOLERANCES SHALL CONFORM TO ACI 117.

**CONCRETE COVER:** CONFORM TO THE FOLLOWING COVER REQUIREMENTS UNLESS NOTED OTHERWISE IN THE DRAWINGS:

REQUIREMENT	COVER THICKNESS
CONCRETE CAST AGAINST EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	2"
TIES IN COLUMNS AND BEAMS	1-1/2"
REINFORCING BARS IN SLABS	3/4"
REINFORCING BARS IN WALLS	3/4"
EXTERIOR BARS IN TILT-UP PANELS	1"

**SPICES:** CONFORM TO ACI 301 SECTION 3.3.2.7, "SPICES". REFER TO "TYPICAL LAP SPICE AND DEVELOPMENT LENGTH SCHEDULE" FOR TYPICAL REINFORCEMENT SPICES.

**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED SWALE FLOWLINE
- PROPOSED RETAINING WALL

**PAVING LEGEND**

- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE
- STANDARD DUTY ASPHALT

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**BASIS OF BEARINGS**

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX, AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

**BENCHMARK**

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK SHOT BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL SHOT" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VENT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

**CAUTION - NOTICE TO CONTRACTOR**

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