

Planning V2 Review
1. On the bottom right of ALL pages please have the following text: County File Number: PPR2224

2. All sheets should be the same size and orientation.

3. The code requires a master sign plan for any application with a building that exceeds 100,000 sf. This building is over that amount and therefore will require a separate application, please apply separately via EDARP. Review code section: 6.2.10.D.2

some relevant code sections regarding signs.

Freestanding Signs.
(i)Number of Freestanding Signs.
• Commercial Lot or Parcel Less than 10 Acres in Area: Where the commercial lot or parcel is less than 10 acres in total area, 1 sign is allowed per road frontage.

• Free standing signs: Commercial Lot or Parcel Less than 8 Acres in Area: Where the commercial lot or parcel is less than 8 acres in total area, the maximum area of each sign shall be 40 square feet.

All other freestanding signs exceeding 6 feet in height shall be setback a minimum of 10 feet from a lot, parcel, or tract line.

Maximum Sign Area Per Building Wall. The total area of attached signs per building wall including wall signs, fascia signs, awning signs, canopy signs, hanging and projecting signs shall conform to the following requirements:

• Building Walls within 300 Feet of Lot Line in Commercial Zoning Districts or Industrial Zoning Districts. For building walls located within 300 feet of a lot, parcel, or tract line in commercial or industrial zoning districts, 1½ square feet of attached signage is allowed per linear foot of building wall, or 300 square feet, whichever is less.

Projection of Wall Signs. Wall signs shall not project more than 18 inches from the wall to which they are attached.

PR
JANSP
5532
COLO
ATTN:
EMAIL:

AP
JOHN
100 E
SPAR
TELE:
ATTN:
EMAIL:

CIV
GALLOWAY & CO., INC.
1155
COLOR
TELE:
ATTN:
EMAIL:

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GEOTECHNICAL, INC
555 E. PIKES PEAK AVE, SUITE 107
COLORADO SPRINGS, CO 80903
TELE: (303) 634-1999
ATTN: KENNETH L. MEYERS, PE

TRAFFIC ENGINEER

GALLOWAY & CO., INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, CO 80111
TELE: (303) 770-8884
ATTN: BRIAN HORAN, P.E.
EMAIL: BRIANHORAN@GALLOWAYUS.COM

SURVEYOR

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 337-1282
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

SITE PLAN

GENERAL DEVELOPMENT DATA

SITE ADDRESS	6855 CONSTITUTION AVENUE, COLORADO SPRINGS, CO 80915
JURISDICTION	EL PASO COUNTY, COLORADO
TAX SCHEDULE NUMBER	5405218002
COUNTY FILE NUMBER	PPR2224
SITE AREA/TOTAL ACREAGE	162,043 SF / 3.72 ACRES
DEVELOPMENT SCHEDULE	SUMMER 2023
REQUIRED SETBACKS	ALL DEVELOPMENT STANDARDS FOR PRINCIPAL AND ACCESSORY USES ARE ESTABLISHED BY THE DEVELOPMENT PLAN
NORTH	25' BUILDING SETBACK – 25' LANDSCAPE SETBACK
EAST	25' BUILDING SETBACK – 10' LANDSCAPE SETBACK
SOUTH	25' BUILDING SETBACK – 0' LANDSCAPE SETBACK
WEST	25' BUILDING SETBACK – 20' LANDSCAPE SETBACK
TOTAL GROSS BUILDING SQUARE FOOTAGE	109,196 SQ. FT.
TOTAL BUILDING FOOTPRINT	54,598 SQ. FT.
OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGES	OPEN SPACE: 26,634 SQ. FT. / 16.45% ± LANDSCAPING: 58,503 SQ. FT. / 36.76% ± IMPERMEABLE SURFACE: 35,755 SQ. FT. / 59.15% ± BUILDING FOOTPRINT: 54,598 SQ. FT. / 33.69% ±

EXISTING DEVELOPMENT DATA

ZONING DISTRICT	RM-30
CITY ZONING FILE REFERENCE NUMBER	EDARP-P225
ORDINANCE NUMBER	
DRAINAGE BASIN	SAND CREEK

PROPOSED DEVELOPMENT DATA

PROPOSED LAND USE	SELF STORAGE BUILDING
STORAGE UNITS	929
DENSITY	N/A
PROPOSED BUILDING HEIGHT	26.5 FT.
MAXIMUM ALLOWABLE BUILDING HEIGHT	45 FT.

PARKING TABLE

USE	PARKING RATIO	UNITS	PARKING REQUIRED	PARKING PROVIDED
MINI-STORAGE	1 / 100 UNITS	929	9	14
EMPLOYEE PARKING	1 / EMPLOYEE	3 (MAXIMUM PER SHIFT)	3	3
TOTAL			13	19
LOADING/UNLOADING SPACES (NOT INCLUDED IN TOTAL COUNT)			-	6
ADA (INCLUDED IN TOTAL COUNT)			1	2

JOHNSON DEVELOPMENT ASSOCIATES

CONSTITUTION STORAGE

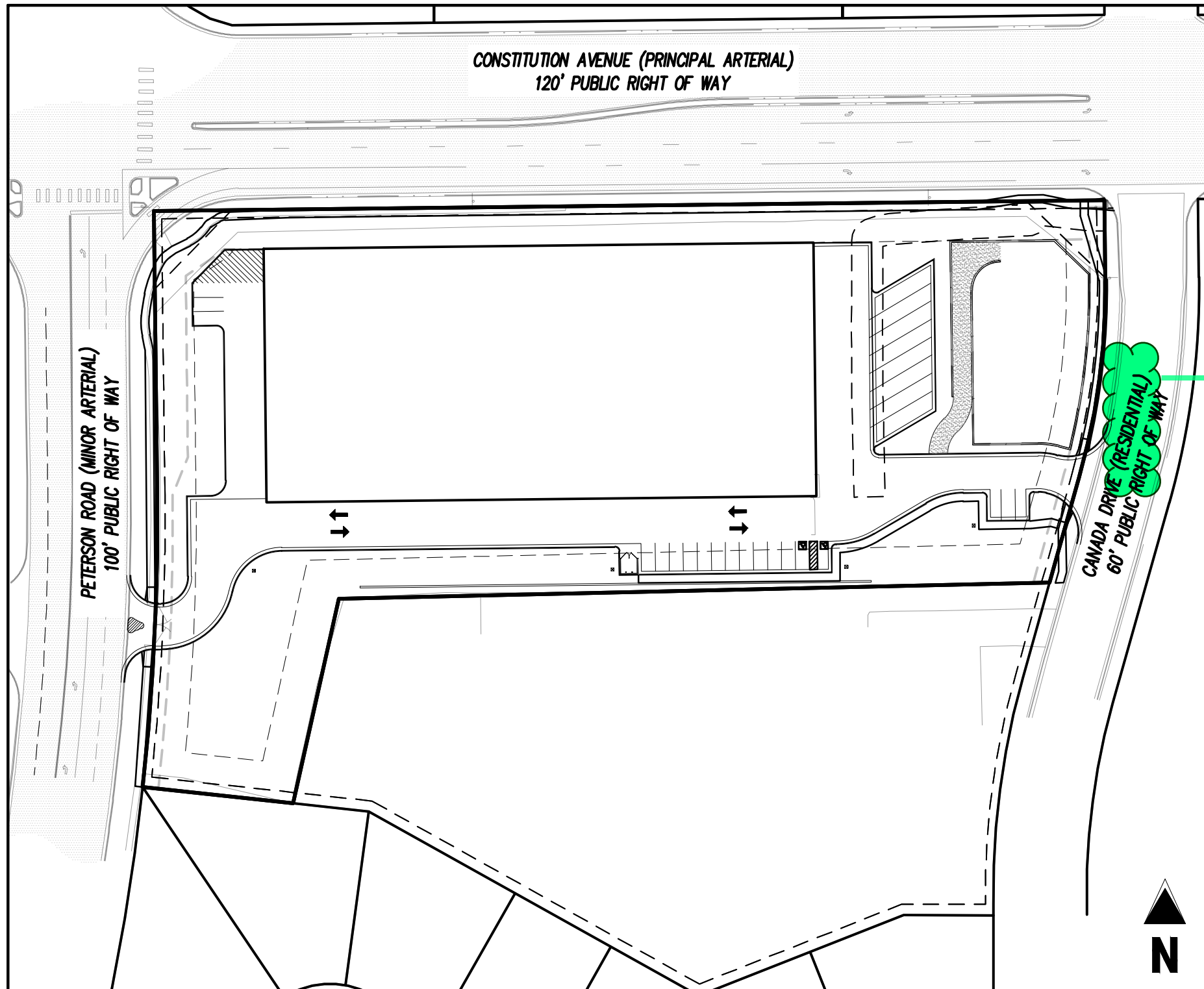
LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5,
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

SITE DEVELOPMENT PLAN

PCD FILING NUMBER:



VICINITY MAP
SCALE: 1"=400'



SITE MAP
SCALE: 1"=80'

Sheets should all be numbered on the bottom right.

There are 21 sheets and only 20 listed, please correct

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	SITE DEVELOPMENT PLAN	C1.1
3	SITE DEVELOPMENT PLAN DETAILS	C1.2
4	LANDSCAPE COVER SHEET	L1.0
5	LANDSCAPE PLAN	L1.1
6	LANDSCAPE NOTES	L1.2
7	LANDSCAPE DETAILS	L1.3
8	CONCEPT ELEVATIONS	A2.1
9	CONCEPT ELEVATIONS	A2.2
10	CONCEPT ELEVATIONS	A2.3
11	PHOTOMETRIC PLAN	PP1.0
12	SIGN PLAN	S1.0
13	SIGN PLAN	S1.1
14	SIGN PLAN	S1.2
15	SIGN PLAN	S1.3
16	SIGN PLAN	S1.4
17	SIGN PLAN	S1.5
18	SIGN PLAN	S1.6
19	SIGN PLAN	S1.7
20	SIGN PLAN	S1.8

GENERAL NOTES:

- ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTRACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- THE MINERAL ESTATE OWNER NOTIFICATION CERTIFICATION AFFIDAVIT WAS SUBMITTED AND CAN BE FOUND IN FILE CPO XX XX-XXXX. THE APPLICANT (OR PROPERTY OWNER) HAS ATTESTED THERE ARE NO SEPARATE MINERAL ESTATE OWNER(S) IDENTIFIED AND NO FURTHER ACTION WAS TAKEN.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER EL PASO COUNTY'S STANDARD DRAWINGS AND SPECIFICATIONS. EL PASO COUNTY'S INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

THE PROPOSED CLASS-A, CLIMATE CONTROLLED SELF-STORAGE FACILITY WILL PROVIDE SELF-STORAGE UNITS FOR RENT ON AN AS-NEEDED BASIS TO CUSTOMERS IN COLORADO SPRINGS AND EL PASO COUNTY. THE FACILITY WILL HAVE APPROXIMATELY 929 SELF-STORAGE UNITS OF VARIOUS SIZES. THREE TO FOUR EMPLOYEES WILL BE REQUIRED TO OPERATE THE FACILITY AND THE HOURS OF OPERATION WILL BE LIMITED TO BETWEEN 6:00AM AND 11:00PM DAILY.

should read "non-arterial"

- Please place this not on top with a title of "Project description"
- If you will have 4 employees per shift the parking for employees will need to increase.

LEGAL DESCRIPTION

LOT 1, EIGHT LINE SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

BASIS OF BEARINGS

BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST BEARS N89°20'41"E, MONUMENTED BY THE NORTHWEST CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 4842 1985" IN RANGE BOX AND BY THE NORTH QUARTER CORNER OF SAID SECTION 5, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 30829 2003", AS SHOWN HEREON.

BENCHMARK

COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK S907 BEING A 2" ALUMINUM CAP STAMPED "CSU FIMS CONTROL S907" AT THE SOUTHEAST CORNER OF THE CONCRETE BASE FOR AN ELECTRIC VAULT ON THE WEST SIDE OF PETERSON ROAD, ABOUT 360' SOUTH OF THE CENTER LINE OF LEGOTI DRIVE.

FIMS DATUM ELEVATION = 6534.61

CAUTION -- NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

EL PASO COUNTY STANDARD ACCESSIBILITY NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE DEVELOPMENT PLAN.

BRIAN KEARNEY
JOHNSON DEVELOPMENT ASSOCIATES, INC.

DATE

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR:

KEVIN MASTIN
INTERIM EXECUTIVE DIRECTOR

DATE

PCD FILE NUMBER:
PPR-2224

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
gallowayus.com

NOT FOR
CONSTRUCTION

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE

JOHNSON DEVELOPMENT ASSOCIATES

6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

Project No: JDA02
Drawn By: RWVO
Checked By: BAS
Date: 4/22/2022

COVER SHEET

C0.0

Sheet 1 of 20

PPR2224: 6855 constitution Ave. Mini Warehouse
Review #2 - 7/28/22

Please include a separate document addressing issues that need to be discussed.

Not Addressed: Where trucks are expected to turn around, please show the turning radius and the max size truck (with an unskilled driver) that can use the turn around.

Not addressed: Loading areas shall be designed so that a maneuvering or parked delivery vehicle will not obstruct any parking or drive aisles used by employees or customers. The south and west elevation has storage unit doors right next to the drive aisles, please demonstrate that the lanes are wide enough for two way traffic and a parked truck. This also seems to be a safety hazard to have a door accessing a drive aisle.

Not Addressed: Loading bays need to be screened from view from public road or residential areas - screening shall meet code requirements. The loading dock on the NW corner and is not 100% screened - on the landscape page. The landscape screening has now been reduced because the driving area was increased. Please amend.

Not Addressed: At least one bicycle parking space is required - = 5% of total parking stalls, this bike rack shall be close to the office and well lit for safety.

Not Addressed: Loading bays - will they be covered to block rain and snow from the loading area?

Not Addressed: Are there hours of operation to reduce the noise around residential areas?

MCCOY & LITTLEJOHN
PARCEL NO. 533209007
ZONE: CC CAD-0
LAND USE: SPECIAL PURPOSE
PLAT NO. 7776
6805 BISMARCK RD COLORADO SPRINGS CO, 80922-1116

K & S DEVELOPMENT LLC
PARCEL NO. 533209004
ZONE: CC CAD-0
LAND USE: CODE 200 AT PRESENT WORTH
PLAT NO. 7776
4432 SLICE DR COLORADO SPRINGS CO, 80922

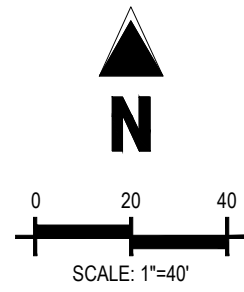
K & S DEVELOPMENT LLC
PARCEL NO. 533209004
ZONE: CC CAD-0
LAND USE: CODE 200 AT PRESENT WORTH
PLAT NO. 7776
4432 SLICE DR COLORADO SPRINGS CO, 80922

What is the security fence for if there are no doors or windows on this entire side? Please remove on the front if it is not needed and add more landscaping

Please provide documentation that excludes trees from being planted in this area due to underground utilities

This looks like a truck turn around area - what are the dimensions?
Planning can't support this change if it reduces the landscaping below the required amount.

Do trucks pull into this loading dock? if so, show a detail.



SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	RIGHT OF WAY BOUNDARY LINE
	EXISTING BUILDING
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED SWALE FLOWLINE
	EXISTING LANDSCAPE BUFFER
	EXISTING FENCE
	EXISTING CURB & GUTTER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS
	EXISTING FIBER OPTIC
	PROPOSED ROAD CENTERLINE
	PROPOSED STORM PIPE
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED FIRE LANE / NO PARKING
	PROPOSED ADA ROUTE
	PROPOSED BUILDING
	EXISTING CONCRETE PAVING
	PROPOSED CONCRETE PAVING
	EXISTING FIBER OPTIC STRUCTURES
	EXISTING PAD MOUNTED TRANSFORMER
	EXISTING LIGHT POLE
	EXISTING STORM SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING SIGN
	EXISTING GAS METER
	EXISTING SANITARY SEWER
	EXISTING ELECTRIC STRUCTURES
	EXISTING WATER VALVE
	ADA PARKING SYMBOL
	PROPOSED SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED WATER VALVE
	PROPOSED LIGHT POLE
	PROPOSED SEWER MANHOLE
	PROPOSED WATER STRUCTURES
	PROPOSED STORM STRUCTURES
	PROPOSED PARKING COUNT

SITE SCHEDULE	
1	PROPOSED 5' CONCRETE SIDEWALK
2	PROPOSED CUSTOM-8" VERTICAL CURB & GUTTER
3	PROPOSED GUEST PARKING - SEE DETAIL ON SHEET C1.2
4	PROPOSED SECURITY FENCE
5	PROPOSED STOP SIGN (R1-1)
6	PROPOSED ASPHALT AREA
7	PROPOSED SD.2-40 PEDESTRIAN RAMP
8	SIGHT DISTANCE TRIANGLE
9	PROPOSED RETAINING WALL
10	PROPOSED CONCRETE RAMP TO SECOND STORY
11	PROPOSED CURB & GUTTER TRANSITION
12	PROPOSED TRASH ENCLOSURE (SEE CONCEPT ELEVATIONS FOR DETAIL)
13	PROPOSED POND MAINTENANCE ROAD
14	PROPOSED COVERED RV STORAGE (SEE CONCEPT ELEVATIONS FOR DETAIL)
15	PROPOSED EPC TYPE C CURB
16	PROPOSED STORM DRAIN
17	PROPOSED BICYCLE PARKING

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR:

PCD FILE NUMBER:
PPR-2224

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
gallowayus.com

NOT FOR
CONSTRUCTION

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE
JOHNSON DEVELOPMENT ASSOCIATES
6855 CONSTITUTION AVENUE
COLORADO SPRINGS, CO 80915

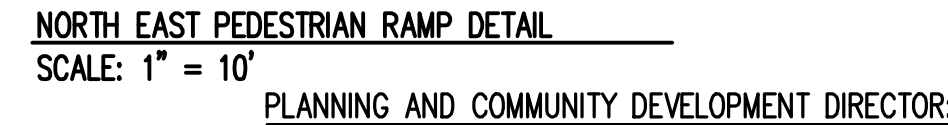
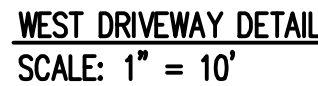
#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			

Project No:	JDA02
Drawn By:	RWO
Checked By:	BAS
Date:	4/22/2022

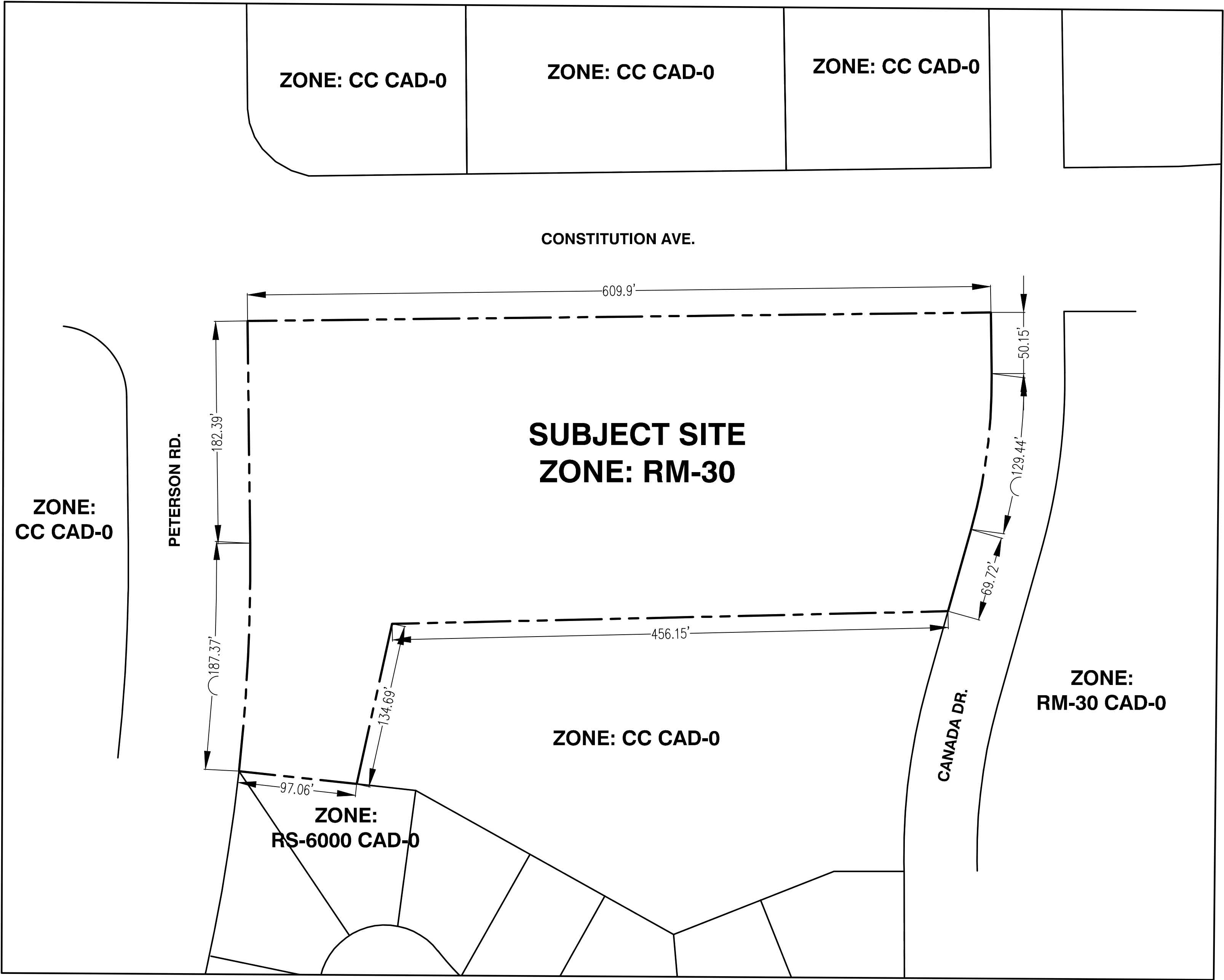
SITE DEVELOPMENT PLAN

C1.1

Sheet 2 of 20

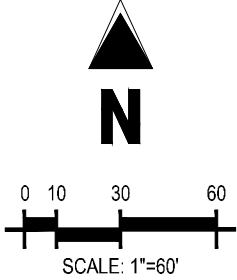
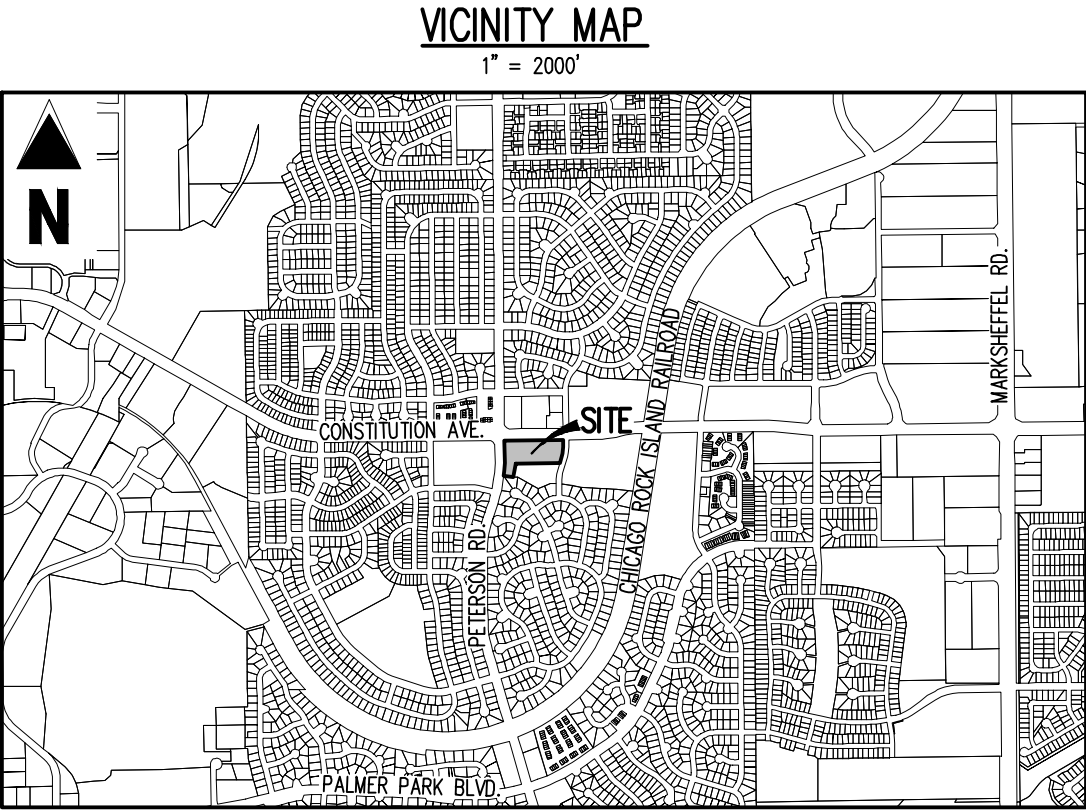


LANDSCAPE PLANS



ZONE MAP

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION
LIMITS. CONTRACTOR IS RESPONSIBLE
FOR IDENTIFYING THEIR LOCATION
PRIOR TO CONSTRUCTION.



Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
gallowayUS.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.
COPYRIGHTS AND INFRINGEMENTS WILL BE
ENFORCED AND PROSECUTED.



6855 CONSTITUTION AVE. STORAGE SITE
INDUSTRIAL DEVELOPMENT
REZONE PACKAGE
FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

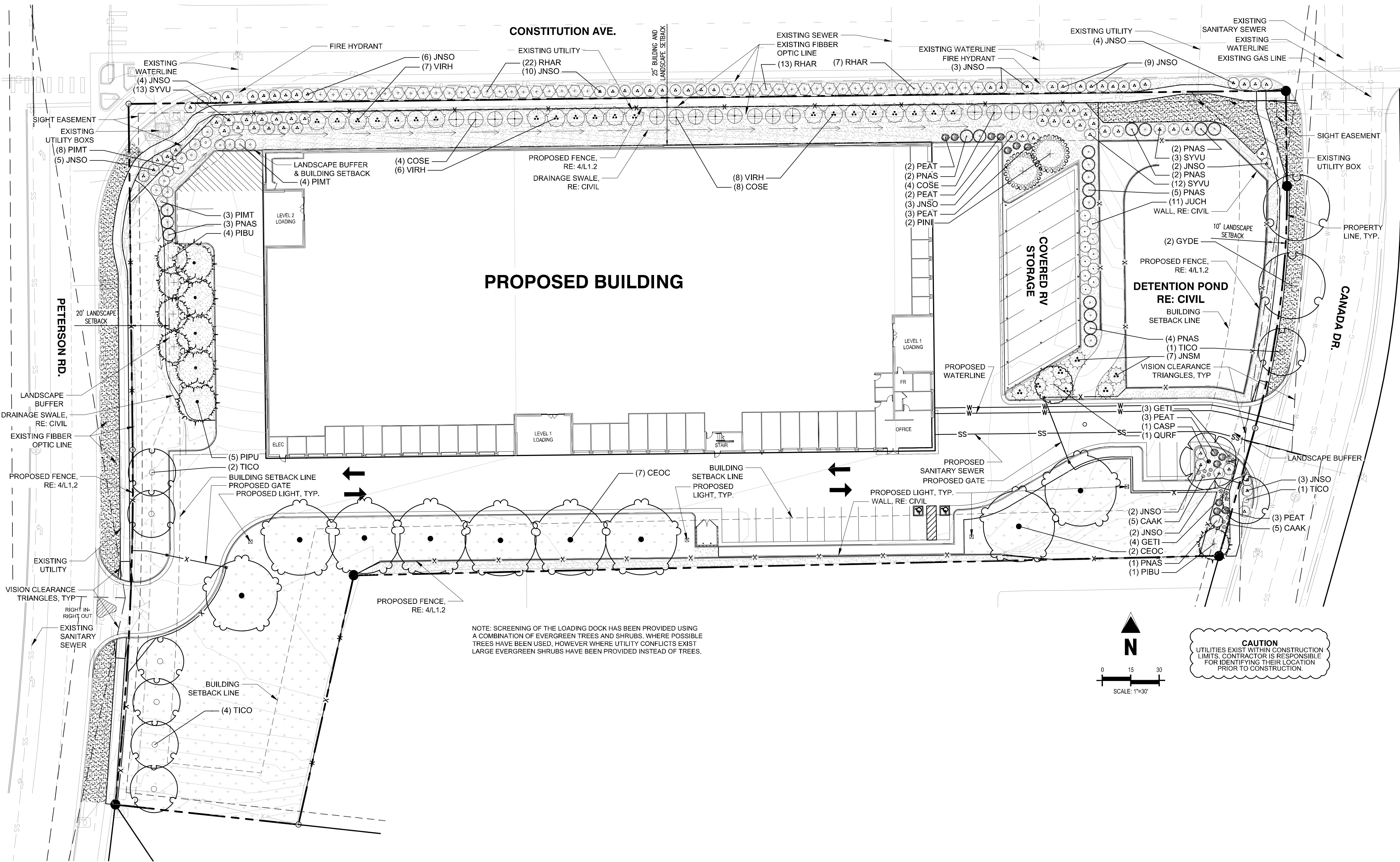
Project No: JDA000002.20
Drawn By: JRW
Checked By:
Date: 04/22/2022
LANDSCAPE COVER SHEET



Know what's below.
Call before you dig.

L1.0

Sheet 4 of 20



NOTE: SCREENING OF THE LOADING DOCK HAS BEEN PROVIDED USING A COMBINATION OF EVERGREEN TREES AND SHRUBS. WHERE POSSIBLE TREES HAVE BEEN USED, HOWEVER WHERE UTILITY CONFLICTS EXIST LARGE EVERGREEN SHRUBS HAVE BEEN PROVIDED INSTEAD OF TREES.

General Landscape Requirements				
Total Site Area	Req. Landscape Area (5%)	Provid. Landscape Area	Trees Req. 1/500sf	Trees Provided.
161,885	8,094	59503	16	16

Street Tree Req.								
Street	Classification	Tree Requirements	Length	Total Trees Req.	Min. % of Evergreen Trees Req. (30%)	Deciduous Trees Provided.	Evergreen Trees Provided.	Total Trees Provided.
Constitution Ave.	Principle Arterial	1 tree / 20'	510	26	9	0	9	9
Peterson Rd.	Minor Arterial	1 tree / 25'	290	12	4	6	6	12
Canada Dr.	Non-Arterial	1 tree / 30'	167.3	6	2	4	2	6

Shrubs Req.*	Shrubs Provided.*
170	170
0	0
0	0

*Due to the presence and locations of exiting utilities the required number of trees can not be planted. The applicant requests that these trees be replaced with shrubs at a rate of 10 shrubs to 1 tree.

**Due to the presence and locations of exiting utilities the applicant requests that some trees and shrubs be allowed to be planted behind the landscape buffer line (but still visible from the ROW).

Parking Landscape Requirements			
Total Parking	Trees Req. (1/15 spots)	Trees Provided.	
19	1	1	

Landscape Buffer Requirements						
	Length	Total Trees Req. (1/25')	Min. % of Evergreen Trees Req. (30%)	Deciduous Trees Provided.	Evergreen Trees Provided.	Total Trees Provided.
Multi-family buffer	167.3	7	2	0	7	7

PLANT LEGEND

DECIDUOUS TREES	COMMON NAME
	NORTHERN CATALPA
	COMMON HACKBERRY
	KENTUCKY COFFEETREE 'ESPRESSO'
	COLUMNAR ENGLISH OAK
	LITTLELEAF LINDEN
EVERGREEN TREES	COMMON NAME
	COLORADO SPRUCE
	LACEBARK PINE
	AUSTRIAN PINE
	ARNOLD SENTINEL AUSTRIAN PINE
UPRIGHT JUNIPERS	COMMON NAME
	BLUE POINT JUNIPER
DECIDUOUS SHRUBS	COMMON NAME
	BAYLEY'S RED TWIG DOGWOOD
	ROYAL GOLD WOADWAXEN
	RUSSIAN SAGE
	GRO-LOW FRAGRANT SUMAC
	COMMON LILAC
	ALLEGHANY LANTANAPHYLLUM VIBURNUM
EVERGREEN SHRUBS	COMMON NAME
	BUFFALO JUNIPER
	CALGARY CARPET JUNIPER
	TANNENBAUM MUGO PINE
ORNAMENTAL GRASSES	COMMON NAME
	KARL FOERSTER FEATHER REED GRASS
SOD/SEED	COMMON NAME
	EL PASO LOW GROW SEED MIX
	RTF (RHIZOMATOUS TALL FESCUE)

LANDSCAPE MATERIALS

SYMBOL	LANDSCAPE DESCRIPTION
	ROLLED TOP STEEL EDGER 1/8" THICK AND 6" DEEP
SYMBOL	LANDSCAPE DESCRIPTION
	2"-4" ANGULAR ROCK MULCH - 4" DEEP COLOR: TAN/GRAY WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
gallowayus.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



6855 CONSTITUTION AVE. STORAGE SITE
INDUSTRIAL DEVELOPMENT
REZONE PACKAGE
FOR JOHNSON DEVELOPMENT ASSOCIATES
LOT 1 OF THE EIGHT LINE SUBDIVISION
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

Project No:	JDA000002.20
Drawn By:	JRW
Checked By:	
Date:	04/22/2022

LANDSCAPE PLAN

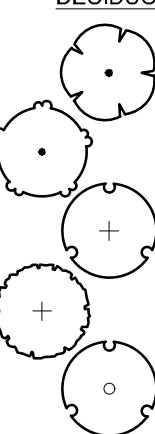
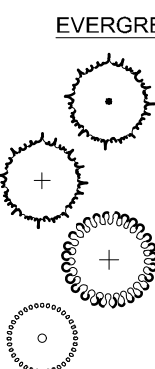
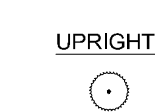
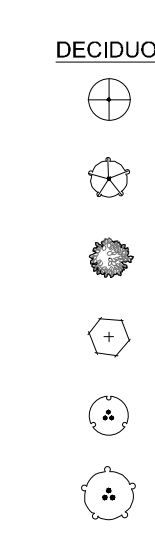
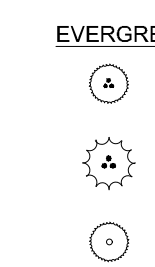
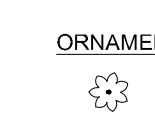



L1.1


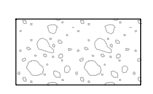
Sheet 5 of 20

\\G:\Users\Development\Assets\Assets\COI - Colorado Springs - Constitution Ave. 2020\40424\Rev\40424_02.dwg - John W. Miller - 7/12/2022

PLANT SCHEDULE

	DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
		CASP	1	NORTHERN CATALPA	CATALPA SPECIOSA	B&B	2" CAL	50' X30'	LOW	SUN
		CEOC	9	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B	2" CAL	60' X40'	LOW	SUN/PART SHADE
		GYDE	2	KENTUCKY COFFEETREE 'ESPRESSO'	GYMNOCLADUS DIOICA 'ESPRESSO'	B&B	2" CAL	50' X35'	LOW	SUN
		QURF	1	COLUMNAR ENGLISH OAK	QUERCUS ROBUR 'FASTIGIATA' TM	B&B	2" CAL	40' X20'	MODERATE	SUN
	EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	LIGHT REQ.
		PIPU	5	COLORADO SPRUCE	PICEA PUNGENS	B&B	6" HT	60' X25'	LOW	SUN/PART SHADE
		PIBU	5	LACEBARK PINE	PINUS BUNGEANA	B&B	6" HT	30' X20'	LOW	SUN
		PINI	2	AUSTRIAN PINE	PINUS NIGRA	B&B	6" HT	50' X20'	LOW	SUN/PART SHADE
		PNAS	19	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6" HT	25' X7'	LOW	SUN/PART SHADE
	UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		JUCH	11	BLUE POINT JUNIPER	JUNIPERUS CHINENSIS 'BLUE POINT'	#5 CONT.	12' X6'	VERY LOW	SUN/PART SHADE	
	DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		COSE	16	BAYLEY'S RED TWIG DOGWOOD	CORNUS SERICEA 'BAILEY'	#5 CONT.	8' X8'	LOW	SUN/PART SHADE	
		GETI	7	ROYAL GOLD WOADWAXEN	GENISTA TINCTORIA 'ROYAL GOLD'	#5 CONT.	2' X2'	VERY LOW	SUN	
		PEAT	13	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	4' X4'	VERY LOW	SUN	
		RHAR	42	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3' X8'	LOW	SUN	
		SYVU	28	COMMON LILAC	SYRINGA VULGARIS	#5 CONT.	6' X6'	LOW	SUN/PART SHADE	
		VI RH	21	ALLEGHANY LANTANAPHYLLUM VIBURNUM	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	#5 CONT.	10' X10'	MODERATE	SUN/PART SHADE	
		JNSO	53	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	1' X6'	VERY LOW	SUN/PART SHADE	
	EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		JNSM	7	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'MONNA'	#5 CONT.	9' X10'	VERY LOW	SUN/PART SHADE	
		PIMT	15	TANNENBAUM MUGO PINE	PINUS MUGO 'TANNENBAUM'	#5 CONT.	15' X6'	LOW	SUN	
	ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.	
		CAAK	10	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'	LOW	SUN	
	SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE				
		SEED	27,874 SF	EL PASO LOW GROW SEED MIX	EL PASO LOW GROW SEED MIX	SEED				
		SOD	5,754 SF	RTF (RHIZOMATOUS TALL FESCUE)	FESCUE SOD	SOD				

LANDSCAPE MATERIALS

SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
	L-01 ROLLED TOP STEEL EDGER 1/8" THICK AND 6" DEEP	293 LF	SEE NOTES
SYMBOL	LANDSCAPE DESCRIPTION	QTY	DETAIL
	L-03 2"-4" ANGULAR ROCK MULCH - 4" DEEP COLOR: TAN/GRAY WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	293.7 CY	SEE NOTES

PLANTING NOTES

- GENERAL
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH PERFORATED STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE SCHEDULE. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #C1-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



6855 CONSTITUTION AVE. STORAGE SITE
INDUSTRIAL DEVELOPMENT
REZONE PACKAGE
FOR JOHNSON DEVELOPMENT ASSOCIATES

LOT 1 OF THE EIGHT LINE SUBDIVISION
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

Project No:	JDA000002.20
Drawn By:	JRW
Checked By:	
Date:	04/22/2022

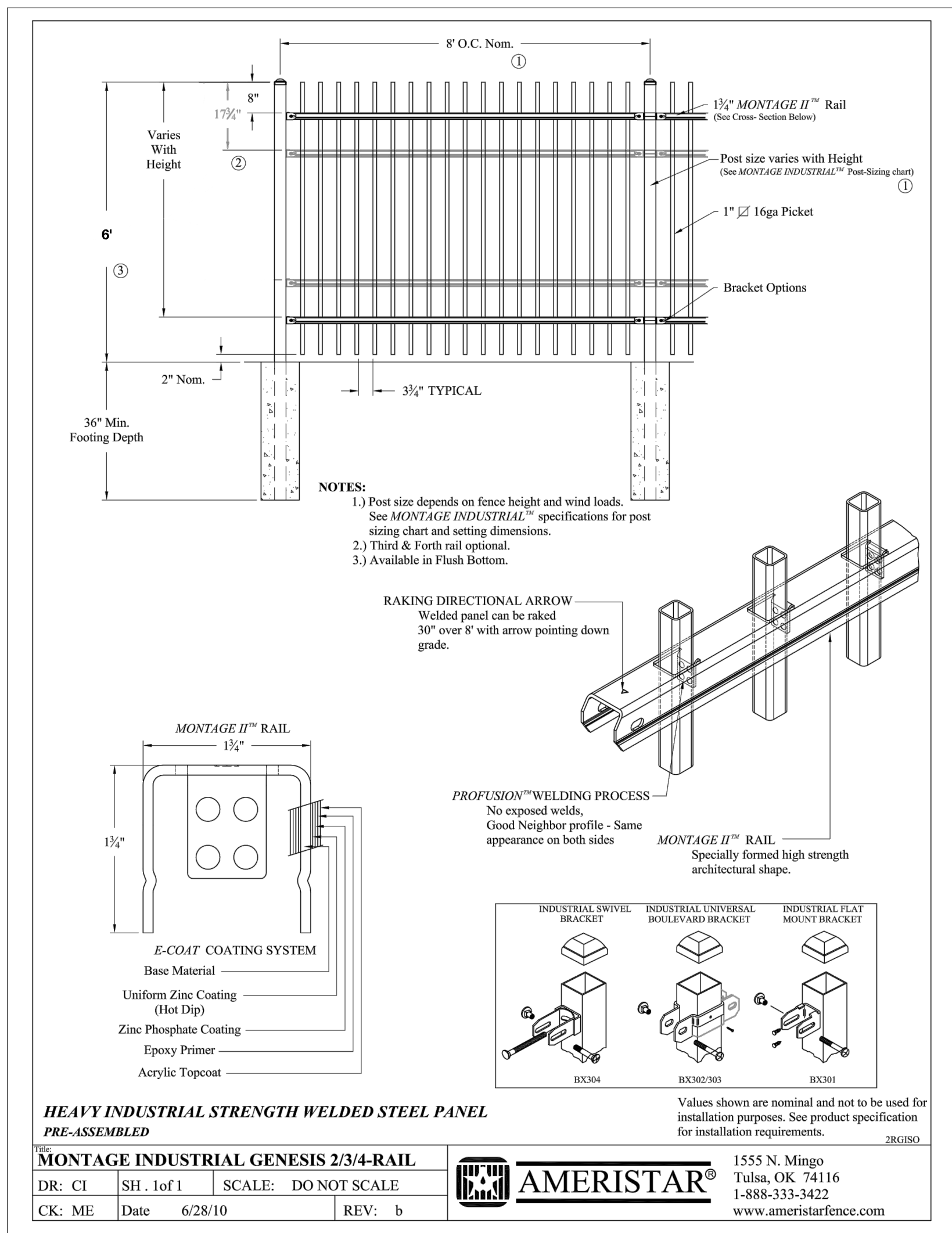
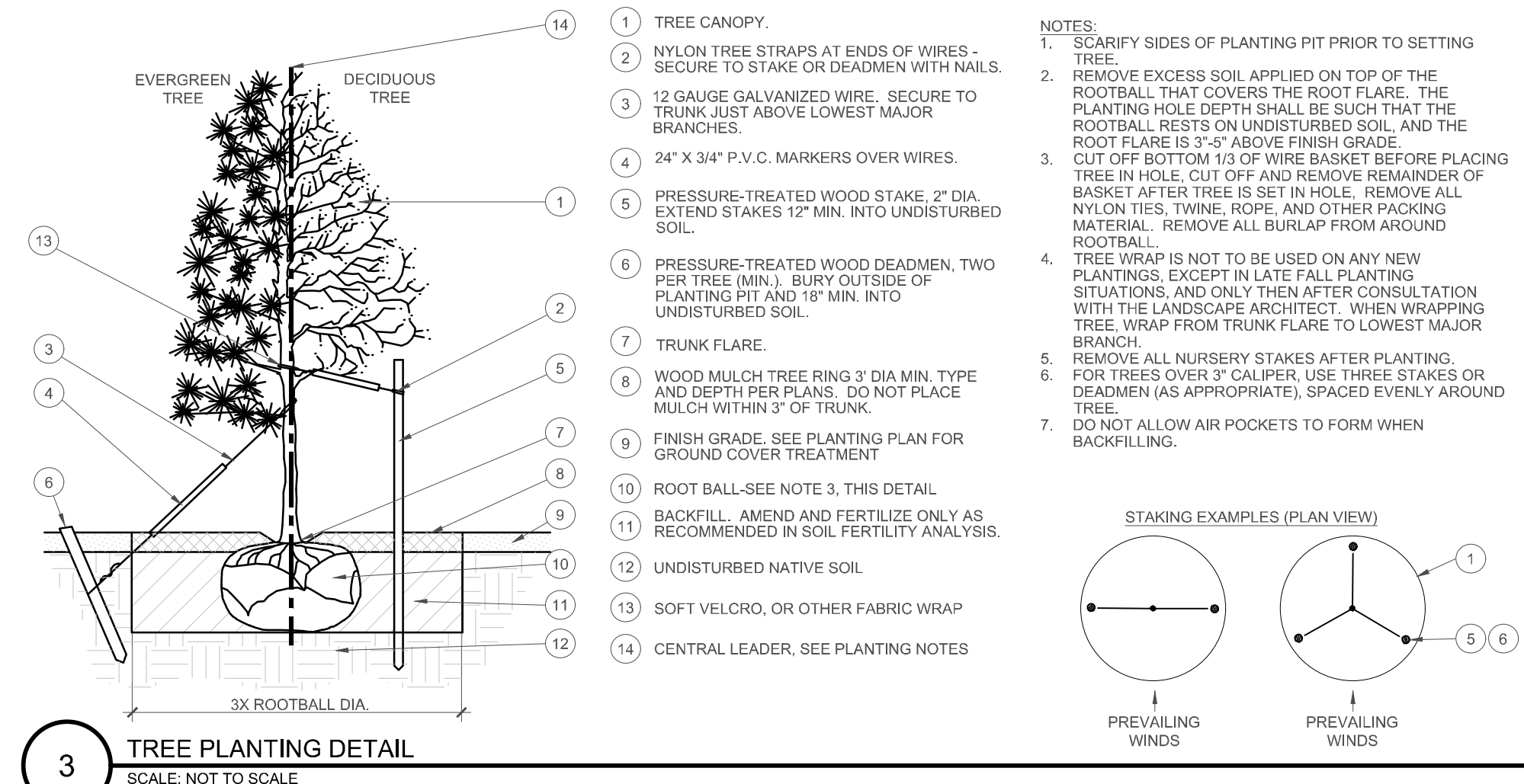
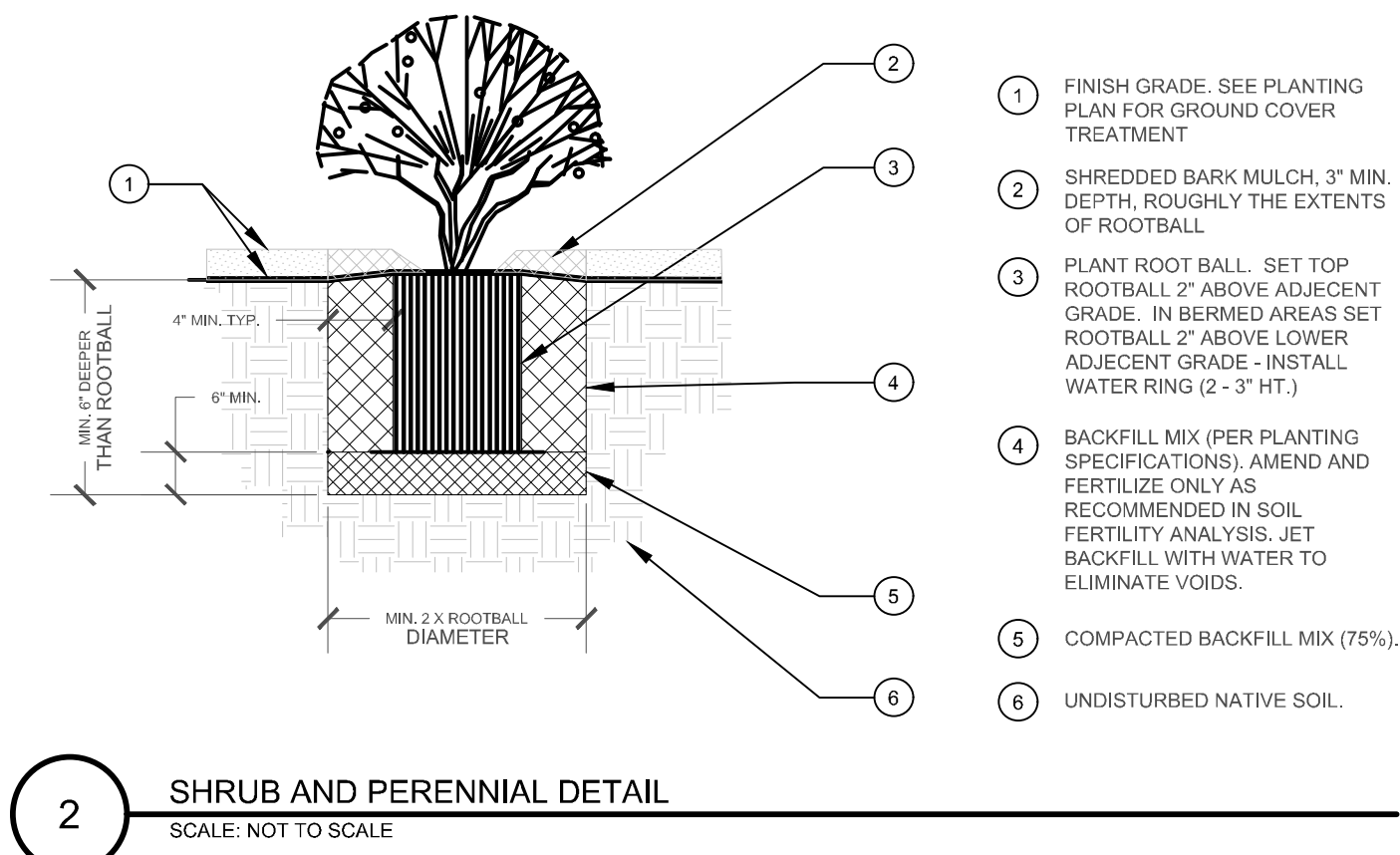
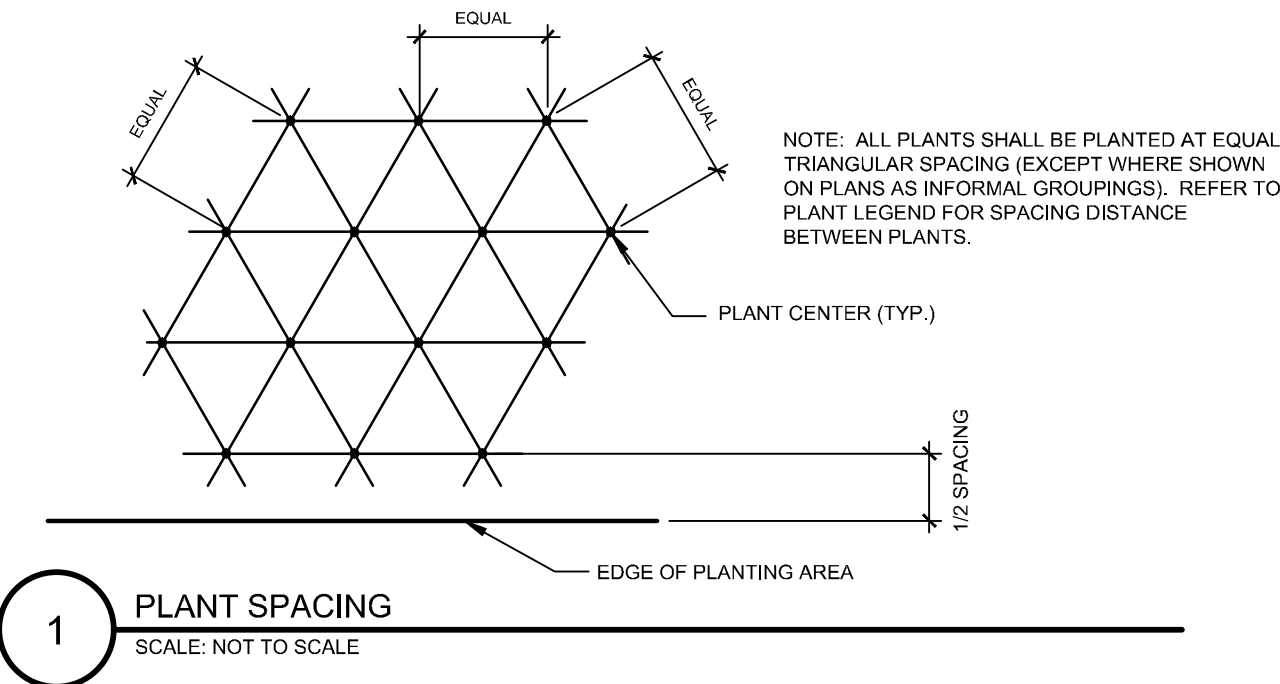
LANDSCAPE NOTES



#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			

Project No:	JDA000002.20
Drawn By:	JRW
Checked By:	
Date:	04/22/2022

LANDSCAPE DETAILS

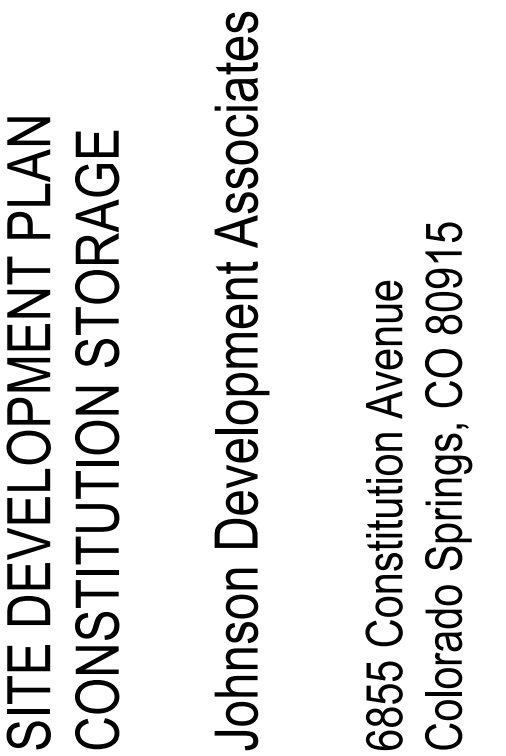


4 6' FENCE
OR APPROVED EQUAL
SCALE: NTS



PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR
REPRODUCED WITHOUT THE WRITTEN CONSENT
OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS
WILL BE ENFORCED AND PROSECUTED.

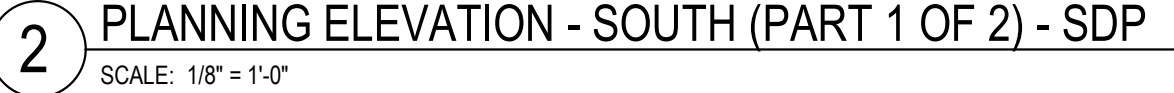
[illegible]

Project No:	JDA000002
Drawn By:	MK
Checked By:	SDM
Date:	04/22/22

CONCEPT ELEVATIONS

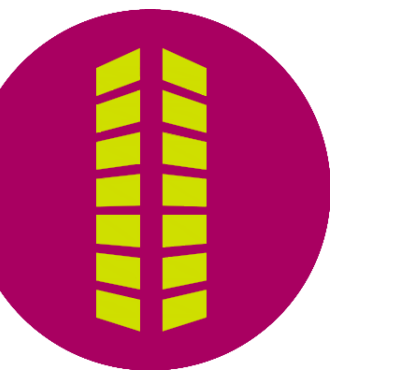
Sheet 9 of 20

LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
EIFS-3	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	NEBULOUS WHITE (SHERWIN WILLIAMS 7063)
CMU-1	SPLIT FACE CMU	CITYSCAPE (SHERWIN WILLIAMS 7067)
PC-1	PRECAST CONCRETE SILL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MA-1	METAL AWNING	IRON ORE (SHERWIN WILLIAMS 7069)
G-1	1" INSULATED VISION GLAZING	CLEAR LOW-E
G-2	SPANDREL GLAZING	OPAC-COAT - 300 #03-0770 - WARM GREY
AL-1	ALUMINUM WINDOWS AND ENTRY SYSTEMS	ANODIZED ALUMINUM
PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE



PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE
AND ARE THE PROPERTY OF GALLOWAY, AND MAY
NOT BE DUPLICATED, DISCLOSED, OR
REPRODUCED WITHOUT THE WRITTEN CONSENT
OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS
WILL BE ENFORCED AND PROSECUTED.



**SITE DEVELOPMENT PLAN
CONSTITUTION STORAGE**

Johnson Development Associates

6855 Constitution Avenue
Colorado Springs, CO 80915

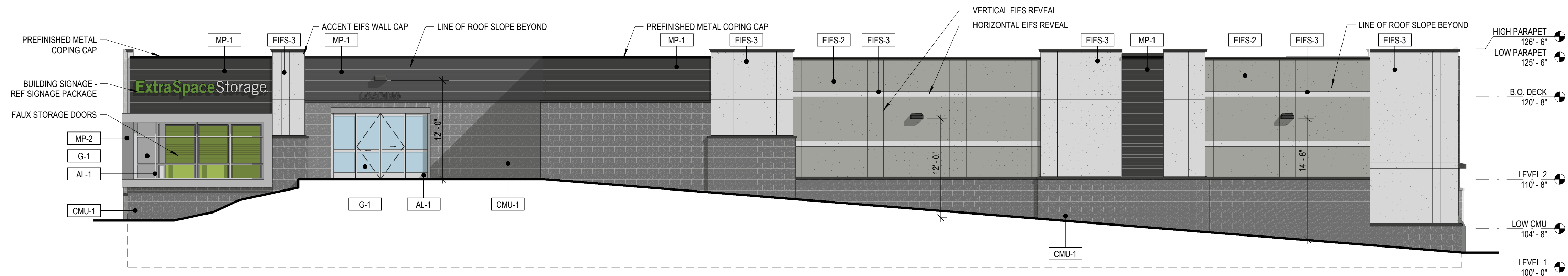
[illegible]

CONCEPT ELEVATIONS

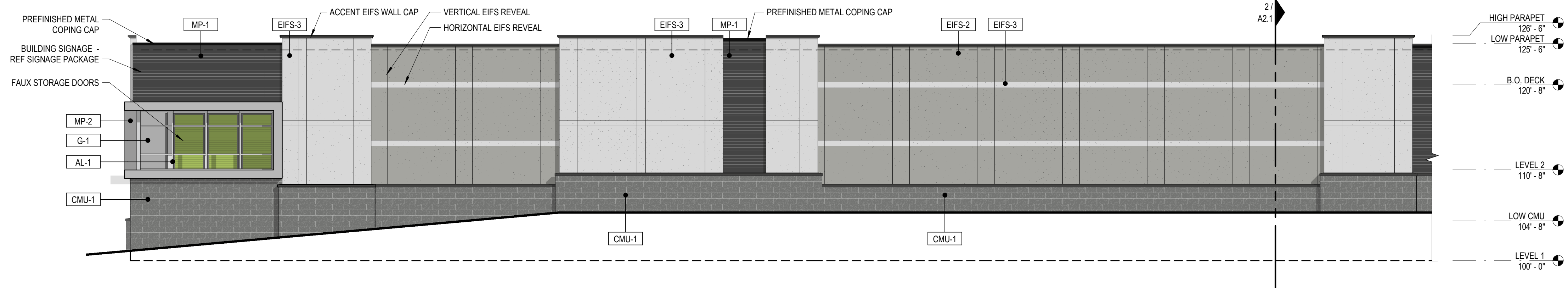
A2.1
Sheet 8 of 20

EXTERIOR MATERIAL LEGEND

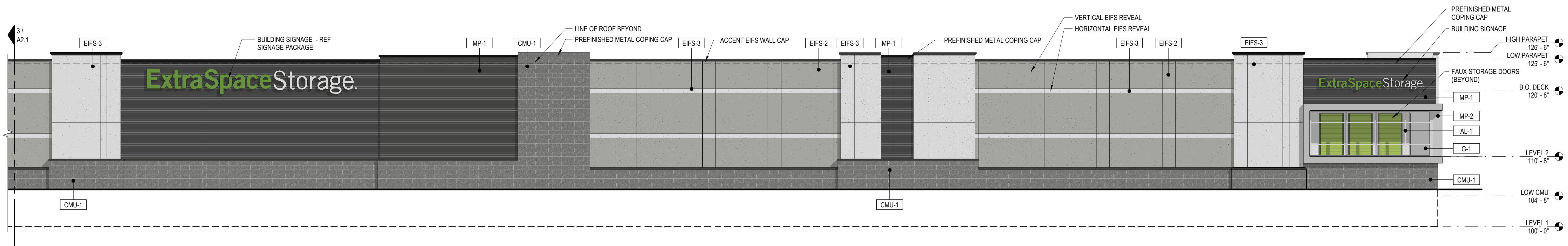
LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
EIFS-3	EXTERIOR INSULATION AND FINISH SYSTEM FINE FINISH WITH 5/8" REVEALS	NEBULOUS WHITE (SHERWIN WILLIAMS 7063)
CMU-1	SPLIT FACE CMU	CITYSCAPE (SHERWIN WILLIAMS 7067)
PC-1	PRECAST CONCRETE SILL	TBD [COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069)]
MA-1	METAL AWNING	IRON ORE (SHERWIN WILLIAMS 7069)
G-1	1" INSULATED GLAZING GLAZING	CLEAR LOW-E
G-2	SPANDREL GLAZING	OPAC-COAT - 300 #03-0770 - WARM GREY
AL-1	ALUMINUM WINDOWS AND ENTRY SYSTEMS	ANODIZED ALUMINUM
PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE



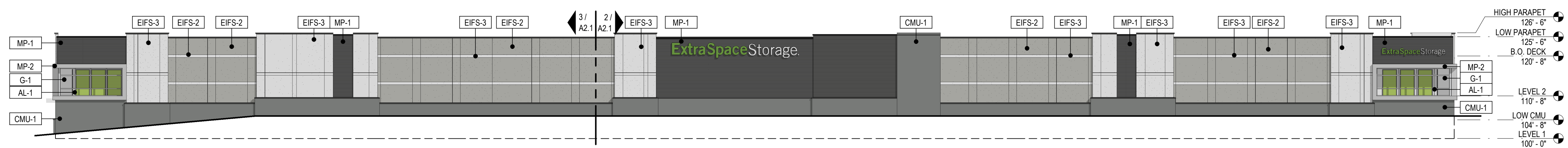
4 PLANNING ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3 PLANNING ELEVATION - NORTH (PART 2 OF 2)
SCALE: 1/8" = 1'-0"



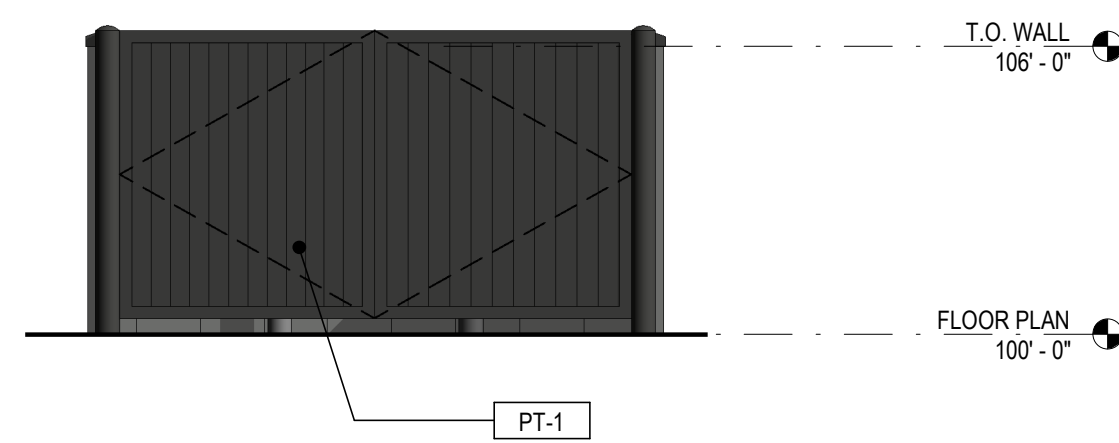
2 PLANNING ELEVATION - NORTH (PART 1 OF 2)
SCALE: 1/8" = 1'-0"



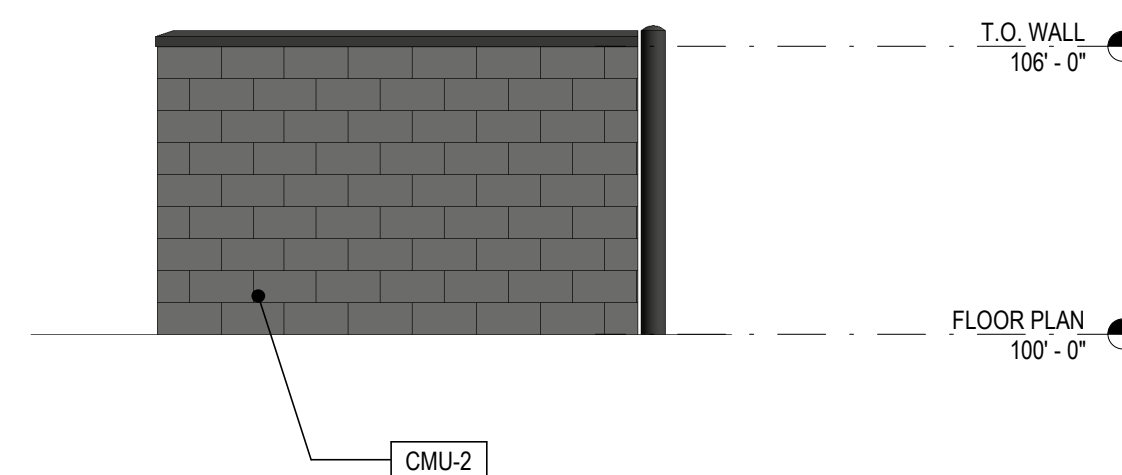
1 PLANNING ELEVATION - NORTH OVERALL
SCALE: 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

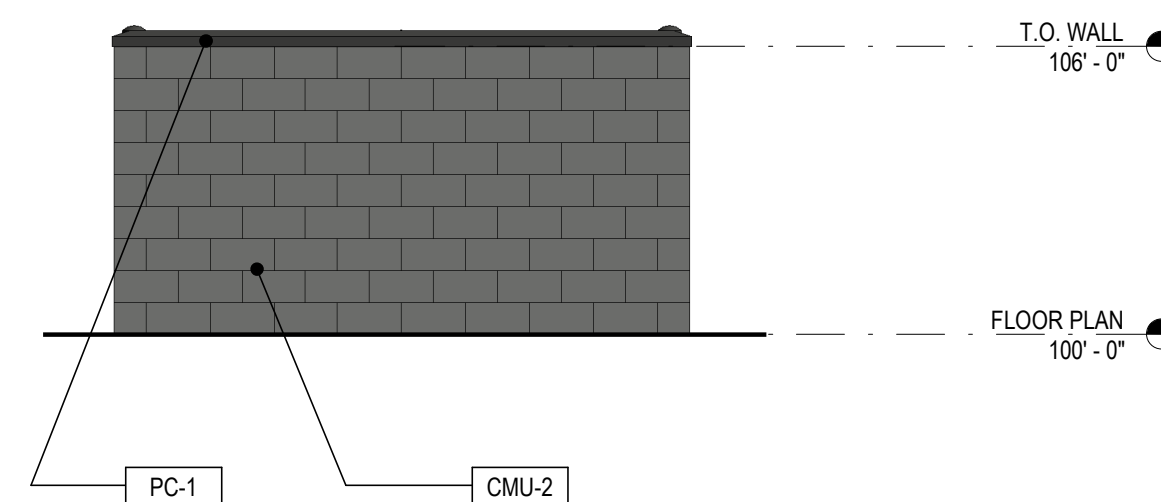
LABEL	MATERIAL	COLOR
MP-1	CORRUGATED METAL PANEL	TBD (COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069))
MP-2	COMPOSITE METAL PANEL	SILVERSMITH
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	WASABI
EIFS-2	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	ARGOS (SHERWIN WILLIAMS 7065)
EIFS-3	EXTERIOR INSULATION AND FINISH SYSTEM, FINE FINISH WITH 5/8" REVEALS	NEBULOUS WHITE (SHERWIN WILLIAMS 7063)
CMU-1	SPLIT FACE CMU	CITYSCAPE (SHERWIN WILLIAMS 7067)
PC-1	PRECAST CONCRETE SILL	TBD (COLOR MATCH TO IRON ORE (SHERWIN WILLIAMS 7069))
MA-1	METAL AWNING	IRON ORE (SHERWIN WILLIAMS 7069)
G-1	1" INSULATED GLAZING	CLEAR LOW-E
G-2	SPANDREL GLAZING	OPACI-COAT - 300 #3-0770 - WARM GREY
AL-1	ALUMINUM WINDOWS AND ENTRY SYSTEMS	ANODIZED ALUMINUM
PT-1	PAINT	SHERWIN WILLIAMS 7069 - IRON ORE
PT-2	PAINT	WASABI
PT-3	PAINT	SHERWIN WILLIAMS 7067 - CITYSCAPE



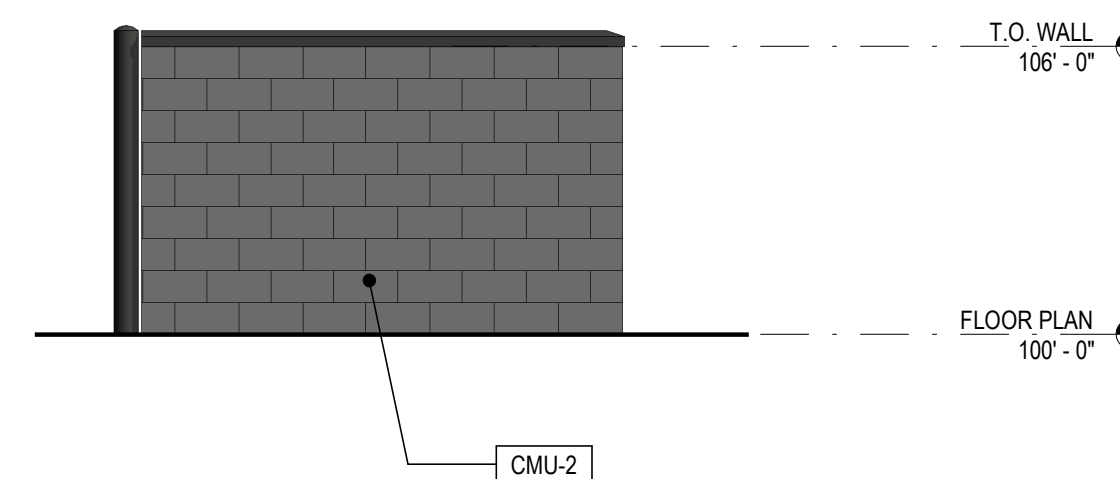
7 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



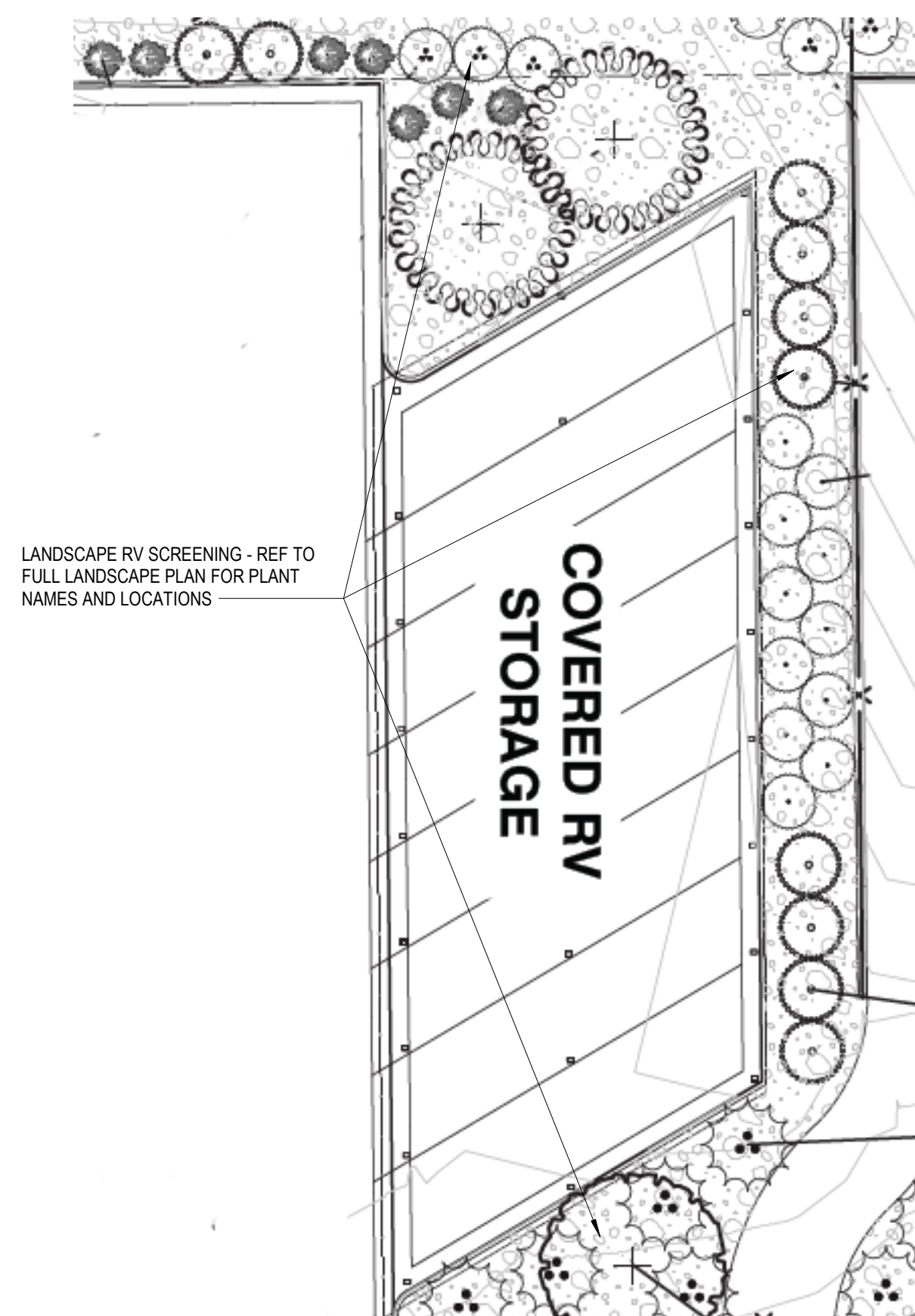
6 TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



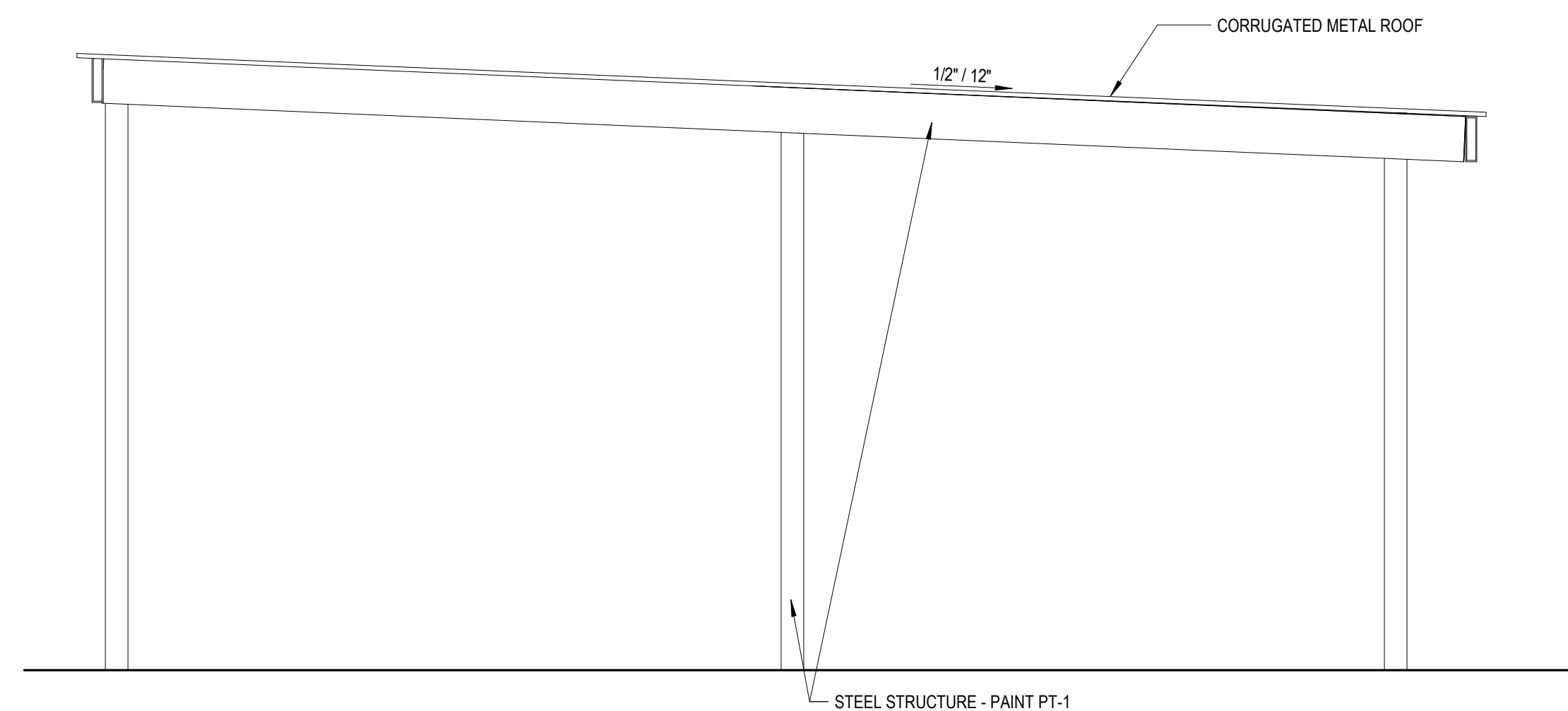
5 TRASH ENCLOSURE - BACK ELEVATION
SCALE: 1/4" = 1'-0"



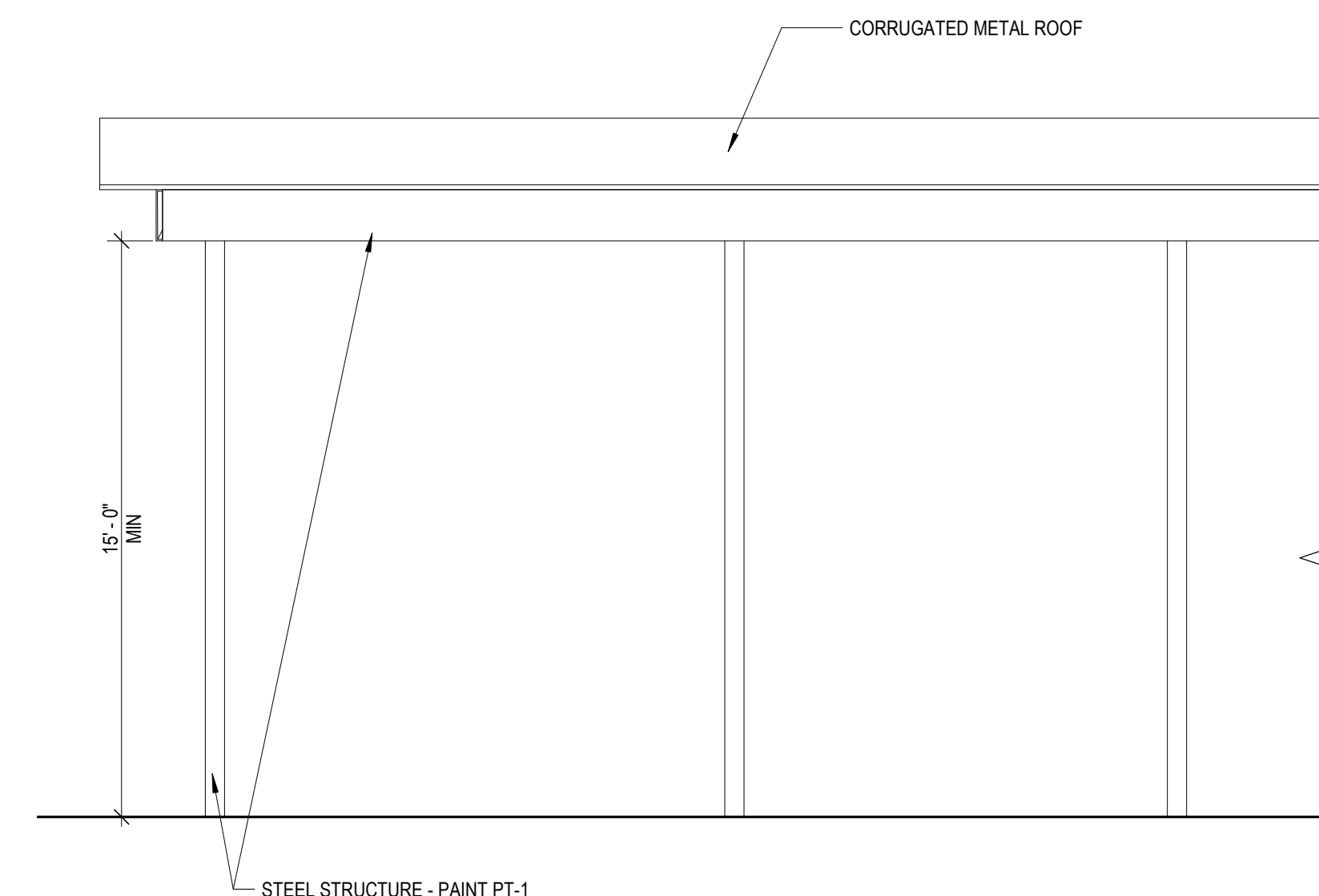
4 TRASH ENCLOSURE - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 RV CANOPY SCREENING EXHIBIT
SCALE: NTS



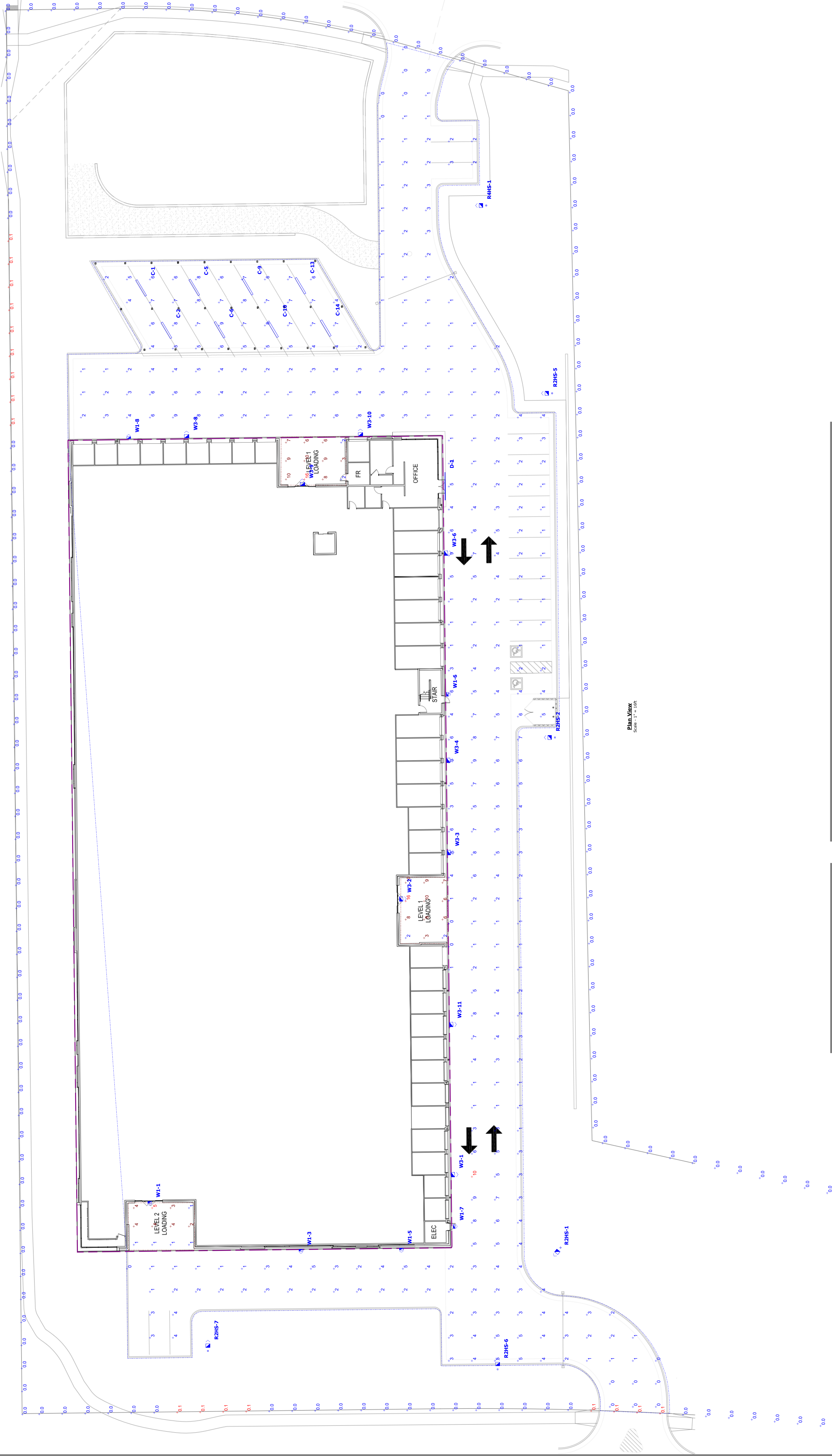
2 RV CANOPY - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 RV CANOPY - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

[illegible]

Project No:	JDA000002
Drawn By:	SDM
Checked By:	SDM
Date:	04/22/22



Plan View
Scale: 1" = 10'

Existing Lighting Survey Notes

- Readings are shown in units of maintained footcandles.
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF
- Test Point = 0' AFF

Schedule		Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
R4H	S				1	Lithonia Lighting	DSX1 LED P4 40K T4M MVOLT HS	DSX1 LED P4 40K T4M MVOLT with houside shield	0.92	125
W3	S				9	Lithonia Lighting	KAXW LED P2 40K R4 MVOLT HS	Wall Pack, Higher Lumen	0.92	79
R2H	S				5	Lithonia Lighting	DSX1 LED P4 40K T2S MVOLT HS	DSX1 LED P4 40K T2S MVOLT with houside shield	0.92	125
W1	S				6	Lithonia Lighting	KAXW LED P1 40K R3 MVOLT HS	Wall Pack, Lower Lumen	0.92	29
C	S				8	Lithonia Lighting	CSVT 148 5000LM MVOLT 40K 80CRI	Contractor Select LED Vapor Tite 48"	0.95	41.99
D	S				1	Nove Flex LED	Custom Build - Coordinate with Lighting Vendor	LED Tapa Light 4800K 360 lumens per Linear foot, Enclosed in Aluminum Channel	0.5	7

Luminaire Locations										Aim		
No.	Label	X	Y	Z	Height	Orientation	FTL	X	Y	Z		
1	R2HS-1	25.00	25.00	25.00	25.00	0.00	0.00	25.00	25.00	25.00		
2	R2HS-2	46.63	25.10	30.00	20.00	0.00	0.00	46.63	25.21	0.00		
3	R2HS-3	68.26	25.10	30.00	20.00	0.00	0.00	68.26	25.21	0.00		
4	R2HS-4	89.89	25.10	30.00	20.00	0.00	0.00	89.89	25.21	0.00		
5	W1	25.00	43.27	12.00	12.00	270.00	0.00	25.00	43.27	0.00		
6	W2	46.63	43.27	12.00	12.00	270.00	0.00	46.63	43.27	0.00		
7	W3	68.26	43.27	12.00	12.00	270.00	0.00	68.26	43.27	0.00		
8	W4	89.89	43.27	12.00	12.00	270.00	0.00	89.89	43.27	0.00		
9	W5	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
10	W6	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
11	W7	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
12	W8	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
13	W9	25.00	38.54	16.00	16.00	177.93	0.00	25.00	38.54	0.00		
14	W10	46.63	38.54	16.00	16.00	177.93	0.00	46.63	38.54	0.00		
15	W11	68.26	38.54	16.00	16.00	177.93	0.00	68.26	38.54	0.00		
16	W12	89.89	38.54	16.00	16.00	177.93	0.00	89.89	38.54	0.00		
17	W13	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
18	W14	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
19	W15	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
20	W16	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
21	W17	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
22	W18	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
23	W19	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
24	W20	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
25	W21	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
26	W22	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
27	W23	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
28	W24	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
29	W25	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
30	W26	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
31	W27	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
32	W28	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
33	W29	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
34	W30	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
35	W31	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
36	W32	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
37	W33	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
38	W34	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
39	W35	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
40	W36	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
41	W37	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
42	W38	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
43	W39	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
44	W40	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
45	W41	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
46	W42	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
47	W43	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
48	W44	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
49	W45	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
50	W46	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
51	W47	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
52	W48	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
53	W49	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
54	W50	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
55	W51	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
56	W52	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
57	W53	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
58	W54	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
59	W55	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
60	W56	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
61	W57	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
62	W58	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
63	W59	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
64	W60	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
65	W61	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
66	W62	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
67	W63	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
68	W64	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
69	W65	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
70	W66	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
71	W67	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
72	W68	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
73	W69	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
74	W70	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
75	W71	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
76	W72	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
77	W73	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
78	W74	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
79	W75	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
80	W76	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
81	W77	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
82	W78	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
83	W79	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
84	W80	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
85	W81	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
86	W82	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
87	W83	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
88	W84	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
89	W85	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
90	W86	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
91	W87	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
92	W88	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
93	W89	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
94	W90	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
95	W91	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
96	W92	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
97	W93	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
98	W94	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
99	W95	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
100	W96	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
101	W97	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
102	W98	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
103	W99	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
104	W100	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
105	W101	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
106	W102	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
107	W103	89.89	41.00	20.00	20.00	0.00	0.00	89.89	41.00	0.00		
108	W104	32.17	30.00	15.00	15.00	270.00	0.00	32.17	30.00	0.00		
109	W105	53.80	30.00	15.00	15.00	270.00	0.00	53.80	30.00	0.00		
110	W106	75.43	30.00	15.00	15.00	270.00	0.00	75.43	30.00	0.00		
111	W107	97.06	30.00	15.00	15.00	270.00	0.00	97.06	30.00	0.00		
112	W108	25.00	41.00	20.00	20.00	0.00	0.00	25.00	41.00	0.00		
113	W109	46.63	41.00	20.00	20.00	0.00	0.00	46.63	41.00	0.00		
114	W110	68.26	41.00	20.00	20.00	0.00	0.00	68.26	41.00	0.00		
115	W111	89.89	41.00	20.00	20.00	0.00</						

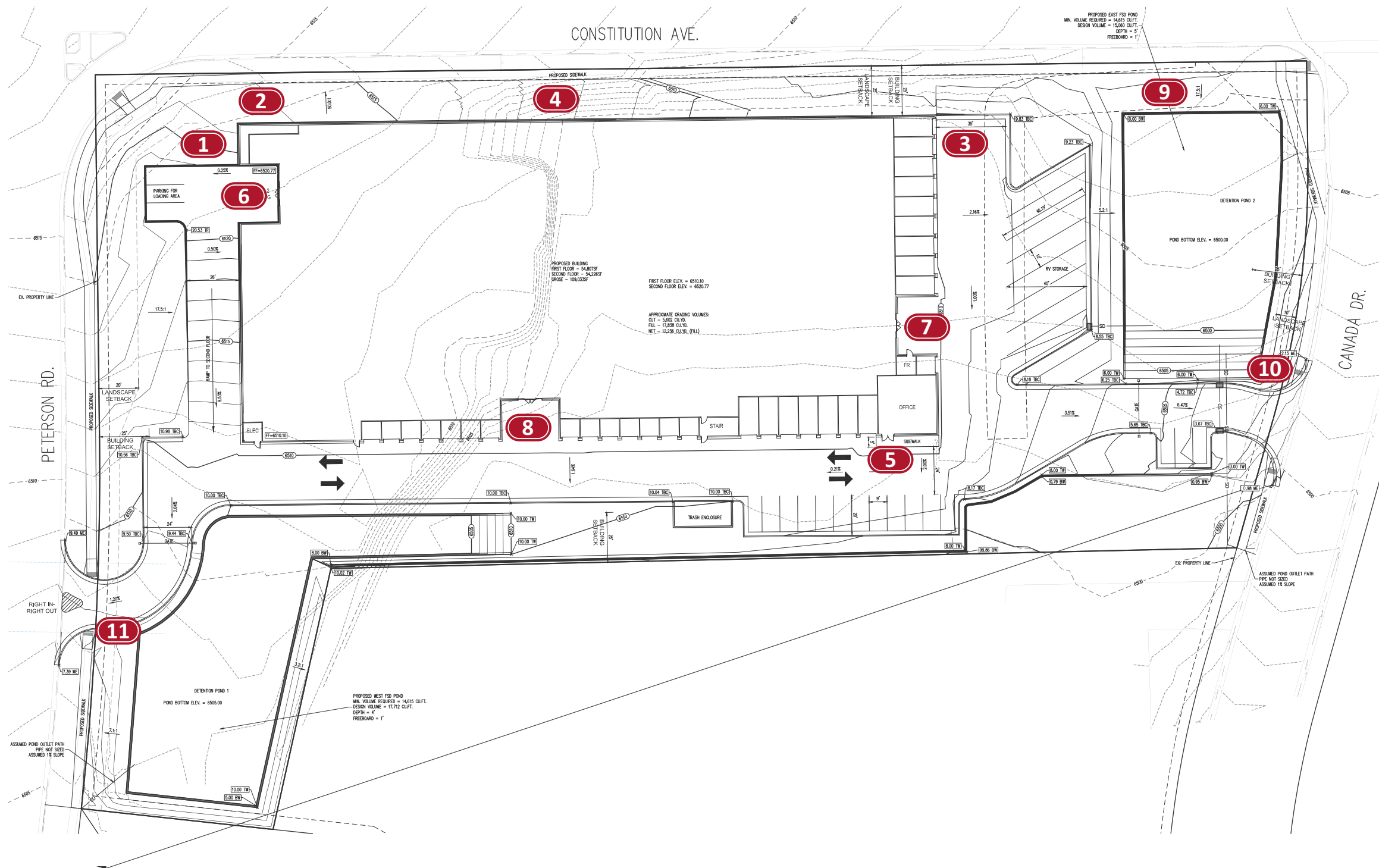


**6855 Constitution Avenue
El Paso County
Colorado Springs, Colorado**

Offered by:



**700 PARKER SQUARE, SUITE 205
FLOWER MOUND, TX 75028
T. 800.675.6353**



SITE PLAN

1	Remote Face-Lit Channel Letters
2	Remote Face-Lit Channel Letters
3	Remote Face-Lit Channel Letters
4	Remote Face-Lit Channel Letters
5	Office Raceway Channel Letters
6	Loading Raceway Channel Letters
7	Loading Raceway Channel Letters
8	Loading Raceway Channel Letters
9	D/F Pylon sign Structure
10	Directional Ground Sign
11	Directional Ground Sign

SITE PLAN : OVERVIEW



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

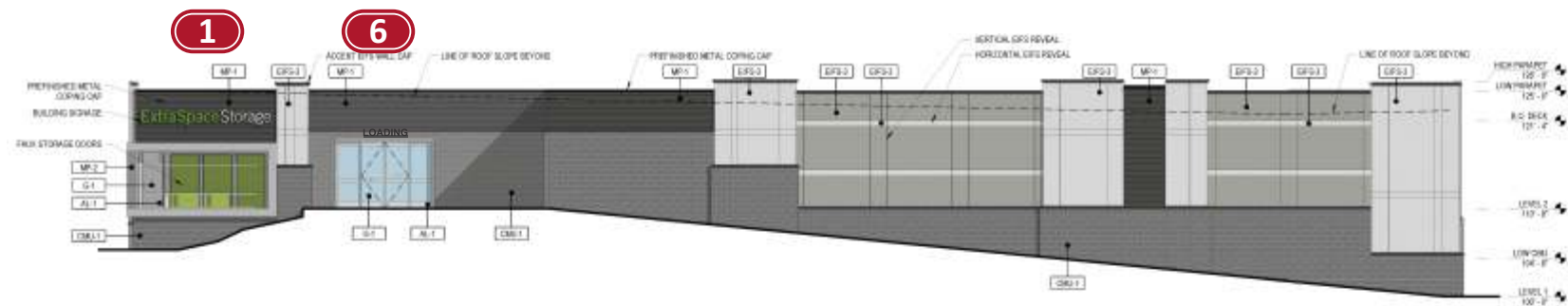
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

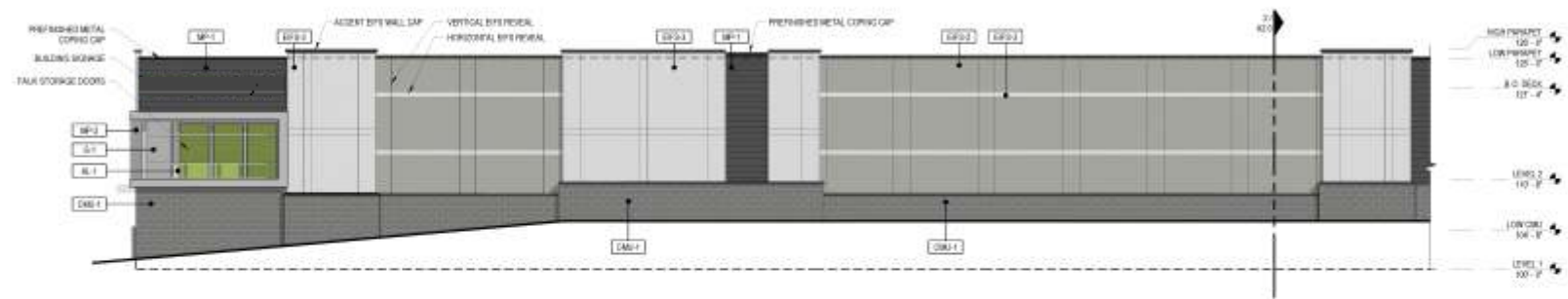
This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

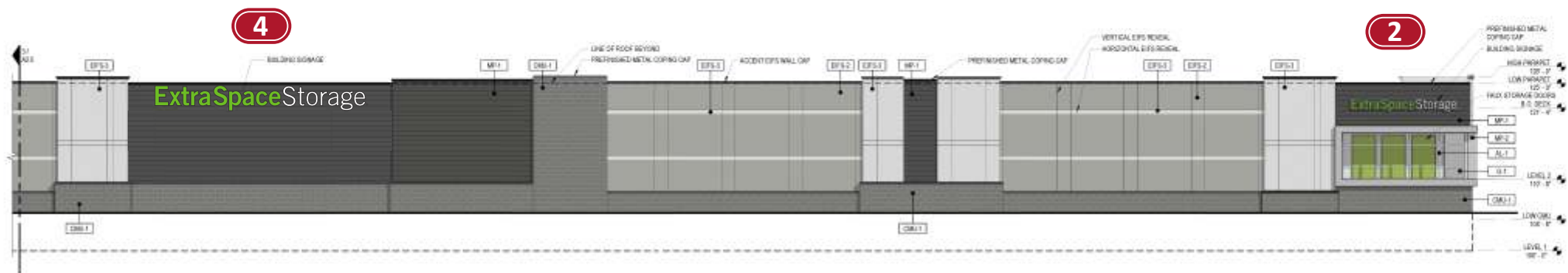
2



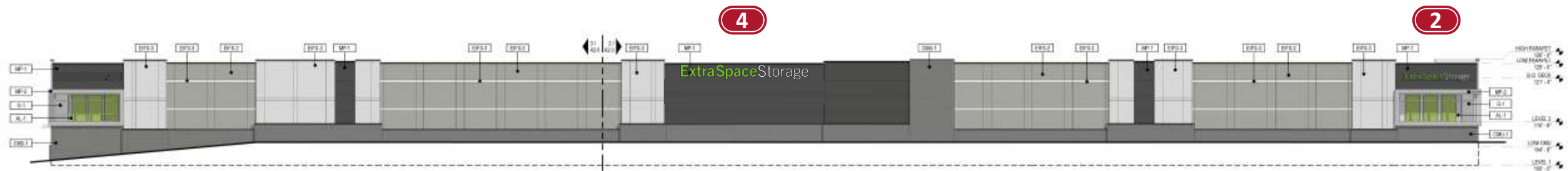
WEST ELEVATION



NORTH ELEVATION : PART 1



NORTH ELEVATION : PART 2



NORTH ELEVATION : COMPLETE



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

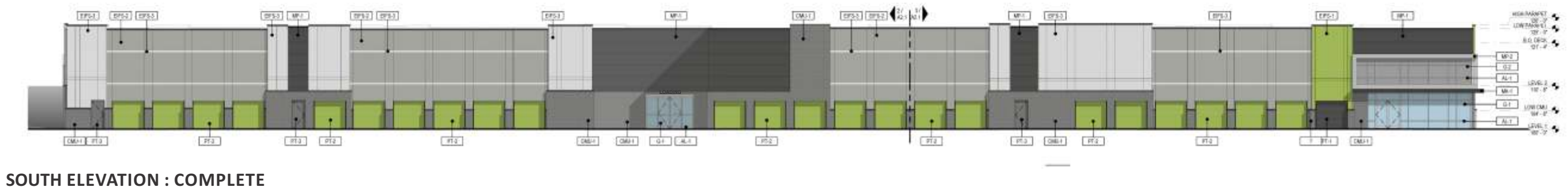
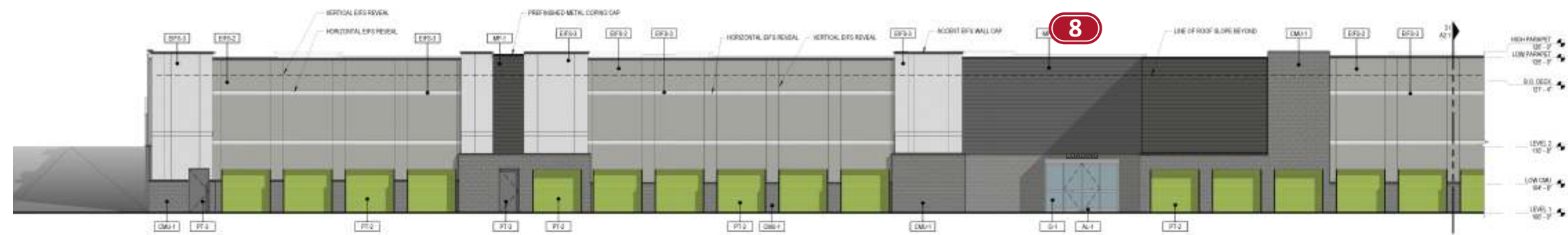
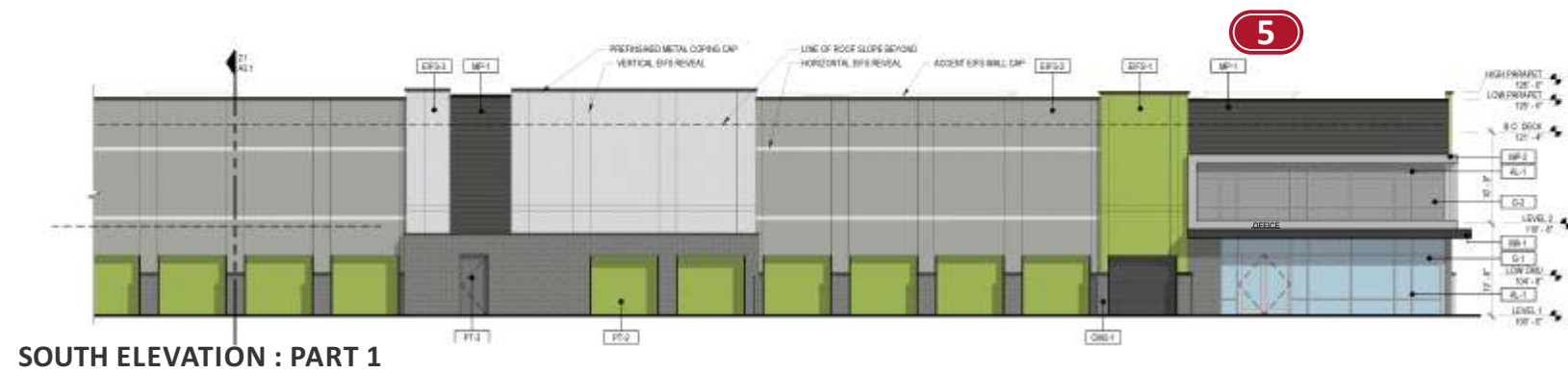
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

3



**700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353**

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 **Sales:** KB **Designer:** MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.

R2:MH:4/26/22: Revised adding additional signage.

R3:

R4:

R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

4



1/4" ALUMINUM PAINTED WHITE WITH ARLON #2500-022 BLACK VINYL COPY.
PIN MOUNT FLUSH TO FASCIA

SCALE: 3/4" = 1'-0"

29.5 SF

1 2 3

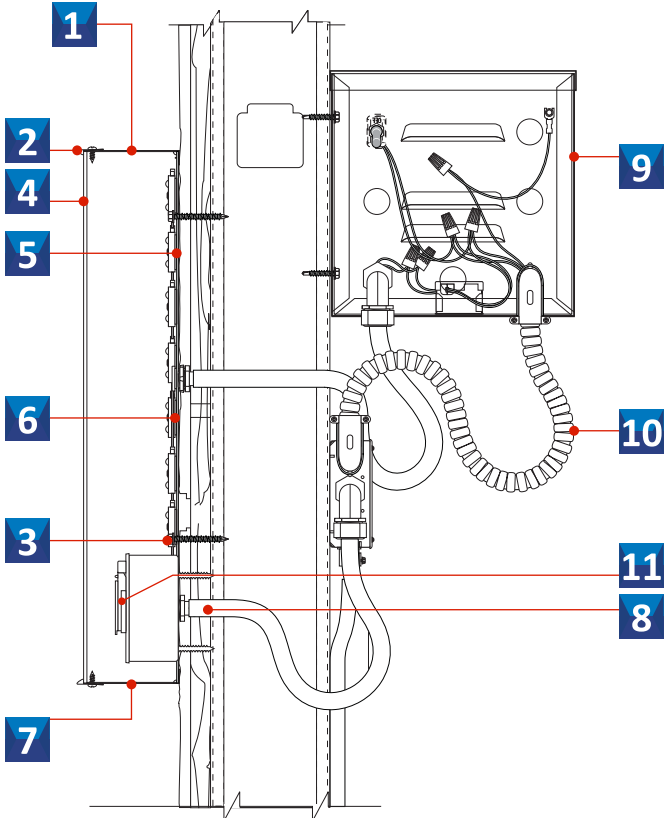
17 3/4" FACE-LIT, REMOTE CHANNEL LETTERS

(3) REQUIRED - FABRICATE AND INSTALL -

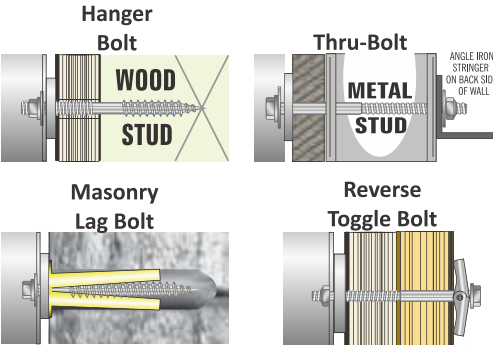
SPECIFICATIONS

- 1 5" DEEP FABRICATED ALUMINUM RETURNS SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 2 1" TRIM CAP RETAINER: METALLIC SILVER
- 3 NON-CORROSIVE INSTALLATION HARDWARE: GALVANIZED
- 4 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 5 TRUE WHITE STREET FIGHTER HEAVYWEIGHT LED MODULES
- 6 FLAT ALUMINUM BACK
- 7 1/4" WEEP HOLES (2) TWO PER LETTER
- 8 GROUNDED WALL PASS-THRU SEALED WATER TIGHT. WHIP ON LEFT SIDE.
- 9 LOW VOLTAGE ELECTRONIC POWER SUPPLY MOUNTED IN INTERIOR WALL AREA INSIDE A PROTECTIVE CASE/BOX
- 10 WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- 11 VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



*All Hardware to be Galvanized and Non Corrosive

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48" WILL CONSTRUCTED USING .040 ALUMINUM RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE CONSTRUCTED USING .063 ALUMINUM RETURNS & .090 ALUMINUM BACKS.

COLOR SCHEDULE

- GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
- GREY: SW 7067 CITY SCAPE PAINT
- METALLIC SILVER: TRIM CAP
- PERFORATED DAY / NIGHT VINYL
- BLACK: 2500-022 BLACK VINYL
- WHITE:



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

- R1:MH:4/19/22: Revised S3 location.
- R2:MH:4/26/22: Revised adding additional signage.
- R3:
- R4:
- R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

5



4 35 1/2" FACE-LIT, REMOTE CHANNEL LETTERS
(1) REQUIRED - FABRICATE AND INSTALL -

1/4" ALUMINUM PAINTED WHITE WITH ARLON #2500-022 BLACK VINYL COPY.
PIN MOUNT FLUSH TO FASCIA

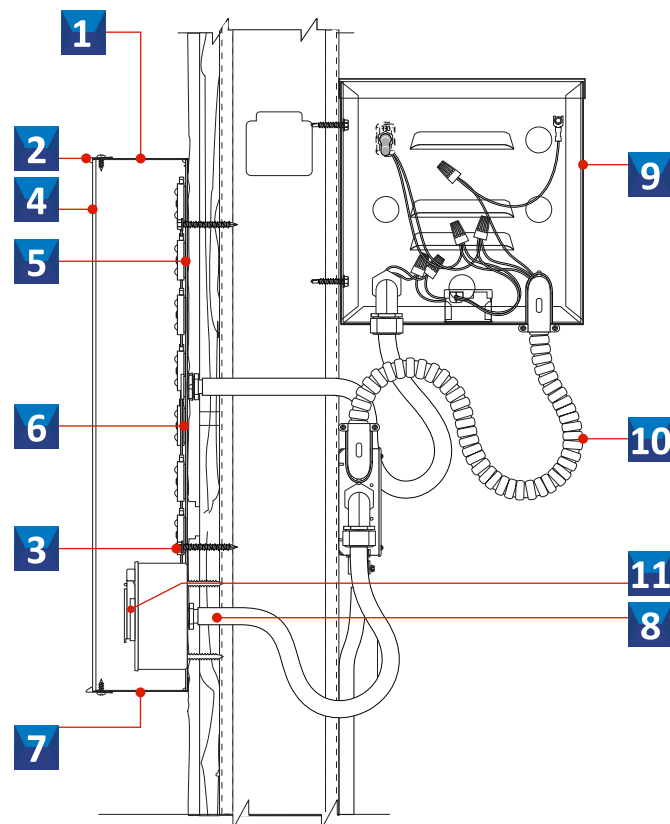
SCALE: 3/8" = 1'-0"

118.1 SF

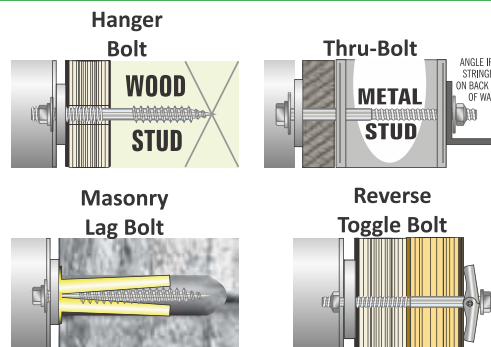
SPECIFICATIONS

- 1 5" DEEP FABRICATED ALUMINUM RETURNS
SEE MFG. NOTE FOR GUAGE. FINISHED GLOSS
BLACK, INTERIORS LIGHT ENHANCEMENT WHITE
- 2 1" TRIM CAP RETAINER: METALLIC SILVER
- 3 NON-CORROSIVE INSTALLATION HARDWARE:
GALVANIZED
- 4 3/16" TH. #7328 ACRYLIC FACE W/ 1ST SURFACE
TRANSLUCENT & PERFORATED VINYL AS SHOWN
- 5 TRUE WHITE STREET FIGHTER HEAVYWEIGHT
LED MODULES
- 6 FLAT ALUMINUM BACK
- 7 1/4" WEEP HOLES (2) TWO PER LETTER
- 8 GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE.
- 9 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN INTERIOR WALL AREA INSIDE A
PROTECTIVE CASE/BOX
- 10 WATERPROOF FLEXIBLE CONDUIT FOR WIRING
- 11 VISIBLE CUT-OFF SWITCH WITH FLIP COVER

SECTION DETAIL



MOUNTING DETAILS



*All Hardware to be
Galvanized and Non Corrosive

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48"
WILL CONSTRUCTED USING .040 ALUMINUM
RETURNS & .063 ALUMINUM BACKS.

CHANNEL LETTER SETS 48"-71" WILL BE
CONSTRUCTED USING .063 ALUMINUM
RETURNS & .090 ALUMINUM BACKS.

COLOR SCHEDULE

- GREEN:
2500-106 BRILLIANT GREEN VINYL
PANTONE 368 C GREEN
- GREY: SW 7067 CITY SCAPe PAINT
- METALLIC SILVER: TRIM CAP
- PERFORATED DAY / NIGHT VINYL
- BLACK: 2500-022 BLACK VINYL
- WHITE:



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

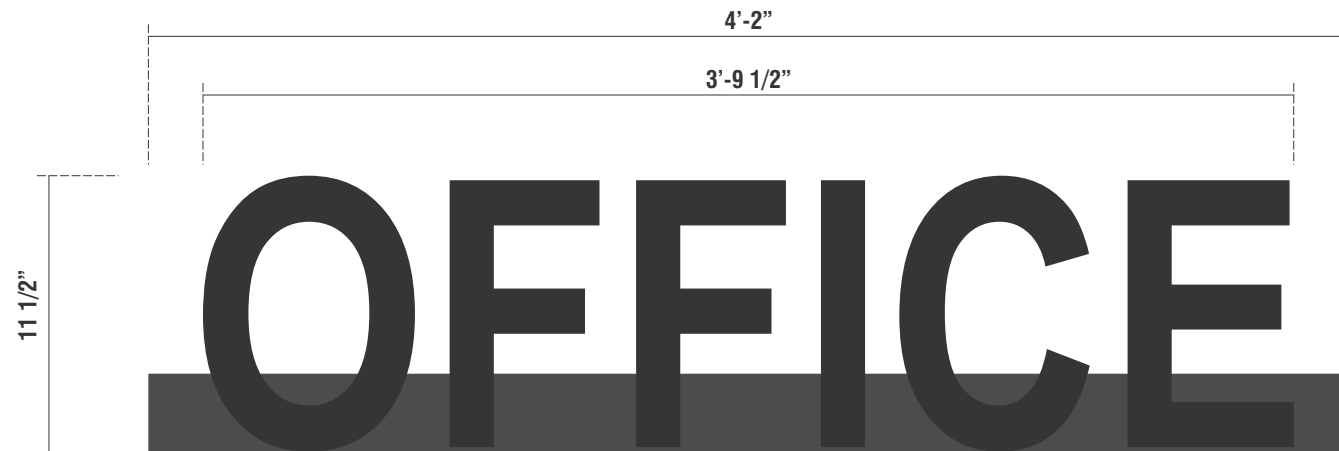
Dimensions are approximate & may change due to construction factors
or exact field conditions. Colors shown are as close as printing will allow.
Always follow written specifications.

ALL RIGHTS RESERVED:

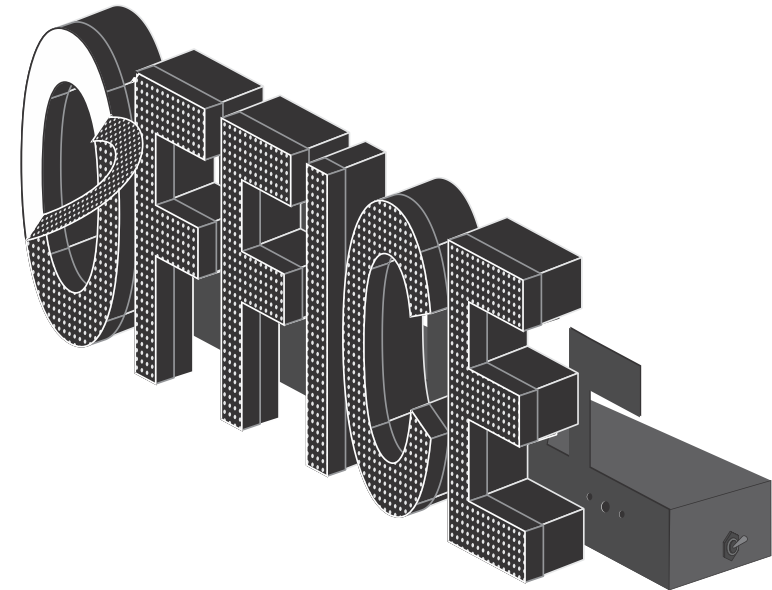
This design has been created for you in connection with a project being
planned for you by AD ART. It may not be shown to anyone outside your
organization, and may not be reproduced in any manner without prior
consent.

SHEET

6



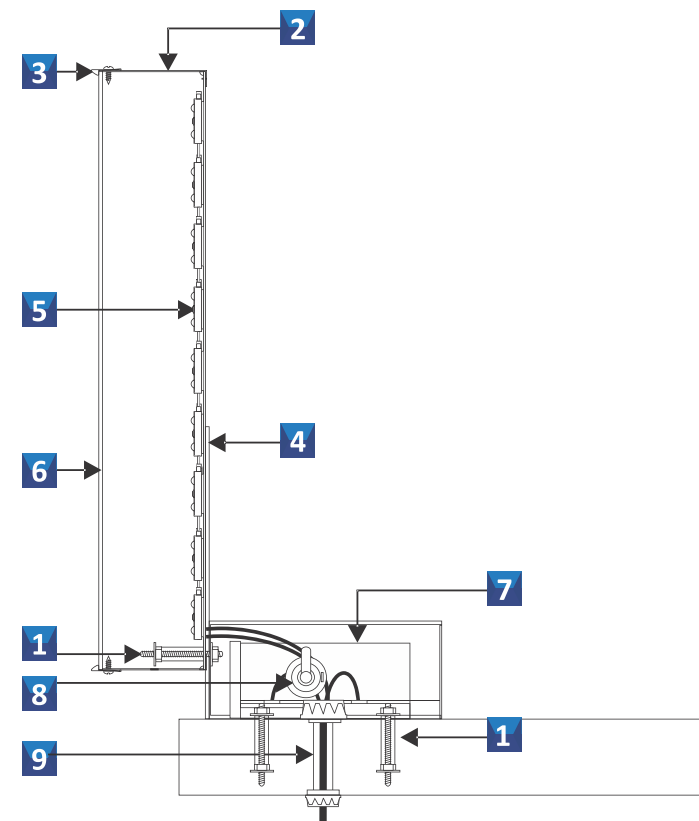
5 OFFICE SIGN
(1) REQUIRED - FABRICATE AND INSTALL -
SCALE: 1 1/2" = 1'-0"
3.99 SQ.FT.



SPECIFICATIONS

- 1 NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3 1" TRIM CAP RETAINER: BLACK
- 4 FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5 SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8 VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9 GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

SECTION DETAIL



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

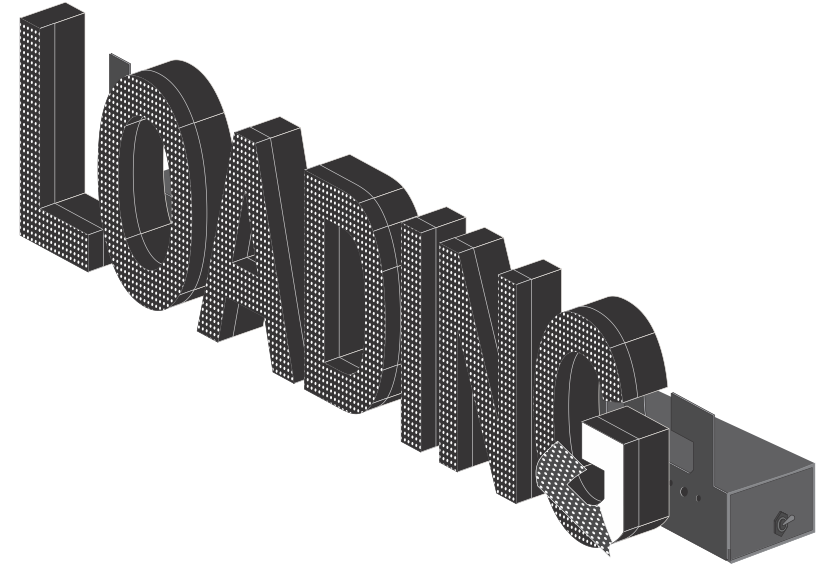
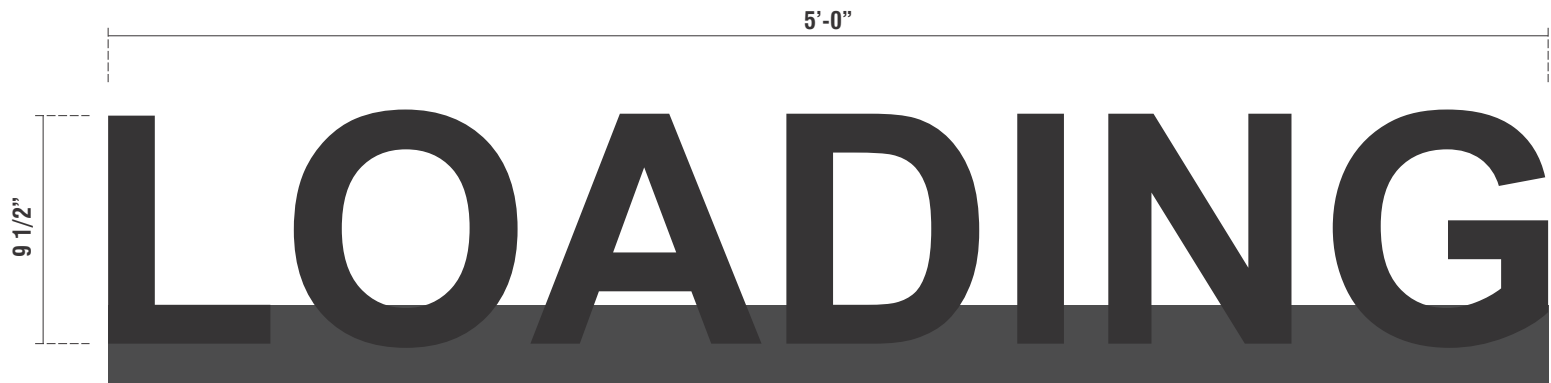
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:

This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET

7



6 7 8

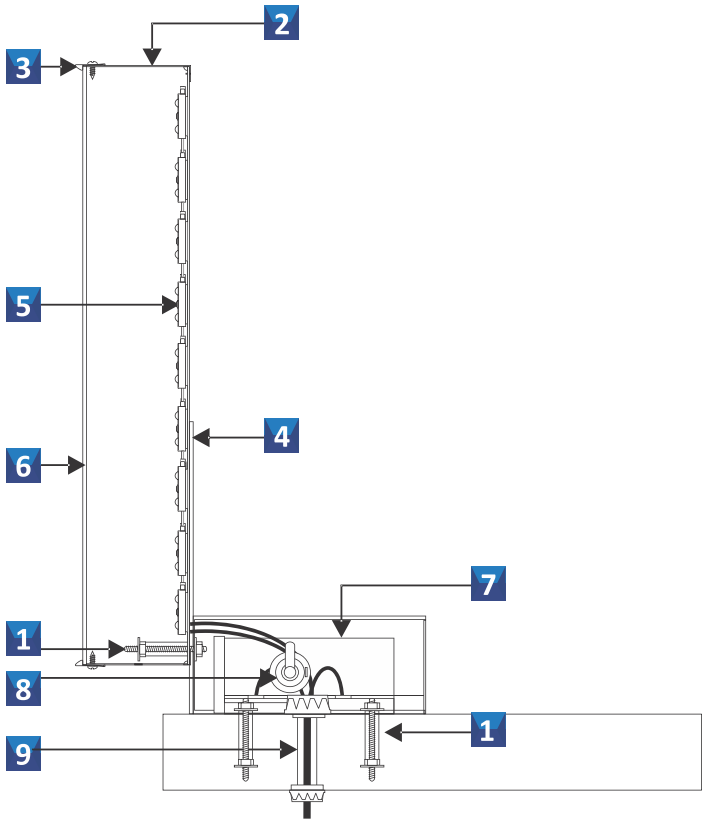
LOADING SIGN
(3) REQUIRED - FABRICATE AND INSTALL -

SCALE: 1 1/2" = 1'-0"
3.99 SQ.FT.

SPECIFICATIONS

- 1 NON-CORROSIVE INSTALLATION HARDWARE:
#10 1/4" PITCH SCREW GALVANIZED
- 2 3" DEEP FABRICATED ALUMINUM RETURNS
FINISHED GLOSS BLACK W/ INTERIORS FINISHED
LIGHT ENHANCEMENT WHITE
- 3 1" TRIM CAP RETAINER: BLACK
- 4 FLAT ALUMINUM BACK MOUNTED TO 1/2 HEIGHT
ALUMINUM PLATE ATTACHED BY #10 1/4" PITCH
GALVANIZED SCREW
- 5 SLOAN V180 MINI LED DIODE MODULE: WHITE
- 6 3/16" TH. #7447 ACRYLIC FACE W/ 1ST SURFACE
BLACK PERFORATED VINYL AS SHOWN
- 7 LOW VOLTAGE ELECTRONIC POWER SUPPLY
MOUNTED IN AN EXTRUDED .050 ALUMINUM
RACEWAY SUPPORT/WIRING BOX
PAINTED: **Sw7069 IRON ORE**
- 8 VISIBLE CUT-OFF SWITCH WITH FLIP COVER
- 9 GROUNDED WALL PASS-THRU SEALED WATER
TIGHT. WHIP ON LEFT SIDE

SECTION DETAIL



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH
File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.
R2:MH:4/26/22: Revised adding additional signage.
R3:
R4:
R5:

Approvals

Customer:

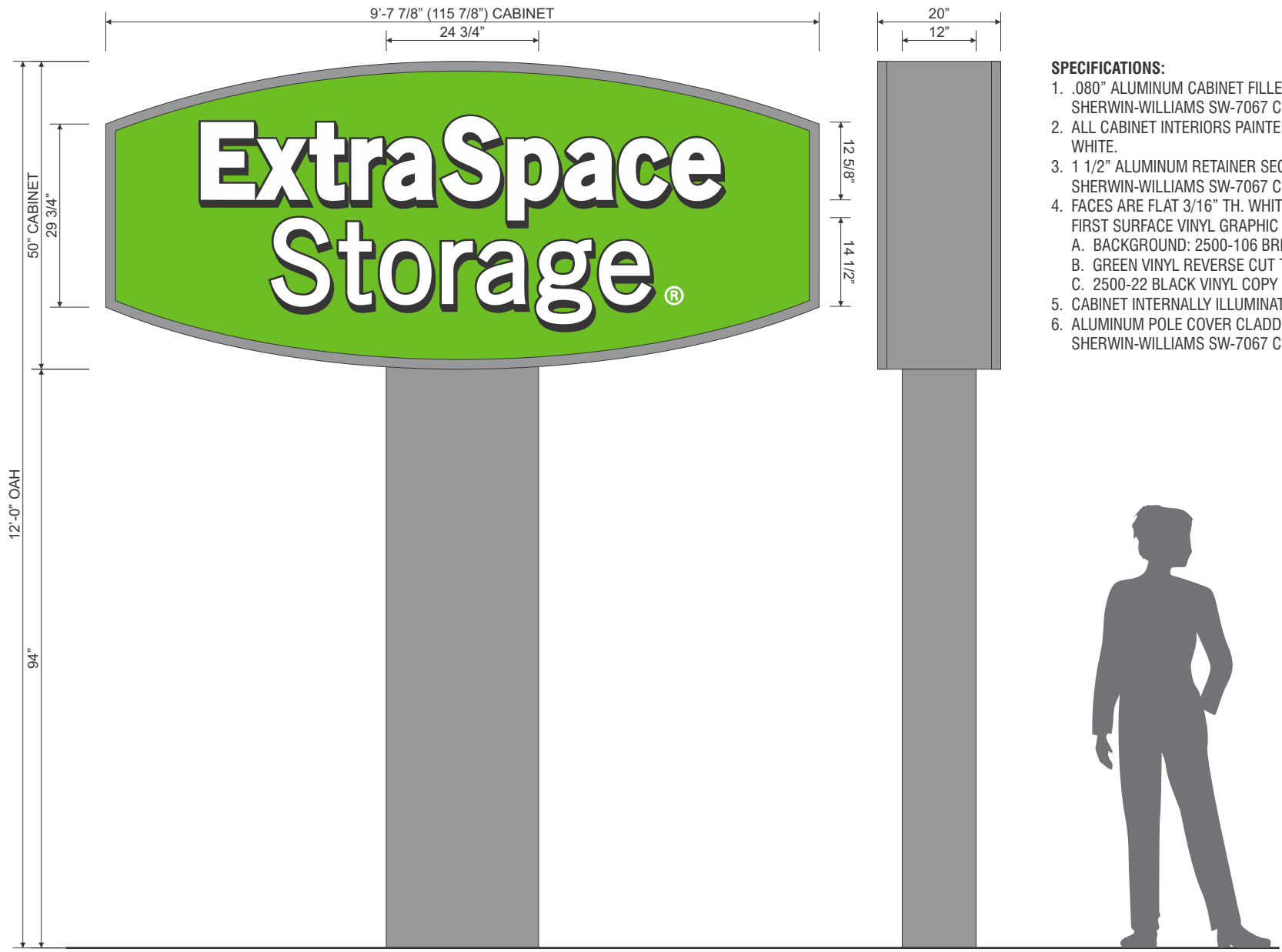
Landlord:

CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors
or exact field conditions. Colors shown are as close as printing will allow.
Always follow written specifications.

ALL RIGHTS RESERVED:
This design has been created for you in connection with a project being
planned for you by AD ART. It may not be shown to anyone outside your
organization, and may not be reproduced in any manner without prior
consent.

SHEET

8



- SPECIFICATIONS:**
- 1. .080" ALUMINUM CABINET FILLER PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
 - 2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE.
 - 3. 1 1/2" ALUMINUM RETAINER SECTIONS PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.
 - 4. FACES ARE FLAT 3/16" TH. WHITE POLYCARBONATE WITH FIRST SURFACE VINYL GRAPHIC OVERLAYS.
 - A. BACKGROUND: 2500-106 BRILLIANT GREEN VINYL
 - B. GREEN VINYL REVERSE CUT TO COPY THRU WHITE
 - C. 2500-22 BLACK VINYL COPY DROP SHADOW & DETAILS
 - 5. CABINET INTERNALLY ILLUMINATED WITH WHITE LEDS.
 - 6. ALUMINUM POLE COVER CLADDING PAINTED SHERWIN-WILLIAMS SW-7067 CITY SCAPE GRAY.

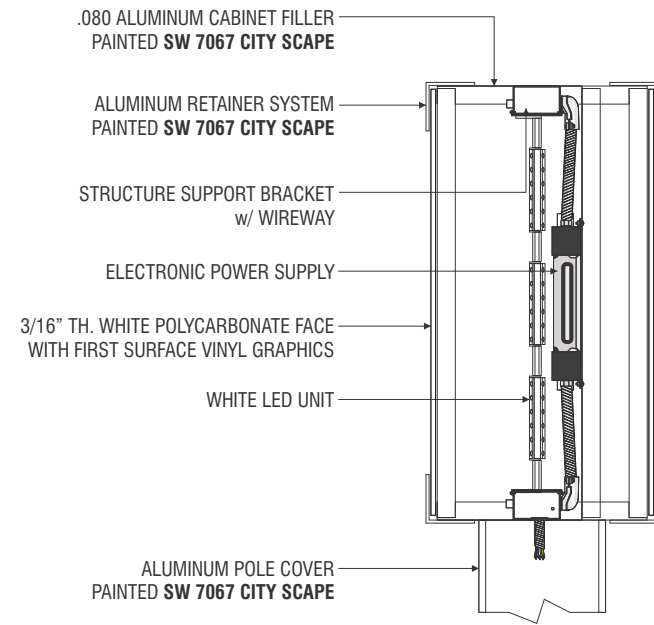


9

PYLON SIGN STRUCTURE
(1) REQUIRED - FABRICATE & INSTALL

SCALE: 1/2" = 1'-0"
Cabinet: 40.0 SF

COLOR SCHEDULE	
<div></div>	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
<div></div>	GREY: SW 7067 CITY SCAPE PAINT
<div></div>	METALLIC SILVER: TRIM CAP
<div></div>	PERFORATED DAY / NIGHT VINYL
<div></div>	BLACK: 2500-022 BLACK VINYL
<div></div>	WHITE:



SECTION DETAIL

700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Extra Space Storage

Location: 6855 Constitution Avenue
USA

Date: 4/18/22 Sales: KB Designer: MH

File Name: ESS - 6855 Constitution Ave

Revision

R1:MH:4/19/22: Revised S3 location.

R2:MH:4/26/22: Revised adding additional signage.

R3:

R4:

R5:

Approvals

Customer:

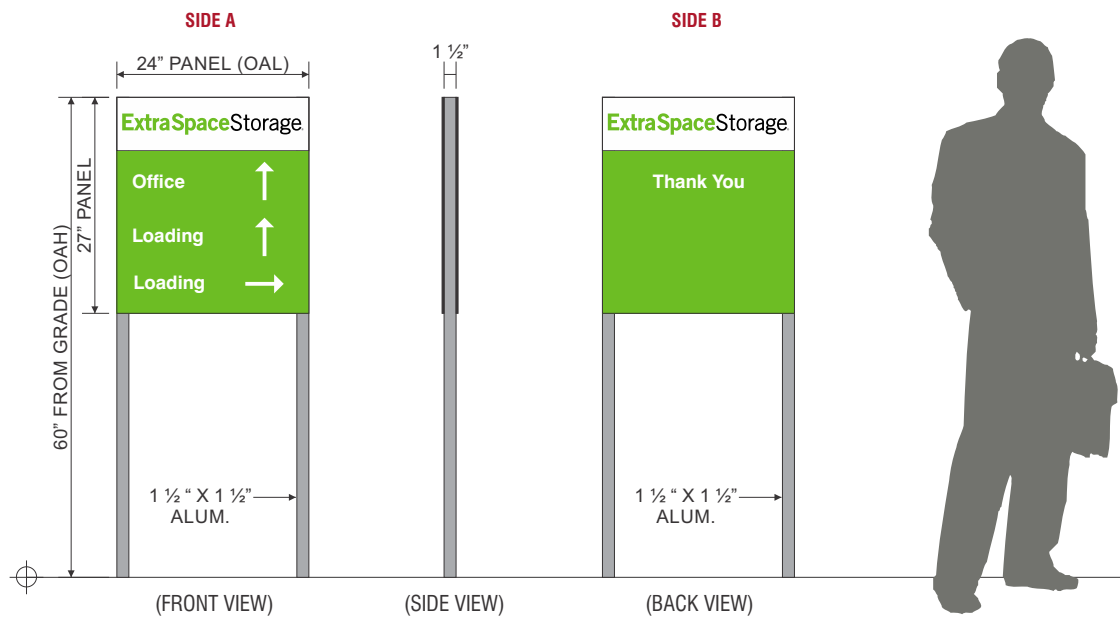
Landlord:

CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:
This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

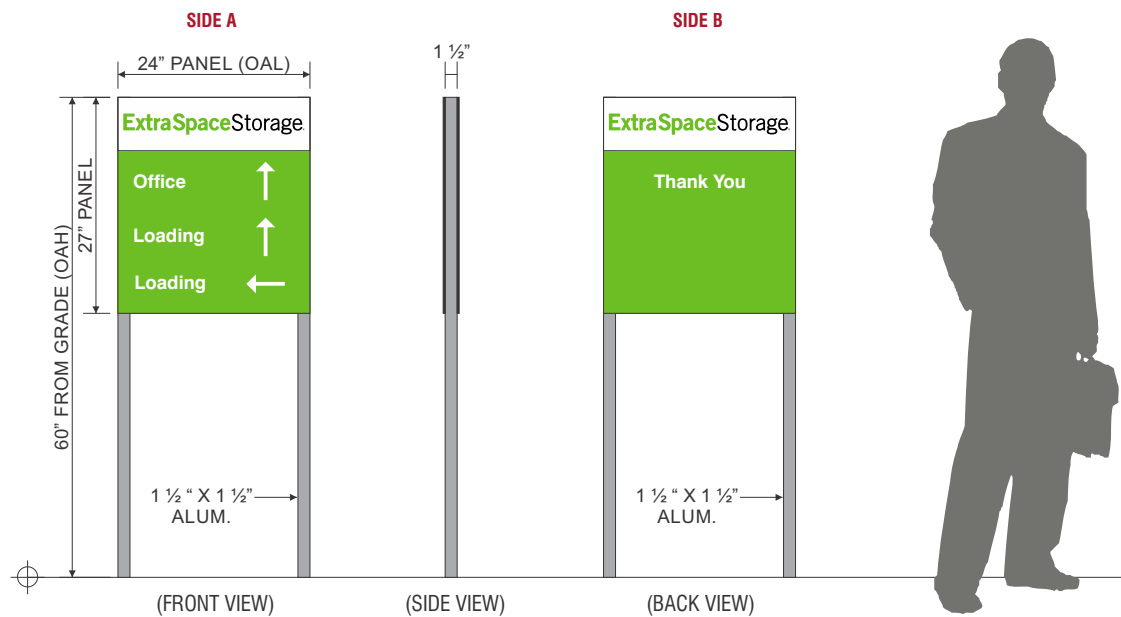
SHEET

9



10 D/F DIRECTIONAL GROUND SIGN: CANADA DR SCALE: 1/2" = 1'-0"
(1) QTY PANEL: 4.5 SF

- SPECIFICATIONS:
- 1. 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - 2. ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
 - 3. COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - 4. ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.



11 D/F DIRECTIONAL GROUND SIGN: PETERSON RD SCALE: 1/2" = 1'-0"
(1) QTY PANEL: 4.5 SF

- SPECIFICATIONS:
- 1. 1 1/2" SQUARE ALUMINUM FRAME STRUCTURE.
 - 2. ACM PANELS WITH DIRECT DIGITAL PRINT LOGO & GREEN BACKGROUND
 - 3. COPY & ARROWS ARE FIRST SURFACE REFLECTIVE VINYL OVERLAYS.
 - 4. ACM PANELS TO BE MECHANICALLY ATTACHED TO SUPPORT FRAME.

COLOR SCHEDULE	
	GREEN: 2500-106 BRILLIANT GREEN VINYL PANTONE 368 C GREEN
	GREY: SW 7067 CITY SCAPE PAINT
	METALLIC SILVER: TRIM CAP
	PERFORATED DAY / NIGHT VINYL
	BLACK: 2500-022 BLACK VINYL
	WHITE: