

PROJECT TEAM

APPLICANT LASCO DEVELOPMENT 1207 ANTOINE DRIVE HOUSTON, TX 77055 CONTACT: TODD WOMACK P: 713-961-0260 E: TWOMACK@LASCODEVELOPMENT.COM	ENGINEERING CONSULTANT K2 CIVIL CONSULTANTS INC 387 N. CORONA STREET, #605 DENVER, CO 80218 CONTACT: MICHAEL DRAGO P: 610-547-2267 E: MDRAGO@K2CIVILCONSULTANTS.COM
ARCHITECT DIMENSION GROUP 5600 S QUEBEC ST #205B GREENWOOD VILLAGE, CO 80111 TANNER KINDE P: (303) 244-5592 E: TKINDE@DIMENSIONGROUP.COM	LANDSCAPE ARCHITECT VALERIAN 165 S UNION BLVD, SUITE 366 LAKEWOOD, CO 80228 CONTACT: BRENT KASLON P: 303-656-8934 E: BKASLON@COMPANY.COM
SURVEYOR RIDGELINE LAND SURVEYING 575 VALLEY STREET, UNIT 3 COLORADO SPRINGS, CO 80915 P: 719-238-2917	ELECTRIC/NATURAL GAS MOUNTAIN VIEW ELECTRIC 11140 E WOODMEN RD FALCON, CO 80831 P: 800-388-9881

FIRE PROTECTION SECURITY PROTECTION DISTRICT 7600 WAYFARER DRIVE COLORADO SPRINGS CO 80925 P: 719-392-3271	SEWER AND WATER WIDEFIELD WATER AND SANITATION DISTRICT 8495 FONTAINE BLVD COLORADO SPRINGS, CO 80925 P: 719-390-7111
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LEGAL DESCRIPTION

LOT 1, WATERVIEW EAST COMMERCIAL FILING NO. 1, A TRACT OF LAND LOCATED IN A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. SAID LINE BEARS S89°51'23"E FROM THE NORTHWEST CORNER OF SAID SECTION (2 1/2" ALUM. CAP PLS 17664) TO THE N 1/4 CORNER OF SAID SECTION 9 (3 1/4" ALUM. CAP PLS 10377).

PROJECT BENCHMARK

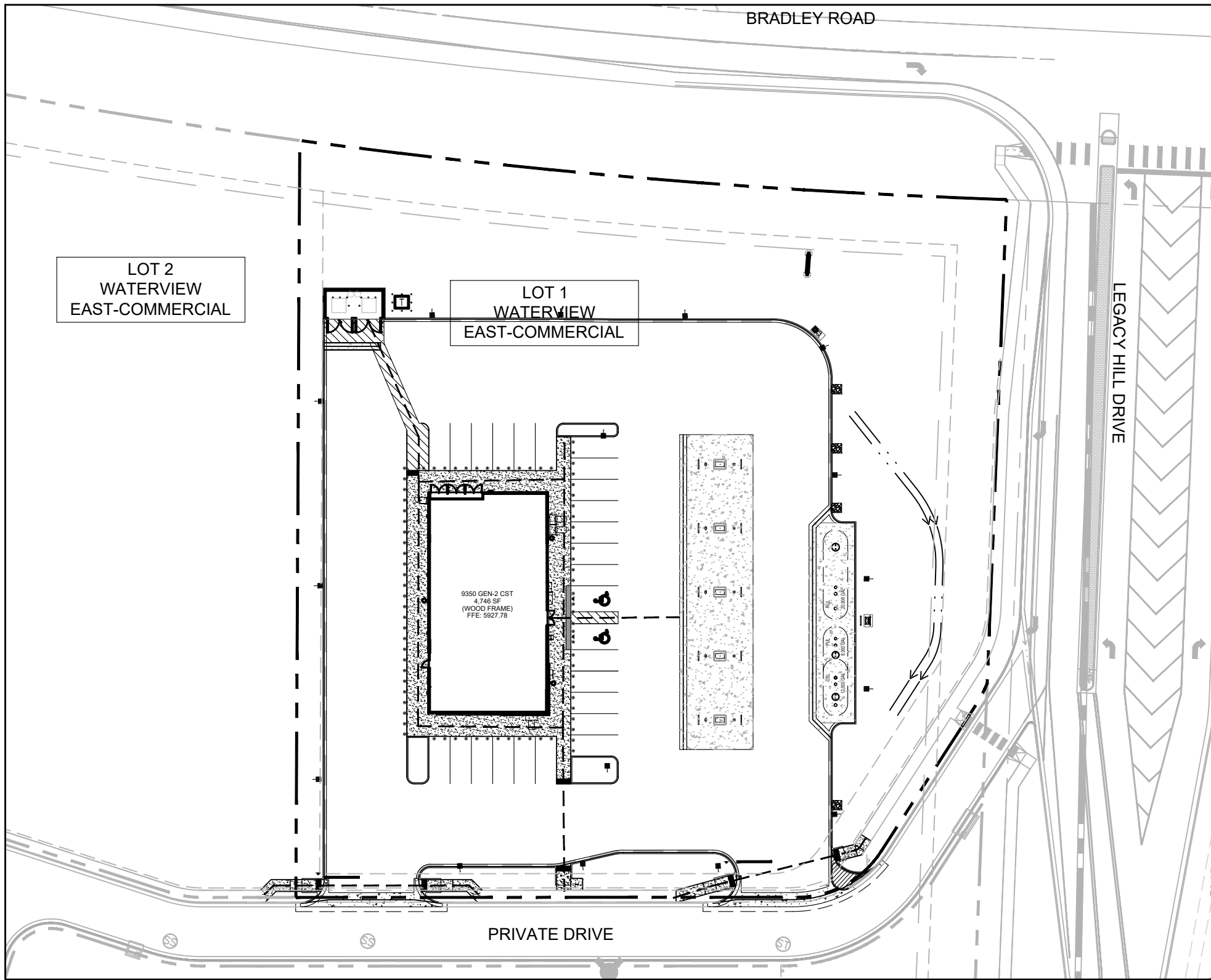
COLORADO SPRINGS UTILITY (FIMS) MONUMENT F208
A BERNTSEN TOP SECURITY MONUMENT SYSTEM WITH A 3.5 INCH DIAMETER ALUMINUM CAP IN A ROAD BOX, LOCATED AT THE NORTHWEST CORNER OF FONTAINE BOULEVARD AND POWERS BOULEVARD (NOW HIGHWAY 21)
ELEVATION - 5897.89' (NGVD 1929)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND ARE TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY UNLESS INFORMATION IS POTHOLED OR SURVEYED AS-BUILT PROVIDED FOR LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN THE CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.
- THE OWNER/CONTRACTOR MUST OBTAIN A C.D.P.S. STORM WATER DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, IF REQUIRED.
- CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS AS REQUIRED FOR ACCEPTANCE OF WORK FROM EL PASO COUNTY OR ANY OTHER GOVERNING AGENCY.
- CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL ENGINEERING STUDY DATED NOVEMBER 20, 2025 PREPARED BY KUMAR & ASSOCIATES, INC. AND THE ALTA/NSPS LAND TITLE SURVEY, PREPARED BY RIDGELINE LAND SURVEYING DATED AUGUST 5, 2025

7-ELEVEN STORE #42975 SITE #1057022 MAJOR SITE DEVELOPMENT PLAN

LOT 1, WATERVIEW EAST-COMMERCIAL SUBDIVISION, FILING NO. 1
A TRACT OF LAND LOCATED IN A PORTION OF SECTION 9
TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, STATE OF COLORADO.



SITE MAP
SCALE: 1" = 50'

K2 GENERAL NOTES

- NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
- ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
- GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND FOLLOW ALL UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS AND SPECIFICATIONS.
- GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT THE COMPLETION OF WORK.
- ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY AND COUNTY OF EL PASO COUNTY STANDARDS AND SPECIFICATIONS. LATEST REVISION THEREOF. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THESE MANUALS FROM EL PASO COUNTY FOR REFERENCE DURING ALL SITE CONSTRUCTION.
- THE STANDARDS AND SPECIFICATIONS SHALL GOVERN SHOULD A DISCREPANCY ARISE BETWEEN THE STANDARDS AND SPECIFICATIONS AND THE PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH EL PASO COUNTY STANDARDS AND SPECIFICATIONS.
- IF REQUIRED GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN WHICH SHALL BE SUBMITTED TO AND APPROVED BY EL PASO COUNTY ENGINEERING DEPARTMENT PRIOR TO ANY WORK IN THE PUBLIC R.O.W. CONTRACTOR IS RESPONSIBLE FOR SAFETY TO THE PUBLIC BY MINIMIZING THE INTERRUPTION OF THE USE OF ROADS AND PROVIDING SIGNS, FLARES, BARRICADES, ETC. AS NECESSARY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITIES WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY LINES IN THEIR EXISTING OR RELOCATED POSITION WHICH COULD CREATE A HAZARDOUS CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND TESTING REQUIRED FOR APPROVAL OF WORK.
- NOTES LOCATED ON ANY SHEET IN THE SET ARE APPLICABLE TO ENTIRE SET.

SHEET INDEX

REV	Sheet Title	Sheet Number
	COVER SHEET	C0.0
	K2 GENERAL NOTES AND LEGENDS	C0.1
	SITE PLAN	C1.1
	SITE PLAN DETAILS	C1.2

ENGINEERS STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

ENGINEER OF RECORD SIGNATURE _____ DATE _____

OWNER'S STATE

I, _____, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

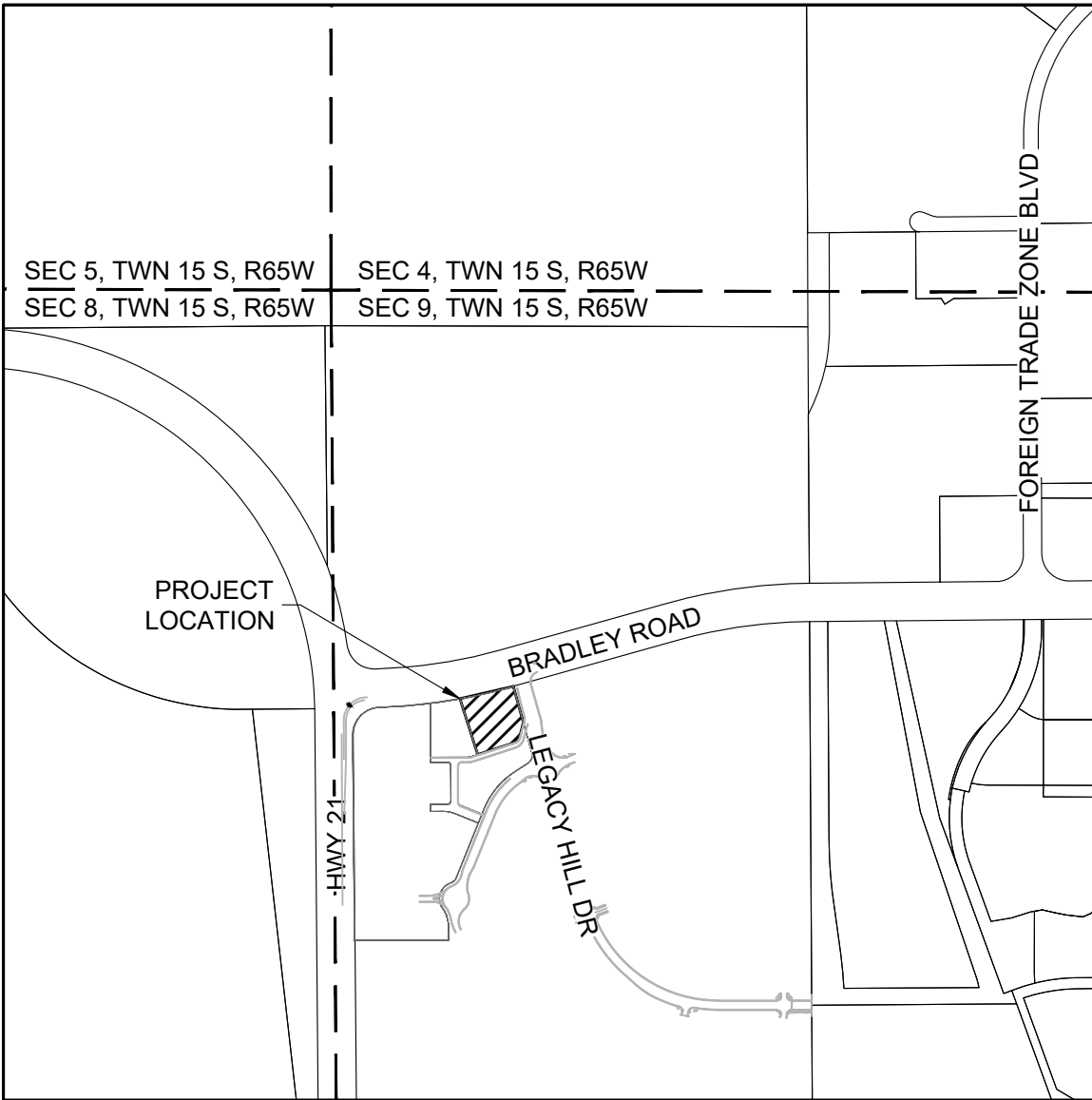
OWNER SIGNATURE _____ DATE _____

EL PASO COUNTY STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

COUNTY PROJECT ENGINEER SIGNATURE _____ DATE _____



VICINITY MAP
SCALE: 1" = 1000'



PRELIMINARY NOT
FOR
CONSTRUCTION

MAJOR SITE DEVELOPMENT PLAN
7-ELEVEN - STORE #42975
SITE #1057022
BRADLEY ROAD AND LEGACY DRIVE
COVER SHEET

DATE	BY	REVISION	No.	PROJECT NO:	LAS008.01
				DESIGNED BY:	MRD
				REVIEWED BY:	MRD
				DATE:	04/24/2026

C0.0

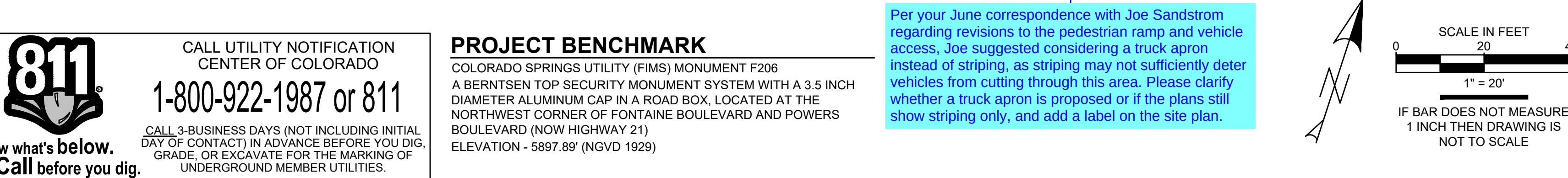


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

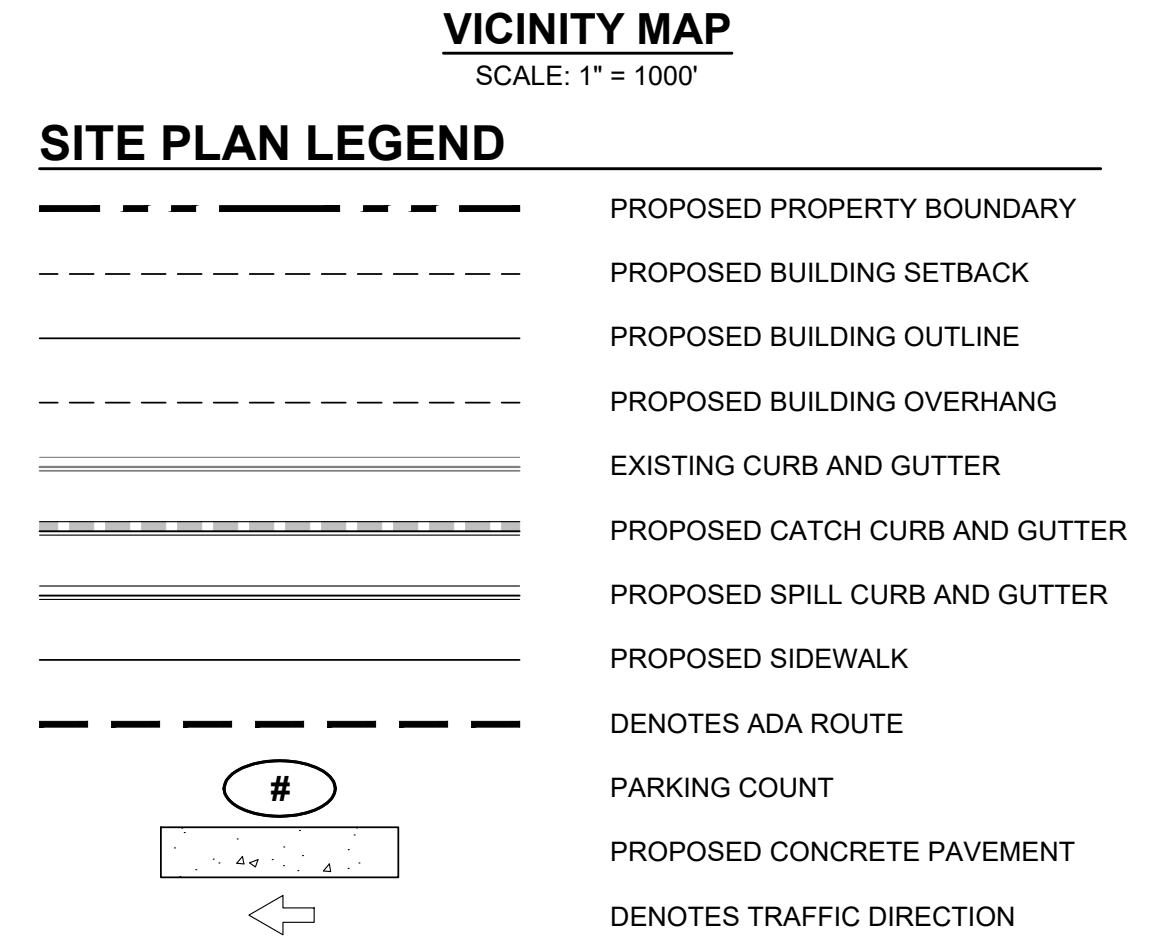
Know what's below.
Call before you dig.

PLANNING AND COMMUNITY
DEVELOPMENT DIRECTOR STAMP
PCD FILE NO. PPR-2614



- 1 PROPOSED SIDEWALK TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
- 2 PROPOSED CURB AND GUTTER TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
- 3 PROPOSED SANITARY INFRASTRUCTURE TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
- 4 PROPOSED STORMWATER INFRASTRUCTURE TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
- 5 PROPOSED HYDRANT TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
- 6 PROPOSED BUILDING ENTRY - REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER FOR EXACT LOCATION.
- 7 PROPOSED PRIVATE ON-SITE CONCRETE SIDEWALK. REFER TO DETAIL 4/C5.1.
- 8 PROPOSED 6" PIPE BOLLARD SPACED AT 4.5' O.C.. REFER TO DETAIL 1/C5.4.
- 9 PROPOSED STANDARD 6" CURB & GUTTER PER DETAIL 2/C5.2
- 10 PROPOSED ADA CURB RAMP PER EL PASO COUNTY STD. DWG. NO SD_-241 SHOWN ON SHEET C5.4
- 11 PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN. REFER TO DETAIL 7/C5.2.
- 12 PROPOSED ADA PARKING SIGN. REFER TO DETAIL 7/C5.2.
- 13 PROPOSED PAINT HC PARKING SYMBOL. REFER TO DETAIL 8/C5.2.
- 14 PROPOSED PEDESTRIAN ADA ROUTE.
- 15 PROPOSED PAINT 4' 90 DEGREE SOLID WHITE PARKING STRIPE (TYP.)
- 16 PROPOSED PAINT 4' 45" SOLID WHITE PARKING STRIPE (TYP.)
- 17 PROPOSED BIKE RACK (1 SPACE PROVIDED). SEE DETAIL 6/C5.4.
- 18 PROPOSED TRASH ENCLOSURE. SEE SHEET C1.2 FOR SCREENING HEIGHT, MATERIALS, AND COLOR.
- 19 PROPOSED ADA COMPLIANT 3' CONCRETE V-PAN. REFER TO DETAIL 9/C5.2.
- 20 PROPOSED AIR-VAC. REFER TO DETAIL 5/C5.4.
- 21 PROPOSED 6" CROSSPAV AT ACCESS POINT PER EL PASO COUNTY STANDARD DETAIL SD_-226 SHOWN ON SHEET C5.4.
- 22 PROPOSED 2' SAWCUT FROM EXISTING EDGE OF GUTTER.
- 23 PROPOSED UNDERGROUND FUEL TANKS AND CONCRETE PAD. REFER TO FUELING DRAWINGS UNDER SEPARATE COVER FOR ADDITIONAL DETAIL.
- 24 PROPOSED FUELING VENT RISER. REFER TO FUELING DRAWINGS UNDER SEPARATE COVER FOR ADDITIONAL DETAIL.
- 25 PROPOSED 5 MPD FUELING CANOPY. REFER TO ARCHITECTURAL AND FUELING DRAWINGS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION.
- 26 PROPOSED OUTDOOR MISCELLANEOUS MERCHANDISE - REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER FOR ADDITIONAL DETAIL.
- 27 PROPOSED GREASE INTERCEPTOR. REFER TO THE DETAIL 8/C5.3 FOR ADDITIONAL DETAIL.
- 28 PROPOSED 6" SANITARY CLEANOUT. REFER TO DETAIL 5/C5.3 FOR ADDITIONAL DETAIL.
- 29 PROPOSED STORMWATER INFRASTRUCTURE. REFER TO THE DRAINAGE DRAWING C4.2 FOR ADDITIONAL DETAIL.
- 30 PROPOSED 8' X 8' ELECTRICAL TRANSFORMER PAD. GENERAL CONTRACTOR TO PROVIDE CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS. REFER TO MEP PLANS FOR TRANSFORMER DESIGN UNDER SEPARATE COVER.
- 31 PROPOSED SITE LIGHTING AND POLE BASE. REFER TO PHOTOMETRIC SHEET AND DETAIL 8/C5.4 FOR ADDITIONAL DETAIL. CENTER THE BASES FOR AREA LIGHTS AT 5' O.C. BEHIND THE FACE OF CURB. SEE MEP PLANS UNDER SEPARATE COVER FOR UTILITY INFO.
- 32 PROPOSED STOP SIGN (MUTCD R1-1 - 30"X30") AND "RIGHT TURN ONLY" SIGN (MUTCD R3-5R - 30"X12") BELOW IT WITH 12" WHITE STOP BAR. REFER TO DETAIL ON SHEET C5.1 FOR ADDITIONAL DETAIL.
- 33 PROPOSED 24'-6" TALL PYLON SIGNAGE - 49 SQ FT - REFER TO SIGNAGE PLANS UNDER SEPARATE COVER FOR ADDITIONAL DETAIL.
- 34 PROPOSED 3' CURB CUT W/ 4'X4' TYPE L RIPRAP.
- 35 PROPOSED 3' GRASS SWALE - REFER TO SHEET C2.2 FOR GRADING DETAIL.
- 36 PROPOSED 6" STANDING CURB PER DETAIL 1/C5.2.
- 37 PROPOSED TRUNCATED DOME PAD
- 38 PROPOSED CO2 TANK AND ENCLOSURE

	PROPOSED WATER MAIN TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
51	PROPOSED WATER STUB TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
52	PROPOSED SANITARY MAIN TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
53	PROPOSED SANITARY STUB TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
54	PROPOSED UNDERGROUND STORMWATER LINE TO BE CONSTRUCTED BY OTHERS UNDER WATERVIEW EAST COMMERCIAL FILING NO. 1 FINAL PLAT, PCD FILE NO. SF269 (TYP.)
55	EXISTING GAS MAIN LOCATED WITHIN LEGACY HILL DRIVE (FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR).
56	EXISTING ELECTRIC MAIN TO REMAIN.
57	EXISTING TELECOM SERVICE TO REMAIN.
58	PROPOSED SANITARY SERVICE LINE.
59	PROPOSED WATER SERVICE LINE.
60	PROPOSED UNDERGROUND STORMWATER INFRASTRUCTURE.
61	PROPOSED GAS SERVICE - LOCATION IS APPROXIMATE AND TO BE COORDINATED BETWEEN THE GC AND UTILITY PROVIDER.
62	PROPOSED ELECTRIC SERVICE - LOCATION IS APPROXIMATE AND TO BE COORDINATED BETWEEN THE GC AND UTILITY PROVIDER.
63	PROPOSED TELECOM SERVICE - LOCATION IS APPROXIMATE AND TO BE COORDINATED BETWEEN THE GC AND UTILITY PROVIDER.



SUMMARY TABLE	
OWNER	WATERVIEW COMMERCIAL DEVELOPERS LLC (HEATH HERBER) 719-331-0083 HHERBER@WHEATLANDSCAPITAL.COM
APPLICANT	K2 CIVIL CONSULTANTS INC (MICHAEL DRAGO) 610-547-2267 MORAGO@K2CIVILCONSULTANTS.COM
PROPERTY ADDRESS	SEC BRADLEY AND POWERS BLVD (NO ADDRESS ASSIGNED)
PROPERTY TAX SCHEDULE NUMBER	550920004
CURRENT ZONING	CS (COMMERCIAL SERVICES DISTRICT)
LEGAL DESCRIPTION	LOT 1, WATERVIEW EAST COMMERCIAL FILING NO. 1
LOT/PARCEL SIZE	1.99 AC
LOT AREA COVERAGE	62.00%
EXISTING LAND USE	VACANT LAND
PROPOSED LAND USE	FUELING STATION W/ CONVENIENCE STORE
TOTAL GROSS BUILDING SF	4,751 SF
OPEN SPACE, LANDSCAPING, AND IMPERMEABLE SURFACE PERCENTAGE	33,105 SF
PARKING REQUIREMENTS	
REQUIRED	PROVIDED
STANDARD: 20 STALLS (1 PER EMPLOYEE ON SHIFT (5) AND 3 SPACES PER FUELING BAY)	24 STALLS
ADA: 1 VAN	1 VAN, 1 ACCESSIBLE

PLANNING AND COMMUNITY
DEVELOPMENT DIRECTOR STAMP
PCD FILE NO. PPR-2614



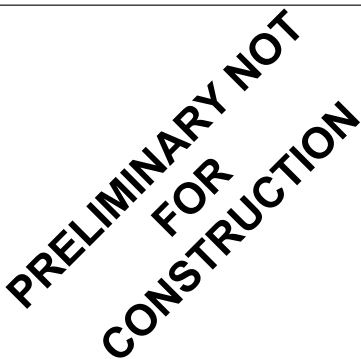
**MAJOR SITE DEVELOPMENT PLAN
7-ELEVEN - STORE #42975
SITE #1057022
BRADLEY ROAD AND LEGACY DRIVE
SITE PLAN**

SITE PLAN

[illegible]

C1.1

NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.		
FINISH	MATERIAL	PATTERN
EIFS-1	DRYVIT EIFS - "104 DOVER SKY"	
FC-1	FIBER CEMENT PANEL NICHIAH VINTAGE WOOD - "CEDAR"	
MT-1	CORRUGATED METAL - "BURNISHED SLATE"	
MT-2	PRE-FINISHED METAL COPING & COMPRESSION EDGE - "COAL BLACK"	
MT-3	MAPES PRE-FINISHED ALUMINUM CANOPY - "MATTE BLACK"	
S-1	KAWNEER ALUMINUM STOREFRONT FRAMING - "#29 BLACK"	
P-1	PAINT - SW 6072 - "VERSATILE GRAY"	
P-3	PAINT - SW 6258 - "TRICORN BLACK"	
CMU-1	TEXAS BUILDING PRODUCTS 8" INTEGRALLY-COLORED CMU - "COMAL"	



**MAJOR SITE DEVELOPMENT PLAN
7-ELEVEN - STORE #42975
SITE #1057022
BRADLEY ROAD AND LEGACY DRIVE
SITE PLAN DETAILS**

SITE PLAN DETAILS

[illegible]

C1.2



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