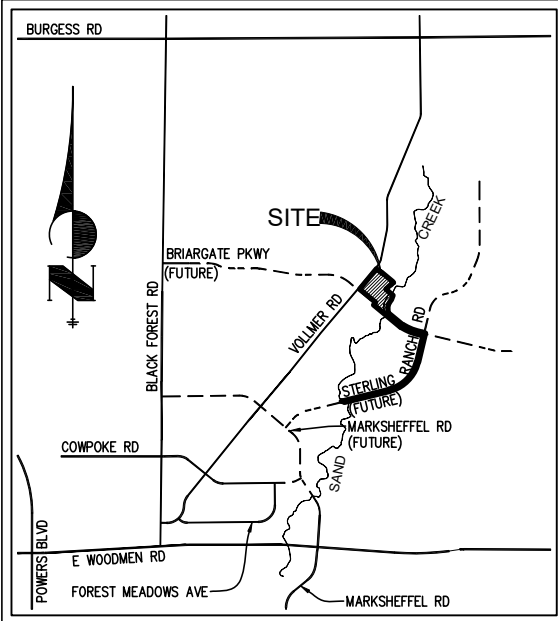


SUPERINTENDENT NOTES

1. MANAGER SIGNATURE
2. CURB DAMAGE
3. DIG START DATE
4. DIG FINISH DATE
5. SUPER/OPERATOR MEETING DATE
6. OPEN HOLE CALL DATE
7. FOUNDATION BRACED & WINDOW WELL
INSTALLATION DATE
8. SUPER INSPECTION OF BACKFILL DATE
9. GRADE OF BACKFILL

NOTE:
PATIO IS COVERED AND IS INCLUDED IN
LOT COVERAGE.

SAM BASS DR.
(50' R.O.W.)



VICINITY MAP
N.T.S.

45% LOT COVERAGE

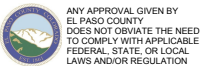
ALL AREAS COVERED BY ROOF ARE ALWAYS
INCLUDED IN BUILDING SIZE.

SFD25691
PLAT 15218
RS-6000

APPROVED
Plan Review

07/11/2025 1:34:16 PM
dsdrangel

EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OBVIATE THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION

Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.

An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.

Division of blockage of any drainage way
is not permitted without approval of the
Planning & Community Development Department.

APPROVED
BESQCP

07/11/2025 1:34:24 PM
dsdrangel

EPC Planning & Community
Development Department



It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.

ASPEN VALLEY RD
(50' R.O.W.)

25' HOUSE SETBACK

Released for Permit

07/10/2025 9:55:56 AM

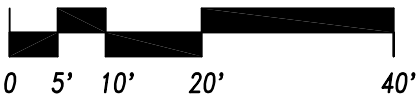


Becky A

ENUMERATION



SCALE 1"=20'



LEGAL DESCRIPTION

ADDRESS: 8199 PERRY OWENS DR
DESCRIPTION: LOT 38, FILING 2
HOMESTEAD NORTH AT STERLING RANCH
COLORADO SPRINGS, COLORADO
EL PASO COUNTY

CLASSIC
HOMES

2138 Flying Horse Club Dr.

Colorado Springs, Colorado 80921

(719) 542-4333

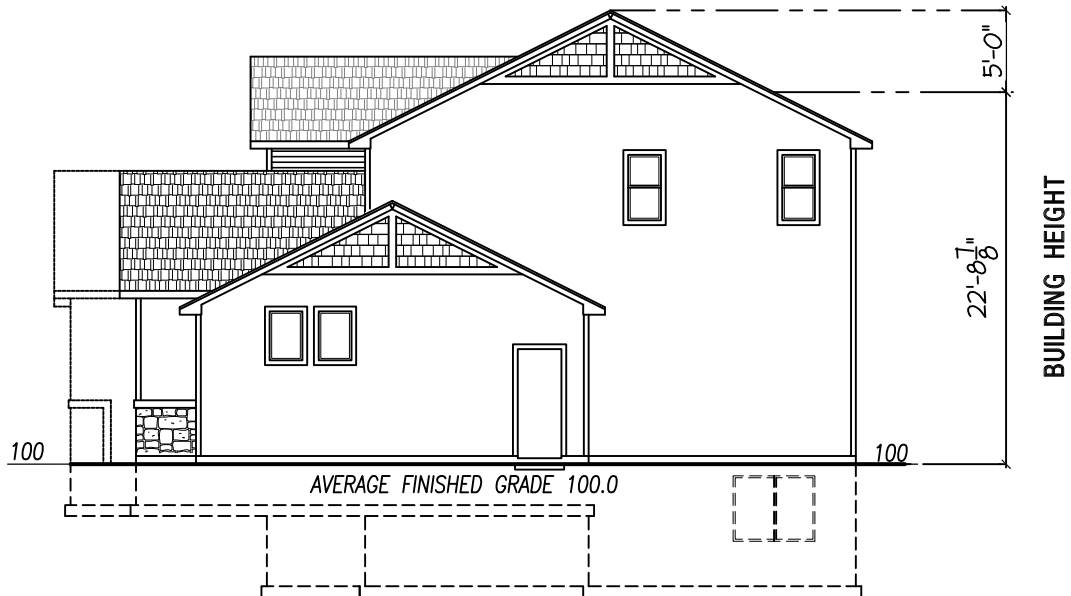
TAX ID #52284|0040

PLOT PLAN

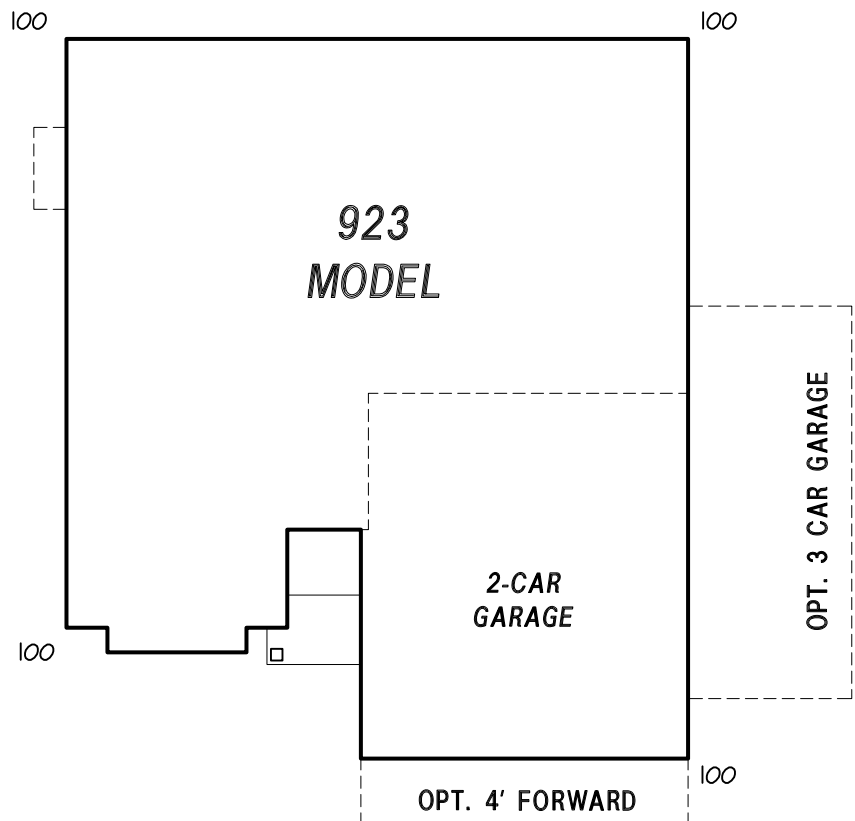
Drawn by: NH

PUD

7-8-2025



Height Calculation Diagram
N.T.S.



HEIGHT CALCULATIONS
4 CORNERS @ 100 = 400
TOTAL: 400
 $400 \div 4 = 100$
(AVERAGE FINISH GRADE)



ROAD IMPACT FEE PROGRAM - Credit Use Authorization Receipt

Form Valid until 12/31/2025

To use your credits to offset the Road Impact fee applied as part of the Site Plan Review process: ① Complete this form and send to RoadFee@elpasoco.com for an approval signature by a County Representative. ② The signed form will be returned to you via email. ③ Include this form with the Site Plan document package submitted for review. ④ The credits will be applied after the Site Plan Review approval and when you pay associated fees for building permits. **A separate form is required for each lot. *Credits are deducted when this form is signed *You cannot use credits without this signed form and a valid parcel and schedule number.*

**Site Plan document packages may be submitted either by using Regional's on-line Building Department Assistant program or by taking a paper copy of your Site Review document package to the Planning and Community Development front desk.*

7-8-2025

Date Submitted

Owner of Credits

Elite Properties of America

Company

Doug Stimple

Name

719-592-9333

Phone number

dstimple@classichomes.com

Email address

2138 Flying Horse Club Drive

Address

Colorado Springs, CO 80921

City State Zip

1-1-2025

Signature Date

Credit Holder Signature

Authorized Representative (if applicable)

Classic Homes

Company

NICHOLAS HANSEN

Name

719-785-3316

Phone number

NHANSEN@CLASSICHOMES.COM

Email address

2138 Flying Horse Club Drive

Address

Colorado Springs, CO 80921

City State Zip

Property Information

Address: 8199 Perry Owens Dr

Parcel # 5228410040

Legal Description: Lot 38 Blk _____ HOMESTEAD NORTH AT STERLING RANCH FIL. NO. 2

Type of land use: ☒ Single family dwelling ☐ Other _____

Fee/Unit category In a PID: ☒ Yes ☐ No Mill Levy: ☐ 5 mills ☒ 10 mills

Credit amount to be used: \$ 293.00 Credit Balance: \$ 135944.00

COUNTY USE ONLY BELOW THIS LINE

Credit Use Approval

Authorization tracking # EP869

Date Approved 7/8/2025

Approved by TL

Credit balance before use \$ 136,237

Credit use amount per lot \$ 293.00

Credit balance after use \$ 135,944.00

Site Plan Review

Date Received 7/11/2025

Received by dsdrangel

SFD SFD25691

Other _____

SITE



2023 PPRBC
2021 IECC Amended

Address: 8199 PERRY OWENS DR, COLORADO SPRINGS

Parcel: 5228410040

Plan Track #: 203588



Received: 10-Jul-2025 (BECKYA)

Description:

RESIDENCE

Type of Unit:

Garage	443	
Lower Level 2	2078	
Main Level	1058	
Upper Level 1	1221	
	4800	Total Square Feet

Required PPRBD Departments (2)

Enumeration	Floodplain
APPROVED BECKYA 7/10/2025 9:56:08 AM	(N/A) RBD GIS

Required Outside Departments (1)

County Zoning
APPROVED <u>Plan Review</u> 07/11/2025 1:48:03 PM <i>dsdrangel</i> EPC Planning & Community Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.