

FILE LOCATION: S:\2011\2012\006.LORSON RANCH AREA.D\F-H100.DWG\04 PLAN SET\SIDE DEVELOPMENT PLAN\CS01.DWG

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

GENERAL PROVISIONS:

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) IS TO PROVIDE FOR 994 SINGLE-FAMILY DETACHED RESIDENTIAL UNITS, OPEN SPACE, UTILITIES, AND DRAINAGE.

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR RIDGE AT LORSON RANCH IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED; AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF RIDGE AT LORSON RANCH PROVIDED; HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THEN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

GENERAL NOTES:

- NO RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO COLLECTOR ROADWAY OR MINOR ARTERIAL ROADWAY CLASSIFICATIONS. ALL RESIDENTIAL LOTS WILL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETWAYS.
- ALL WATER SYSTEM ELEMENTS AND SANITARY SEWERAGE CONDUITS AND THEIR ASSOCIATED APPURTENANCES SHALL BE DEDICATED TO THE WIDEFIELD WATER & SANITATION DISTRICT. ALL OTHER UTILITIES SHALL BE OWNED AS APPROPRIATED.
- ALL ELECTRICAL SERVICE SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL LOTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN UTILITY EASEMENTS AS REQUIRED.
- PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS FOLLOWS:
FRONT: TEN FEET (10)
SIDE: FIVE FEET (5)
REAR: TEN FEET (10)
- STREET LIGHTS SHALL BE APPROVED BY EPC PCD AND WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LORSON RANCH AND THE LORSON RANCH DESIGN GUIDELINES.
- FENCING: ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND DESIGN GUIDELINES FOR LORSON RANCH.
- INTERNAL FENCING IS ALLOWED WITHIN INDIVIDUAL REAR & SIDE YARDS, UTILITY EASEMENTS, AND DRAINAGE EASEMENTS. FENCING DESIGN, MATERIALS, AND LAYOUT SHALL BE APPROVED BY THE DESIGN REVIEW COMMITTEE.
- NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY.
- NEW SIDEWALKS ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE. MINOR CHANGES TO RIGHT-OF-WAY, EASEMENTS AND LOTS WITH MAILBOX KIOSK DESIGN WILL NOT REQUIRE AMENDMENT TO THIS PUD/PRELIMINARY PLAN.
- INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION/LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. WINDOW WELLS ARE PERMITTED WITHIN THE SIDE YARD DRAINAGE EASEMENTS THOUGH THESE SHALL NOT BE FLUSH TO THE GROUND. WINDOW WELLS SHALL BE HIGHER THAN THE ANTICIPATED DEPTH OF DRAINAGE IN THE SIDE YARD SWALES.
- GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE SIDEWALKS.

STREETS:

- ALL STREETS SHALL BE PUBLIC AND SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
- LANDSCAPING AREAS, COMMON OPEN SPACE AND BUFFERS SHALL BE OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.
- STREETS WITHIN THIS DEVELOPMENT PROVIDE FOR LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS AS ILLUSTRATED ON THIS PLAN.
- A "DETAILED ANALYSIS OF THE NOISE IMPACTS OF FONTAINE BLVD. ON THE PROPOSED RIDGE AT LORSON RANCH RESIDENTIAL DEVELOPMENT, TO BE LOCATED WITHIN THE LORSON RANCH DEVELOPMENT IN EL PASO COUNTY, COLORADO" (LSC TRANSPORTATION CONSULTANTS INC., MARCH 19, 2021) IS INCLUDED WITH THE SUBMITTAL PACKAGE. BASED ON THE STUDY AND THE CRITERIA CONTAINED IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL, NO NOISE MITIGATION IS REQUIRED.

LANDSCAPE:

- COMMON OPEN SPACE AREAS SHALL BE XERISCAPED. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS AND PARK LAND AGREEMENTS.
- PARK SITE LOCATIONS HAVE BEEN LOCATED IN TRACTS AS SHOWN ON THE DRAWINGS. LOCATIONS ARE SUBJECT TO CHANGE PENDING FUTURE FINAL DESIGN. PARK SITE AMENITIES AND TIMING OF CONSTRUCTION ARE TO BE DETERMINED WITH FUTURE COORDINATION WITH THE EL PASO COUNTY PARK DEPARTMENT.
- LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.
- ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
- ANY OBJECT WITHIN THE SITE DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.
- THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL, AS AMENDED.
- TRAILS TO BE SOFT SURFACE TO MATCH EXISTING TRAILS FOUND WITHIN LORSON RANCH. ANY FUTURE TRAILS SHALL BE PUBLIC. FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE FIELD BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES.
- ANY FUTURE NON-REGIONAL TRAILS SHALL BE OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.

ARCHITECTURAL CONTROL COMMITTEE REVIEW:

- INDIVIDUAL UNIT BUILD OUT, DESIGN, AND ARCHITECTURAL STYLE SHALL BE IN ACCORDANCE TO ARCHITECTURAL CONTROL COMMITTEE RULES AND REGULATIONS OF THE LORSON RANCH METROPOLITAN DISTRICT AS WELL AS THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES. PLEASE VISIT: WWW.LORSONRANCH.COM FOR MORE INFORMATION REGARDING REVIEW AND APPROVAL BY THE ARCHITECTURAL CONTROL COMMITTEE.

LEGAL DESCRIPTION:

A A PARCEL OF LAND IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 13 AND THE NORTHEAST QUARTER (NE 1/4) OF SECTION 24, T15S, R65W OF THE 6th P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,

BEGINNING AT THE INTERSECTION OF THE EAST-WEST CENTERLINE OF SAID SECTION 13 AND THE EASTERLY LINE OF THE 100 FOOT WIDE "TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT" AS RECORDED IN BOOK 2665 AT PAGE 715 AND IN BOOK 2846 AT PAGE 719 OF THE EL PASO COUNTY RECORDS FROM WHENCE THE CENTER QUARTER OF SAID SECTION 13 BEARS S89°31'44"W A DISTANCE OF 1,236.86 FEET;
THENCE N89°31'44"E ALONG SAID CENTERLINE A DISTANCE OF 1,424.38 FEET TO THE NORTHEAST CORNER OF AFORESAID SOUTHEAST QUARTER (SE 1/4) SECTION 13;
THENCE S00°13'35"E ALONG THE EASTERLY LINE THEREOF A DISTANCE OF 2,616.98 FEET TO THE SECTION CORNER COMMON TO SECTIONS 13 AND 24, T15S, R65W OF THE 6th P.M. AND SECTIONS 18 AND 19, T15S, R64W OF THE 6th P.M.;
THENCE S00°11'19"E ALONG THE EASTERLY LINE OF AFORESAID NORTHEAST QUARTER (NE 1/4) SECTION 24 A DISTANCE OF 2,011.91 FEET;
THENCE S89°25'43"W A DISTANCE OF 380.07 FEET;
THENCE S00°34'17"E A DISTANCE OF 76.83 FEET;
THENCE S89°25'43"W A DISTANCE OF 46.97 FEET;
THENCE N60°34'17"W A DISTANCE OF 40.00 FEET;
THENCE S89°25'43"W A DISTANCE OF 787.32 FEET;
THENCE S61°29'50"W A DISTANCE OF 40.94 FEET;
THENCE N88°30'10"W A DISTANCE OF 44.27 FEET;
THENCE N58°30'10"W A DISTANCE OF 41.38 FEET TO A NON-TANGENT CURVE;
THENCE 319.29 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,030.00 FEET, A CENTRAL ANGLE OF 17°45'40";
THENCE N07°31'03"W A DISTANCE OF 663.92 FEET TO A POINT OF CURVE;
THENCE 189.64 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,030.00 FEET, A CENTRAL ANGLE OF 10°32'56";
THENCE N68°24'55"W, NON-TANGENT TO THE PREVIOUS COURSE, 79.22 FEET TO THE EASTERLY RIGHT OF WAY LINE OF WALLEYE DRIVE AS SHOWN ON THE PLAT OF "THE HILLS AT LORSON RANCH FILING NO 1" AS RECORDED UNDER RECEPTION NO. _____ IN THE EL PASO COUNTY, COLORADO RECORDS;

THENCE ALONG SAID EASTERLY LINE THE FOLLOWING TWENTY-SIX (26) COURSES:

- THENCE N33°01'53"E A DISTANCE OF 64.00 FEET;
- THENCE N13°07'56"W A DISTANCE OF 27.70 FEET;
- THENCE N30°42'15"E A DISTANCE OF 26.72 FEET TO A POINT OF CURVE;
- THENCE 90.69 FEET TO A POINT OF CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 632.00 FEET, A CENTRAL ANGLE OF 8°13'18";
THE CHORD OF 90.61 FEET BEARS N26°33'36"E TO A POINT OF TANGENT;
- THENCE N22°28'57"E A DISTANCE OF 349.86 FEET TO A POINT OF CURVE;
- THENCE 62.79 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1,032.00 FEET, A CENTRAL ANGLE OF 3°29'10";
THE CHORD OF 62.78 FEET BEARS N20°44'22"E TO A POINT OF TANGENT;
- THENCE N18°59'47"E A DISTANCE OF 134.57 FEET;
- THENCE N61°45'15"E A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°45'41"W A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 396.74 FEET;
- THENCE N61°45'15"E A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°45'41"W A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 307.87 FEET;
- THENCE N23°17'08"E A DISTANCE OF 106.97 FEET;
- THENCE N18°59'47"E A DISTANCE OF 119.41 FEET;
- THENCE N63°59'47"E A DISTANCE OF 25.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 93.91 FEET;
- THENCE N26°00'13"W A DISTANCE OF 36.77 FEET;
- THENCE N18°59'47"E A DISTANCE OF 567.87 FEET;
- THENCE N61°35'11"E A DISTANCE OF 30.06 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°47'26"W A DISTANCE OF 29.39 FEET TO A NON-TANGENT CURVE;
- THENCE 267.95 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 868.00 FEET, A CENTRAL ANGLE OF 17°41'14";
THE CHORD OF 266.89 FEET BEARS N29°32'04"E TO A POINT OF TANGENT;
- THENCE N38°22'41"E A DISTANCE OF 159.73 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAYLING DRIVE AS SHOWN ON THE AFORESAID PLAT OF "THE HILLS AT LORSON RANCH FILING NO 1";

THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING ELEVEN (11) COURSES:

- THENCE N5°37'19"W A DISTANCE OF 62.00 FEET;
- THENCE S83°22'41"W A DISTANCE OF 33.94 FEET;
- THENCE N51°37'19"W A DISTANCE OF 94.90 FEET TO A POINT OF CURVE;
- THENCE 141.30 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 12°51'04";
THE CHORD OF 141.01 FEET BEARS N58°02'51"W TO A POINT OF TANGENT;
- THENCE N64°28'23"W A DISTANCE OF 56.25 FEET;
- THENCE N27°31'10"W A DISTANCE OF 33.27 FEET;
- THENCE N64°28'23"W A DISTANCE OF 50.00 FEET;
- THENCE S78°34'24"W A DISTANCE OF 33.27 FEET;
- THENCE N64°28'23"W A DISTANCE OF 122.30 FEET TO A POINT OF CURVE;
- THENCE 210.78 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 12°27'02";
THE CHORD OF 210.37 FEET BEARS N58°14'52"W TO A POINT OF TANGENT;
- THENCE N52°01'21"W A DISTANCE OF 85.54 FEET TO THE AFORESAID EASTERLY LINE OF THE 100 FOOT WIDE "TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT";
THENCE N38°22'41"E ALONG SAID WESTERLY LINE, 1,158.91 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 8,993,976 SQUARE FEET (206.473 ACRES, MORE OR LESS).

BASIS OF BEARINGS:

THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 13, T15S, R65W OF THE 6th P.M. AS MONUMENTED AT THE CENTER QUARTER OF SAID SECTION 13 WITH A NO. 6 REBAR AND 3.25" ALUMINUM CAP STAMPED "NOLTE, T15S R65W, C1/4 S13, 2005, PLS 23044" AND AT THE QUARTER CORNER COMMON TO SECTION 13 AND SECTION 18, T15S, R64W WITH A NO. 6 REBAR AND 3.25" ALUMINUM CAP STAMPED "JR ENG LTD, T15S, R65W R64W, 1/4, S13 S18, 2002, RLS 31161", SAID LINE BEARS N89°31'44"E A DISTANCE OF 2663.24 FEET.

FLOODPLAIN NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER "08041C0976G", EFFECTIVE DATE "DECEMBER 7, 2018".

GEOLOGY & SOILS

SOILS:

A "GEOLOGY AND SOILS REPORT, THE RIDGE AT LORSON RANCH, EL PASO COUNTY, COLORADO" (RMG- ROCKY MOUNTAIN GROUP, MARCH 22, 2021) IS INCLUDED WITH THE SUBMITTAL PACKAGE. AS PART OF THIS REPORT, 134 EXPLORATORY TEST BORINGS WERE COMPLETED. GEOLOGIC HAZARDS (AS DESCRIBED IN SECTION 8.0 OF THE REPORT) WERE NOT FOUND TO BE PRESENT AT THIS SITE. POTENTIAL GEOLOGIC CONSTRAINTS (ALSO AS DESCRIBED IN SECTION 8.0 OF THE REPORT) WERE FOUND ON SITE TO INCLUDE: EXPANSIVE SOILS AND BEDROCK, FAULTS AND SEISMICITY, RADON, AND EROSION. WHERE AVOIDANCE IS NOT READILY ACHIEVABLE, THE EXISTING GEOLOGIC AND ENGINEERING CONDITIONS CAN BE SATISFACTORILY MITIGATED THROUGH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES. IN ADDITION TO THE PREVIOUSLY IDENTIFIED MITIGATION ALTERNATIVES, SURFACE AND SUBSURFACE DRAINAGE SYSTEMS SHOULD BE IMPLEMENTED. EXTERIOR PERIMETER FOUNDATION DRAINS SHOULD BE INSTALLED AROUND BELOW-GRADE HABITABLE OR STORAGE SPACES. SURFACE WATER SHOULD BE EFFICIENTLY REMOVED FROM THE BUILDING AREA TO PREVENT PONDING AND INFILTRATION INTO THE SUBSURFACE SOIL.

see CGS and staff comments: Add the constraints, and mitigation techniques for specific lots- see standard note

LAND OWNER CERTIFICATION

IN WITNESS WHEREOF, THE AFOREMENTIONED LORSON LLC HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 20____ A.D., A COLORADO LIMITED LIABILITY COMPANY

AUTHORIZED AGENT, MANAGER

STATE OF COLORADO)

EL PASO COUNTY)

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ A.D. BY

_____ WITNESS MY HAND AND SEAL:

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

COUNTY CERTIFICATION

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH BOARD RESOLUTION # _____ AND DATE _____, APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

CHAIR, BOARD OF COUNTY COMMISSIONERS

DATE

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT

DATE

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO)

EL PASO COUNTY)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS _____ OF _____, 20____ AT _____ O'CLOCK A.M./P.M. AND WAS RECORDED PER

RECEPTION NO. _____

EL PASO COUNTY CLERK AND RECORDER

LAND USE:

CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)

PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

CURRENT LAND USE: AG, GRAZING LAND

PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL; PUBLIC & PRIVATE STREETS; LANDSCAPE SETBACKS; PARKS/ OPEN SPACE; TRAIL CORRIDORS; UTILITY EASEMENTS; DRAINAGE & DETENTION FACILITIES; SIGNAGE

SITE DATA TABLE:

TOTAL SITE ACREAGE	206.473 AC
PROPOSED SINGLE-FAMILY DWELLING UNITS	994 D.U.
PROPOSED GROSS DENSITY	4.81 D.U./AC

SITE DATA TABLE:

TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE FAMILY RESIDENTIAL (994 LOTS)	121.869 AC	59.02%
OPEN SPACE/ LANDSCAPE/ PARKS	20.896 AC	10.12%
POWERLINE EASEMENT (OPEN SPACE)	6.439 AC	3.12%
PUBLIC STREETS RIGHTS-OF-WAY	47.914 AC	23.21%
RIGHTS-OF-WAY RESERVATION (FUTURE MERIDIAN ROAD)	9.355 AC	4.53%
TOTAL	206.473 AC	100.0%

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 206.473 AC X .10 = 20.65 ACRES
TOTAL OPEN SPACE PROVIDED IS 13.24% = 27.335 ACRES

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 206.473 AC X .10 = 20.65 ACRES
TOTAL OPEN SPACE PROVIDED IS 13.24% = 27.335 ACRES

Soil and Geology Conditions:

Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
•Downslope Creep: (name lots or location of area)
•Rockfall Source: (name lots or location of area)
•Rockfall Runout Zone: (name lots or location of area)
•Potentially Seasonally High Groundwater: (name lots or location of area)
•Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

SHEET INDEX:

PUD TITLE SHEET
PUD TRACT MAP & DETAILS
PUD DETAILS
PUD SITE PLAN
LANDSCAPE PLANS

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT:

Matrix 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206

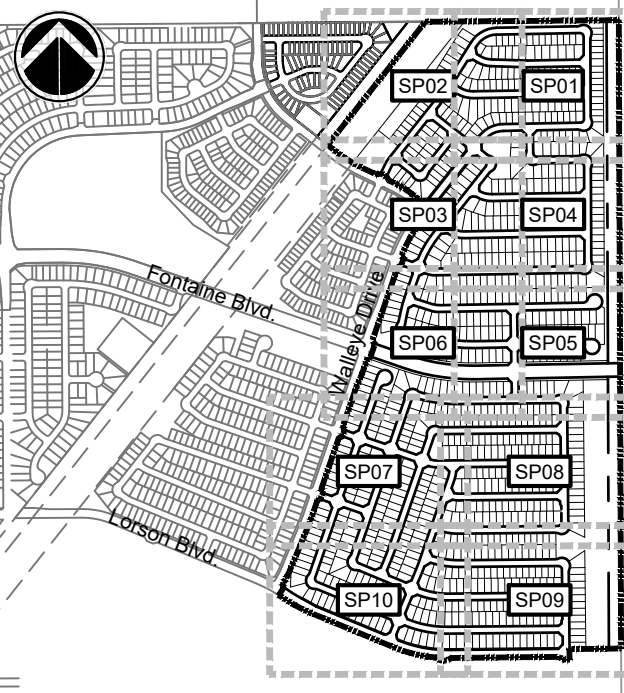
CIVIL ENGINEER:

CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55308
PHONE: (719) 575-1100

OWNER/DEVELOPER:

LORSON LLC ET/AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

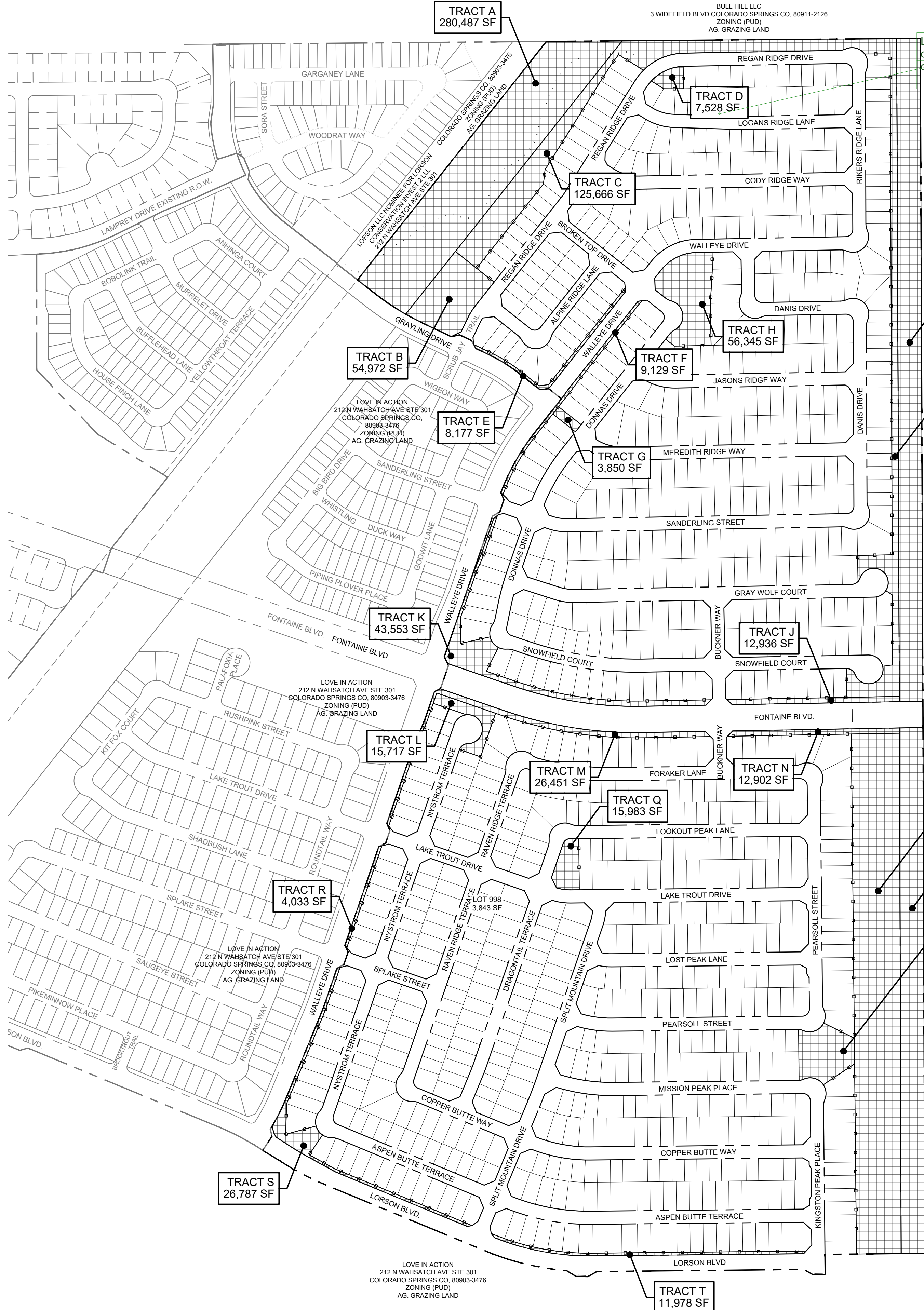
PUD TITLE SHEET

CS01

SHEET 01 OF 24

PCD FILE NO.:

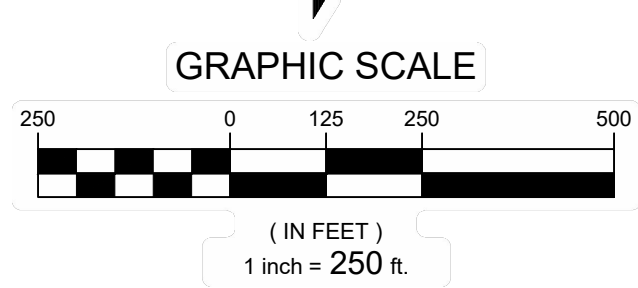
FILE LOCATION: S:\20.1129.006 LORSON RANCH AREA D\F-H100 DWG\104 PLAN SET\DEVELOPMENT PLAN\DT01.DWG



Label tracts in Parks so its very clear the usable openspace dedicated to parks only

STATE OF COLORADO
COUNTY OF EL PASO
SECTION 13, T15S, R65W
ZONING (A-2, R-6.5)
LAND USE STATE

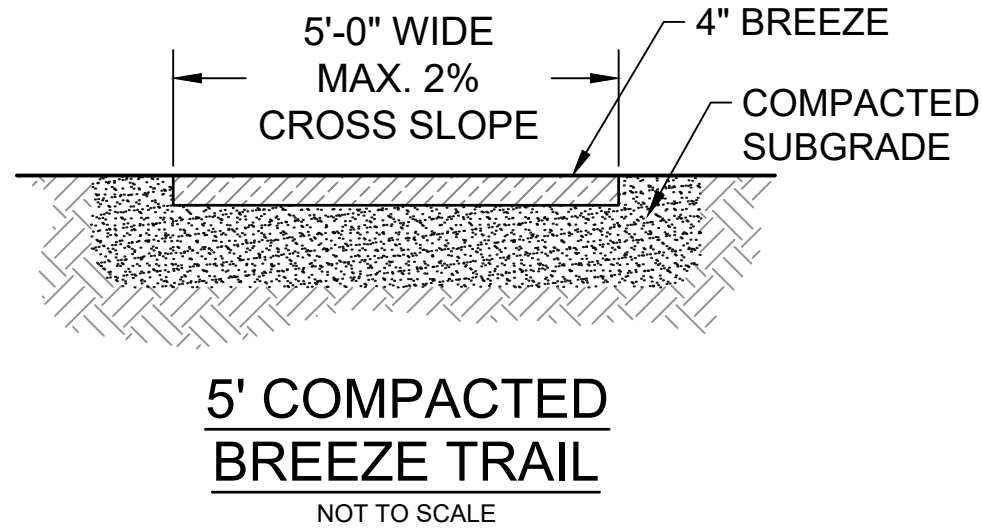
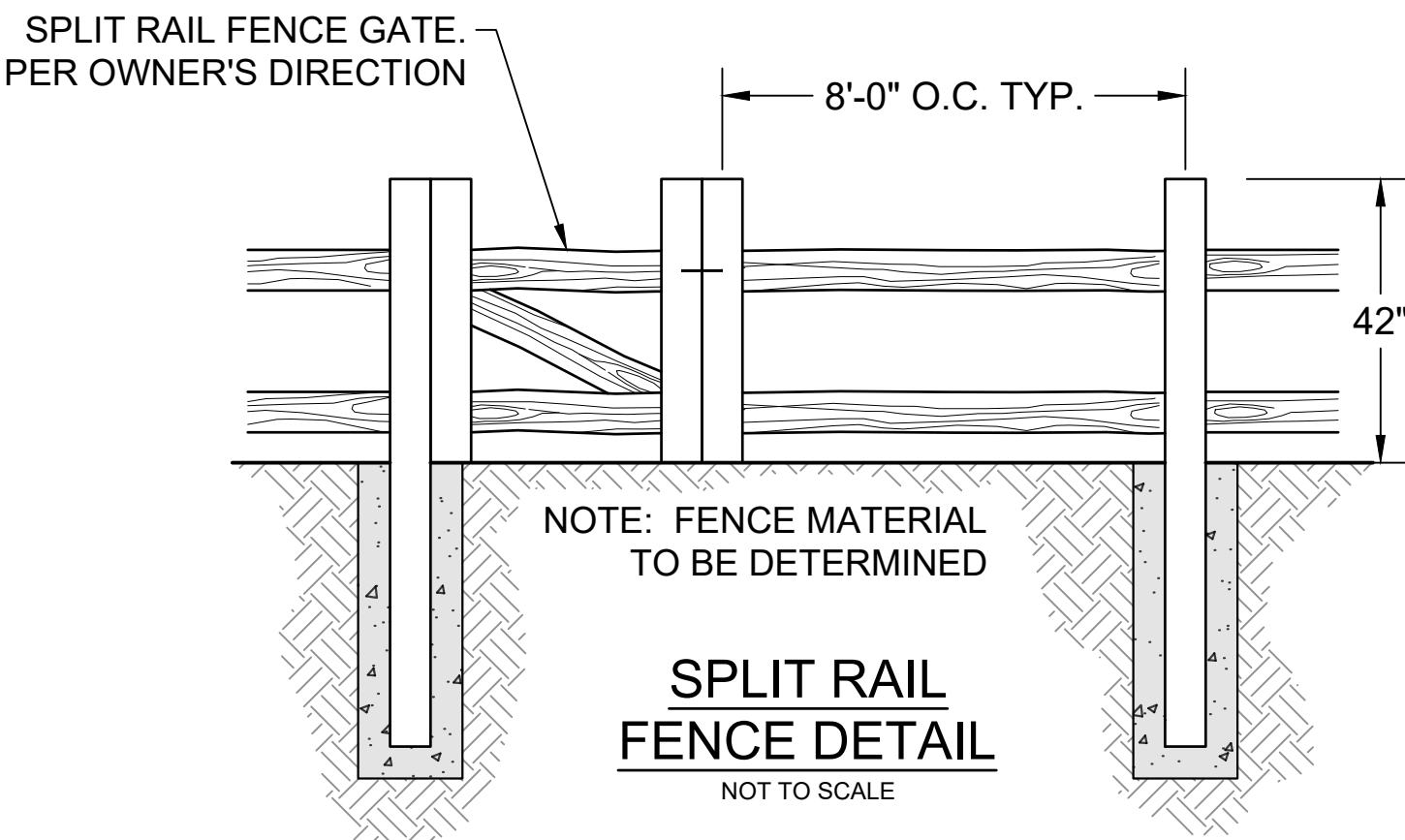
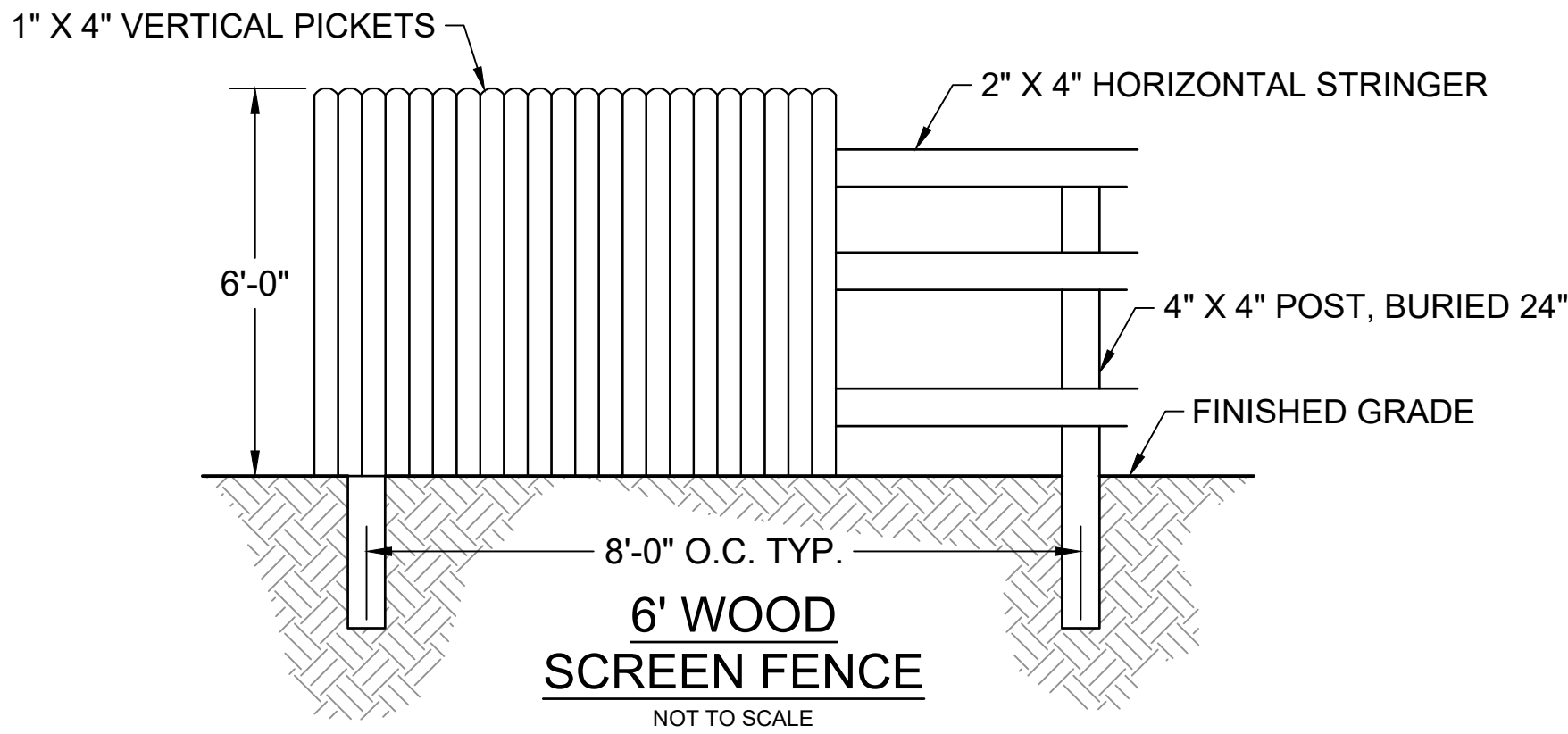
LOVE IN ACTION
212 N WAHSATCH AVE STE 301
COLORADO SPRINGS CO, 80903-3478
ZONING (PUD)
AG, GRAZING LAND



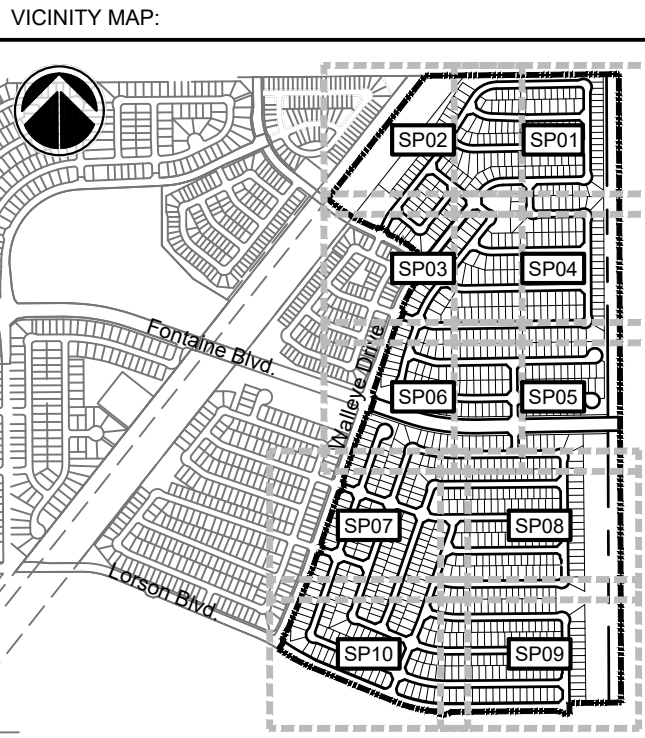
RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

TRACT	SIZE (SF)	LANDSCAPE/ OPEN SPACE/ TRAIL	POCKET PARK	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	ELECTRIC EASEMENT	OWNED BY	MAINTAINED BY
A	280,487	X			X		X	LRMD	LRMD
B	54,972	X		X	X	X		LRMD	LRMD
C	125,666	X		X	X	X		LRMD	LRMD
D	7,528	X	X	X	X	X		LRMD	LRMD
E	8,177	X		X	X	X		LRMD	LRMD
F	9,129	X		X	X	X		LRMD	LRMD
G	3,850	X		X	X	X		LRMD	LRMD
H	56,346	X	X	X	X	X		LRMD	LRMD
I	86,585	X		X	X	X		LRMD	LRMD
J	12,936	X		X	X	X		LRMD	LRMD
K	43,553	X		X	X	X		LRMD	LRMD
L	15,717	X		X	X	X		LRMD	LRMD
M	26,451	X		X	X	X		LRMD	LRMD
N	12,902	X		X	X	X		LRMD	LRMD
O	350,272	X		X	X	X		LRMD	LRMD
P	37,349	X	X	X	X	X		LRMD	LRMD
Q	15,983	X	X	X	X	X		LRMD	LRMD
R	4,033	X		X	X	X		LRMD	LRMD
S	26,787	X		X	X	X		LRMD	LRMD
T	11,978	X		X	X	X		LRMD	LRMD
U	227,354	X		X	X	X		LRMD	LRMD
V	180,169	X		X	X	X		LRMD	LRMD
1,598,223									

LRMD = LORSON RANCH METROPOLITAN DISTRICT



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0206
CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55306 PHONE: (719) 570-1100
OWNER/DEVELOPER: LORSON LLC ET/ AL 212 N. WAHSATCH DR., SUITE 301 COLORADO SPRINGS, CO 80903 (719) 635-3200



PROJECT:			
RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN			
EL PASO COUNTY, CO FIRST SUBMITTAL: APRIL 19, 2021			
REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
DRAWING INFORMATION:			
PROJECT NO: 20.1129.006			
DRAWN BY: RAF			
CHECKED BY: JRA			
APPROVED BY: JRA			
SHEET TITLE:			

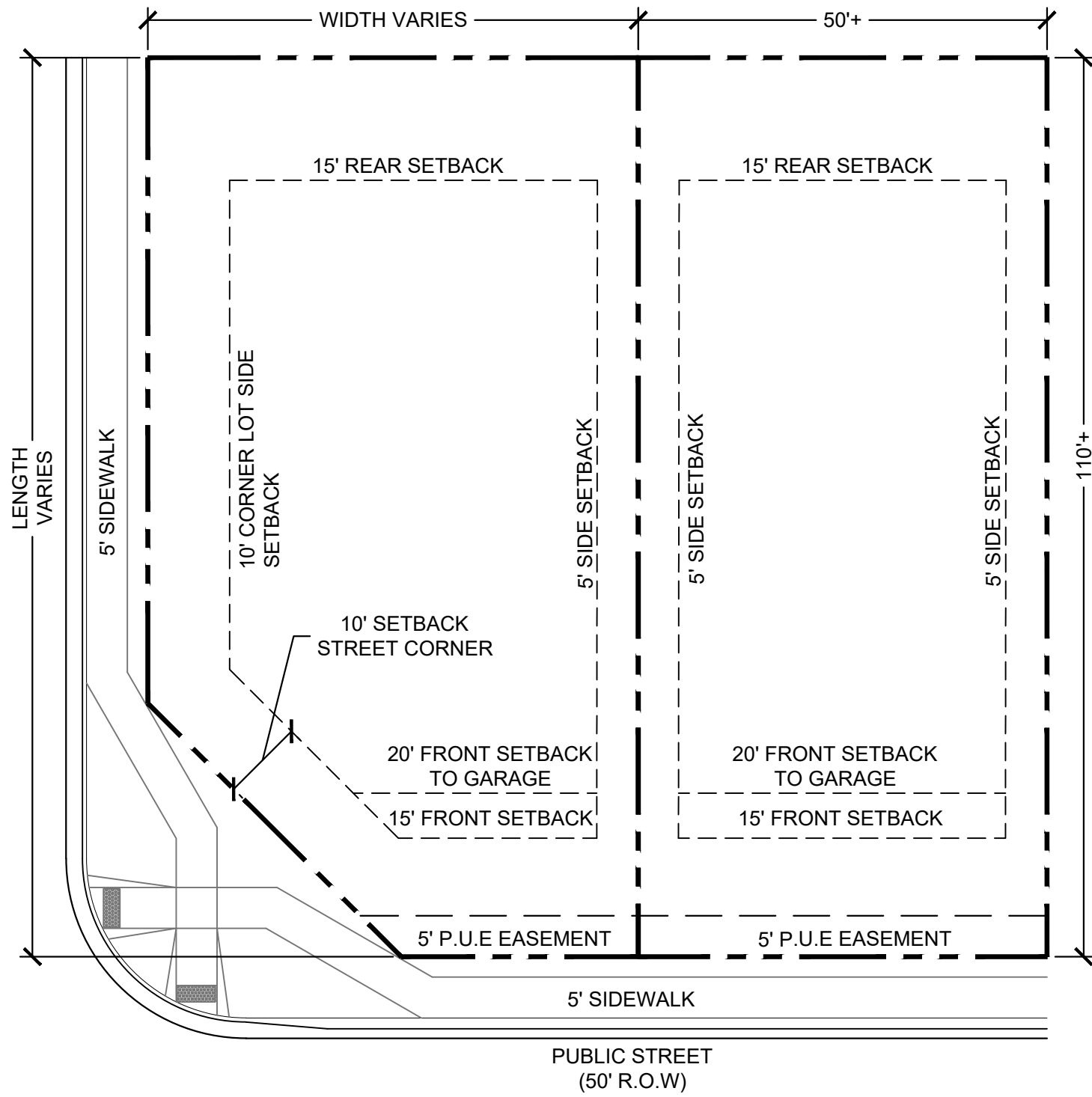
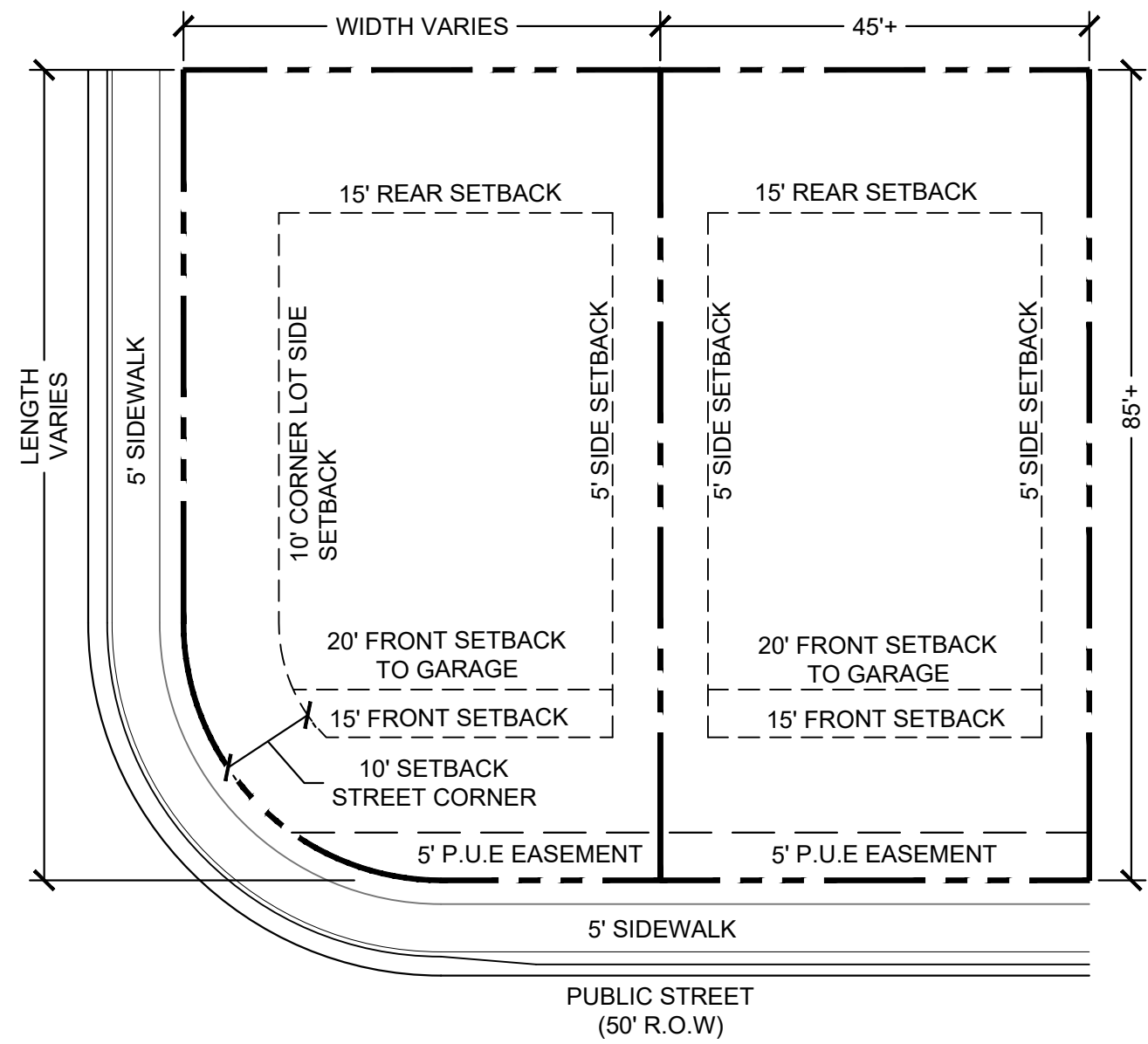
PUD TRACT MAP
AND DETAILS

DT01

SHEET 02 OF 24

POD FILE NO.:

FILE LOCATION: S:\20.1129.006\LORSON RANCH AREA\DF-H1101.DWG\104 PLAN SET\DEVELOPMENT PLANNING\101.DWG



RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

center this please and
enlarge-all pages

DIMENSIONAL STANDARDS AND GUIDELINES

DIMENSIONAL STANDARDS FOR LOTS 1-994

- MINIMUM LOT AREA:
A. DWELLING, SINGLE FAMILY: 3,825 SF
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
WINDOW WELLS ARE PERMITTED WITHIN THE SIDE YARD DRAINAGE EASEMENTS THOUGH THESE SHALL NOT BE FLUSH TO THE GROUND.
WINDOW WELLS SHALL BE HIGHER THAN THE ANTICIPATED DEPTH OF DRAINAGE IN THE SIDE YARD SWALES
- SETBACK REQUIREMENTS (SEE DETAILS):
A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
FIFTEEN FEET (15') TO FACE OF HOUSE
B. SIDE YARD: FIVE FEET (5')
C. REAR YARD: FIFTEEN FEET (15')
D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- ACCESSORY STRUCTURE STANDARDS:
A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
B. SETBACK REQUIREMENTS:
SIDE YARD: FIVE FEET (5')
REAR YARD: FIVE FEET (5')

DEVELOPMENT STANDARDS AND GUIDELINES

PRINCIPAL USES:

- THERE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
- ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, AND OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES.

*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TEMPORARY USES:

- MODEL HOME/SUBDIVISION SALES OFFICE
- CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
- YARD OR GARAGE SALES

*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

ACCESSORY USES:

- RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED.
- MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TYPICAL LOT NOTES:

- LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/ EGRESS CONFIGURATION.
- OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
- ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A "SIGHT DISTANCE EASEMENT" SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

SPECIAL USES:

- CMRS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

ACCESSORY STRUCTURES:

- SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GAZEBOs, PATIOS, HOT TUBS/ SPAS, AND POOLS.
- FENCES, WALLS, OR HEDGES
- MAILBOXES
- PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
- PERSONAL USE SMALL CELL TOWER
- DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
- ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.

*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

CONSULTANTS:

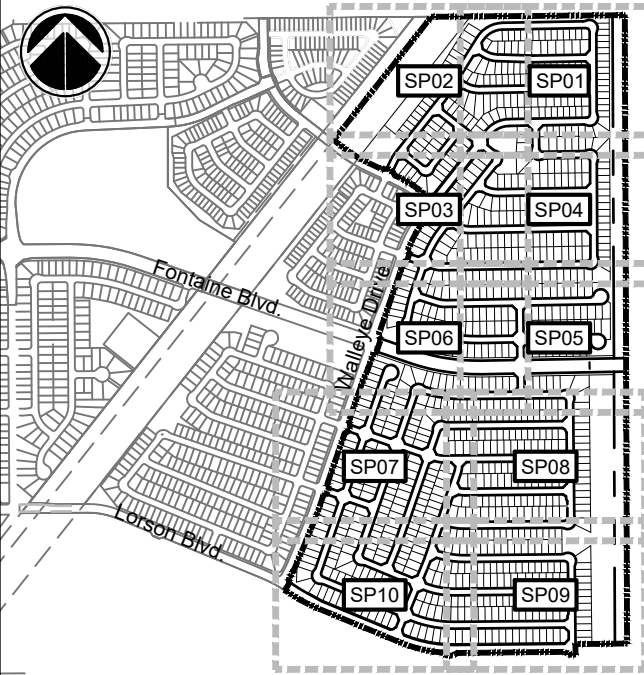
PLANNER/ LANDSCAPE ARCHITECT:
Matrix 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 575-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

PUD DETAILS

DT02

SHEET 03 OF 24

POD FILE NO.:

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT:

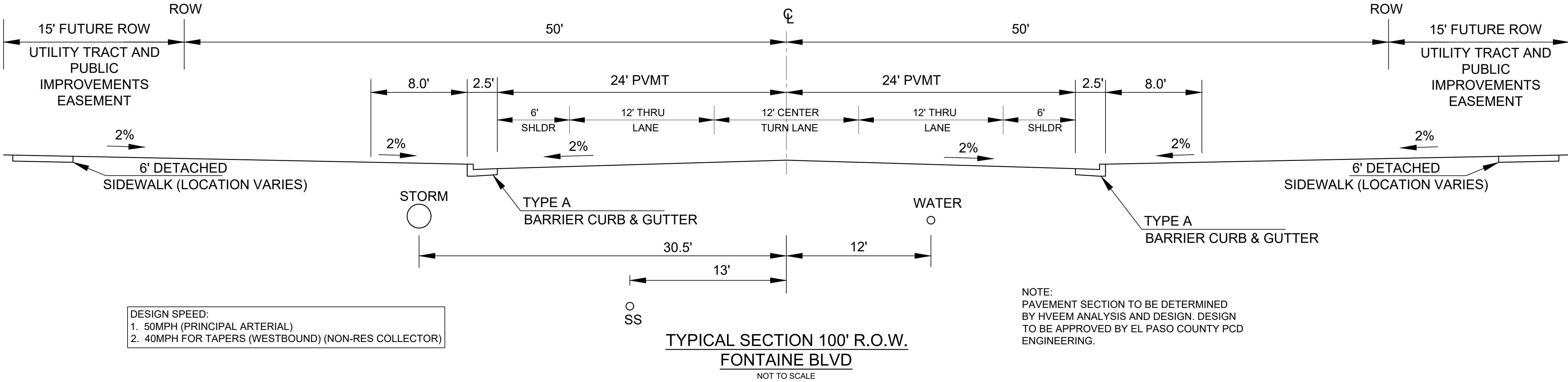
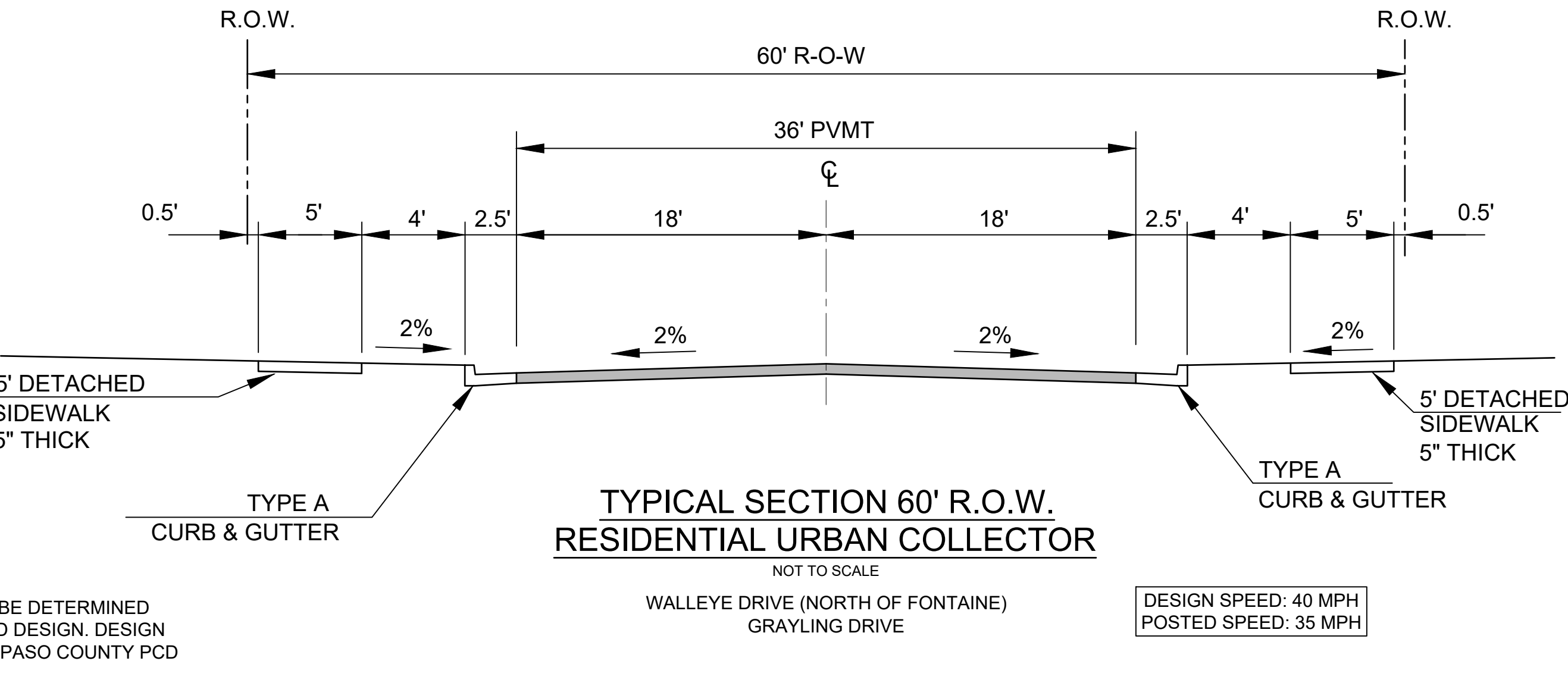
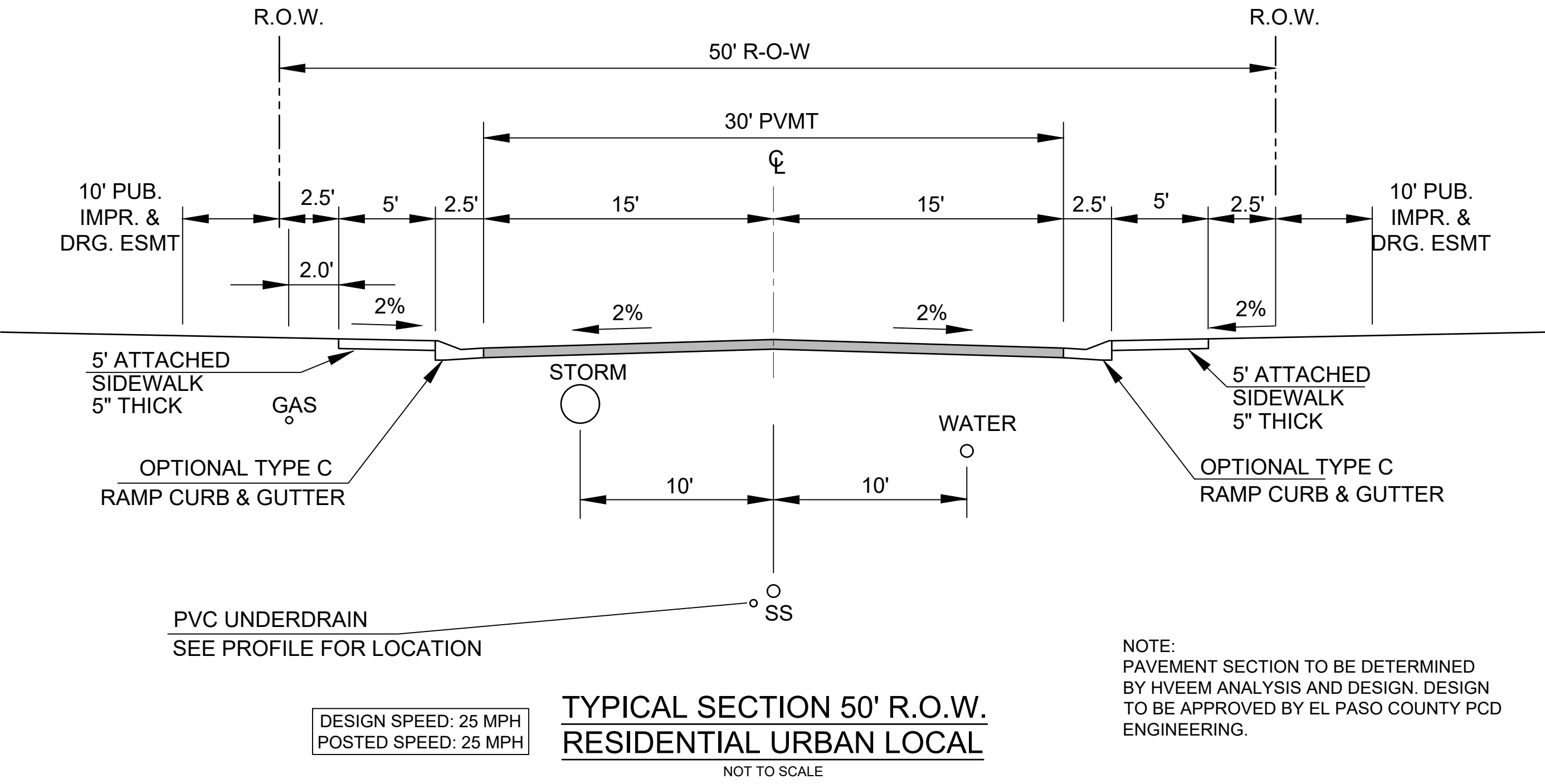
2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
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CIVIL ENGINEER:

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PHONE: (719) 570-1100

OWNER/DEVELOPER:

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212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

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PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:












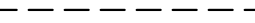







PUD DETAILS

DT03

SHEET 04 OF 24

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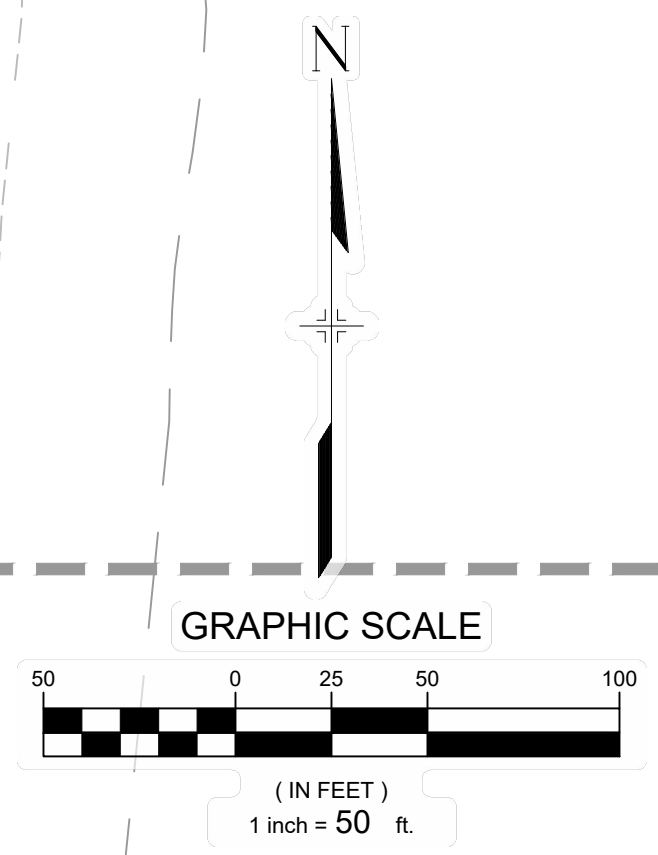
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO


- | <u>LEGEND</u> | |
|---|---|
|  | ASPHALT SURFACE (TYPICAL) |
|  | CONCRETE SIDEWALK |
|  | 6' WOOD SCREEN FENCE |
|  | CONCRETE CROSSPAN (6' TYPICAL) |
|  | CURB AND GUTTER (TYPE A) |
|  | CURB AND GUTTER (OPTIONAL TYPE C) |
|  | PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41) |
|  | PARALLEL PEDESTRIAN RAMP (SD_2-50) |
|  | PROPOSED FIRE HYDRANT LOCATION |
|  | COMPACTED BREEZE TRAIL (5' TYPICAL) |
|  | SIGHT DISTANCE TRIANGLE (TYPICAL) |
|  | PROPOSED EASEMENT |
|  | PROPERTY BOUNDARY |
|  | SHEET MATCHLINE |
|  | 6' WOODEN SCREEN FENCE |
|  | SIGHT TRIANGLE |
|  | PROPOSED UTILITY STRUCTURES |
|  | PROPOSED CONTOURS |
|  | EXISTING CONTOURS |

are required to show roads, widths, CL data, classification & lines with a PUDSP. revise above...Any deviation related to roads should be identified now... this is a site specific PUD Dev plan not a general plan

STATE OF COLORADO
C/O DIVISION OF PURCHASING
633 17TH ST STE 1520
DENVER CO. 80202-3609
ZONING (A-35 RR-5)
LAND USE: STATE

- PROPERTY BOUNDARY



CONSULTANTS:	
PLANNER/ LANDSCAPE ARCHITECT: 	2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX : (719) 575-0208
CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55306 PHONE: (719) 570-1100	

OWNER/DEVELOPER:	
LORSON LLC ET/ AL	
212 N. WAHSATCH DR., SUITE 301	
COLORADO SPRINGS, CO 80903	
(719) 635-3200	

VICINITY MAP:

The map shows the intersection of Fortaine Blvd and Canyon Blvd. The project area is highlighted with a dashed box in the northeast corner of the intersection. A north arrow is located in the top left corner.

PROJECT:	
RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN	

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

[illegible]

DRAWING INFORMATION:	
PROJECT NO:	20.1129.006
DRAWN BY:	RAF
CHECKED BY:	JRA
APPROVED BY:	JRA
SHEET TITLE:	

SITE PLAN

SP01
SHEET 05 OF 24

PCD FILE NO.:

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LEGEND

1

2

3

4

5

6

7

8

9

10

11

ASPHALT SURFACE (TYPICAL)

CONCRETE SIDEWALK

6" WOOD SCREEN FENCE

CONCRETE CROSSSPAN (6" TYPICAL)

CURB AND GUTTER (TYPE A)

CURB AND GUTTER (OPTIONAL TYPE C)

PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)

PARALLEL PEDESTRIAN RAMP (SD_2-50)

PROPOSED FIRE HYDRANT LOCATION

COMPACTED BREEZE TRAIL (6" TYPICAL)

SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED EASEMENT

PROPERTY BOUNDARY

SHEET MATCHLINE

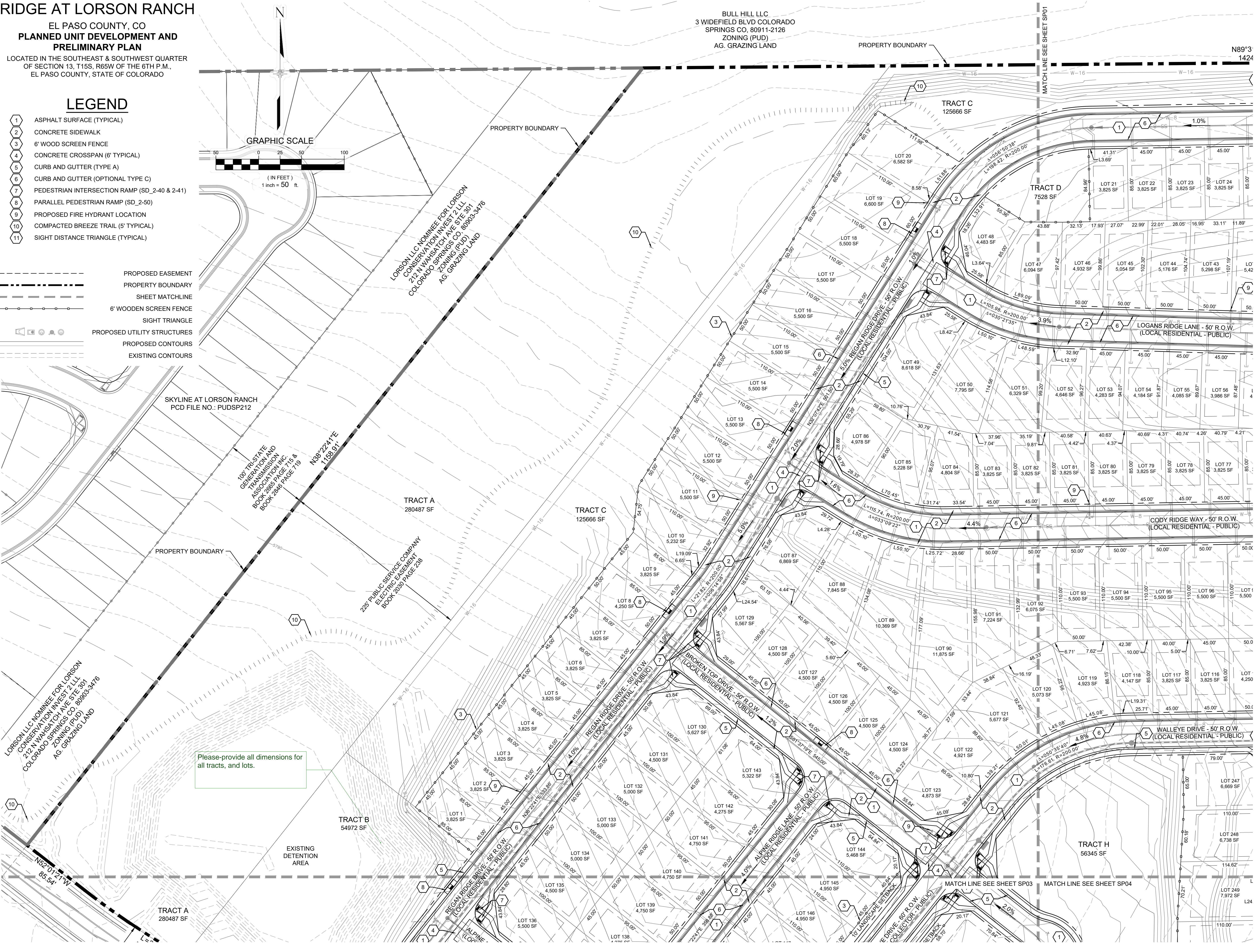
6" WOODEN SCREEN FENCE

SIGHT TRIANGLE

PROPOSED UTILITY STRUCTURES

PROPOSED CONTOURS

EXISTING CONTOURS



CONSULTANTS:

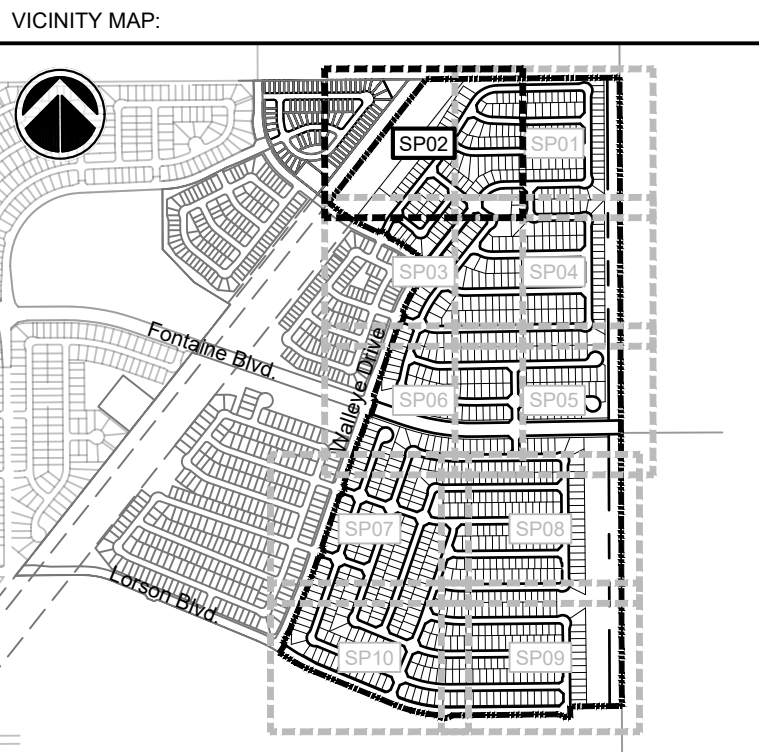
PLANNER/ LANDSCAPE ARCHITECT:

2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0226

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15004 1ST AVENUE S.
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PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
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EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

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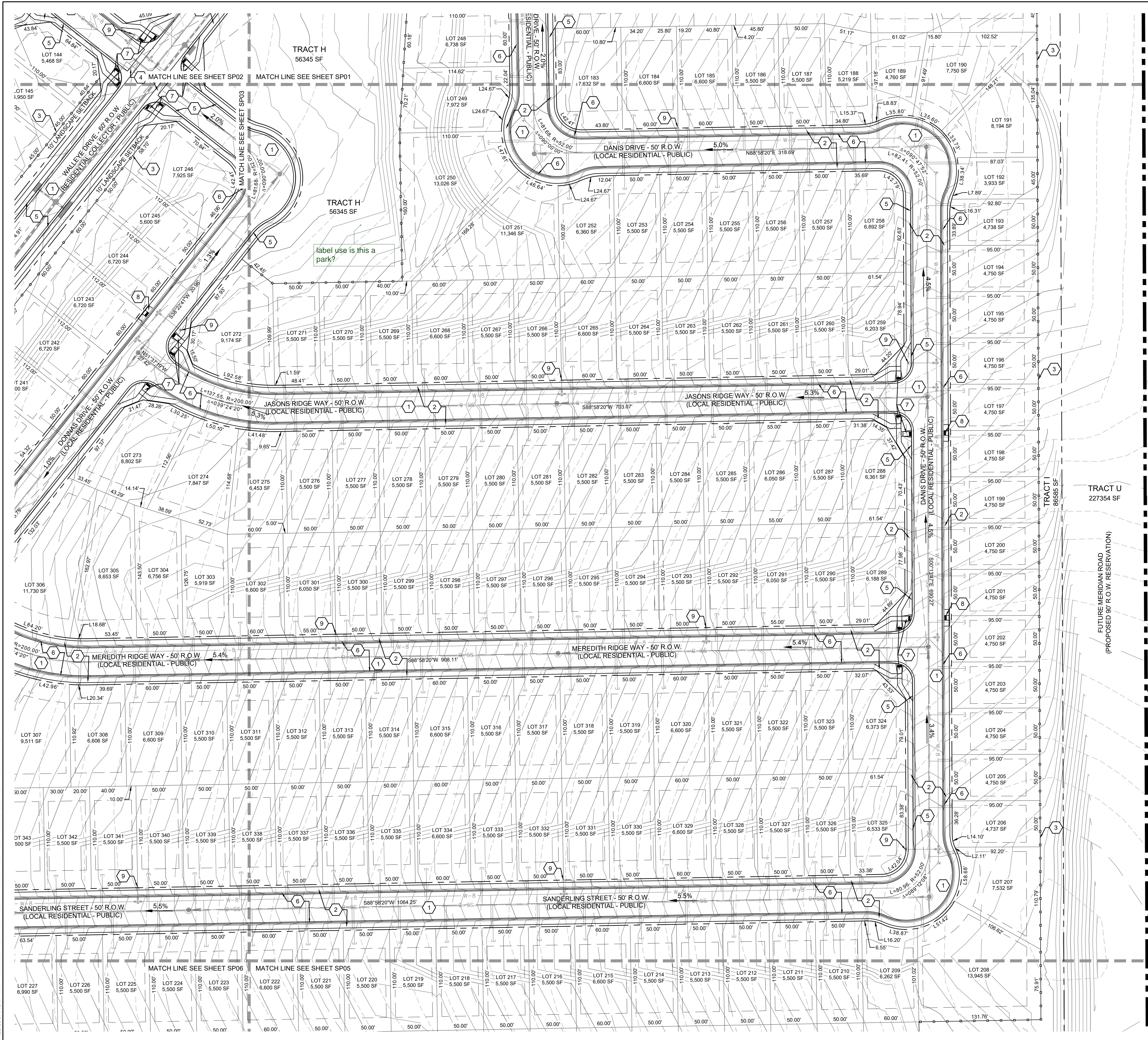
SITE PLAN

SP02

SHEET 06 OF 24

PCD FILE NO.:

FILE LOCATION: S:\2012\120.008 LORSON RANCH AREA.D\F-H10.DWG\104 PLAN SET\DEVELOPMENT PLAN\SP01.DWG



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

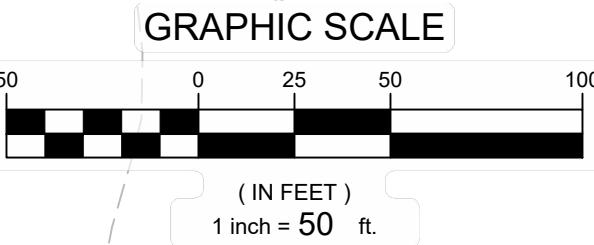
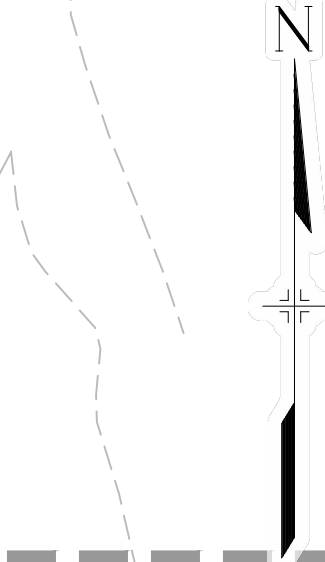
LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6' WOOD SCREEN FENCE
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- 5 CURB AND GUTTER (TYPE A)
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- 7 PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)
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- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6' WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

STATE OF COLORADO
CO DIVISION OF PURCHASING
633 17TH ST STE 1520
DENVER CO, 80202-3609
ZONING (A-35 RR-5)
LAND USE STATE

PROPERTY BOUNDARY



CONSULTANTS:

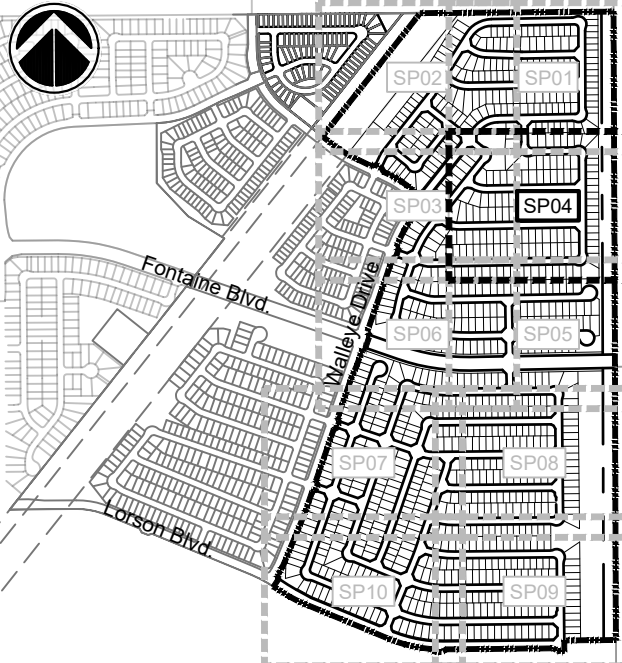
PLANNER/ LANDSCAPE ARCHITECT:
Matrix
2435 RESEARCH PARKWAY,
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COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55308
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

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DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

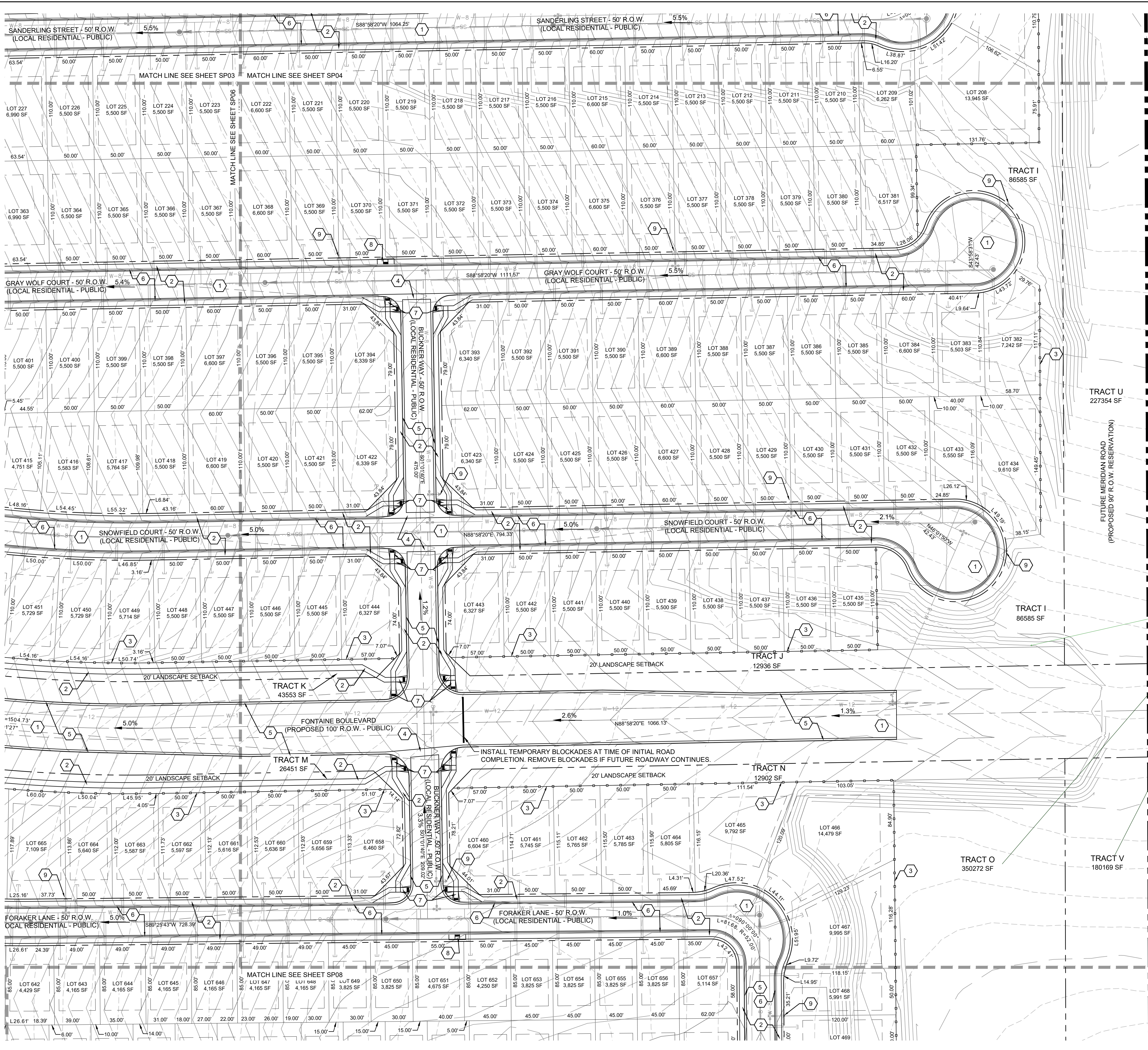
SITE PLAN

SP04

SHEET 08 OF 24

PCD FILE NO.:

FILE LOCATION: S:\2011\2008 LORSON RANCH AREA DF-H100 DWG104 PLAN SET\DEVELOPMENT PLAN\SP01.DWG



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LEGEND

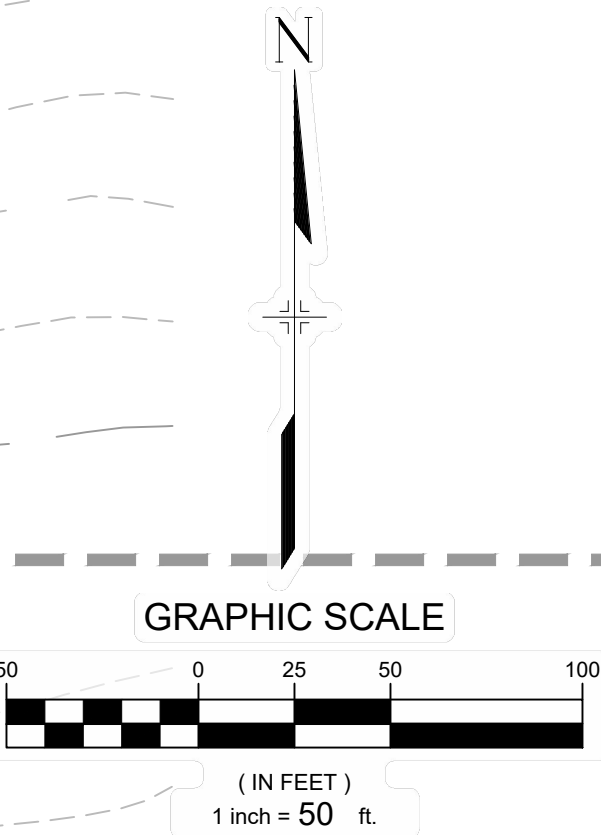
- 1 ASPHALT SURFACE (TYPICAL)
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- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5' TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
PROPERTY BOUNDARY
SHEET MATCHLINE
6" WOODEN SCREEN FENCE
SIGHT TRIANGLE
PROPOSED UTILITY STRUCTURES
PROPOSED CONTOURS
EXISTING CONTOURS

STATE OF COLORADO
C/O DIVISION OF PURCHASING
633 17TH ST STE 1520
DENVER CO 80202-3609
ZONING (A-35 RR-5)
LAND USE: STATE

label use if detention, park, road
row.

BJ RANCHES LLC
970 SUMMER GAMES DR
COLORADO SPRINGS CO 80905-7381
ZONING (A-35)
AG, GRAZING LAND



CONSULTANTS:

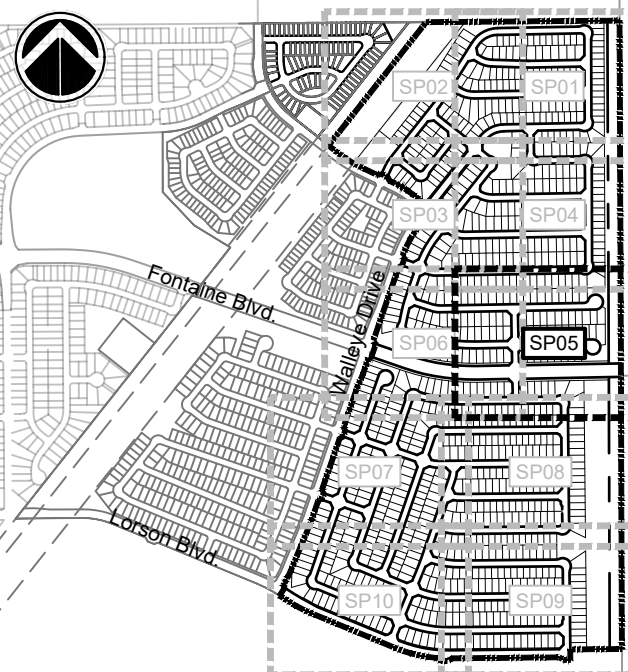
PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-1100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55338
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

SITE PLAN

SP05

SHEET 09 OF 24

PCD FILE NO.:

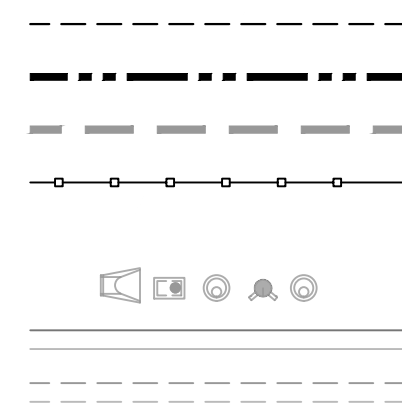
RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD_2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5' TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)



PROPOSED EASEMENT
PROPERTY BOUNDARY
SHEET MATCHLINE
6' WOODEN SCREEN FENCE
SIGHT TRIANGLE
PROPOSED UTILITY STRUCTURES
PROPOSED CONTOURS
EXISTING CONTOURS

LOVE IN ACTION
212 N WAHSATCH AVE STE 301 COLORADO
SPRINGS CO. 80903-3476
ZONING (PUD)
AG- GRAZING LAND

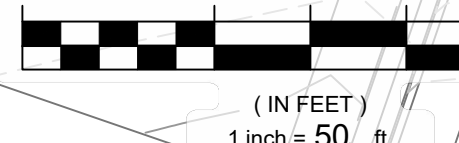
HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203

PROPERTY BOUNDARY

LOVE IN ACTION
212 N WAHSATCH AVE STE 301 COLORADO
SPRINGS CO. 80903-3476
ZONING (PUD)
AG- GRAZING LAND

HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203

GRAPHIC SCALE



FILE LOCATION: S:\2012\1129.008 LORSON RANCH AREA DF-H100 DWG104 PLAN SET\DEVELOPMENT PLAN\SP01.DWG

CONSULTANTS:

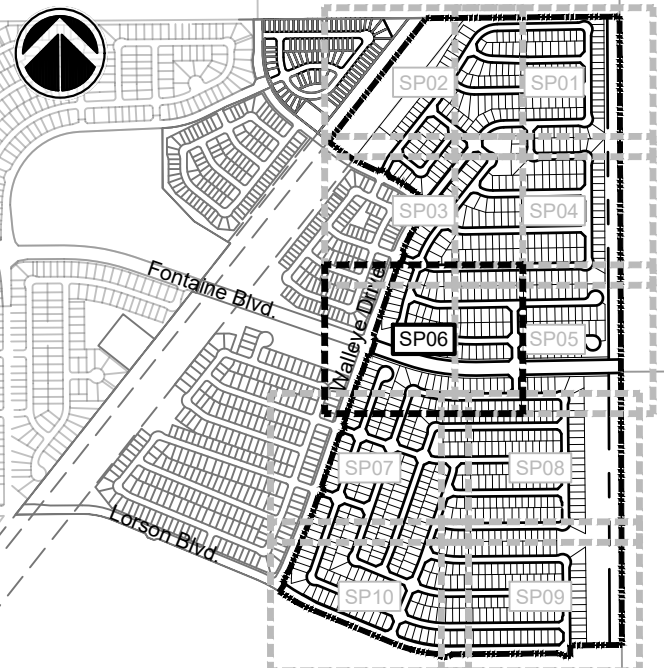
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-1100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
BURNSVILLE, MN 55308
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/AL
212 N WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

SITE PLAN

SP06

SHEET 10 OF 24

PCD FILE NO.:

RIDGE AT LORSON RANCH

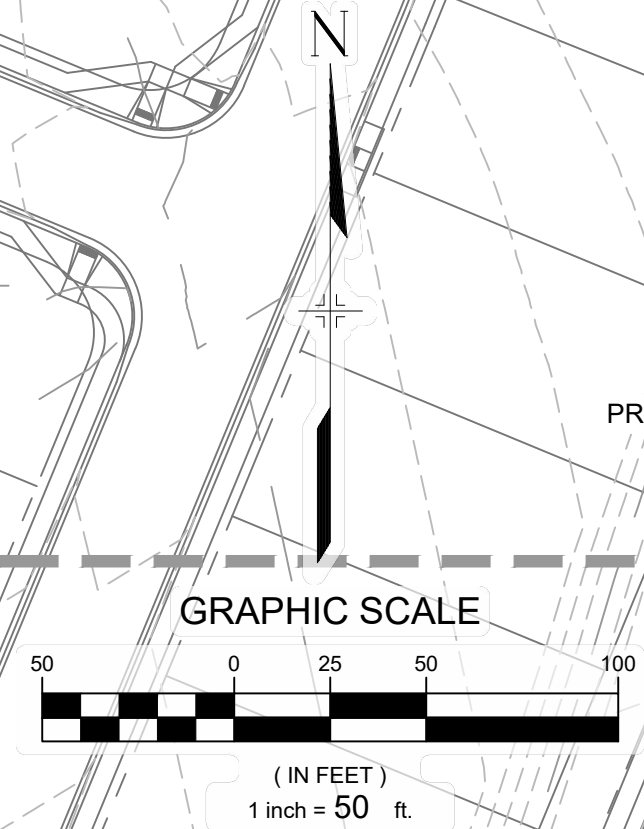
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

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- 1 ASPHALT SURFACE (TYPICAL)
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- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

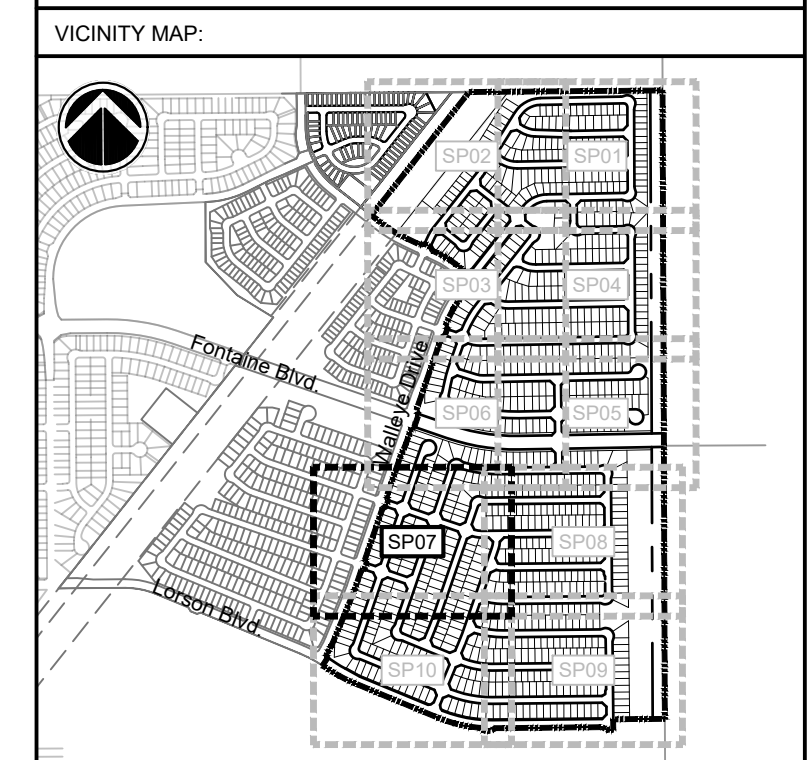
LOVE IN ACTION
212 N WAHSATCH AVE STE 301 COLORADO
SPRINGS CO. 80903-3476
ZONING (PUD)
AG. GRAZING LAND

HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT:
2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 575-1100
FAX: (719) 575-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

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PROJECT NO.: 20.1129.006
DRAWN BY: RAF
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

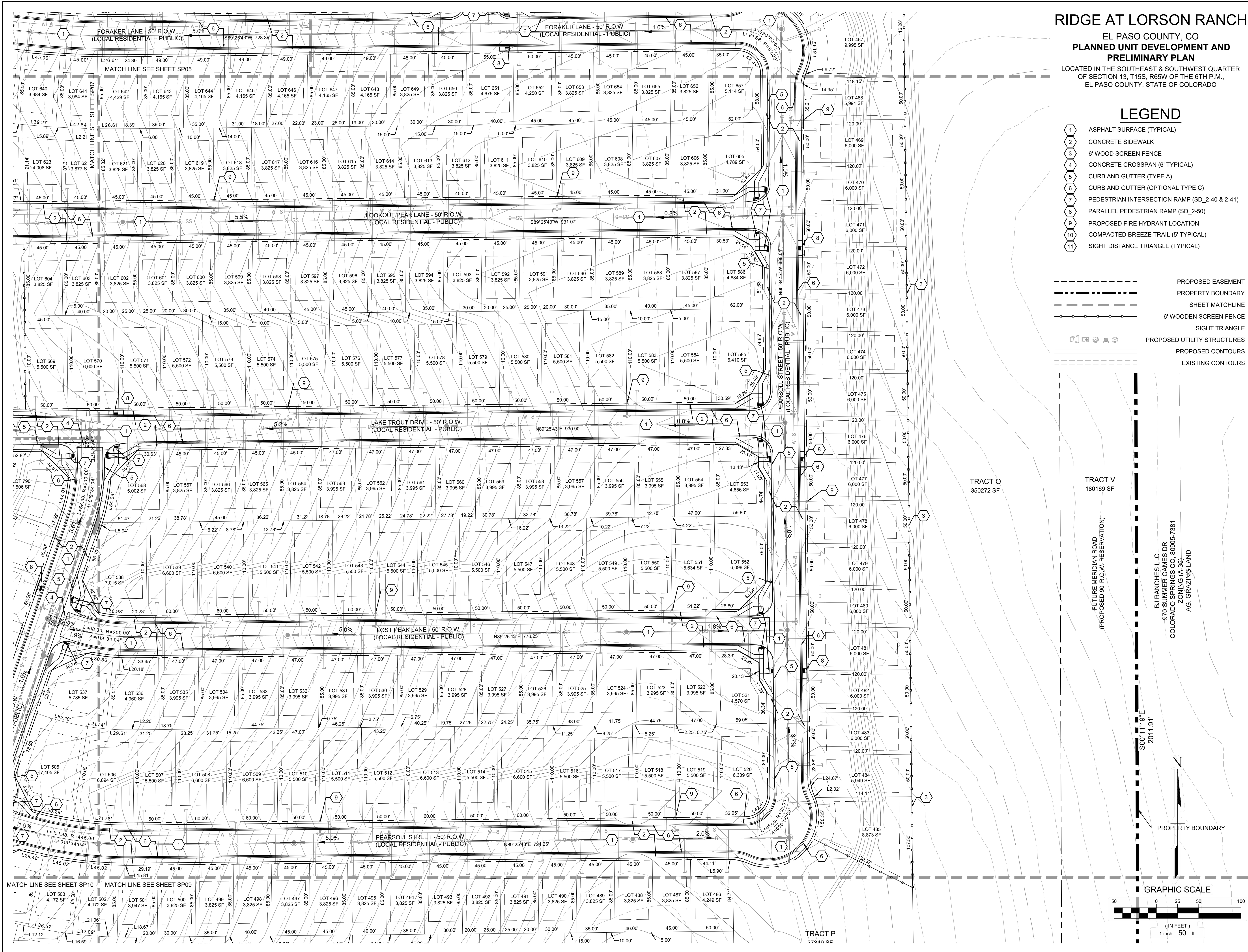
SITE PLAN

SP07

SHEET 11 OF 24

PCD FILE NO.:

FILE LOCATION: S:\2012\12\08\LORSON RANCH AREA\DF-H101\DWG104.PLAN SET\DEVELOPMENT PLANS\SP01.DWG



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

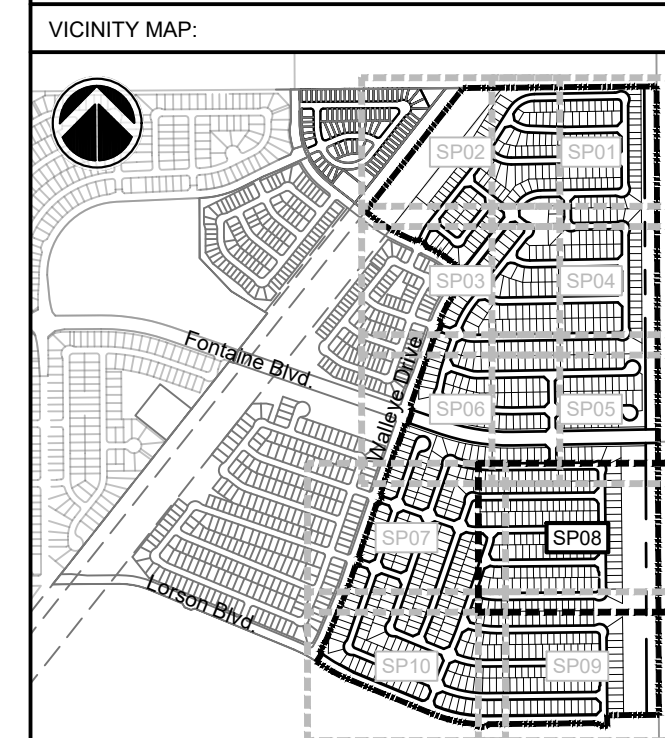
LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
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- 4 CONCRETE CROSSSPAN (6" TYPICAL)
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- PROPOSED EASEMENT
--- PROPERTY BOUNDARY
--- SHEET MATCHLINE
--- 6" WOODEN SCREEN FENCE
--- SIGHT TRIANGLE
--- PROPOSED UTILITY STRUCTURES
--- PROPOSED CONTOURS
--- EXISTING CONTOURS

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT:
Matrix
2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55308
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
**RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN**

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
PROJECT NO: 20.1129.006
DRAWN BY: RAF
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

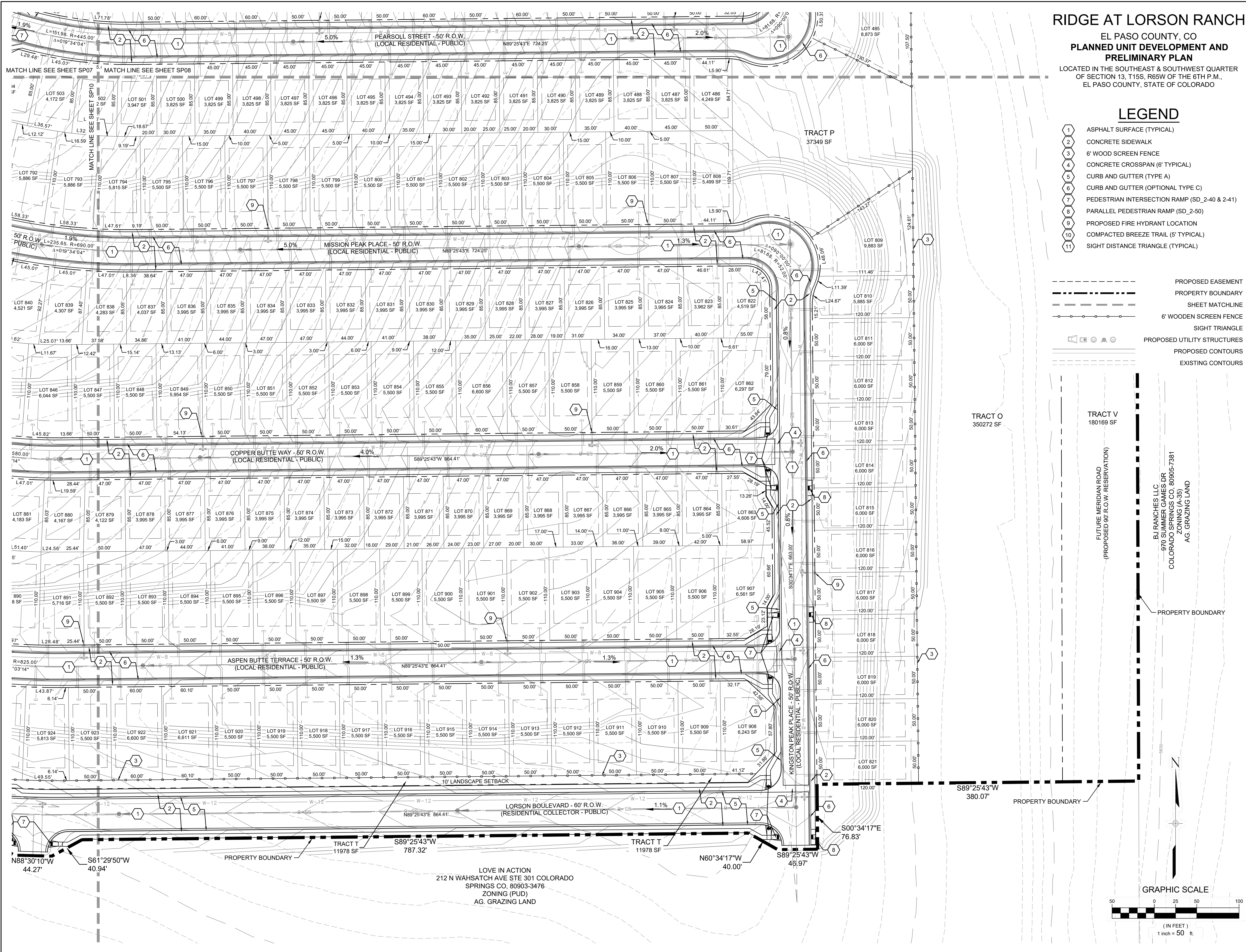
SITE PLAN

SP08

SHEET 12 OF 24

PCD FILE NO.:

FILE LOCATION: S:\2011\2008 LORSON RANCH AREA.DWG\100 DWG\100 PLAN SET\DEVELOPMENT PLAN\SP01.DWG

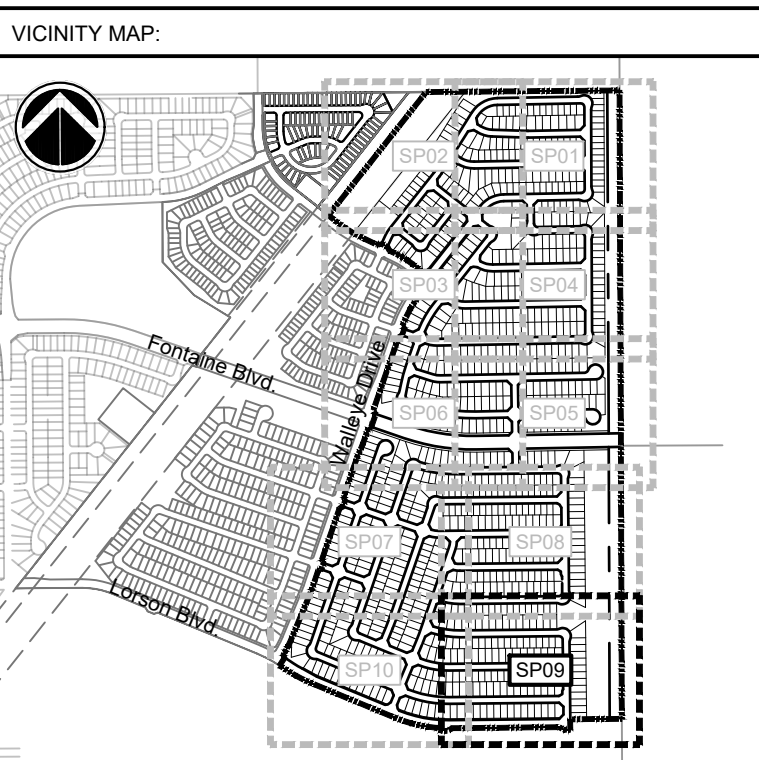


RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER OF SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

- LEGEND**
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--- PROPOSED CONTOURS
--- EXISTING CONTOURS

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT:
Matrix
2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0200
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55308
PHONE: (719) 570-1100

OWNER/DEVELOPER:
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212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
**RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

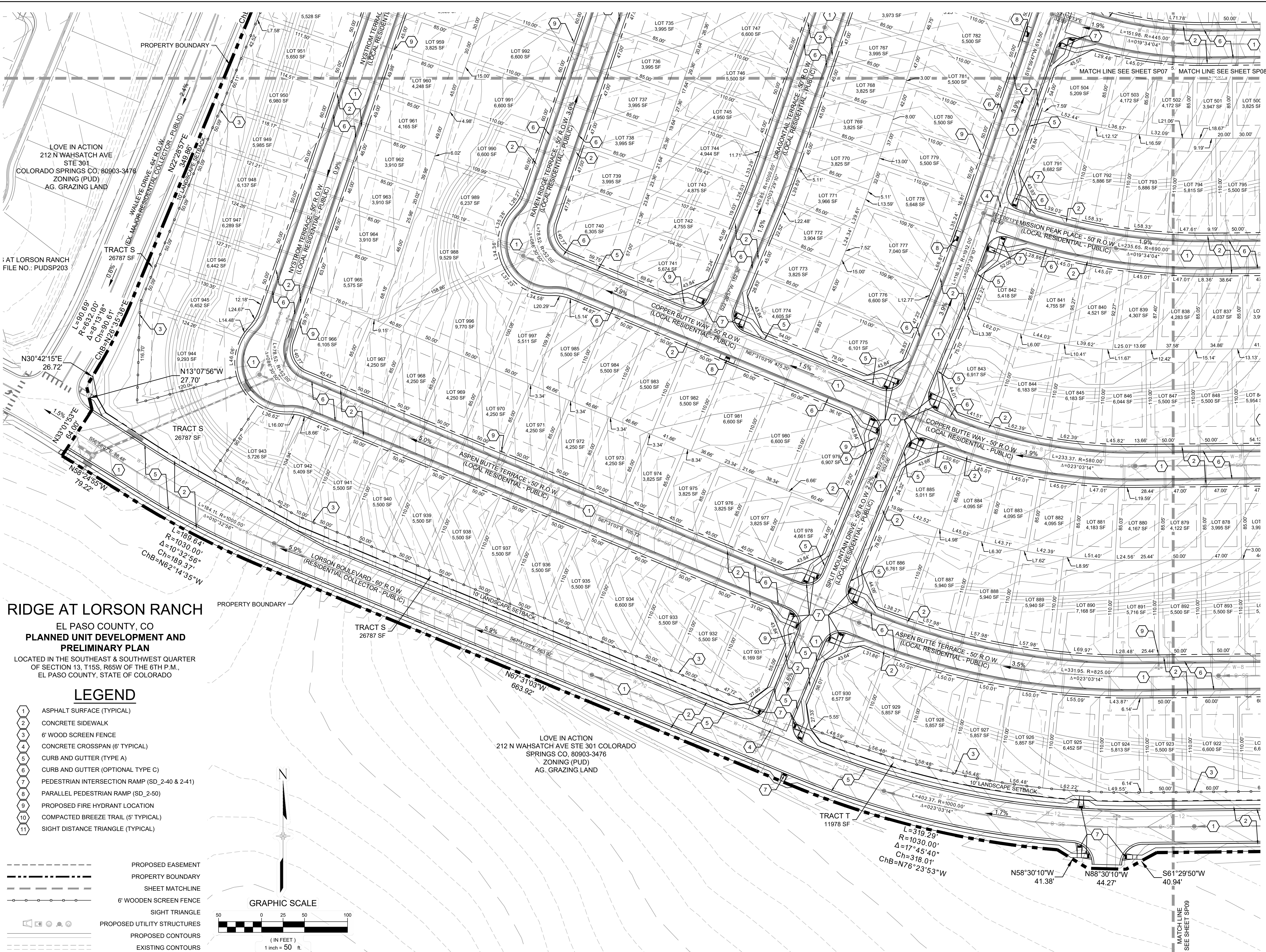
REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: RAF
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

SITE PLAN
SP09
SHEET 13 OF 24
PCD FILE NO.:

FILE LOCATION: S:\2011\2008 LORSON RANCH AREA.DWG\104 PLAN SET\DEVELOPMENT PLAN.SP10.DWG



RIDGE AT LORSON RANCH

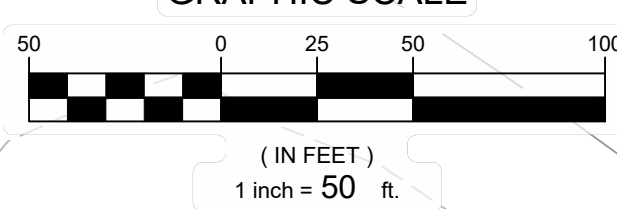
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE SOUTHEAST & SOUTHWEST QUARTER
OF SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
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PROPERTY BOUNDARY
SHEET MATCHLINE
6' WOODEN SCREEN FENCE
SIGHT TRIANGLE
PROPOSED UTILITY STRUCTURES
PROPOSED CONTOURS
EXISTING CONTOURS

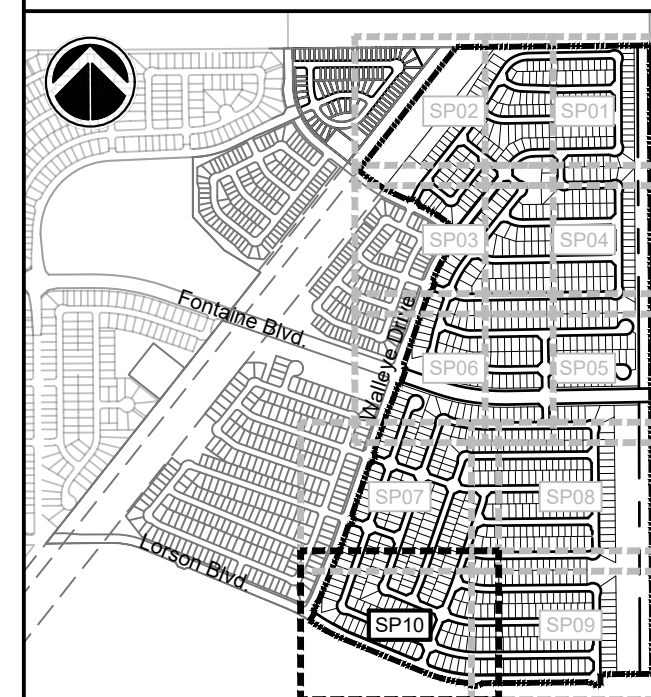
GRAPHIC SCALE



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
CIVIL ENGINEER: CORE ENGINEERING GROUP
15004 1ST AVENUE S, BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

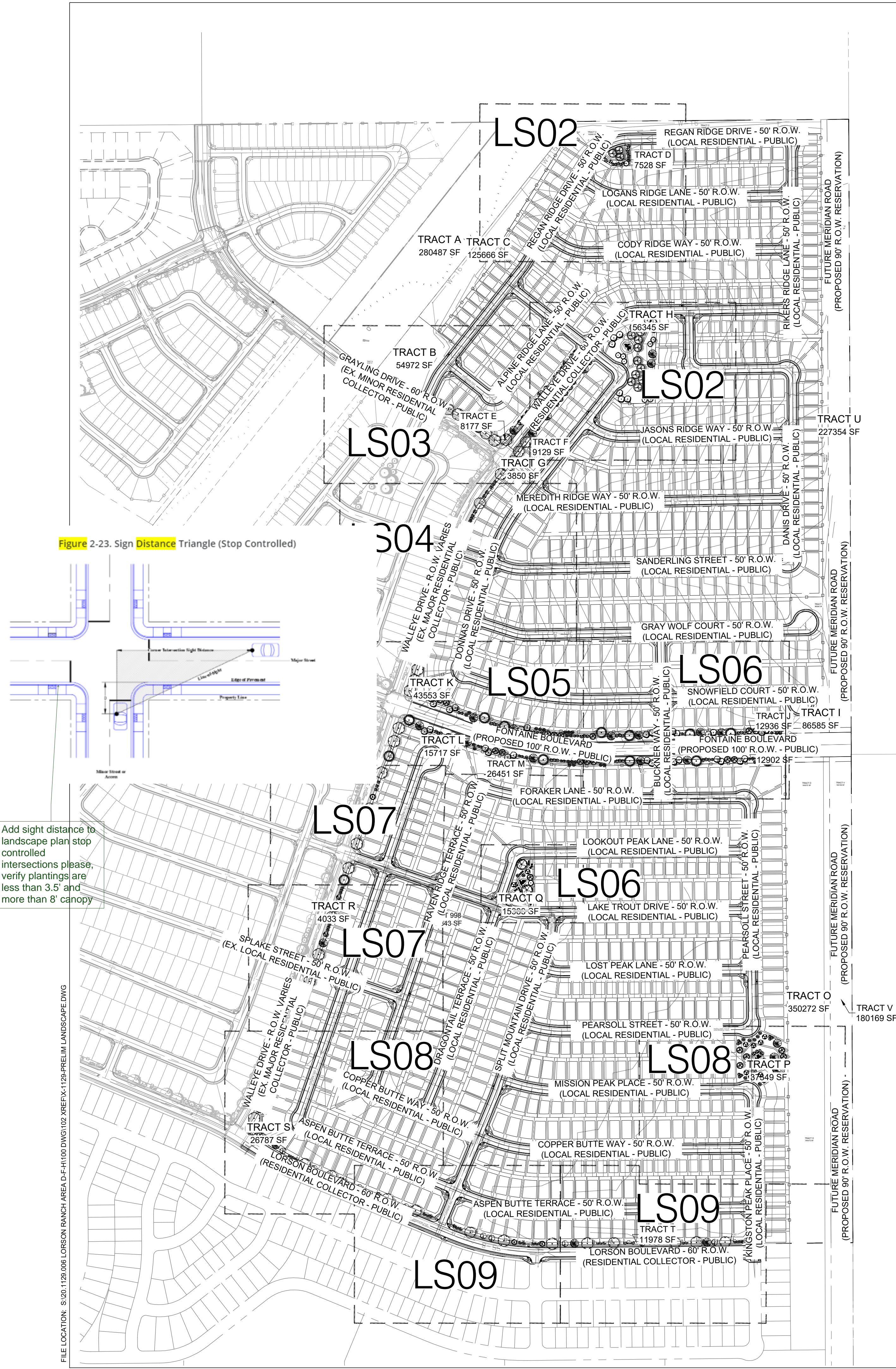
SHEET TITLE:

SITE PLAN

SP10

SHEET 14 OF 24

PCD FILE NO.:



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

SHEET INDEX:

LS01	LANDSCAPE PLAN TITLE SHEET, SITE REQUIREMENTS & LEGEND
LS02-LS09	PLANTING PLAN
LS10	LANDSCAPE NOTES & DETAILS

DEVELOPMENT PLAN DATA :

LANDSCAPE SETBACKS:		WEST	EAST	NORTH	SOUTH
STREET NAME OR ZONE BOUNDARY:	GRAYLING DR.	WALLEYE DR.	WALLEYE DR.	LORSON BLVD.	FONTAINE BLVD.
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO	NO
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	COLLECTOR	COLLECTOR	ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	10' / 10'	10' / 10'	25' / 25'
LINEAR FOOTAGE:	536'	493	3,139'	2,040'	1,493
TREE/FEET REQUIRED:	1 / 30	1 / 30	1 / 30	1 / 20	1 / 20
NUMBER OF TREES REQUIRED/PROVIDED:	18 / 18	17 / 20	105 / 105	68 / 69	75 / 75
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN: *	GD	WW	WD	LB	NF
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%
* TREES FOR POCKET PARKS LABELED:	PP				

PLANT SCHEDULE							
EVERGREEN TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	PH2	70	PICEA PUNGENS 'HOOPSII' HOOPSII BLUE SPRUCE	6' HT.	B&B	10' - 12'	20'-25'
	PN	27	PINUS NIGRA AUSTRIAN BLACK PINE	6' HT.	B&B	25'-30'	30'-40'
	PI	36	PINUS PONDEROSA PONDEROSA PINE	6' HT.	B&B	30'-40'	50'-75'
	PSL	12	PINUS SYLVESTRIS SCOTCH PINE	6' HT.	B&B	20'-30'	30'-50'
ORNAMENTAL TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	ML	36	MALUS X 'LOUISIA' LOUISIA CRABAPPLE	1.5" CAL.	B&B	12'-15'	12' - 15'
	MP	25	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRAB APPLE	1.5" CAL.	B&B	12'-15'	15'-25'
	MT	68	MALUS X 'THUNDERCHILD' THUNDERCHILD CRABAPPLE	1.5" CAL.	B&B	12'-15'	20'-25'
	PC	52	PRUNUS CERASIFERA 'CRIMSON POINTE' 'CRIMSON POINTE' FLOWERING PLUM	1.5" CAL.	B&B	5'-6'	15'-20'
	PM	25	PRUNUS MAACKII AMUR CHOKECHERRY	1.5" CAL.	B&B	15'-20'	20'-30'
SHADE TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	AS	14	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" CAL.	B&B	30'-40'	40' - 50'
	CC	14	CATALPA SPECIOSA 'HIAWATHA 2' TM HEARTLAND CATALPA	2" CAL.	B&B	20'-25'	40' - 50'
	CO	18	CELTIS OCCIDENTALIS 'CHICAGOLAND' COMMON HACKBERRY	2" CAL.	B&B	40'-50'	50'-60'
	GK	3	GYMNOCADUS DIOICA KENTUCKY COFFEETREE	2" CAL.	B&B	40'-50'	50'-60'
	KP	10	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" CAL.	B&B	20'-30'	20'-30'
	QB	31	QUERCUS BICOLOR SWAMP WHITE OAK	2" CAL.	B&B	40' - 60'	40' - 60'
	QM	15	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	40'-50'	50'-60'
	TS	37	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	2" CAL.	B&B	20' 35'	40' - 50'

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	NATIVE SEED A
	NATIVE SEED B
	COBBLE A
	COBBLE B
	STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE "BLACK". INSTALL PER MANUFACTURER'S SPECIFICATIONS.

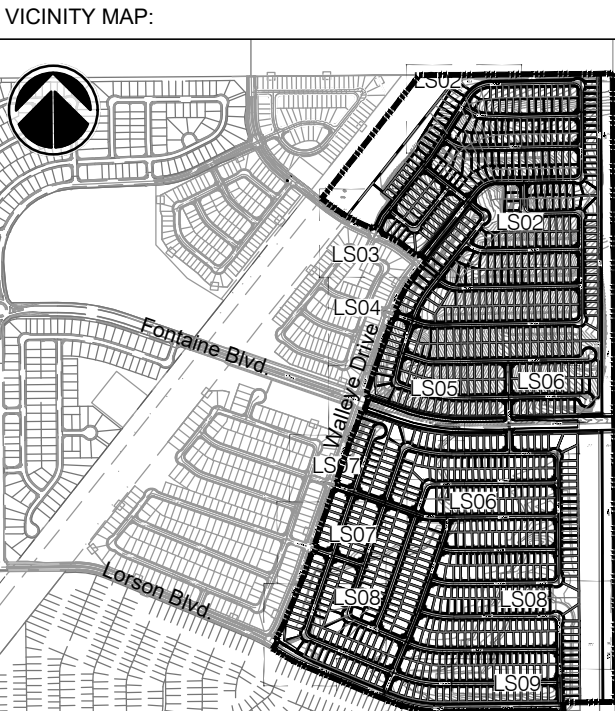
	FIRE HYDRANT, TYP; REF. CIVIL
	UTILITY EASEMENT, TYP; REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK; REF. CIVIL

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0206

CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55306 PHONE: (719) 570-1100

OWNER/DEVELOPER: LORSON LLC ET/ AL 212 N. WAHSATCH DR., SUITE 301 COLORADO SPRINGS, CO 80903 (719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

LANDSCAPE
COVER SHEET

LS01






SHEET 15 OF 24

PCD FILE NO.:

EL PASO COUNTY, CO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
NATIVE SEED A	IRRIGATED BUTTES SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLENDED INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
NATIVE SEED B	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLENDED INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
COBBLE A	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
COBBLE B	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
-----	STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOO AREAS AND PLANTING BEDS: TO BE DURAEDGE 1/4" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

 FIRE HYDRANT, TYP; REF. CIVIL
 UTILITY EASEMENT, TYP; REF. CIVIL
 PROPERTY LIMIT LINE
 LANDSCAPE BUFFER / SETBACK LINE
 CONCRETE SIDEWALK; REF. CIVIL

TRACT C
125666 SF

W-16 W-16 W-16

8' TRAILWAY
NATIVE SEED A
3 - AS
3 - MP
6' PRIVACY FENCE
NATIVE SEED B
5 - PH2
1 - PSL

REGAN RIDGE DRIVE - 50' R.O.W.
(LOCAL RESIDENTIAL - PUBLIC)

2 - MP
5' WALKWAY
COBBLE B
NATIVE SEED B
6' PRIVACY FENCE
TRACT D
7528 SF
4 - PH2

PCD FILE NO.:

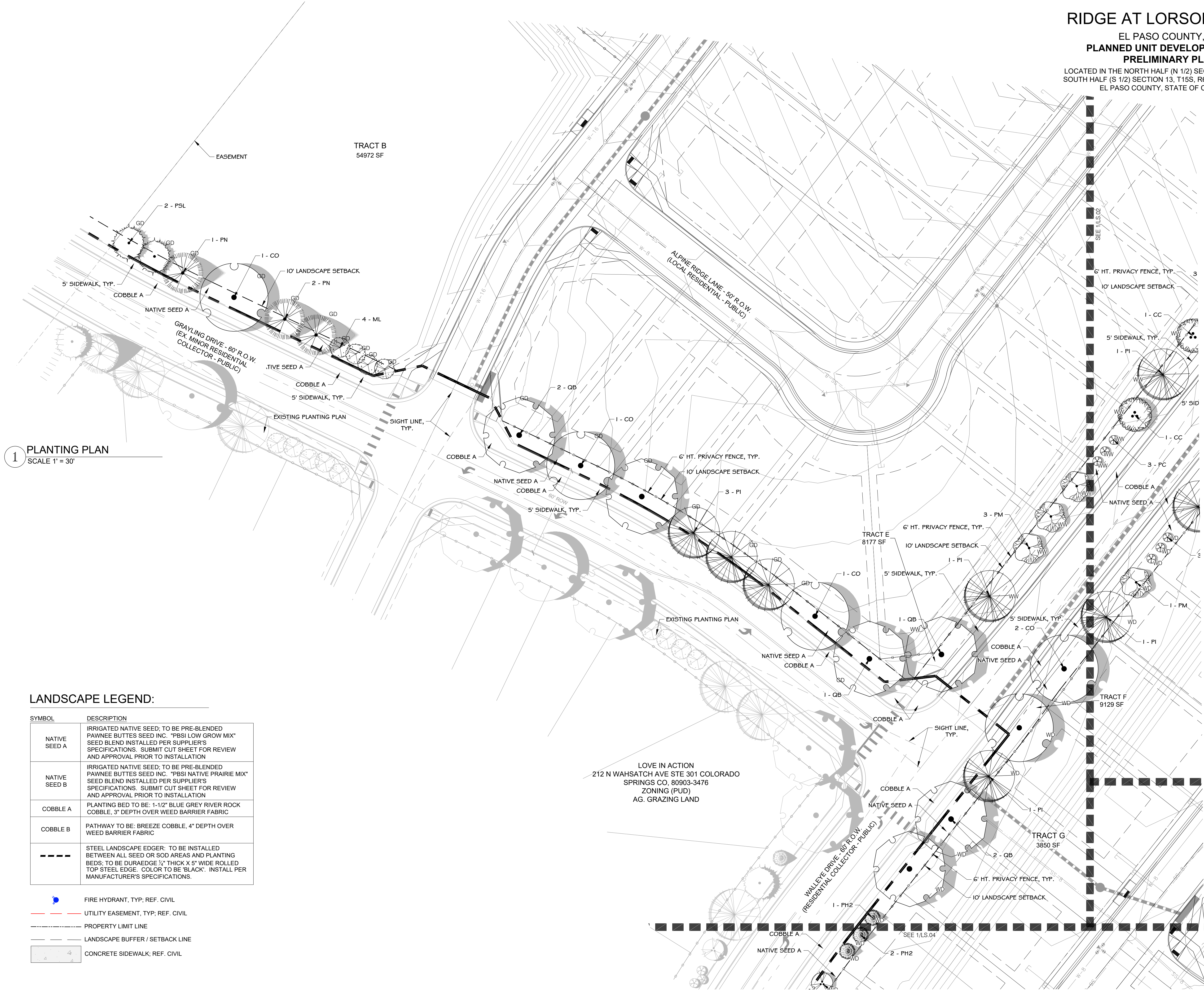
FILE LOCATION: S:\201129 006 LORSON RANCH AREA D-F\H100 DWG\1102 XREF\X-1129-PRELIM LANDSCAPE.DWG

1 PLANTING PLAN

SCALE 1' = 30'

2 PLANTING PLAN
SCALE 1' = 30'

FILE LOCATION: S:\2011\208 LORSON RANCH AREA D\F-H1100 DWG\102 XREF\X-1129-PRIM LANDSCAPE.DWG



1 PLANTING PLAN
SCALE 1" = 30'

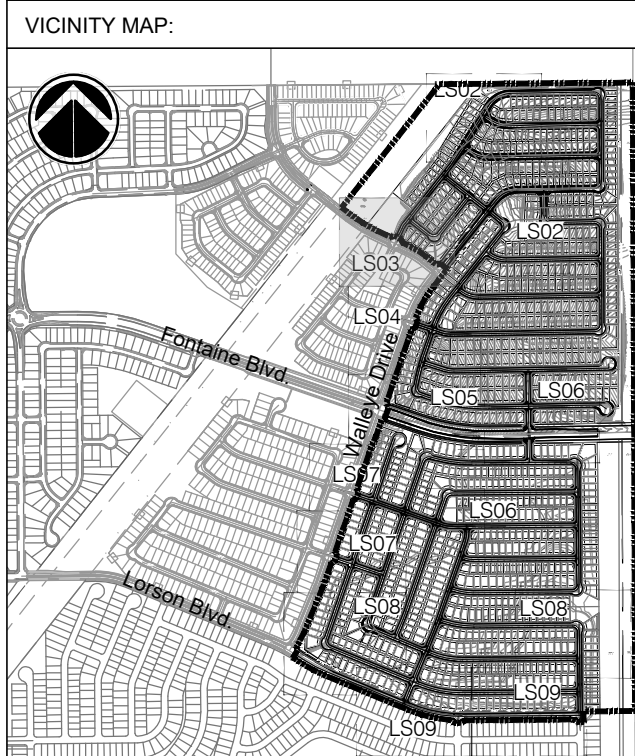
LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
NATIVE SEED A	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
NATIVE SEED B	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
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---	STEEL LANDSCAPE EDGER; TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURAEDGE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
•	FIRE HYDRANT, TYP. REF. CIVIL
---	UTILITY EASEMENT, TYP. REF. CIVIL
---	PROPERTY LIMIT LINE
---	LANDSCAPE BUFFER / SETBACK LINE
---	CONCRETE SIDEWALK; REF. CIVIL

RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100
OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

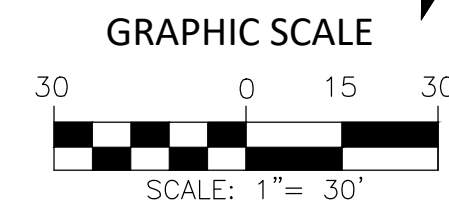
DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: SJC
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

PRELIMINARY
PLANTING PLAN

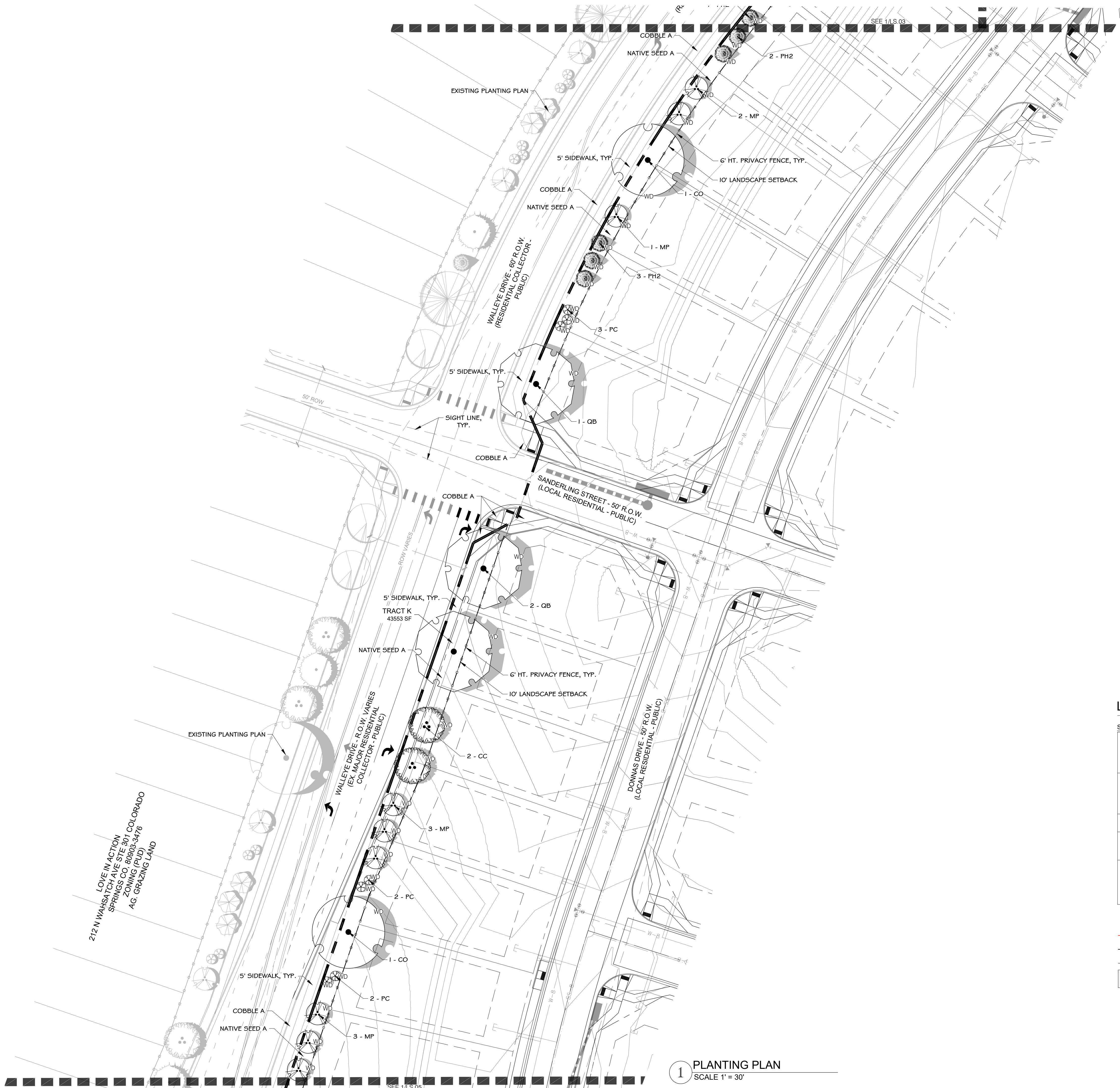
LS03

SHEET 17 OF 24

PCD FILE NO.:



FILE LOCATION: S:\2011\2008 LORSON RANCH AREA D\F-H1100 DWG1102.XREF\X-1123-PRELIM LANDSCAPE.DWG

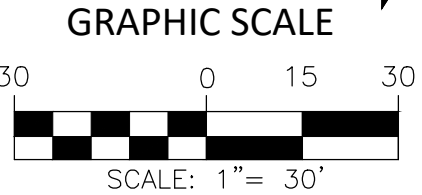


RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

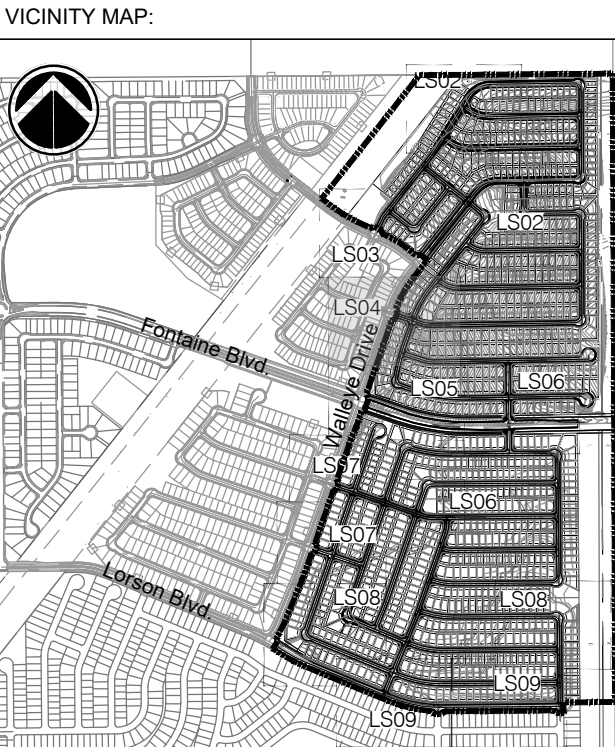
LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
NATIVE SEED A	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
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- FIRE HYDRANT, TYP; REF. CIVIL
- UTILITY EASEMENT, TYP; REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER / SETBACK LINE
- CONCRETE SIDEWALK; REF. CIVIL



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206
CIVIL ENGINEER: CORE ENGINEERING GROUP
15004 1ST AVENUE S, BURNSVILLE, MN 55306
PHONE: (719) 570-1100
OWNER/DEVELOPER: LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

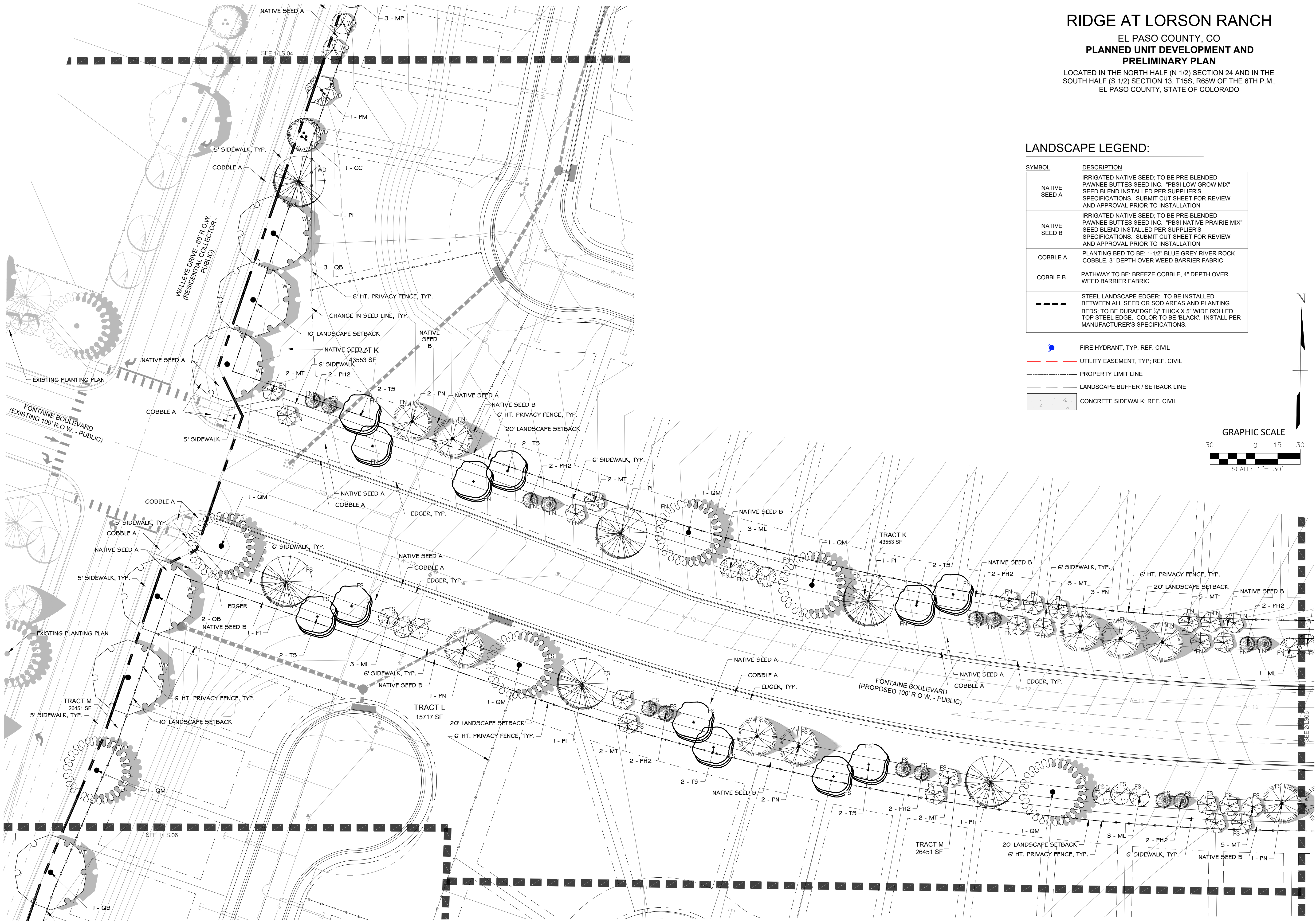
DRAWING INFORMATION:
PROJECT NO: 20.1129.006
DRAWN BY: SJC
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

PRELIMINARY
PLANTING PLAN

LS04
SHEET 18 OF 24

PCD FILE NO.:

FILE LOCATION: S:\201129.006\LORSON RANCH AREA D\F-H100.DWG\102.XREF\X-1129-PRELIM LANDSCAPE.DWG



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0206

CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55306 PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL 212 N. WAHSATCH DR., SUITE 301 COLORADO SPRINGS, CO 80903 (719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

PRELIMINARY
PLANTING PLAN

LS05

SHEET 19 OF 24

PCD FILE NO.:

FILE LOCATION: S:\201129.006\LORSON RANCH AREA D\F-H1100 DWG\1102_XREF\MX1129-PRELIM LANDSCAPE.DWG

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT:

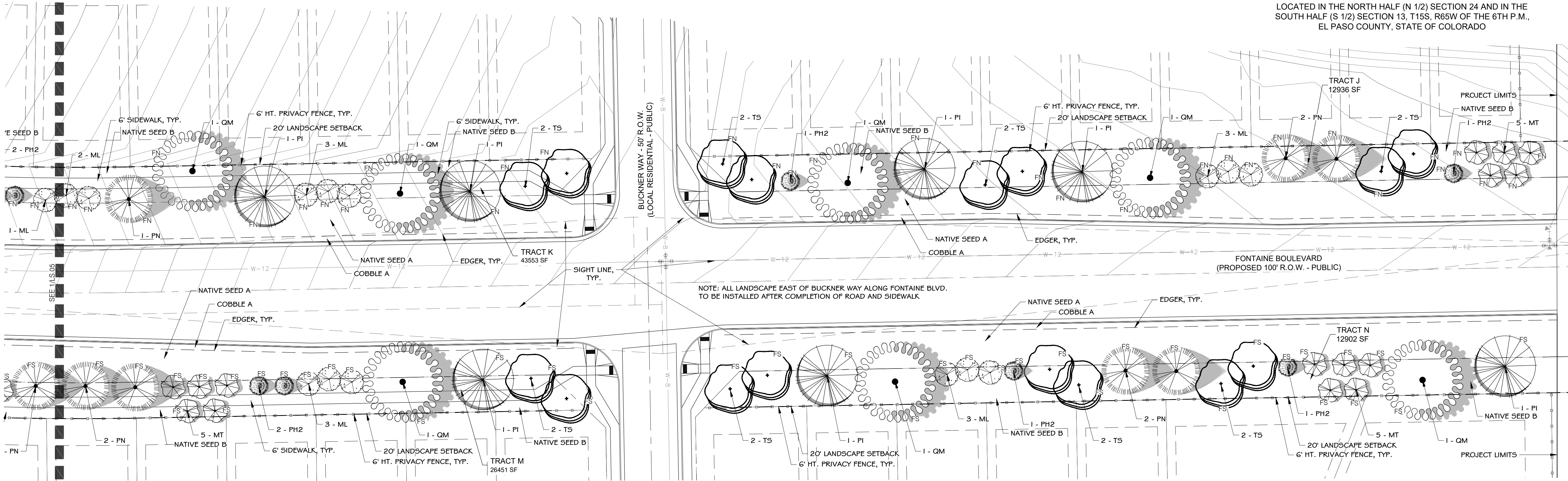
Matrix
2435 RESEARCH PARKWAY,
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COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
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CIVIL ENGINEER:

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15004 1ST AVENUE S.
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212 N. WAHSATCH DR., SUITE 301
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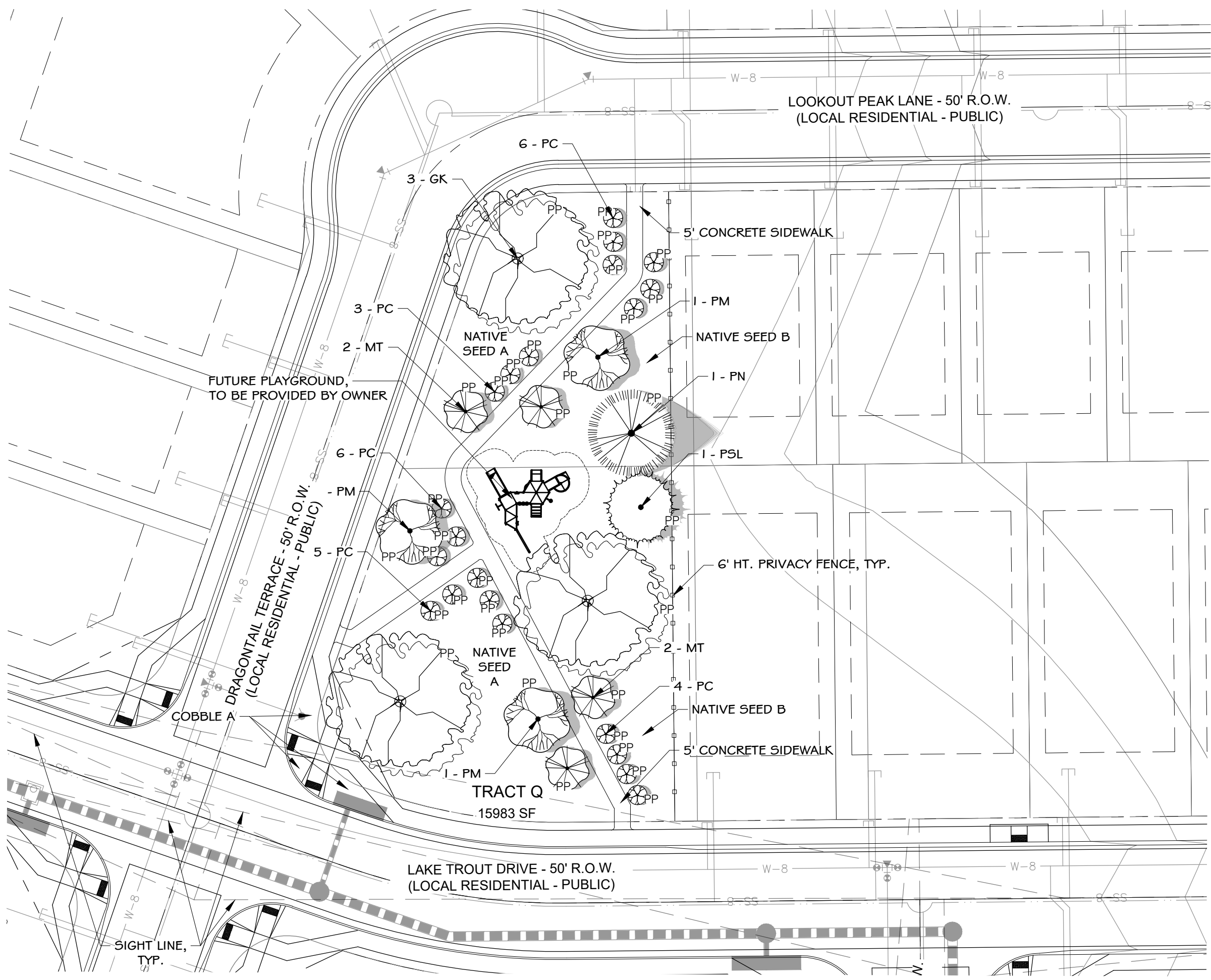


1 PLANTING PLAN
SCALE 1" = 30'

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
NATIVE SEED A	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
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	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK; REF. CIVIL



2 PLANTING PLAN
SCALE 1" = 30'

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

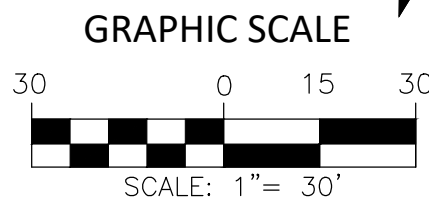
SHEET TITLE:

PRELIMINARY
PLANTING PLAN

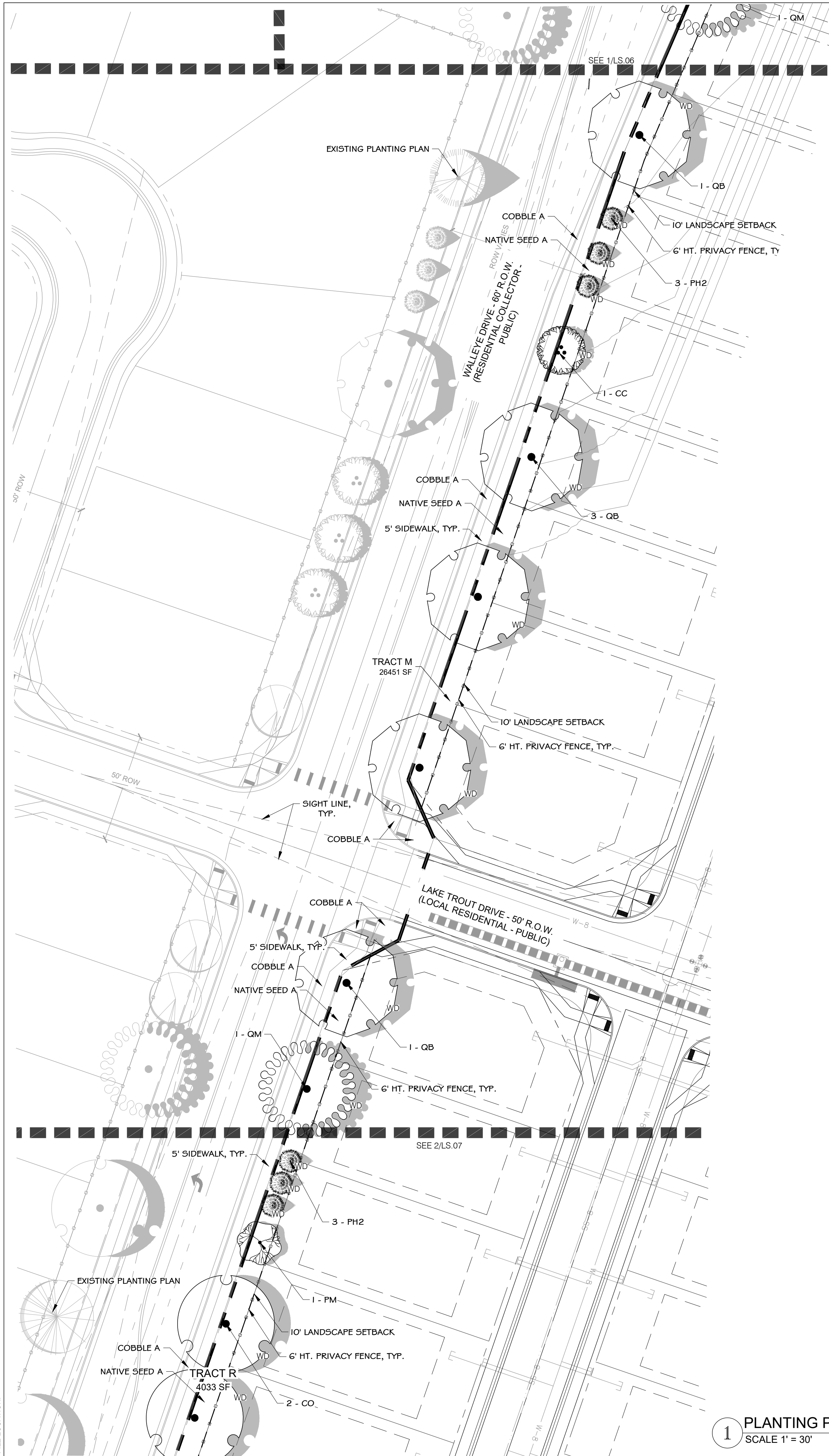
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SHEET 20 OF 24

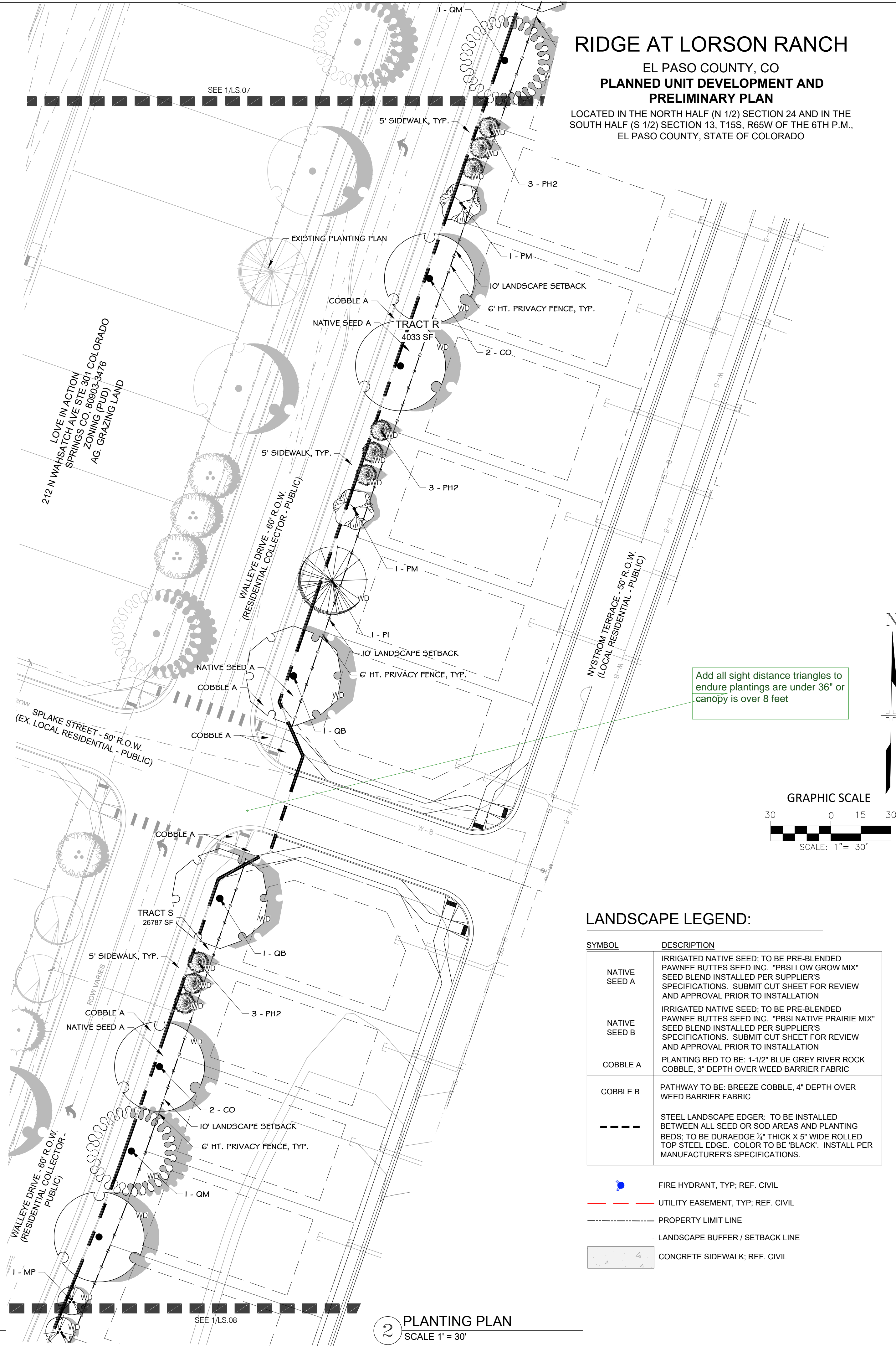
PCD FILE NO.:



FILE LOCATION: S:\2011\2008 LORSON RANCH AREA D\F-H1100 DWG\102.XREF\X-1129-PRELIM LANDSCAPE.DWG



1 PLANTING PLAN
SCALE 1" = 30'

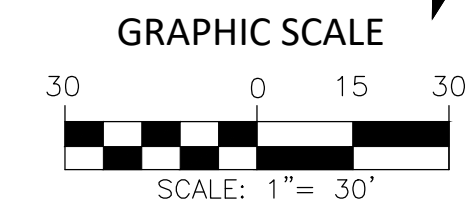


2 PLANTING PLAN
SCALE 1" = 30'

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO



LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
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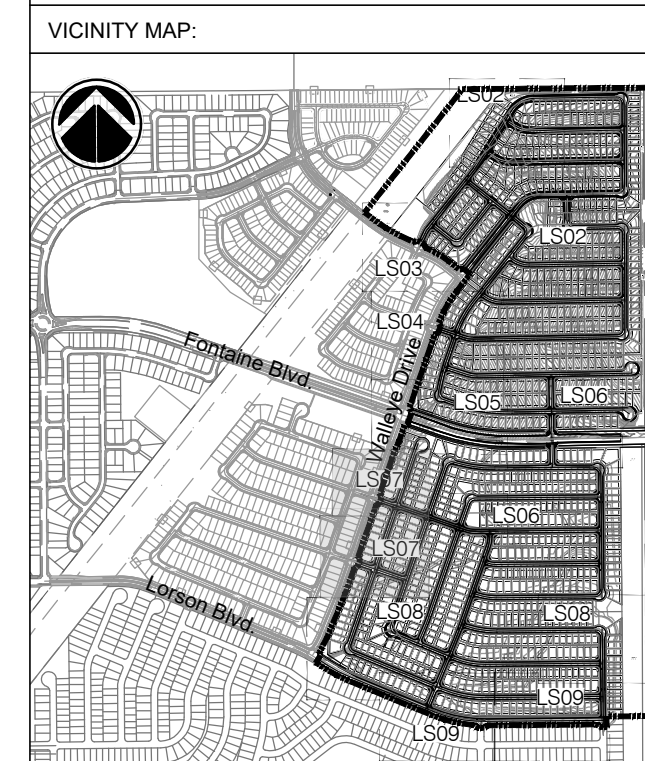
CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206

CIVIL ENGINEER:
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15004 1ST AVENUE S.
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PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY

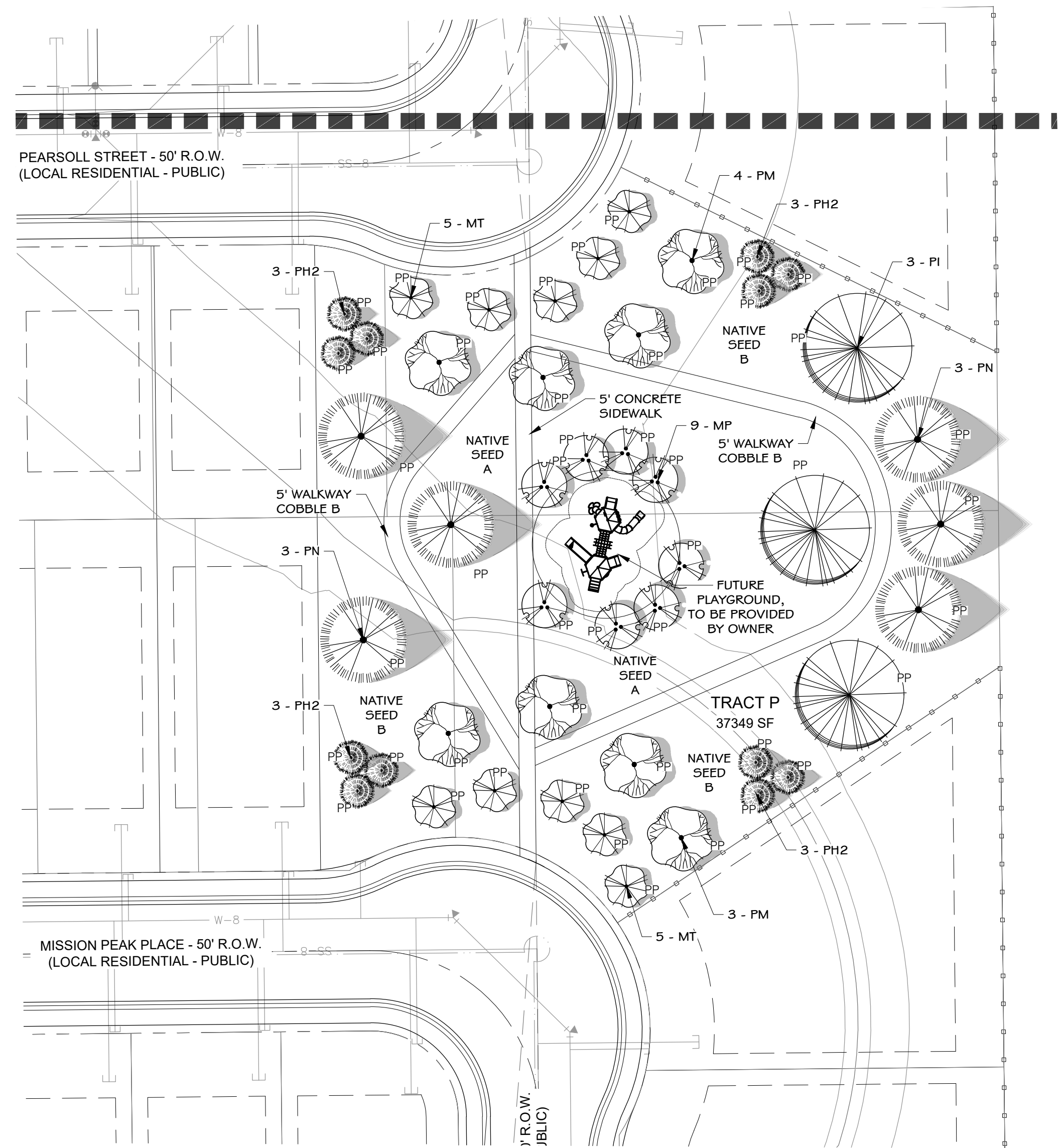
DRAWING INFORMATION:	
PROJECT NO:	20.1129.006
DRAWN BY:	SJC
CHECKED BY:	JRA
APPROVED BY:	JRA
SHEET TITLE:	

PRELIMINARY PLANTING PLAN

LS07

SHEET 21 OF 24

PCD FILE NO.:



EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

1. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
2. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
3. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
4. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
5. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
6. PLANT GROUND COVER WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE PER DRAWINGS, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
7. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
8. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE.
9. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.
10. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
11. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS IN ADDITION TO ANY REQUIRED SOIL AMENDMENTS. GRADE SHALL BE ADJUSTED FOR SOD/ GROUND COVER THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- ALL AREAS TO BE SEEDBED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE SEEDBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE.
- SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
- SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDBED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
- BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
- MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL GROWTH PER SEED MIX TYPE AND SLOPE.
- STRAW CRIMPING: TO BE NATIVE HAY OR STRAW CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.
- HYDRO-MULCHING (BASE BID): ORGANIC TACKIFIER SHALL BE USED. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
- FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDBED AREAS WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
- IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDBED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- APPROVAL OF SEEDBED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA, IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDBED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEED DURING THE SAME SEASON.
- ALL BARE AREAS TO BE RESEED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD CITY REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT.



* NOTE: ALL TREE PLANTINGS TO HAVE A 36" DIAMETER TREE RING WITH WOOD MULCH



* NOTE: ALL TREE PLANTINGS TO HAVE A 36" DIAMETER TREE RING WITH WOOD MULCH



PLANTING DETAIL

NTS

3. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
4. REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLANS IMMEDIATELY TO THE OWNER/ OWNER'S REPRESENTATIVE.
5. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
6. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
7. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
8. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
9. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
10. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
11. ALL COMMON LANDSCAPE AND STREETScape PLANTINGS WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE METROPOLITAN DISTRICT.
12. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL. FOR GRADING SEE CIVIL ENGINEER DRAWINGS.
13. A 3' DIAMETER CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
14. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

← sight distance note
here please

PLANNER/ LANDSCAPE ARCHITECT:

PLANNER/ LANDSCAPE ARCHITECT:

 **Matrix**

2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIRST SUBMITTAL: APRIL 19, 2021

NO.	DATE	DESCRIPTION	BY

PROJECT NO: 20.1129.006

DRAWN BY: S.J.

CHECKED BY: JF

CHECKED BY:	SP
DATE:	15

APPROVED BY: JF

LANDSCAPE NOTES & DETAILS

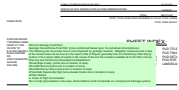
LS10

SHEET 24 OF 24

PCD FILE NO.:

PUD V_1 planning only.pdf Markup Summary 6-2-2021

dsdparsons (25)



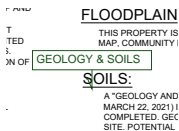
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Page Label: 1
Author: dsdparsons
Date: 6/1/2021 3:48:16 PM
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Soil and Geology Conditions:
Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:
▪Downslope Creep: (name lots or location of area)
▪Rockfall Source:(name lots or location of area)
▪Rockfall Runout Zone:(name lots or location of area)
▪Potentially Seasonally High Groundwater:(name lots or location of area)
▪Other Hazard:
In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.



Subject: Callout
Page Label: 1
Author: dsdparsons
Date: 6/1/2021 3:48:29 PM
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see CGS and staff comments: Add the constraints, and mitigation techniques for specific lots- see standard note



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GEOLOGY & SOILS



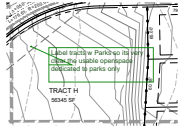
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Page Label: 1
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isnt there more than one land owner? District to...



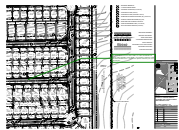
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Label tracts w Parks so its very clear the usable
openspace dedicated to parks only



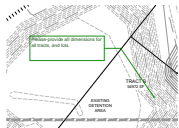
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Label tracts w Parks so its very clear the usable
openspace dedicated to parks only



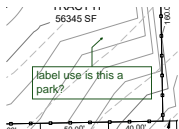
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you are required to show roads, widths, CL data,
classification & names with a PUDSP. revise
above...Any deviation related to roads should be
identified now... this is a site specific PUD Dev
plan not a general plan



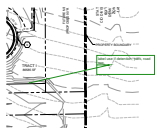
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Please-provide all dimensions for all tracts, and
lots.



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Date: 6/1/2021 4:16:02 PM
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label use is this a park?

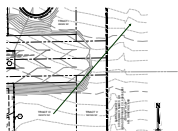


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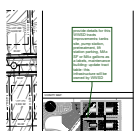
label use if detention, park, road row,



Subject: Arrow
Page Label: 9
Author: dsdparsons
Date: 6/1/2021 4:17:26 PM
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Subject: Arrow
Page Label: 9
Author: dsdparsons
Date: 6/1/2021 4:17:35 PM
Status:
Color: ■
Layer:
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Subject: Callout
Page Label: 7
Author: dsdparsons
Date: 6/1/2021 4:23:23 PM
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provide details for this WWSD tracts improvements: tanks site, pump station, pretreatment, lift station parking, MAX SF or MAX gallons as a labels, maintenance building- update tract table- this infrastructure will be owned by WWSD



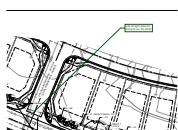
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center this please and enlarge-all pages



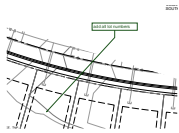
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sight distance note here please



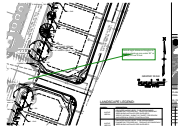
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Date: 6/1/2021 5:27:54 PM
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add all sight distance triangles per the ECM



Subject: Callout
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Author: dsdparsons
Date: 6/1/2021 5:28:08 PM
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add all lot numbers



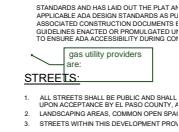
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Add all sight distance triangles to endure plantings are under 36" or canopy is over 8 feet



Subject: Callout
Page Label: 1
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no direct lot access to Fontaine or Lorson Blvds.



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gas utility providers are:

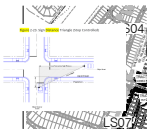


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label width or state here



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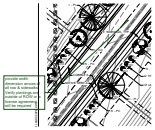


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Subject: Callout
Page Label: 15
Author: dsdparsons
Date: 6/2/2021 7:15:39 AM
Status:
Color: ■
Layer:
Space:

Add sight distance to landscape plan stop controlled intersections please, verify plantings are less than 3.5' and more than 8' canopy



Subject: Callout
Page Label: 16
Author: dsdparsons
Date: 6/2/2021 7:17:28 AM
Status:
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provide width dimension arrows of all row & sidewalks Verify plantings are outside of ROW or a license agreement will be required