

GENERAL PROVISIONS:

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) IS TO PROVIDE FOR 984 SINGLE-FAMILY DETACHED RESIDENTIAL UNITS, OPEN SPACE, UTILITIES, AND DRAINAGE.

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1922, AS AMENDED.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR RIDGE AT LORSON RANCH IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN, AND APPLICABLE SMALL LOTS RANCH IS AUTHORIZED UNDER THE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, AND THIS DEVELOPMENT PLAN COMPLETES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1922, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF RIDGE AT LORSON RANCH PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL, OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH CODEL, OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENGAGEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THEN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

GENERAL NOTES: 1. NO RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO COLLECTOR ROADWAY OR MAJOR ARTERIAL ROADWAY CLASSIFICATIONS INCLUDING FONTAINE BOULEVARD AND LORSON BOULEVARD. ALL RESIDENTIAL LOTS WILL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETS.

STREETS: 1. ALL STREETS SHALL BE PUBLIC AND SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.

LANDSCAPE: 1. COMMON OPEN SPACE AREAS SHALL BE XERISCAPED URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK, LAND DEDICATION AND OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS AND URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS AND URBAN PARK AND ADHERENTS TO THE EL PASO COUNTY LAND AND ADHERENTS TO THE EL PASO COUNTY PARK DESIGN, PARK SITE AVENUES AND TIMING OF CONSTRUCTION ARE TO BE DETERMINED WITH FUTURE COORDINATION WITH THE EL PASO COUNTY PARK DEPARTMENT.

ARCHITECTURAL CONTROL COMMITTEE REVIEW: 1. INDIVIDUAL, UNIT BUILD OUT, DESIGN, AND ARCHITECTURAL STYLE SHALL BE IN ACCORDANCE TO ARCHITECTURAL CONTROL COMMITTEE RULES AND REGULATIONS FOR LORSON RANCH, AND THE LORSON RANCH METRO DISTRICT CERS AS WELL AS THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES, PLEASE VISIT: WWW.LORSONRANCH.COM FOR MORE INFORMATION REGARDING REVIEW AND APPROVAL BY THE ARCHITECTURAL CONTROL COMMITTEE.

RIDGE AT LORSON RANCH EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN LOCATED IN THE SOUTHWEST QUARTER OF SECTION 13 AND THE NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND IN THE SOUTHWEST QUARTER USE 1/4 OF SECTION 13 AND THE NORTHEAST QUARTER (NE 1/4) OF SECTION 24, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE EAST-WEST CENTERLINE OF SAID SECTION 13 AND THE EASTERN LINE OF THE 100 FOOT WIDE TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC. EASEMENT AS RECORDED IN BOOK 2665 AT PAGE 715 AND IN BOOK 2466 AT PAGE 715 OF THE EL PASO COUNTY RECORDS FROM WHENCE THE CENTER QUARTER OF SAID SECTION 13 BEARS S89°31'44"W A DISTANCE OF 1,256.86 FEET;

- 1) THENCE N33°01'53"E A DISTANCE OF 64.00 FEET;
2) THENCE N3°07'56"W A DISTANCE OF 27.70 FEET;
3) THENCE N30°42'15"E A DISTANCE OF 26.72 FEET TO A POINT OF CURVE;
4) THENCE N0°50'66"E ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 632.00 FEET, A CENTRAL ANGLE OF 8°13'18";
5) THENCE N2°28'25"E A DISTANCE OF 349.86 FEET TO A POINT OF TANGENT;
6) THENCE E2°78'72"E ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1,022.00 FEET, A CENTRAL ANGLE OF 3°29'10";
7) THENCE N18°59'47"E A DISTANCE OF 134.97 FEET;
8) THENCE N18°59'47"E A DISTANCE OF 56.86 FEET;
9) THENCE N23°45'41"W A DISTANCE OF 59.46 FEET;
10) THENCE N23°45'41"W A DISTANCE OF 36.46 FEET;
11) THENCE N81°45'15"E A DISTANCE OF 36.46 FEET;
12) THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
13) THENCE N23°45'41"W A DISTANCE OF 50.00 FEET;
14) THENCE N23°45'41"W A DISTANCE OF 30.67 FEET;
15) THENCE N18°59'47"E A DISTANCE OF 106.97 FEET;
16) THENCE N23°17'08"E A DISTANCE OF 106.97 FEET;
17) THENCE N18°59'47"E A DISTANCE OF 119.41 FEET;
18) THENCE N18°59'47"E A DISTANCE OF 25.46 FEET;
19) THENCE N18°59'47"E A DISTANCE OF 83.91 FEET;
20) THENCE N26°00'13"W A DISTANCE OF 36.77 FEET;
21) THENCE N18°59'47"E A DISTANCE OF 56.77 FEET;
22) THENCE N61°35'11"E A DISTANCE OF 30.06 FEET;
23) THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
24) THENCE N23°47'26"W A DISTANCE OF 29.39 FEET;
25) THENCE 267°95'42"E ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 868.00 FEET, A CENTRAL ANGLE OF 17°41'14";
26) THENCE N28°22'41"E A DISTANCE OF 159.73 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAYLING DRIVE AS SHOWN ON THE ABOVE SAID PLAN OF THE HILLS AT LORSON RANCH (FILED NO. 11);

FLOODPLAIN NOTE: THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 98040100960, EFFECTIVE DATE DECEMBER 7, 2018.

GEOLOGY & SOILS:

A GEOLOGY AND SOILS REPORT, THE RIDGE AT LORSON RANCH, EL PASO COUNTY, COLORADO (RMC, ROCKY MOUNTAIN GROUP, JULY 2, 2021) IS INCLUDED WITH THE SUBMITTAL PACKAGE. AS PART OF THIS REPORT, 134 EXPLORATORY TEST BOREHOLE CORES WERE COMPLETED. GEOTECHNICAL DATA DESCRIBED IN SECTION 8.0 OF THE REPORT WERE NOT FOUND TO BE PRESENT IN THIS PROPERTY. EXPANSIVE SOILS AND BEDROCK, FAULTS AND SEISMICITY, RADON, AND FROSION, WHERE AVOIDANCE IS NOT READILY ACHIEVABLE, THE EXISTING GEOLOGY AND ENGINEERING CONDITIONS CAN BE SATISFACTORILY MITIGATED THROUGH PROPER ENGINEERING DESIGN AND CONSTRUCTION PRACTICES. BEDROCK CAN BE EXCAVATED USING TYPICAL CONSTRUCTION EQUIPMENT. EXTERIOR PERIMETER FOUNDATION DRAINS SHALL BE INSTALLED AROUND BELOW-GRADE HABITABLE OR STORAGE AREAS TO PREVENT WATER FROM PENETRATING INTO THE SUBGRADE SOIL.

LAND OWNER CERTIFICATION

WITNESSES WHEREBY THE AGRI-CULTURED, LORSON LLC, ONE IN ACTION, AND LORSON LLC (NAME FOR LORSON CONSERVATION TRUST 7, LLP) HAS EXECUTED THESE PRESENTS THIS 15th DAY OF February 2022. A COLORADO LIMITED LIABILITY COMPANY.

COUNTY CERTIFICATION

THE RESUME REQUEST TO PUD HAS BEEN RECEIVED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH BOARD RESOLUTION # 21-1413 AND DATE 2/12/21 APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO )
COUNTY OF )
EL PASO COUNTY )
RECORDED HERE )
RECEIVED NO. )

LAND USE:

CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

SITE DATA TABLE:

Table with 3 columns: TOTAL SITE AVERAGE, PROPOSED SINGLE-FAMILY DWELLING UNITS, PROPOSED GROSS DENSITY. Values include 206.473 AC, 984 DU, 4.81 DU/AC.

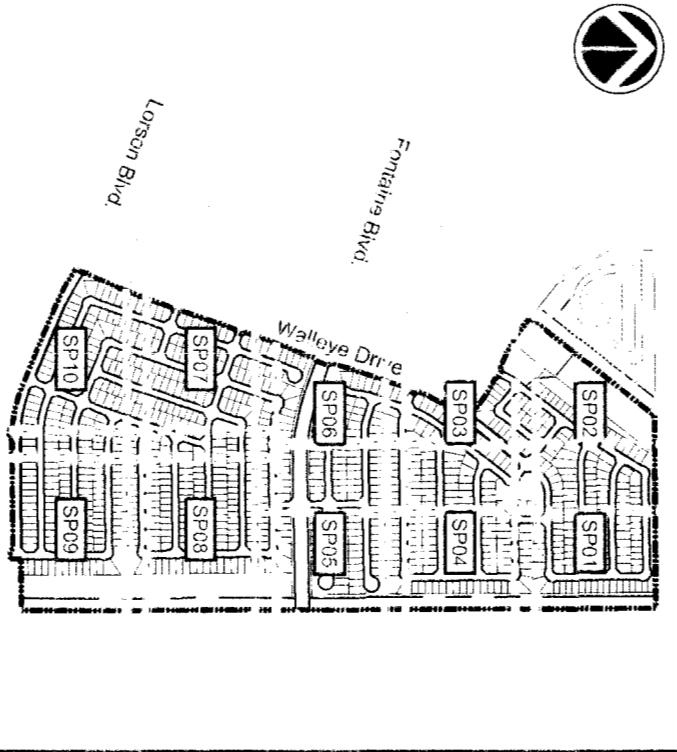
SITE DATA TABLE:

Table with 4 columns: TYPE OF USE, SINGLE-FAMILY RESIDENTIAL (R65-L013), OPEN SPACE/LANDSCAPE/PARKS, UTILITY DEVELOPMENT TRACT. Values include 121,868 AC, 19,669 AC, 1,201 AC.

SHEET INDEX:

Table with 4 columns: SHEET NO., PUD TITLE SHEET, PUD TRACT MAP & DETAILS, PUD SITE PLAN. Values include 01 CS01, 02 DT02, 03-04 DT03-04, 05-14 SP01-10, 15-27 LS01-13.

CONSULTANTS: PLANNERS/LANDSCAPE ARCHITECT: 2415 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80901. CIVIL ENGINEER: 1800 1ST AVENUE S, COLORADO SPRINGS, CO 80905. OWNER/DEVELOPER: LORSON LLC ET AL, 2112 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903.



RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

Table with 4 columns: REVISION NO., DATE, DESCRIPTION, BY. Includes revisions for 1st, 2nd, 3rd, and 4th submissions.

PUD TITLE SHEET

CS01



# RIDGE AT LORSON RANCH

EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO



TRACT	SIZE (SF)	LANDSCAPE/ OPEN SPACE/ TRAIL	POCKET PARK	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DEFENTION	PUBLIC UTILITIES	ELECTRIC EASEMENT	OWNED BY	MAINTAINED BY
A	280,487	X	X	X	X	X	X	LRMD	LRMD
B	54,972	X	X	X	X	X	X	LRMD	LRMD
C	70,159	X	X	X	X	X	X	LRMD	LRMD
D	8,607	X	X	X	X	X	X	LRMD	LRMD
E	8,177	X	X	X	X	X	X	LRMD	LRMD
F	9,128	X	X	X	X	X	X	LRMD	LRMD
G	3,850	X	X	X	X	X	X	LRMD	LRMD
H	56,346	X	X	X	X	X	X	LRMD	LRMD
I	86,595	X	X	X	X	X	X	LRMD	LRMD
J	12,902	X	X	X	X	X	X	LRMD	LRMD
K	43,533	X	X	X	X	X	X	LRMD	LRMD
L	15,177	X	X	X	X	X	X	LRMD	LRMD
M	26,451	X	X	X	X	X	X	LRMD	LRMD
N	12,902	X	X	X	X	X	X	LRMD	LRMD
O	350,272	X	X	X	X	X	X	LRMD	LRMD
P	37,349	X	X	X	X	X	X	LRMD	LRMD
Q	15,983	X	X	X	X	X	X	LRMD	LRMD
R	4,033	X	X	X	X	X	X	LRMD	LRMD
S	26,787	X	X	X	X	X	X	LRMD	LRMD
T	11,978	X	X	X	X	X	X	LRMD	LRMD
U	227,354	X	X	X	X	X	X	LRMD	LRMD
V	180,169	X	X	X	X	X	X	LRMD	LRMD
W	52,292	X	X	X	X	X	X	LRMD	LRMD
X	1,011	X	X	X	X	X	X	LRMD	LRMD
Y	8,607	X	X	X	X	X	X	LRMD	LRMD
Z	8,177	X	X	X	X	X	X	LRMD	LRMD
AA	1,597,099	X	X	X	X	X	X	LRMD	LRMD

LRMD = LORSON RANCH METROPOLITAN DISTRICT  
 LMA = LOVE IN ACTION

1" X 4" VERTICAL PICKETS

2" X 4" HORIZONTAL STRINGER

6'-0" 8'-0" O.C. TYP. 6' WOOD SCREEN FENCE

NOT TO SCALE

FINISHED GRADE

4" X 4" POST, BURIED 24"

SPLIT RAIL FENCE GATE - PER OWNERS DIRECTION

NOT TO SCALE

8'-0" O.C. TYP.

NOTE: FENCE MATERIAL TO BE DETERMINED

SPLIT RAIL FENCE DETAIL

NOT TO SCALE

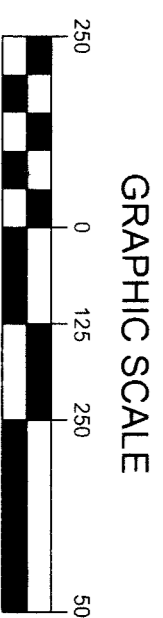
5'-0" WIDE MAX. 2% CROSS SLOPE

4" BREEZE

COMPACTED SUBGRADE

5' COMPACTED BREEZE TRAIL

NOT TO SCALE

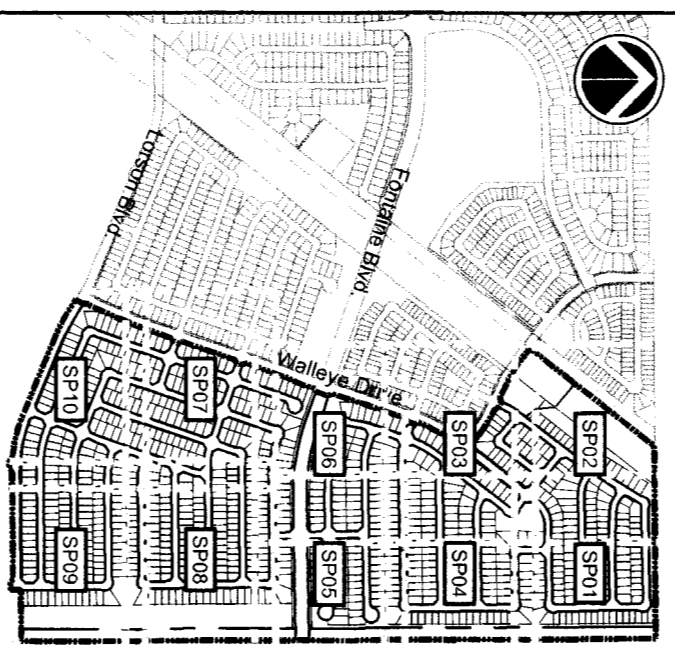


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 02-23-2022

CONSULTANTS

PLANNER/LANDSCAPE ARCHITECT  
**Matrix**  
 CIVIL ENGINEERING GROUP  
 SUITE 300  
 2435 RESEARCH PARKWAY,  
 COLORADO SPRINGS, CO 80903  
 PHONE: (719) 575-0100  
 BURNSVILLE, MN 55306  
 PHONE: (719) 570-1100  
 FAX: (719) 575-0038

OWNER/DEVELOPER  
**LORSON LLC ET AL**  
 SUITE 301  
 212 N. WASHATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 638-3200



PROJECT  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 FIFTH SUBMITTAL: DECEMBER 02, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/08/2021	FOURTH SUBMITTAL	RAE
4	12/09/2021	FIFTH SUBMITTAL	RAE

REVISION HISTORY

DRAWING INFORMATION:  
 PROJECT NO: 20.1129.006  
 DRAWN BY: RAE  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

**PUD TRACT MAP  
 AND DETAILS**

**DT01**

SHEET 02 OF 27

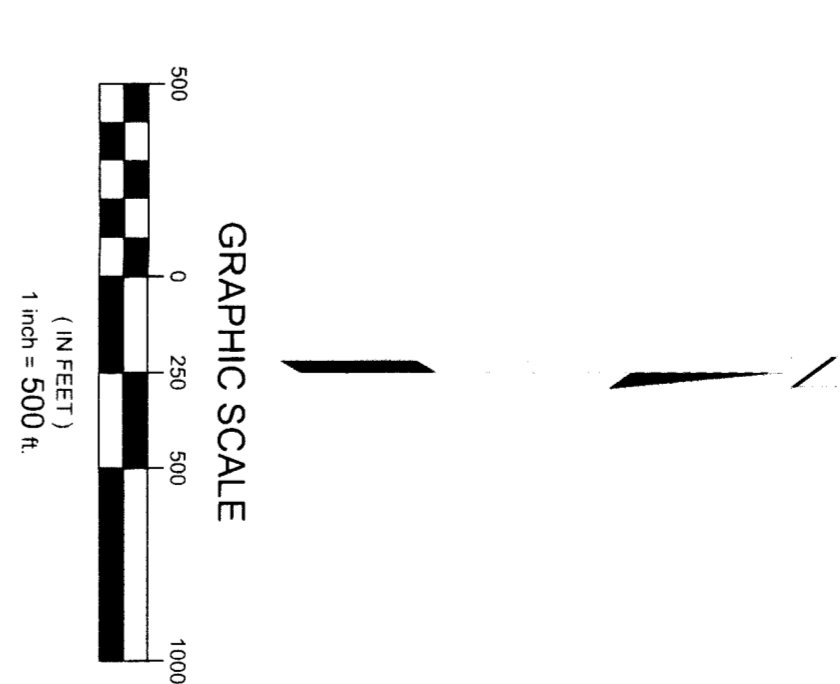
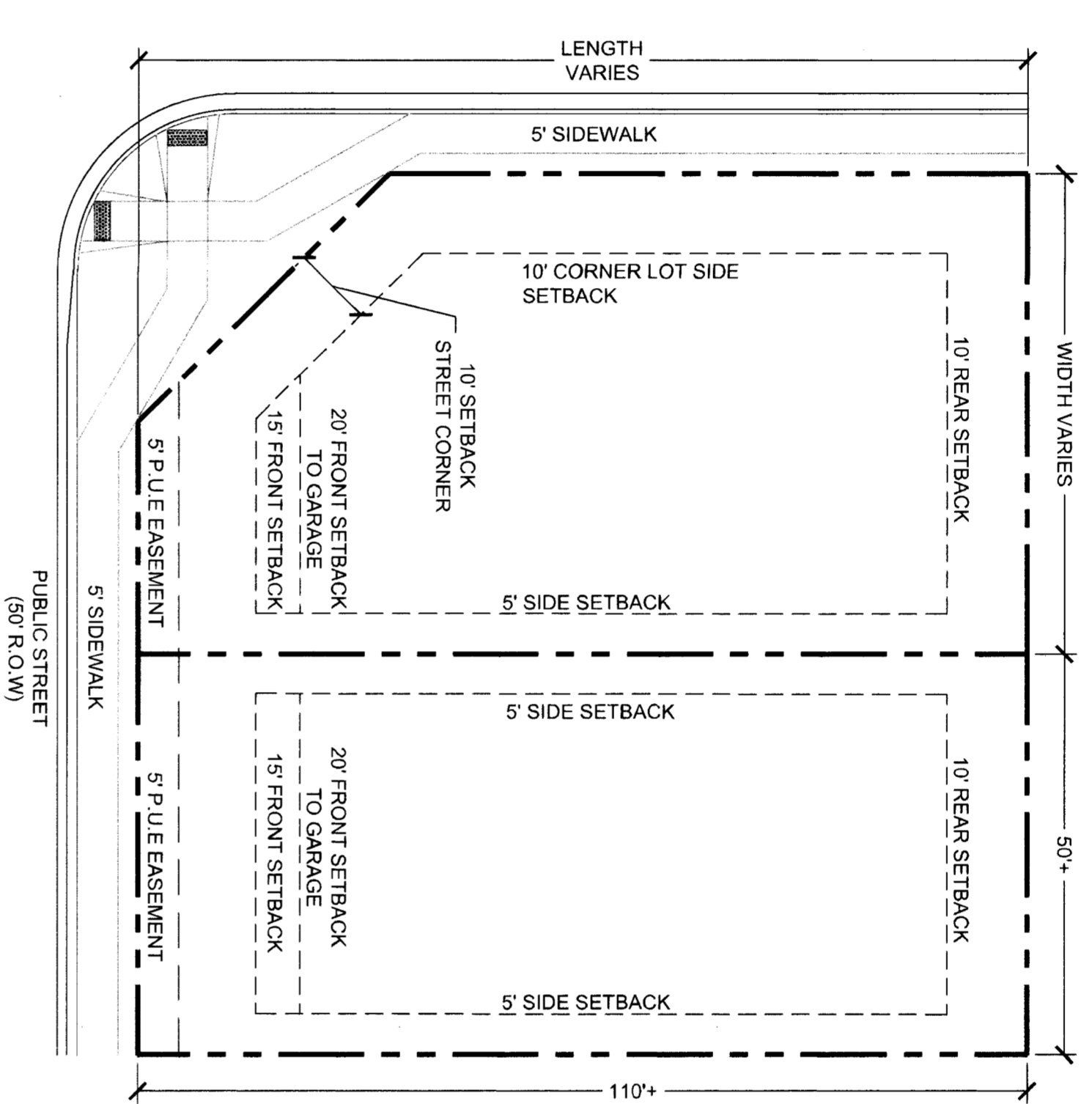
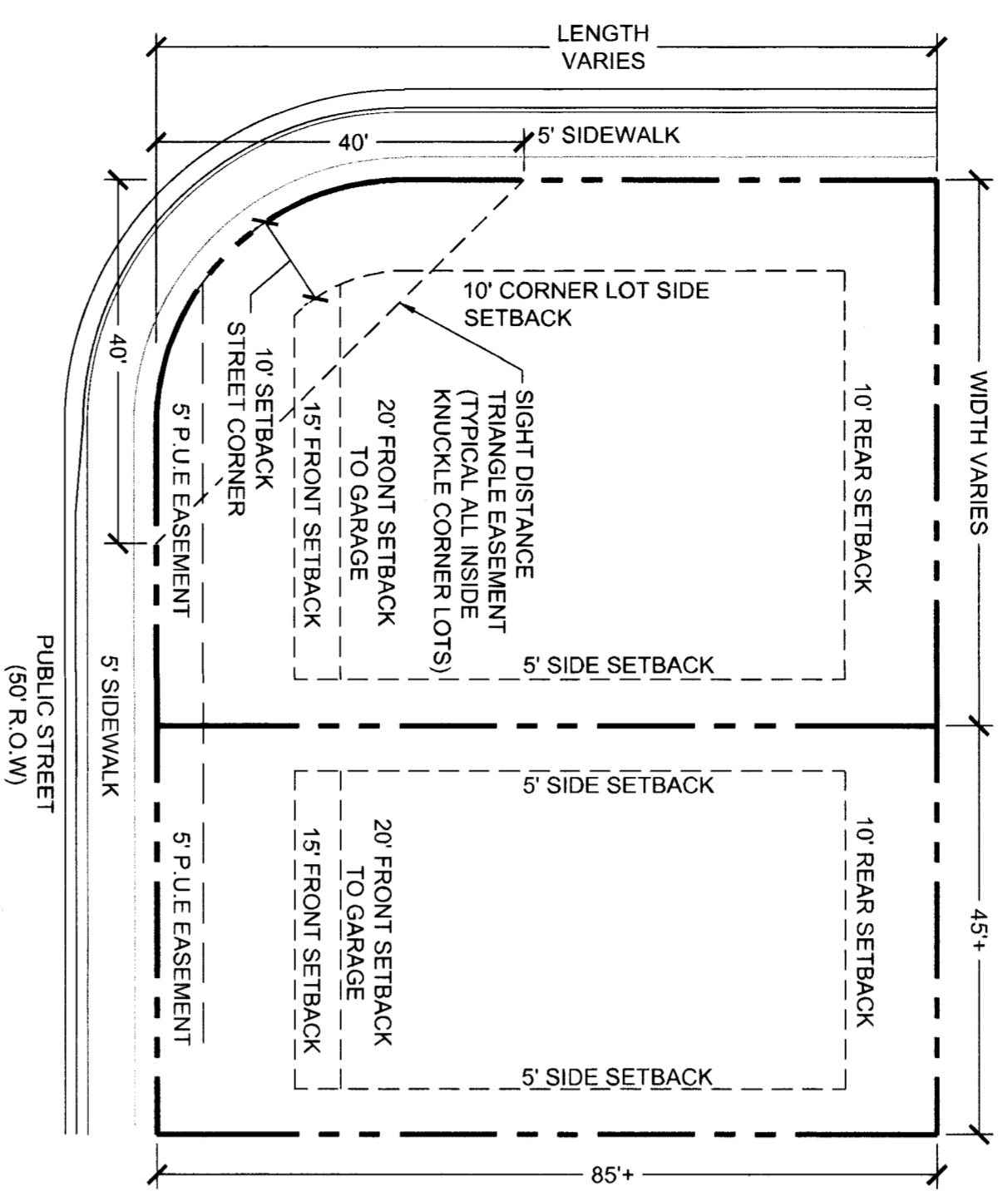
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# RIDGE AT LORSON RANCH

## EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH  
P.M., EL PASO COUNTY, STATE OF COLORADO



### DIMENSIONAL STANDARDS AND GUIDELINES

#### DIMENSIONAL STANDARDS FOR LOTS 1-994

- MINIMUM LOT AREA.
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE, NO MAXIMUM.
- MINIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. ALL PROPERTY OWNERS AS SPECIFICALLY NOTED ON THE PLAN SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEOWNERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE SPANNING OF PLACED IMPROVEMENTS.
- SETBACK REQUIREMENTS (SEE DETAILS):
  - FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
  - SIDE YARD: FIFTEEN FEET (15') TO FACE OF HOUSE
  - REAR YARD: FIVE FEET (5')
  - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- ACCESSORY STRUCTURE STANDARDS:
  - MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
  - SETBACK REQUIREMENTS: FIVE FEET (5') SIDE YARD, FIVE FEET (5') REAR YARD, FIVE FEET (5')

### DEVELOPMENT STANDARDS AND GUIDELINES

- #### PRINCIPAL USES:
- THREE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
  - THESE SHALL INCLUDE: RESIDENTIAL, RESIDENTIAL CARE, SENIORS, TRAIL, RECREATION, DEVELOPMENT SIGNAGE, ENTRY MONUMENT, SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, AND OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES.
- PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

- #### TEMPORARY USES:
- MODEL HOME/SIGN
  - CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
  - YARD OR GARAGE SALES

- #### ACCESSORY USES:
- ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED
- RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
  - RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
  - SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY, AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
  - PERSONAL USE GREENHOUSE OR GARDEN, GROWING OF MARIJUANA IS NOT PERMITTED.
  - MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE, ONLY 1 PER LOT.
- ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

- PROJECTION INTO SETBACKS:
  - A COVERED SEMI-ENCLOSED PORCH MAY PROJECT INTO A REQUIRED FRONT OR REAR YARD SETBACK A MAXIMUM OF 10 FEET AND SHALL ONLY BE ENCLOSED ON A MAXIMUM OF TWO SIDES.
  - OPEN AND UNENCLOSED PATIOS, FREESTANDING PERGOLAS, DECKS, PLATFORMS, LANDINGS OR RAMPS MAY EXTEND INTO REQUIRED FRONT, SIDE OR REAR YARD SETBACKS PROVIDED THE PATIO, DECK, PLATFORM, LANDING OR RAMP DOES NOT EXCEED 18 INCHES IN HEIGHT MEASURED FROM THE FINISHED FLOOR TO ANY ADJACENT POINT OPEN AND UNENCLOSED FROM THE FINISHED FLOOR TO ANY ADJACENT POINT OF THE FINISHED GRADE. MAY EXTEND A MAXIMUM OF 10 FEET INTO REQUIRED FRONT OR REAR YARD SETBACKS AND A MAXIMUM OF 42 INCHES INTO SIDE YARD SETBACKS.
  - FEATURES AND FLUES, SILLAS, BELT COULSES, CORNICES, EAVES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY PROJECT NOT MORE THAN 12 FEET INTO REQUIRED FRONT, SIDE OR REAR YARD SETBACKS. CANTILEVERED BAY WINDOWS, NO GREATER THAN 12 FEET IN WIDTH, MAY PROJECT NOT MORE THAN 3 FEET INTO A REQUIRED FRONT OR REAR YARD SETBACK. THE WINDOW SHALL INCLUDE NO SUPPORTS THAT EXTEND INTO THE REQUIRED FRONT OR REAR YARD SETBACK.

- #### SPECIAL USES:
- CARNS FACILITY (SPECIAL) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- #### ACCESSORY STRUCTURES:
- SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GABEROS, PATIOS (COVERED OR UNCOVERED), HOT TUBS, SPAS, AND POOLS.
  - MALIBORDES
  - PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
  - PERSONAL USE SMALL CELL TOWER
  - DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
  - DETACHED STRUCTURES AND ACCESSORY STRIPES SHALL BE LOCATED BEHIND THE MAIN STRUCTURE AND ACCESSORY STRIPES SHALL BE LOCATED IN FRONT OF THE PRIMARY RESIDENCE WITH THE EXCEPTION OF COVERED/SEMI-ENCLOSED PORCHES.
- ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

- #### TYPICAL LOT NOTES:
- LOCATION OF PRIVATE 4'-5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/EGRESS CONFIGURATION.
  - OWNER/BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
  - ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A SIGHT DISTANCE EASEMENT SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
  - NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.



NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/06/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION  
PROJECT NO. 20-1129-006

DRAWN BY: RAF  
CHECKED BY: JRA  
APPROVED BY: JRA

SHEET TITLE:  
**PUD DETAILS**  
**DT02**

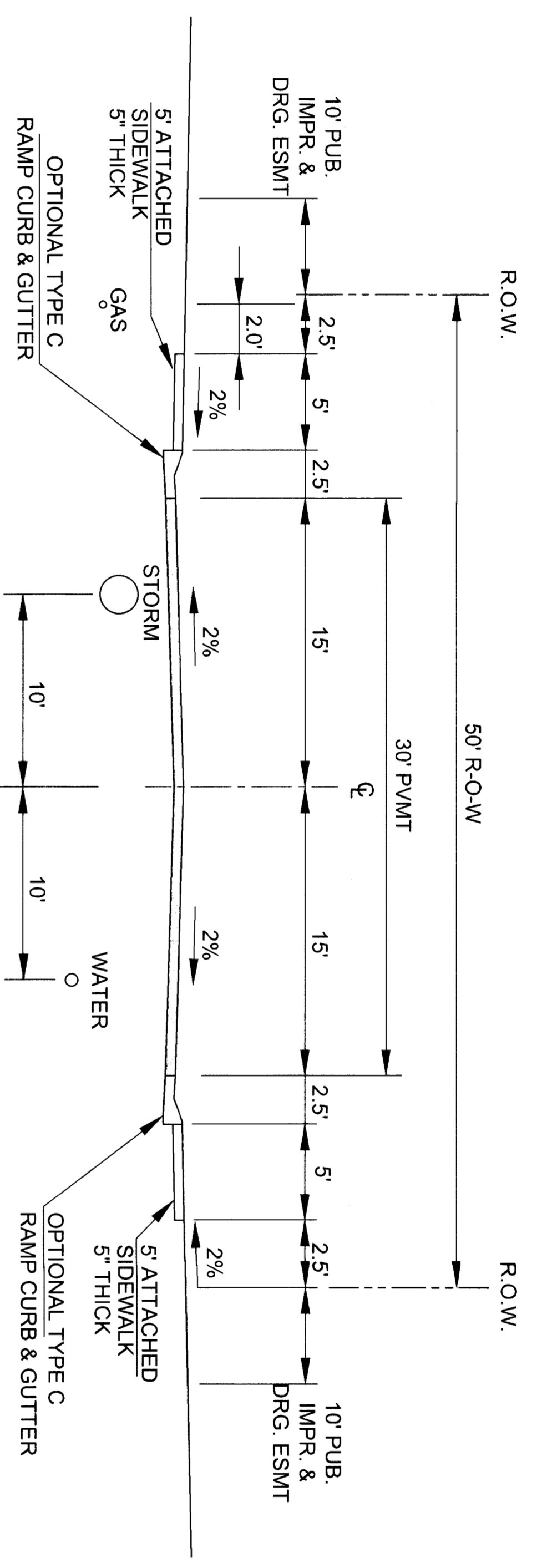
CONSULTANTS:  
PLANNER/LANDSCAPE ARCHITECT  
**Matrix** 2435 RESEARCH PARKWAY,  
SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0208  
FAX: (719) 575-0208

CIVIL ENGINEER:  
CORE ENGINEERING GROUP  
8004 157 AVENUE S  
COLORADO SPRINGS, CO 80909  
PHONE: (719) 570-1100

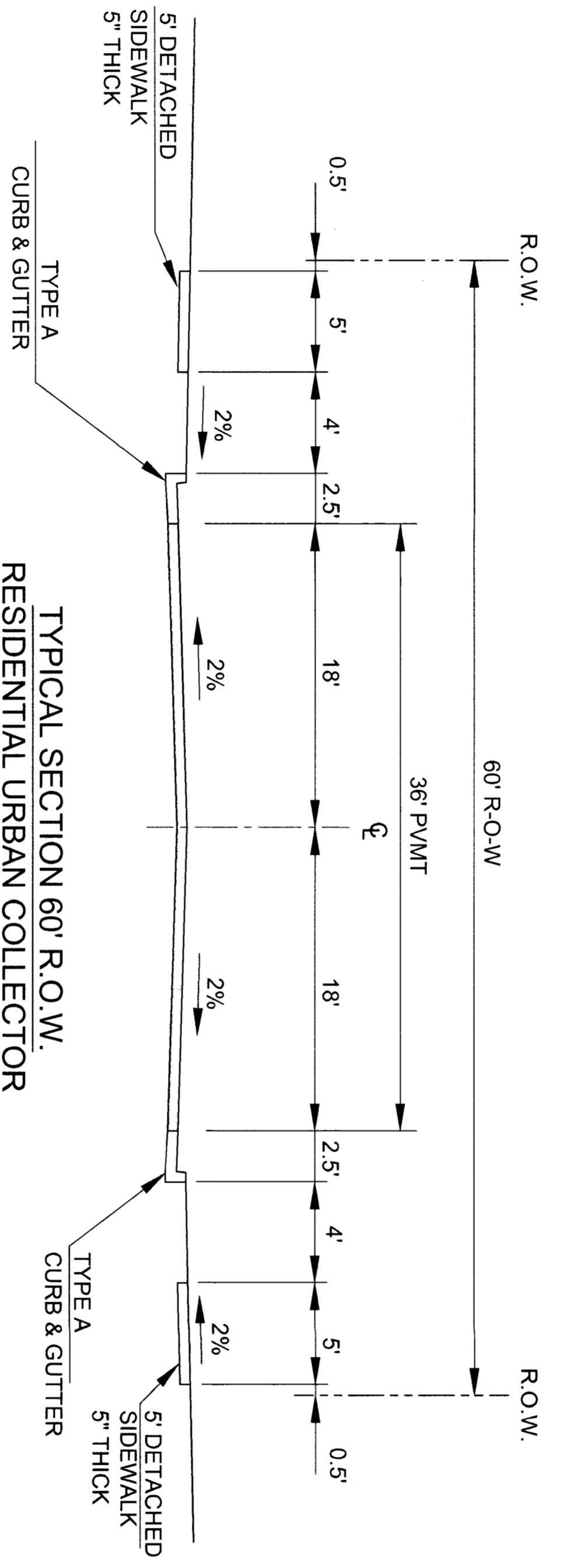
OWNER/DEVELOPER:  
**LORSON LLC ET/AL**  
212 N. WAHATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 635-3200

**RIDGE AT LORSON RANCH**  
**EL PASO COUNTY, CO**  
**PLANNED UNIT DEVELOPMENT AND**  
**PRELIMINARY PLAN**  
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

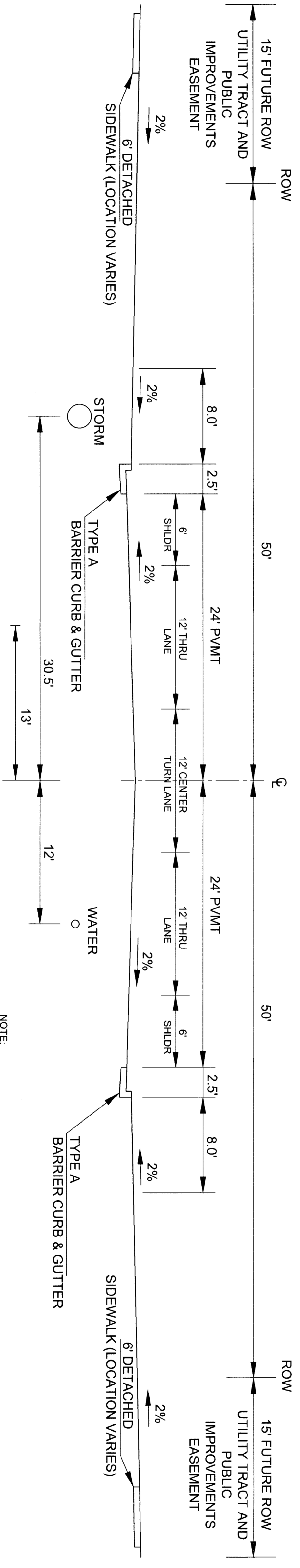
CONSULTANTS  
 PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,  
 SUITE 300 SPRINGS, CO 80903  
**Matrix**  
 CIVIL ENGINEER: SUITE 300 SPRINGS, CO 80903  
 BURNSVILLE, MN 55306  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0088  
 OWNER/ENGINEER:  
**LORSON LLC ET AL**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200



NOTE:  
 PAVEMENT SECTION TO BE DETERMINED  
 BY HVEEM ANALYSIS AND DESIGN. DESIGN  
 TO BE APPROVED BY EL PASO COUNTY PCD  
 ENGINEERING.



NOTE:  
 PAVEMENT SECTION TO BE DETERMINED  
 BY HVEEM ANALYSIS AND DESIGN. DESIGN  
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NOTE:  
 PAVEMENT SECTION TO BE DETERMINED  
 BY HVEEM ANALYSIS AND DESIGN. DESIGN  
 TO BE APPROVED BY EL PASO COUNTY PCD  
 ENGINEERING.



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/09/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO: 20.1129.006  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

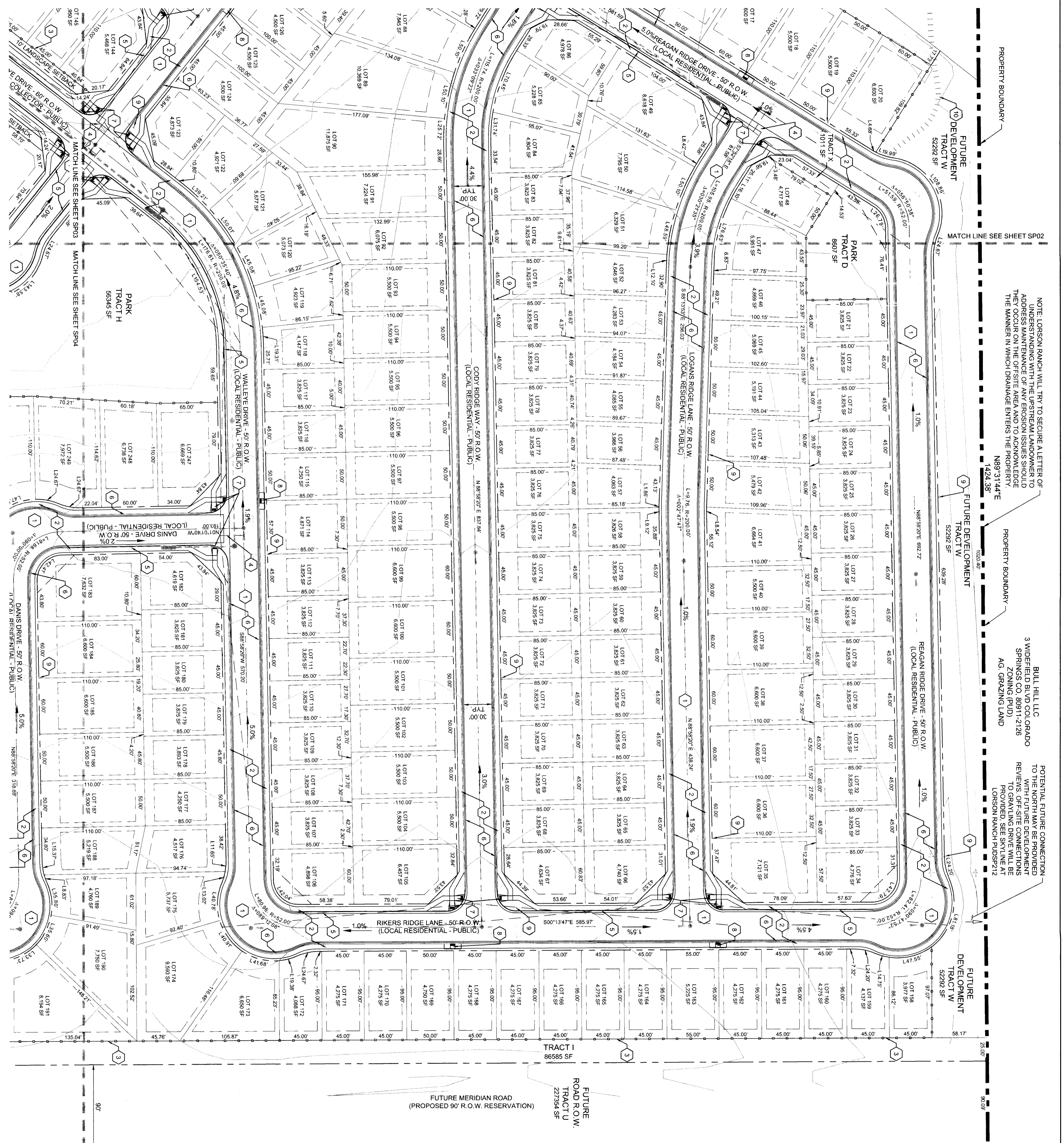
**PUD DETAILS**

**DT03**

**SHEET 04 OF 27**

222026380  
 02-23-2022





NOTE: LORSON RANCH WILL TRY TO SECURE A LETTER OF UNDERSTANDING WITH THE UPSTREAM LANDOWNER TO ADDRESS MAINTENANCE OF ANY EROSION ISSUES SHOULD THEY OCCUR ON THE OFFSITE AREA AND TO ACKNOWLEDGE THE MANNER IN WHICH DRAINAGE ENTERS THE PROPERTY.

889-31144E  
1424.38'

POTENTIAL FUTURE CONNECTION TO THE NORTH MAY BE PROVIDED WITH FUTURE DEVELOPMENT REVIEWS OFF-SITE CONNECTIONS TO GRAYLING DRIVE WILL BE PROVIDED SEE STAKE AT LORSON RANCH PDS#212

BULL HILL LLC  
3 WIDEFIELD BLVD COLORADO  
SPRINGS CO. 80911-2126  
ZONING (PUD)  
AG, GRAZING LAND

# RIDGE AT LORSON RANCH

## EL PASO COUNTY, CO

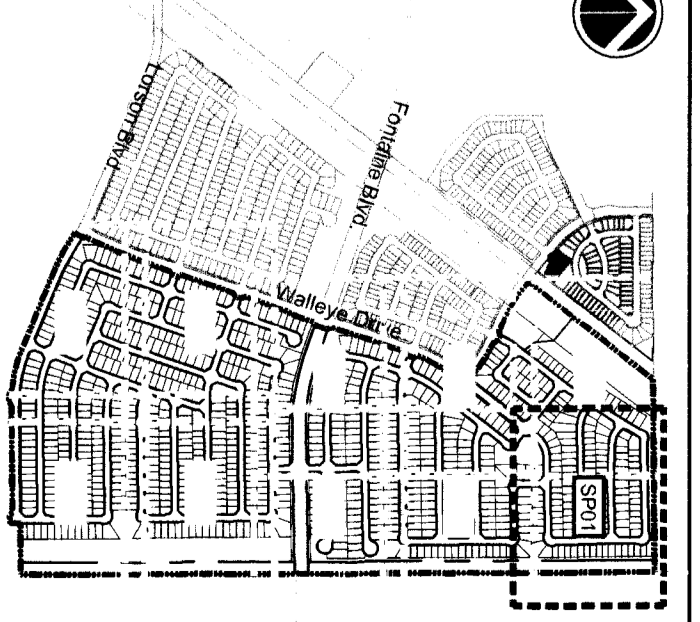
### PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE NORTHEAST QUARTER OF SECTION 24, T15S, R66W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

- #### LEGEND
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6" WOOD SCREEN FENCE
  - 4 CONCRETE CROSSSPAN (6" TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (6" TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

STATE OF COLORADO  
C/O DIVISION OF PURCHASING  
633 17TH ST STE 1520  
DENVER CO, 80202-3609  
ZONING (A-35 RR-5)  
LAND USE: STATE



EL PASO COUNTY, CO  
FIFTH SUBMITTAL, DECEMBER 02, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/06/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

## SITE PLAN

SP01

SHEET 05 OF 27

CONSULTANTS  
PLANNER/LANDSCAPE ARCHITECT  
2435 RESEARCH PARKWAY,  
SUITE 300  
SPRINGS, CO 80903  
PHONE: (719) 575-0100  
FAX: (719) 575-0088

CORE ENGINEERING GROUP  
212 N. WASHATCH DR., SUITE 301  
COLORADO SPRINGS CO 80903  
(719) 695-3200

OWNER/CLIENTS  
LORSON LLC ET AL  
212 N. WASHATCH DR., SUITE 301  
COLORADO SPRINGS CO 80903  
(719) 695-3200

02-28-2022 222626280

GRAPHIC SCALE  
1" = 50' ft

PROJECT NO. 201129.006  
DRAWN BY: RAF  
CHECKED BY: JRA  
APPROVED BY: JRA  
SHEET TITLE:

PDD FILE NO. PDS#216



# RIDGE AT LORSON RANCH

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R68W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

BULL HILL LLC  
 3 WIDEFIELD BLVD COLORADO  
 SPRINGS CO, 80911-2126  
 ZONING (PUD)  
 AG GRAZING LAND

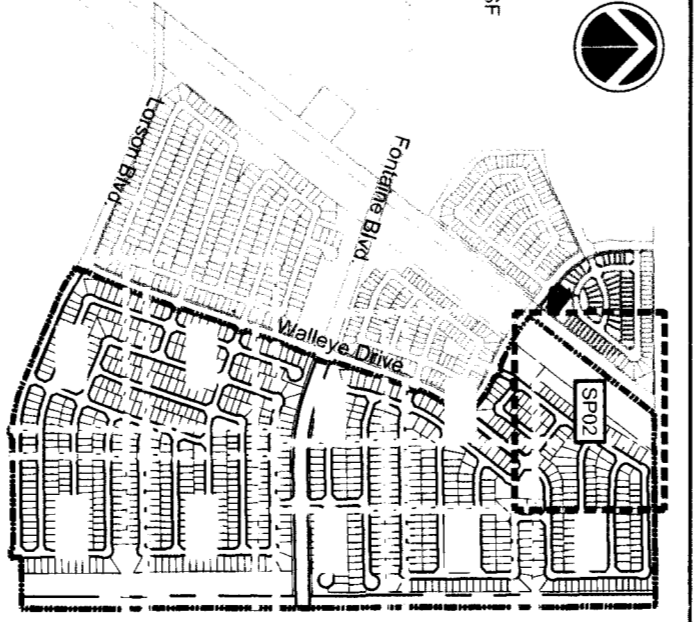
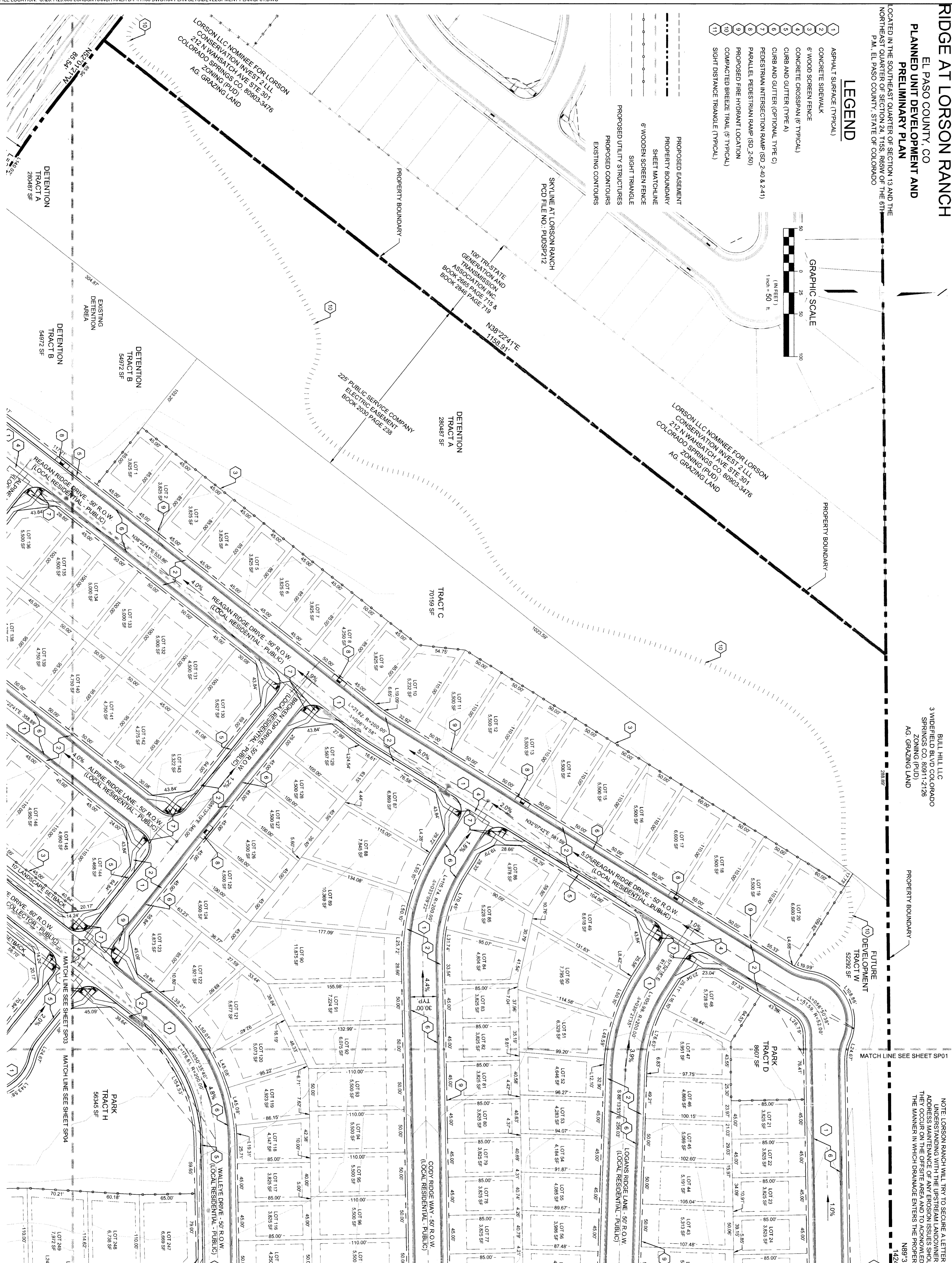
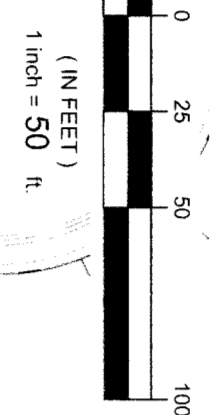
NOTE: LORSON RANCH WILL TRY TO SECURE A LETTER  
 FROM THE DISTRICT LANDOWNER  
 AND REQUEST THAT THE DISTRICT LANDOWNER  
 THEY OCCUR ON THE OFFSITE AREA AND TO ACKNOWLEDGE  
 THE MANNER IN WHICH DRAINAGE ENTERS THE PROPER  
 N89°3'

## LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 CONCRETE CROSSSPAN (6' TYPICAL)
- 4 CURB AND GUTTER (TYPE A)
- 5 CURB AND GUTTER (OPTIONAL TYPE C)
- 6 PEDESTRIAN INTERSECTION RAMP (SD, 2.40 & 2.41)
- 7 PARALLEL PEDESTRIAN RAMP (SD, 2.50)
- 8 PROPOSED FIRE HYDRANT LOCATION
- 9 COMPACTED BREEZE TRAIL (6' TYPICAL)
- 10 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT  
 PROPERTY BOUNDARY  
 SHEET MATCHLINE  
 6' WOODEN SCREEN FENCE  
 SIGHT TRIANGLE  
 PROPOSED UTILITY STRUCTURES  
 PROPOSED CONTOURS  
 EXISTING CONTOURS

## GRAPHIC SCALE



CONSULTANTS:  
 PLANNER, LANDSCAPE ARCHITECT,  
**Matrix** 2435 RESEARCH PARKWAY,  
 SUITE 300 COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0208

LEAD ENGINEER:  
**HOME ENGINEERING GROUP**  
 BURNVILLE, NM 85866  
 PHONE: (719) 570-1100

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/06/2021	FOURTH SUBMITTAL	RAE
4	12/09/2021	FIFTH SUBMITTAL	RAE

REVISION HISTORY:

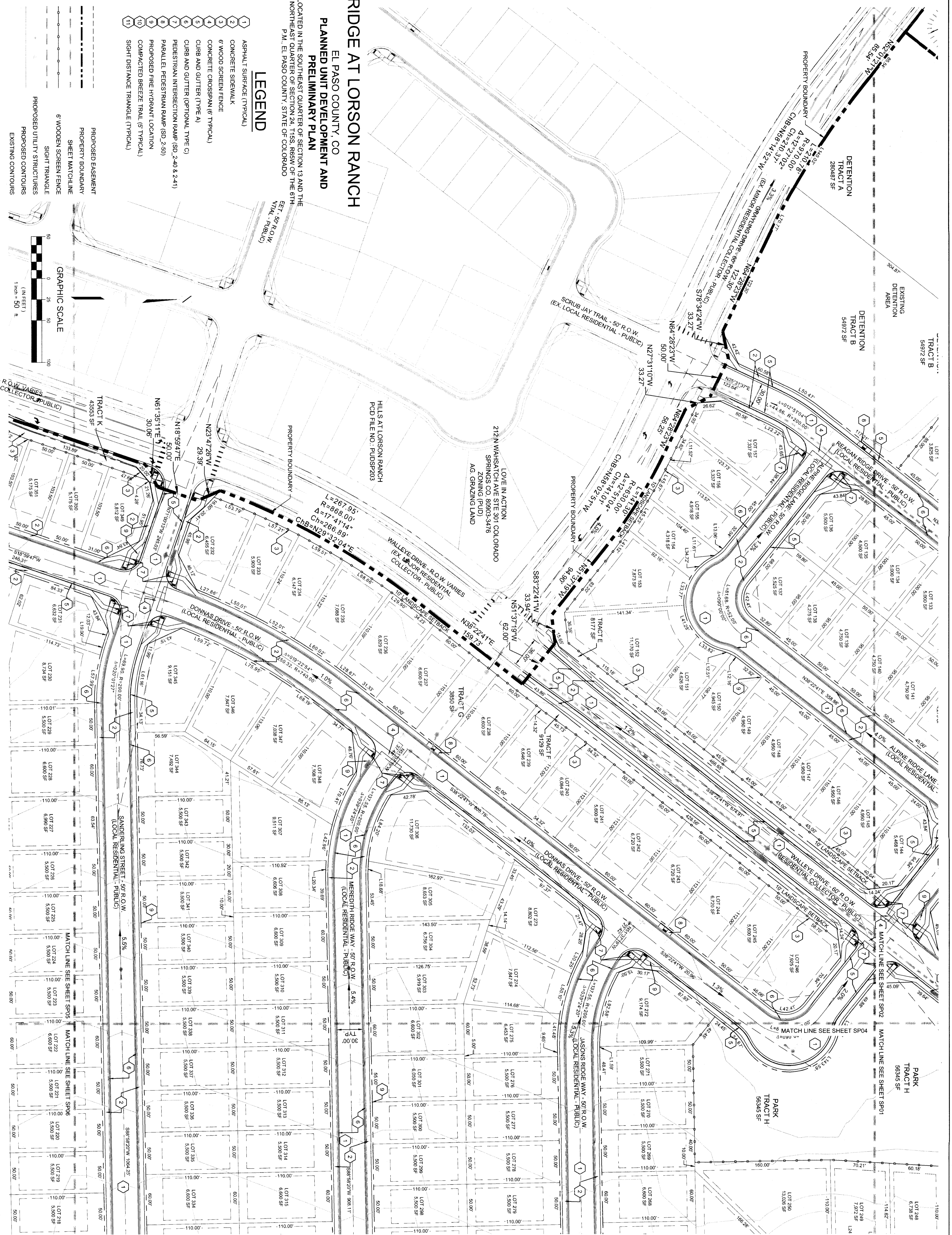
PROJECT NO: 201129.006  
 DRAWN BY: RAE  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

## SITE PLAN

02-23-2022 22202 & 2300  
**SP02**

SHEET 06 OF 27



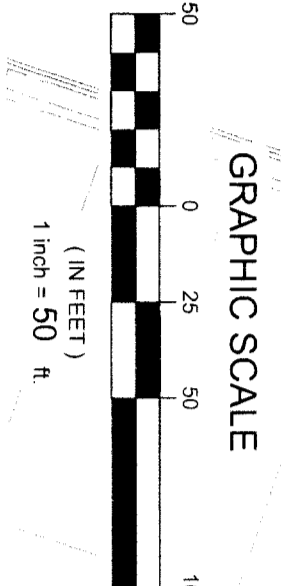


**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R85W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6 WOOD SCREEN FENCE
  - 4 CONCRETE CROSSPAN (TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (S TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6 WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



CONSULTANTS  
 PLANNER/LANDSCAPE ARCHITECT: 2455 RESEARCH PARKWAY,  
**Matrix** SUITE 300 SPRINGS, CO 80903  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0008

CIVIL ENGINEER  
 OME ENGINEERING GROUP  
 5000 W. WASHINGTON AVE.  
 BURNSVILLE, MN 55306  
 PHONE: (719) 570-1100  
 FAX: (719) 575-0008

DRAWN/ENGINEER  
**LORSON LLC ET AL**  
 212 N WAHSATCH BLVD., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 535-3200

PROJECT  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

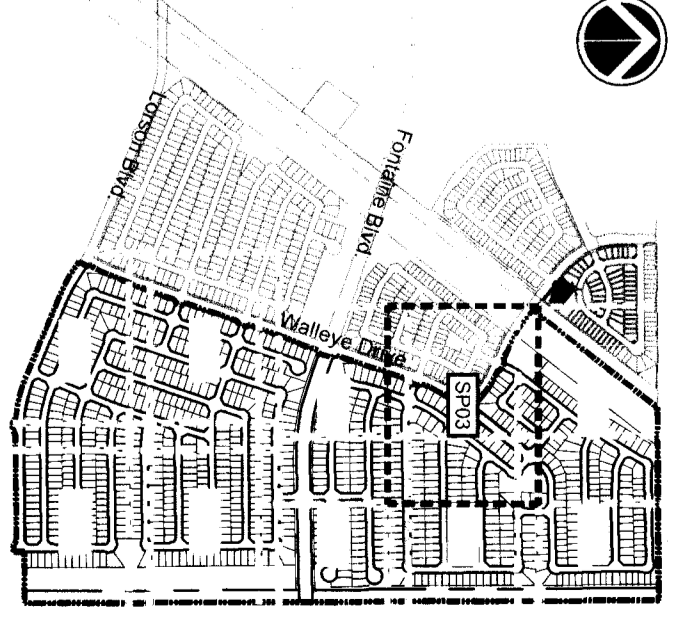
NO.	DATE	DESCRIPTION	BY
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1	07/23/2021	SECOND SUBMITTAL	PAF
2	09/29/2021	THIRD SUBMITTAL	PAF
3	11/09/2021	FOURTH SUBMITTAL	PAF
4	12/09/2021	FIFTH SUBMITTAL	PAF

DRAWING INFORMATION:  
 PROJECT NO: 2011129.006  
 DRAWN BY: RAF  
 CHECKED BY: JJA  
 APPROVED BY: JJA  
 SHEET TITLE:

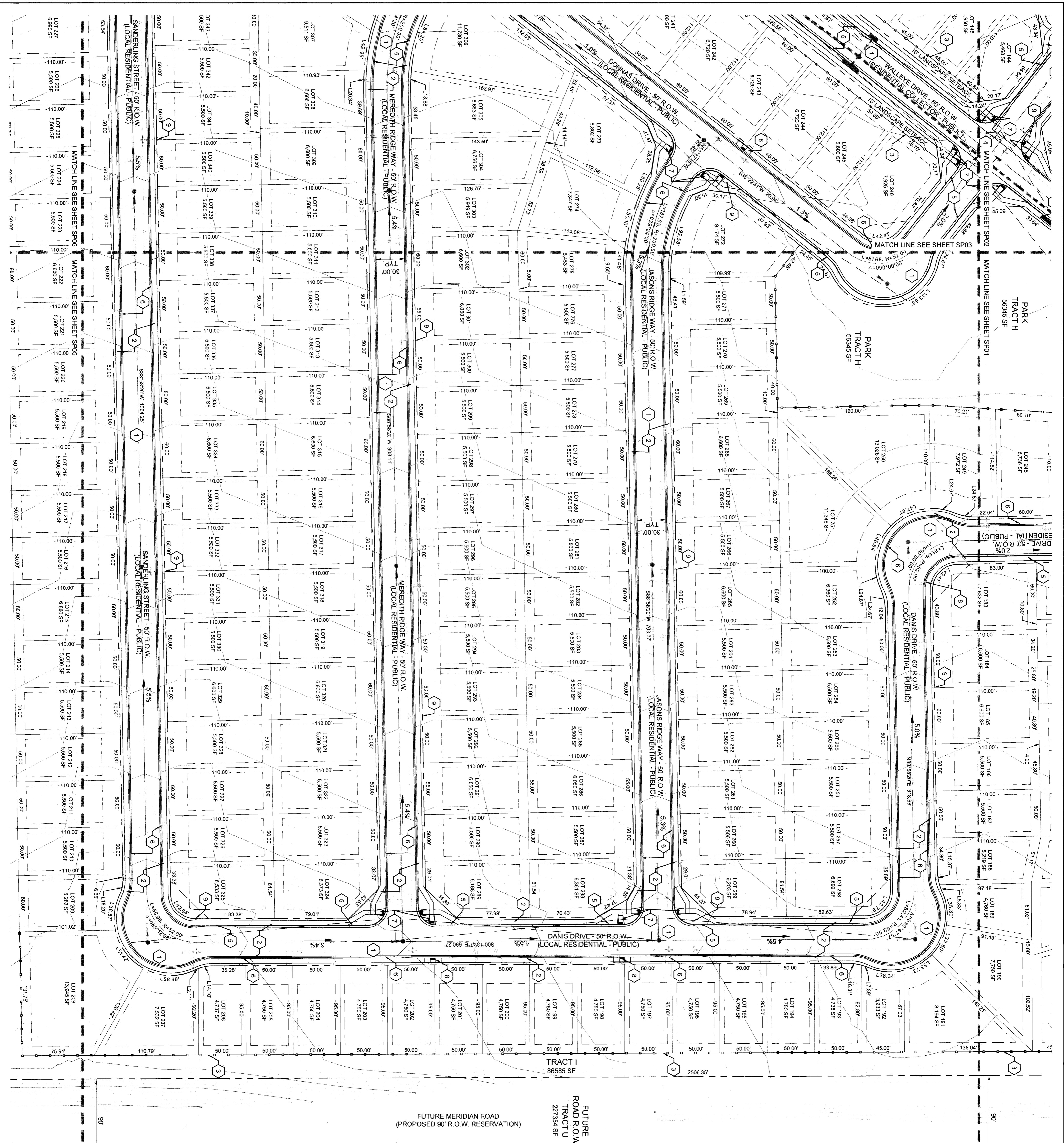
**SITE PLAN**

02-23-2022 222026830  
**SP03**  
 SHEET 07 OF 27

PDD FILE NO: PDDSP216







**RIDGE AT LORSON RANCH**

EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R89W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

**LEGEND**

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5" TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

STATE OF COLORADO  
 C/O DIVISION OF PURCHASING  
 633 17TH ST STE 1520  
 DENVER CO, 80202-3609  
 ZONING (A-35 RR-5)  
 LAND USE: STATE

FUTURE MERIDIAN ROAD  
 (PROPOSED 90' R.O.W. RESERVATION)

FUTURE ROAD R.O.W.  
 TRACT U  
 227354 SF

TRACT I  
 86586 SF

DANIS DRIVE - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

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 (LOCAL RESIDENTIAL - PUBLIC)

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 (LOCAL RESIDENTIAL - PUBLIC)

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 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)

JASONS RIDGE WAY - 50' R.O.W.  
 (LOCAL RESIDENTIAL - PUBLIC)



**SITE PLAN**

02-23-2022 222026380  
 SP04

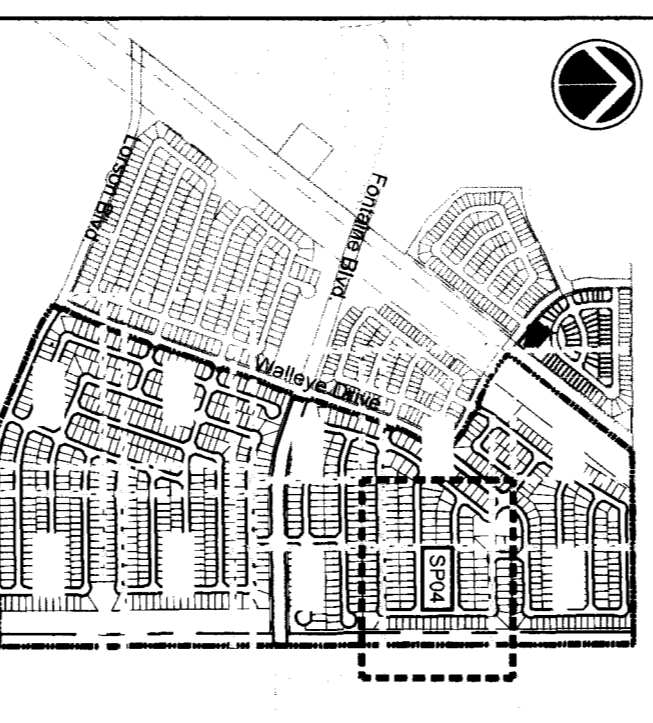
SHEET 08 OF 27

CONSULTANTS:

PLANNER LANDSCAPE ARCHITECT  
**Matrix**  
 2435 RESEARCH PARKWAY,  
 SUITE 300 SPRINGS, CO 80902  
 PHONE: (719) 575-5100  
 FAX: (719) 575-5208

CIVIL ENGINEER  
 CORE ENGINEERING GROUP  
 BURNVILLE, NM 85308  
 PHONE: (719) 570-1100

OWNER/REGULATOR  
**LORSON LLC ET AL**  
 212 N WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200



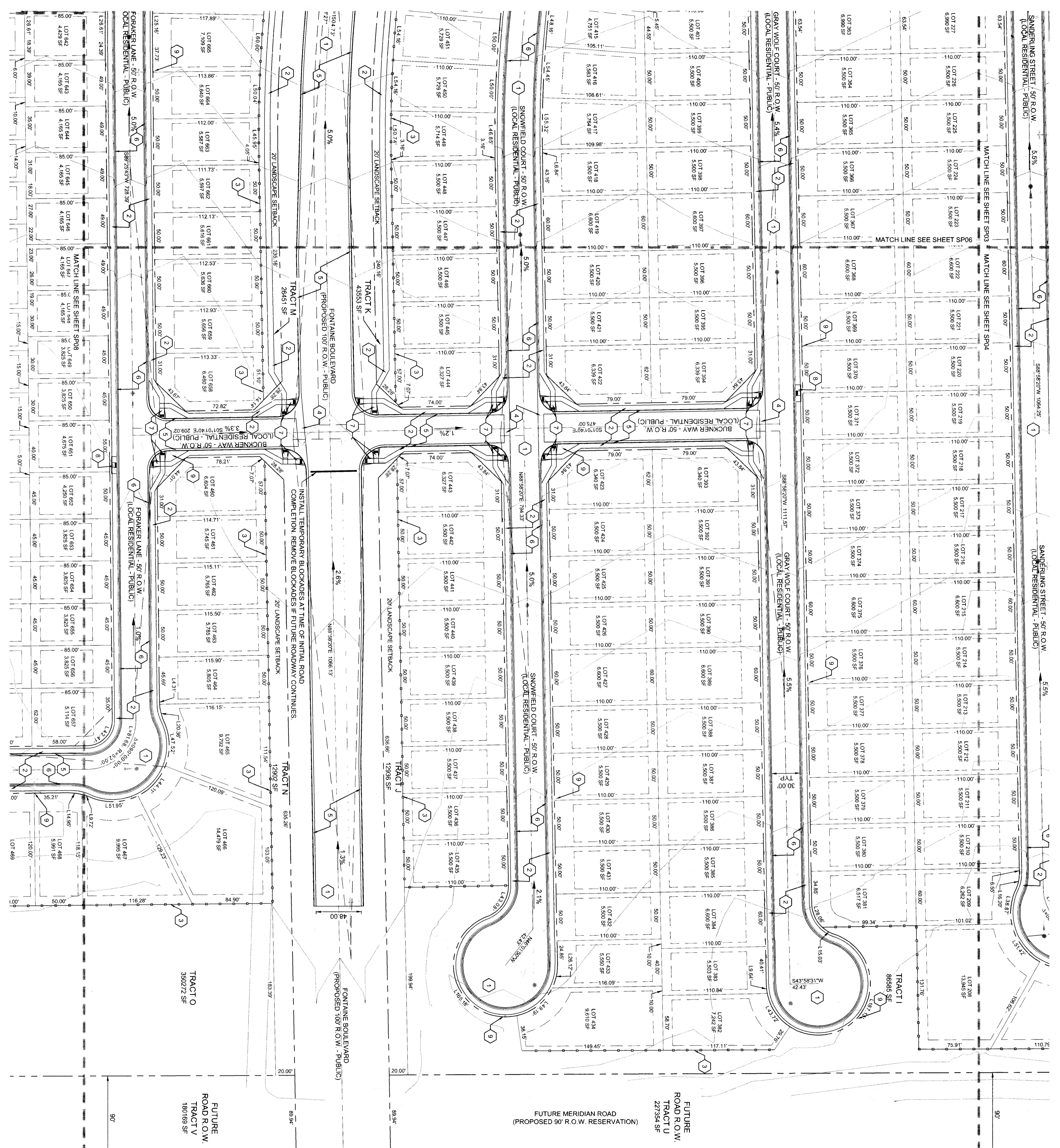
NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/09/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

REVISION HISTORY

PROJECT NO.: 20.1129.006  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

PP02 FILE NO.: PUDSP718





**RIDGE AT LORSON RANCH**  
**EL PASO COUNTY, CO**  
**PLANNED UNIT DEVELOPMENT AND**  
**PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE NORTHEAST QUARTER OF SECTION 24, T15S, R66W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

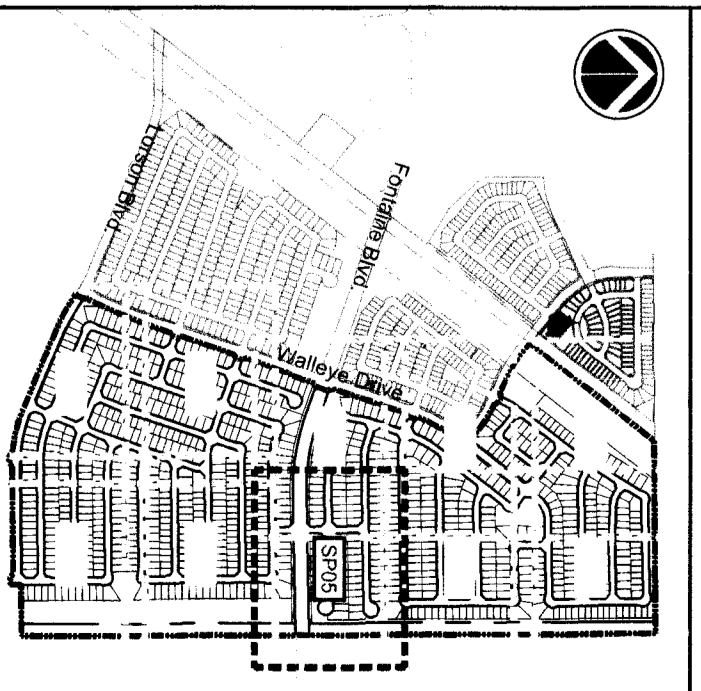
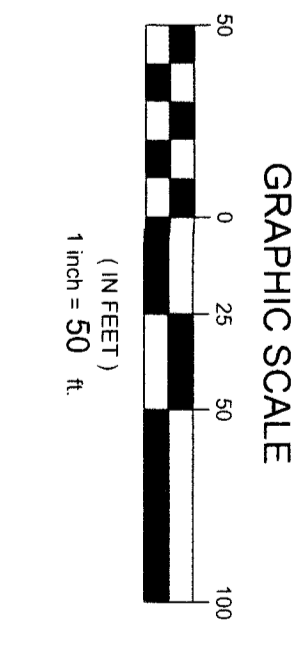
**LEGEND**

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2-30)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BEEZEE TRAIL (TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

STATE OF COLORADO  
 C/O DIVISION OF PURCHASING  
 633 17TH ST STE 1520  
 DENVER CO, 80202-3609  
 ZONING (A-35 RR-5)  
 LAND USE: STATE

BJ RANCHES LLC  
 970 SUMMER GAMES DR  
 COLORADO SPRINGS CO, 80905-7381  
 ZONING (A-35)  
 AG. GRAZING LAND



PROJECT:  
**RIDGE AT LORSON RANCH**  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	10/29/2021	THIRD SUBMITTAL	RAF
3	11/06/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO: 20-1129-006  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

**SITE PLAN**

**SP05**

**SHEET 09 OF 27**

CONSULTANTS:  
**Matrix**  
 PLANNER/LANDSCAPE ARCHITECT  
 2435 RESEARCH PARKWAY,  
 SUITE 300 • SPRINGS, CO 80920  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0088

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N WAHSATOH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

02-23-2022 222026380



# RIDGE AT LORSON RANCH

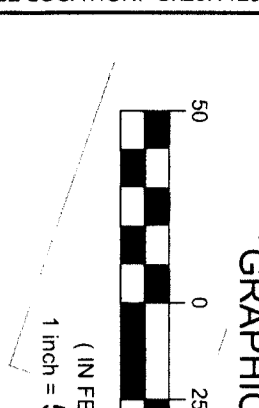
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

## LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 CONCRETE SCREEN FENCE
- 4 CONCRETE CROSSFAN (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD 2-4.0 & 2.41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (6" TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT  
 HILLS AT LORSON RANCH  
 PDD FILE NO.: PUDSP203
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6 WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPERTY BOUNDARY



GRAPHIC SCALE  
 1" = 50'  
 (IN FEET)

HILLS AT LORSON RANCH  
 PDD FILE NO.: PUDSP203

LOVE IN ACTION  
 212 N WAHSATCH AVE STE 301 COLORADO  
 SPRINGS CO 80903-3476  
 ZONING (PUD)  
 AG GRAZING LAND

<b>CONSULTANTS:</b> <b>PLANNED LANDSCAPE ARCHITECT:</b> 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80902 <b>Matrix</b> CORE ENGINEERING GROUP BURNVILLE, NM 85896 PHONE: (719) 571-1100 FAX: (719) 575-0288	
<b>OWNER/DEVELOPER:</b> LORSON LLC ET AL 212 N WAHSATCH DR., SUITE 301 COLORADO SPRINGS CO 80903 (719) 635-3200	
<b>CIVIL ENGINEER:</b> JIA LICENSE NO. 100000000	
<b>PROJECT:</b> RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN	
<b>EL PASO COUNTY, CO</b> FIFTH SUBMITTAL, DECEMBER 09, 2021	
<b>NO.</b> 0 1 2 3 4	<b>DATE</b> 04/19/2021 07/23/2021 09/28/2021 11/06/2021 12/09/2021
<b>DESCRIPTION</b> FIRST SUBMITTAL SECOND SUBMITTAL THIRD SUBMITTAL FOURTH SUBMITTAL FIFTH SUBMITTAL	<b>BY</b> JIA JIA JIA JIA JIA
<b>REVISION HISTORY:</b>	
<b>DRAWING INFORMATION:</b> PROJECT NO: 201129.006 DRAWN BY: JIA CHECKED BY: JIA APPROVED BY: JIA SHEET TITLE:	
<b>02-23-2022 222024380</b> <b>SHEET 10 OF 27</b>	



# RIDGE AT LORSON RANCH

EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R68W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

## LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSPAK (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD 2.40 & 2.41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2.50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (5" TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



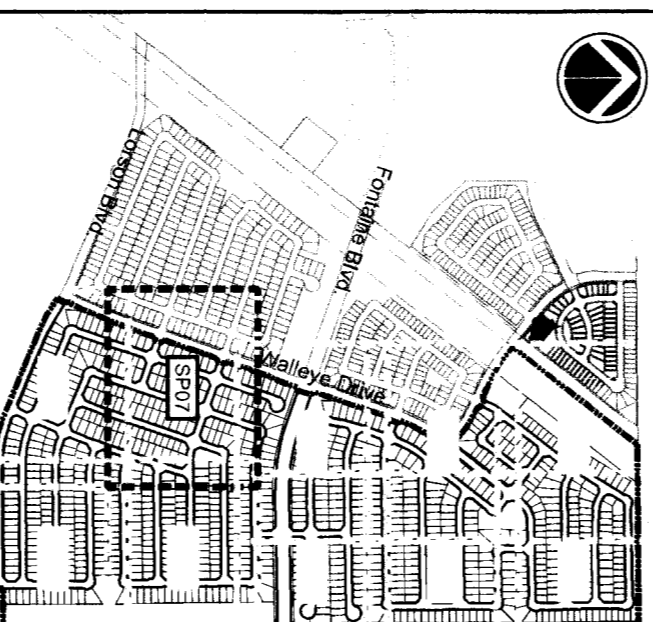
CONSULTANTS:

PLANNER, LANDSCAPE ARCHITECT,  
**Matrix** 2415 RESEARCH PARKWAY,  
 SUITE 300  
 COLORADO SPRINGS, CO 80902  
 PHONE: (719) 575-0088  
 FAX: (719) 575-0088

CIVIL ENGINEER  
 CORE ENGINEERING GROUP  
 1800 EAST ANGLE DRIVE  
 SUITE 100  
 COLORADO SPRINGS, CO 80902  
 PHONE: (719) 570-1100

OWNER/DEVELOPER  
**LORSON LLC ET AL**  
 212 N WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

VICINITY MAP



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/09/2021	FOURTH SUBMITTAL	RAF
4	12/09/2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO.: 20-1129-006  
 DRAWN BY: RAF  
 CHECKED BY: JJA  
 APPROVED BY: JJA  
 SHEET TITLE:

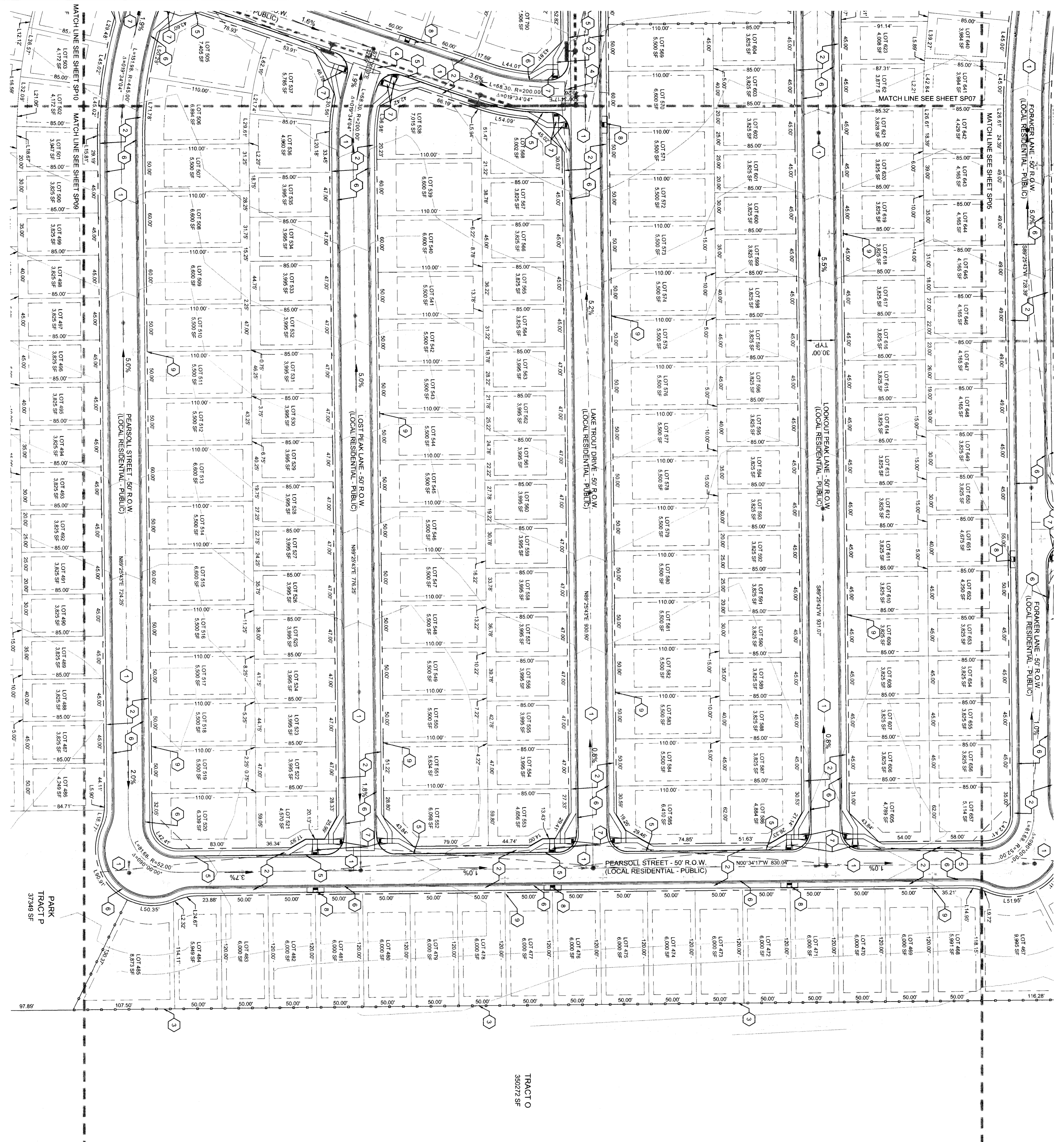
## SITE PLAN

02-23-2022 222026380  
 SP07

SHEET 11 OF 27

POD FILE NO.: PUDSP716





**RIDGE AT LORSON RANCH**  
**EL PASO COUNTY, CO**  
**PLANNED UNIT DEVELOPMENT AND**  
**PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R55W OF THE 6TH  
 P.M., EL PASO COUNTY, STATE OF COLORADO

**LEGEND**

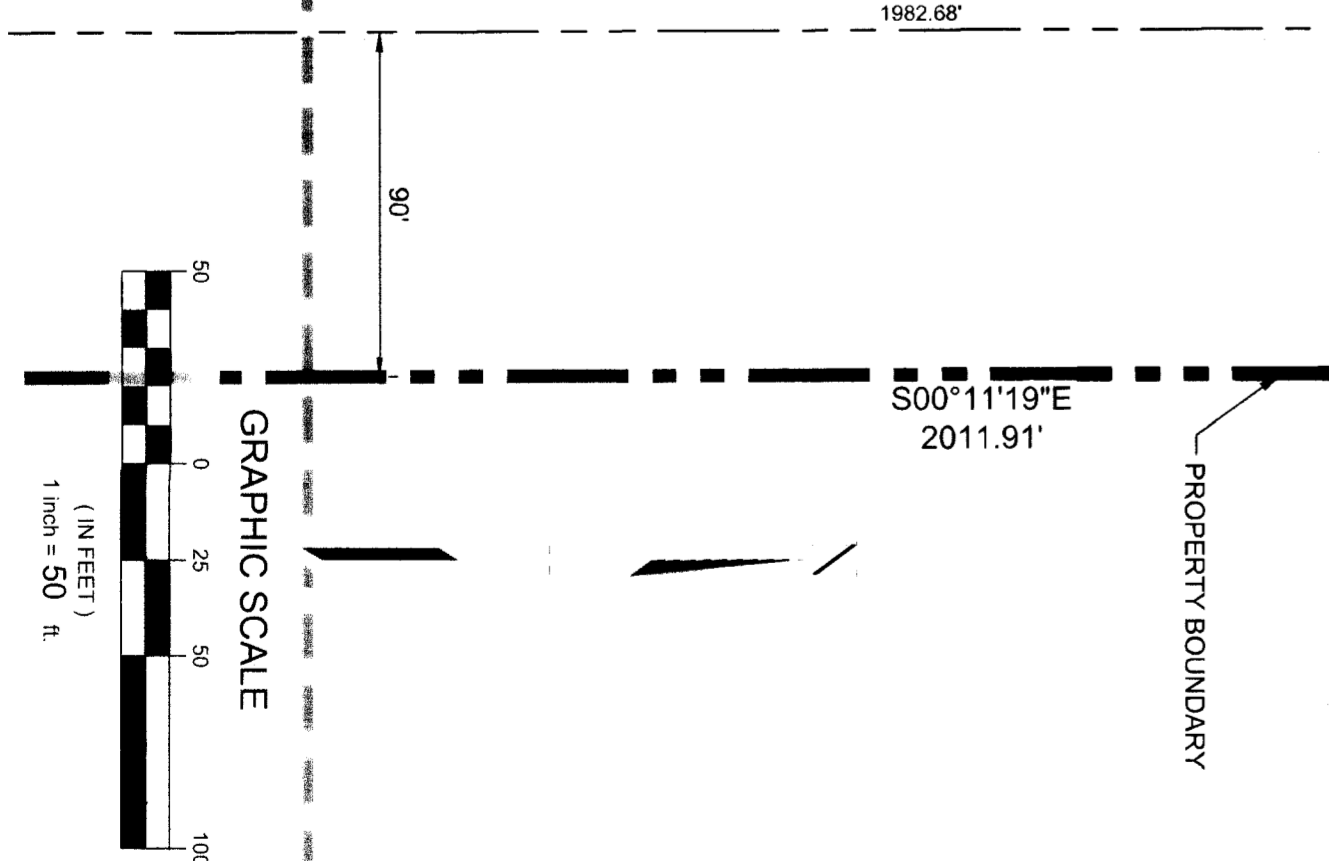
- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
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- 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
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- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

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- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

TRACTO  
 350272 SF

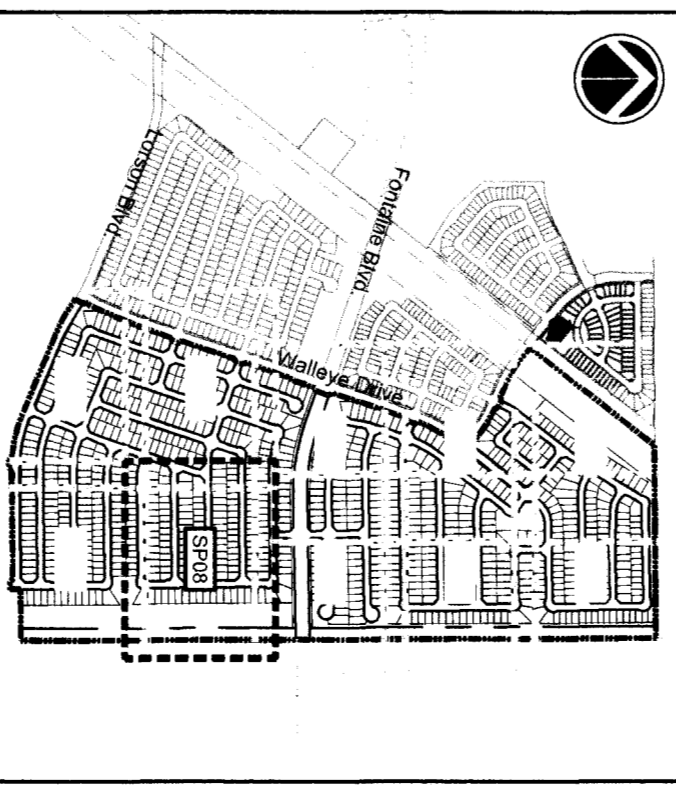
FUTURE  
 ROAD R.O.W.  
 TRACT V  
 180769 SF

BJ RANCHES LLC  
 970 SUMMER GAMES DR  
 COLORADO SPRINGS CO, 80905-7381  
 ZONING (A-35)  
 AG. GRAZING LAND



CONSULTANTS:  
 PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,  
**Matrix**  
 CORE ENGINEERING GROUP  
 BURNSVILLE, MN 55066  
 PHONE: (763) 570-1100  
 FAX: (763) 570-0008

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N WASHATCH DR., SUITE 301  
 COLORADO SPRINGS CO 80903  
 (719) 635-3200



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
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4	12/09/2021	FIFTH SUBMITTAL	RAE

DRAWING INFORMATION:  
 PROJECT NO: 20-1129-006  
 DRAWN BY: RAE  
 CHECKED BY: JJA  
 APPROVED BY: JJA  
 SHEET TITLE:

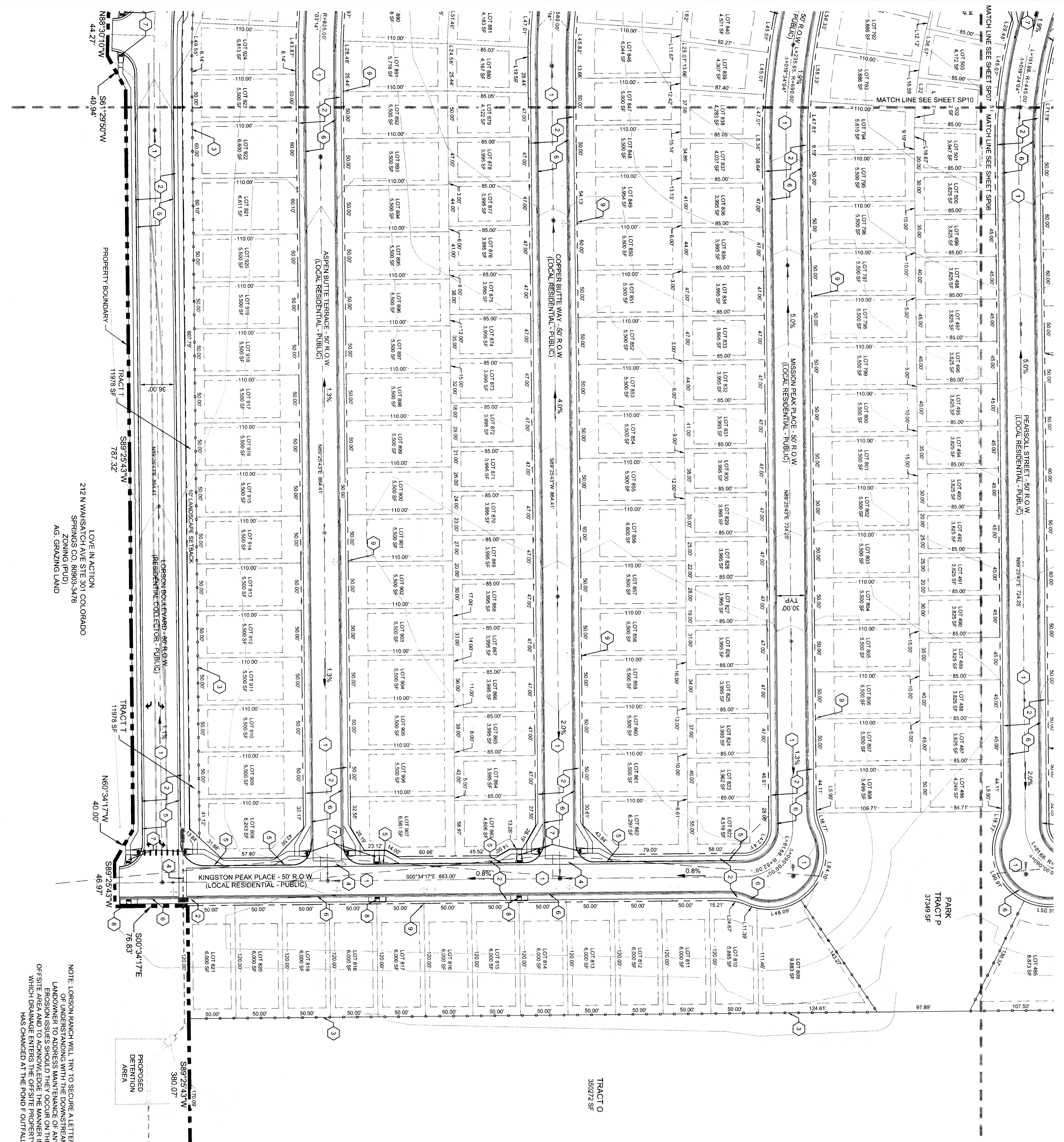
**SITE PLAN**

02-23-2022 222026380  
**SP08**

SHEET 12 OF 27

POD FILE NO.: PUDSP716





**RIDGE AT LORSON RANCH**

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
 NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH  
 P.M. EL PASO COUNTY, STATE OF COLORADO

**LEGEND**

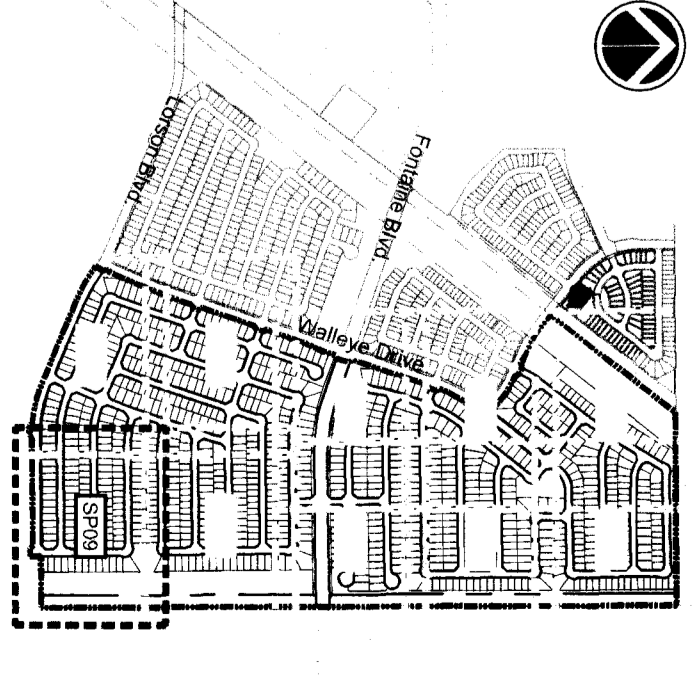
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- PROPOSED EASEMENT
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- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

FUTURE MERIDIAN ROAD  
 (PROPOSED 90' R.O.W. RESERVATION)

BJ RANCHES LLC  
 970 SUMMER GAMES DR  
 COLORADO SPRINGS CO, 80905-7381  
 ZONING (A-35)  
 AG. GRAZING LAND

PROPERTY BOUNDARY



PROJECT  
**RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

EL PASO COUNTY, CO  
**FIFTH SUBMITTAL: DECEMBER 09, 2021**

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DRAWING INFORMATION:  
 PROJECT NO. 20-1129-006  
 DRAWN BY: RAF  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE:

**SITE PLAN**

**SP09**

SHEET 13 OF 27

PCD FILE NO. PUDSP216

CONSULTANTS:  
 PLANNER/LANDSCAPE ARCHITECT:  
**Matrix**  
 2425 RESEARCH PARKWAY,  
 SUITE 300  
 COLORADO SPRINGS, CO 80902  
 PHONE: (719) 575-5200  
 FAX: (719) 575-0208

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

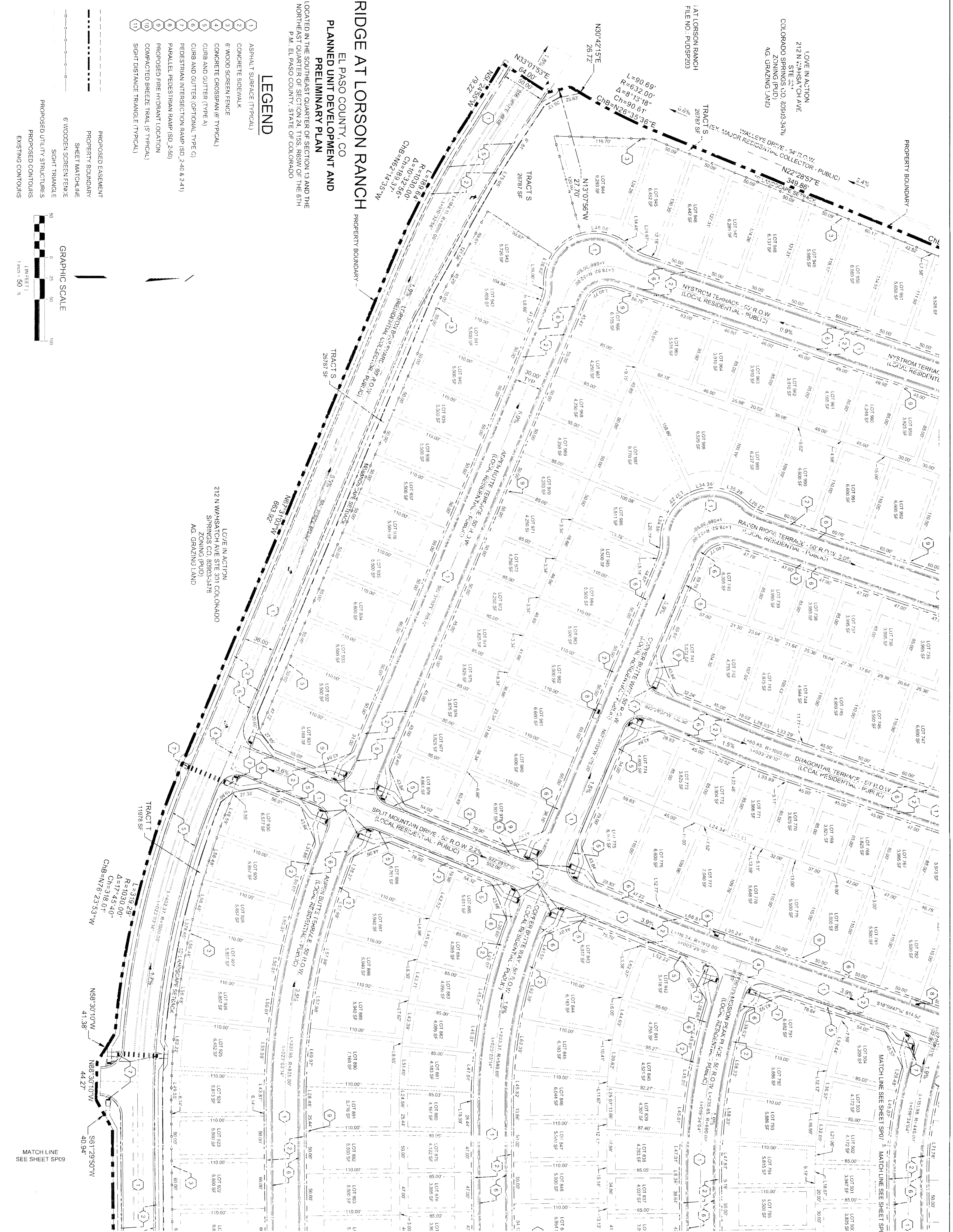
CIVIL ENGINEER:  
 CORE ENGINEERING GROUP  
 BURKEVILLE, NM 85806  
 PHONE: (719) 570-1100

NOTE: LORSON RANCH WILL TRY TO SECURE A LETTER  
 OF UNDERSTANDING WITH THE DOWNSTREAM  
 LANDOWNERS CONCERNING THE DRAINAGE  
 EROSION ISSUES SHOWN ON THE PLAN. THE  
 OFFSITE AREA AND TO ACKNOWLEDGE THE MANNER IN  
 WHICH DRAINAGE ENTERS THE OFFSITE PROPERTY  
 HAS CHANGED AT THE POND F OUTFALL.

GRAPHIC SCALE  
 (IN FEET)  
 1 inch = 50 ft

02-23-2022 222026380





- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6\"/>
  - 4 CONCRETE CROSSPAN (6\"/>
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
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  - 8 PARALLEL PEDESTRIAN RAMP (SD, 2'-50\"/>
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (5\"/>
  - 11 SIGHT TRIANGLE TRIANGLE (TYPICAL)
- PROPOSED EASEMENT  
PROPERTY BOUNDARY  
SHEET MATCHLINE  
6\"/> WOODEN SCREEN FENCE  
PROPOSED UTILITY STRUCTURES  
EXISTING CONTOURS



**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE  
NORTHEAST QUARTER OF SECTION 24, T15S, R69W OF THE 6TH  
P.M. EL PASO COUNTY, STATE OF COLORADO

**CONSULTANTS**

PLANNING/LANDSCAPE ARCHITECT: 2455 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80909  
PHONE: (719) 575-0100  
FAX: (719) 571-1008

CIVIL ENGINEER: CONIC ENGINEERING GROUP, 2015 W. WASHINGTON AVENUE, SUITE 100, COLORADO SPRINGS, CO 80904  
PHONE: (719) 570-1100

**OWNERS/CLIENTS**

**LORSON LLC ET AL**  
212 N WASHATCH AVE, SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200

**PROJECT**

RIDGE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

**EL PASO COUNTY, CO**  
FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
1	04-15-2021	FIRST SUBMITTAL	RAE
2	07-21-2021	SECOND SUBMITTAL	RAE
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4	11-09-2021	FOURTH SUBMITTAL	RAE
5	12-09-2021	FIFTH SUBMITTAL	RAE

**PROJECT NO:** 201129.006  
**DRAWN BY:** RAE  
**CHECKED BY:** JRA  
**APPROVED BY:** JRA

**SHEET TITLE**

**SITE PLAN**

**SP10**

**02-23-21** 2220263RC

**SHEET 14 OF 27**

PCD FILE NO.: PDD9216





**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND**  
**PRELIMINARY PLAN**  
 LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W, OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

**SHEET INDEX:**

- LS01 LANDSCAPE PLAN TITLE SHEET, SITE REQUIREMENTS & LEGEND
- LS02-LS09 PLANTING PLAN
- LS10-LS13 LANDSCAPE NOTES, SITE & LANDSCAPE DETAILS

**DEVELOPMENT PLAN DATA :**

LANDSCAPE SETBACKS:	WEST		EAST		NORTH	SOUTH
	GRAYLING DR.	WALLEVE DR.	WALLEVE DR.	FONTAINE BLVD.		
STREET CLASSIFICATION:	NO	NO	NO	NO	NO	NO
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	COLLECTOR	COLLECTOR	ARTERIAL	ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	10' / 10'	25' / 25'	25' / 25'	25' / 25'
LINEAR FOOTAGE:	536'	493'	3,139'	2,040'	1,493'	1,493'
TREEFEET REQUIRED:	1 / 30	1 / 30	1 / 30	1 / 30	1 / 20	1 / 20
NUMBER OF TREES REQUIRED/PROVIDED:	18 / 18	17 / 20	105 / 105	68 / 69	75 / 75	75 / 75
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN: *	GD	WD	WD	NF	NF	SF
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%

\* TREES FOR POCKET PARKS LABELED: PP

**PLANT SCHEDULE**

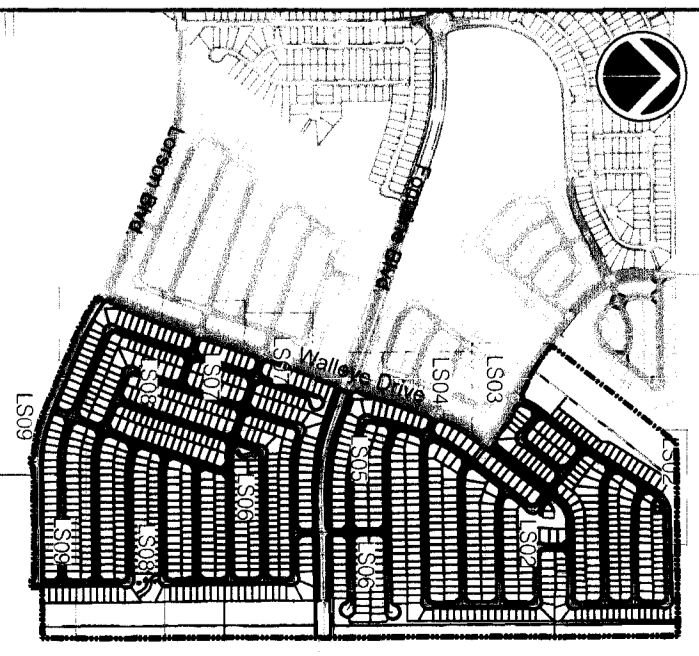
EMERGEN. TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
P26	70		ROSEA MANDSCHI, MOORSRI MOORSRI BLUE SPRUCE	6" HT.	888	10" - 12"	20' - 25'
P27			PHILUS NIGRA, AUSTRALIAN BLACK PINE	6" HT.	888	25" - 30"	30' - 40'
P36			PHILUS PONDEROSA, PONDEROSA PINE	6" HT.	888	30" - 40"	50' - 75'
P38	12		PHILUS STYRENSIS, SCOTCH PINE	6" HT.	888	20" - 30"	30' - 50'
M1	36		MALUS X LOUISIA, LOUISIA CHERRY	1.5" CAL.	888	12" - 15"	12' - 15'
M25			MALUS X PRARINSE, PRARINSE CHERRY	1.5" CAL.	888	12" - 15"	15' - 25'
M28			MALUS X THUNDERBOLT, THUNDERBOLT CHERRY	1.5" CAL.	888	12" - 15"	20' - 25'
P52	52		PRUNUS CERASIFERA, CHINESE PRUNE	1.5" CAL.	888	5" - 6"	15' - 20'
P25	25		PRUNUS MAACKII, MAACKII CHERRY	1.5" CAL.	888	15" - 20"	20' - 30'
C14	14		CATALPA SPECIOSA, WINDMILLIA 2 TM	2" CAL.	888	20" - 25"	40' - 50'
C18	18		CELTIS OCCIDENTALIS, CHICKENWOOD	2" CAL.	888	40" - 50"	50' - 60'
C3	3		GNAPTACONIA SPICATA, KENTUCKY COFFEE TREE	2" CAL.	888	40" - 50"	50' - 60'
K10	10		KOELREUTERIA PANICULATA, GOLDEN RAIN TREE	2" CAL.	888	20" - 30"	20' - 30'
Q31	31		QUERCUS BROOKER, SWAMP WHITE OAK	2" CAL.	888	40" - 60"	40' - 60'
Q15	15		QUERCUS MAKRROCARPA, SHAW OAK	2" CAL.	888	40" - 50"	50' - 60'
T37	37		TILIA TOMENTOSA, STERLING SILVER LINDBERGH	2" CAL.	888	20" - 35"	40' - 50'

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
[Hatched Box]	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED
[Dotted Box]	PAVING NATIVE SEED INC. TYP. LOW GROW MIX SEED BLEND INSTALLED PER SUPPLIERS SPECIFICATIONS, SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
[Cross-hatched Box]	PAVING NATIVE SEED INC. TYP. NATIVE PRAIRIE MIX SEED BLEND INSTALLED PER SUPPLIERS SPECIFICATIONS, SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
[Diagonal Lines]	PLANTING BED TO BE 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
[Horizontal Lines]	PATHWAY TO BE BREZEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
[Vertical Lines]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS, TO BE DURABLE 3/4" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURERS SPECIFICATIONS.
[Dashed Line]	FIRE HYDRANT, TYP. REF. CIVIL
[Dotted Line]	UTILITY EASEMENT, TYP. REF. CIVIL
[Thin Solid Line]	PROPERTY LIMIT LINE
[Thick Solid Line]	LANDSCAPE BUFFER / SETBACK LINE
[Thin Dashed Line]	CONCRETE SIDEWALK, REF. CIVIL

CONSULTANTS:  
 PLANNER, LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, EL PASO, TEXAS 79907  
**Matrix**  
 CIVIL ENGINEER  
 CORE ENGINEERING GROUP  
 212 N. WASHATOH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 PHONE: (719) 575-0008  
 FAX: (719) 575-0008



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

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3	11/09/2021	FOURTH SUBMITTAL	PAF

LANDSCAPE COVER SHEET  
 LS01  
 SHEET 15 OF 27

222026380  
 02-23-2022







**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND**  
**PRELIMINARY PLAN**

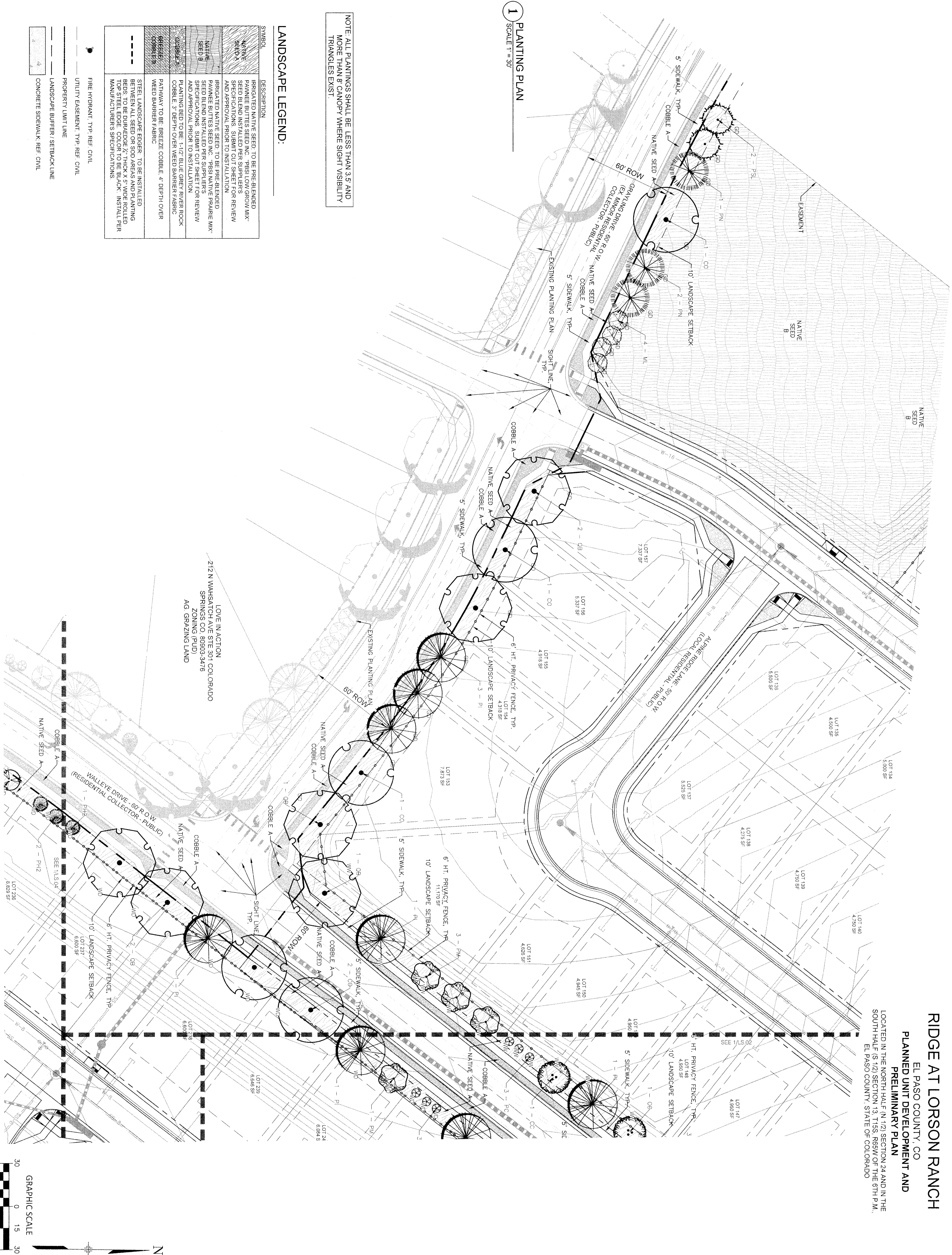
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CONSULTANTS  
**Matrix** ARCHITECT  
 2424 RESEARCH PARKWAY,  
 SUITE 300  
 COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-7100  
 FAX: (719) 575-5280

CIVIL ENGINEER  
 CORE ENGINEERING GROUP  
 1504 1ST AVENUE S.  
 BRIMS WILE, MN 55906  
 PHONE: (763) 575-1100

OWNER/DEVELOPER  
**LORSON LLC ET/AL**  
 2121 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

**1 PLANTING PLAN**  
 SCALE: 1" = 30'

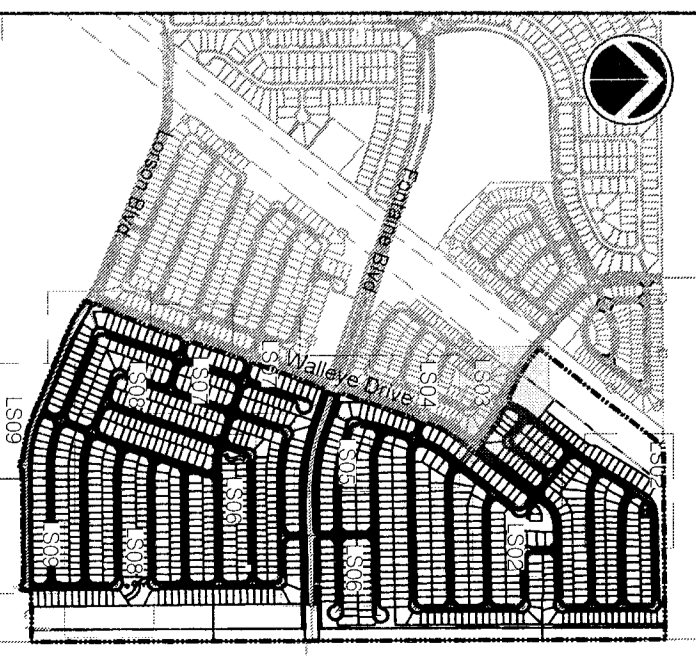


NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	IRRIGATED NATIVE SEED. TO BE PRE-BLENDED PANMEE BUTTES SEED INC. PPSI/LOW GROW MIX. SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS AND APPROVAL PRIOR TO INSTALLATION.
[Pattern]	NATIVE SEED A
[Pattern]	NATIVE SEED B
[Pattern]	IRRIGATED NATIVE SEED. TO BE PRE-BLENDED PANMEE BUTTES SEED INC. PPSI/NATIVE PHAIRE MIX. SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
[Pattern]	PLANTING BED TO BE 1-1/2" BLUE GREY RIVER ROCK COBBLE. 3" DEPTH OVER WEED BARRIER FABRIC.
[Pattern]	PATHWAY TO BE BREEZE COBBLE. 4" DEPTH OVER WEED BARRIER FABRIC.
[Pattern]	STEEL LANDSCAPE EDGER. TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS TO BE 2" WIDE X 1/4" THICK X 5' WIDE ROLLED TO BE BURIED UNDER 2" THICK X 5' WIDE ROLLED MANUFACTURER'S SPECIFICATIONS.
[Symbol]	FIRE HYDRANT. TYP. REF. CIVIL
[Symbol]	UTILITY EASEMENT. TYP. REF. CIVIL
[Symbol]	PROPERTY LIMIT LINE
[Symbol]	LANDSCAPE BUFFER / SETBACK LINE
[Symbol]	CONCRETE SIDEWALK. REF. CIVIL

LOVE IN ACTION  
 212 N WAHSATCH AVE STE 301 COLO. ORADO  
 SPRINGS CO 80903-3476  
 ZONING (PUD)  
 AG GRAZING LAND



PROJECT  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

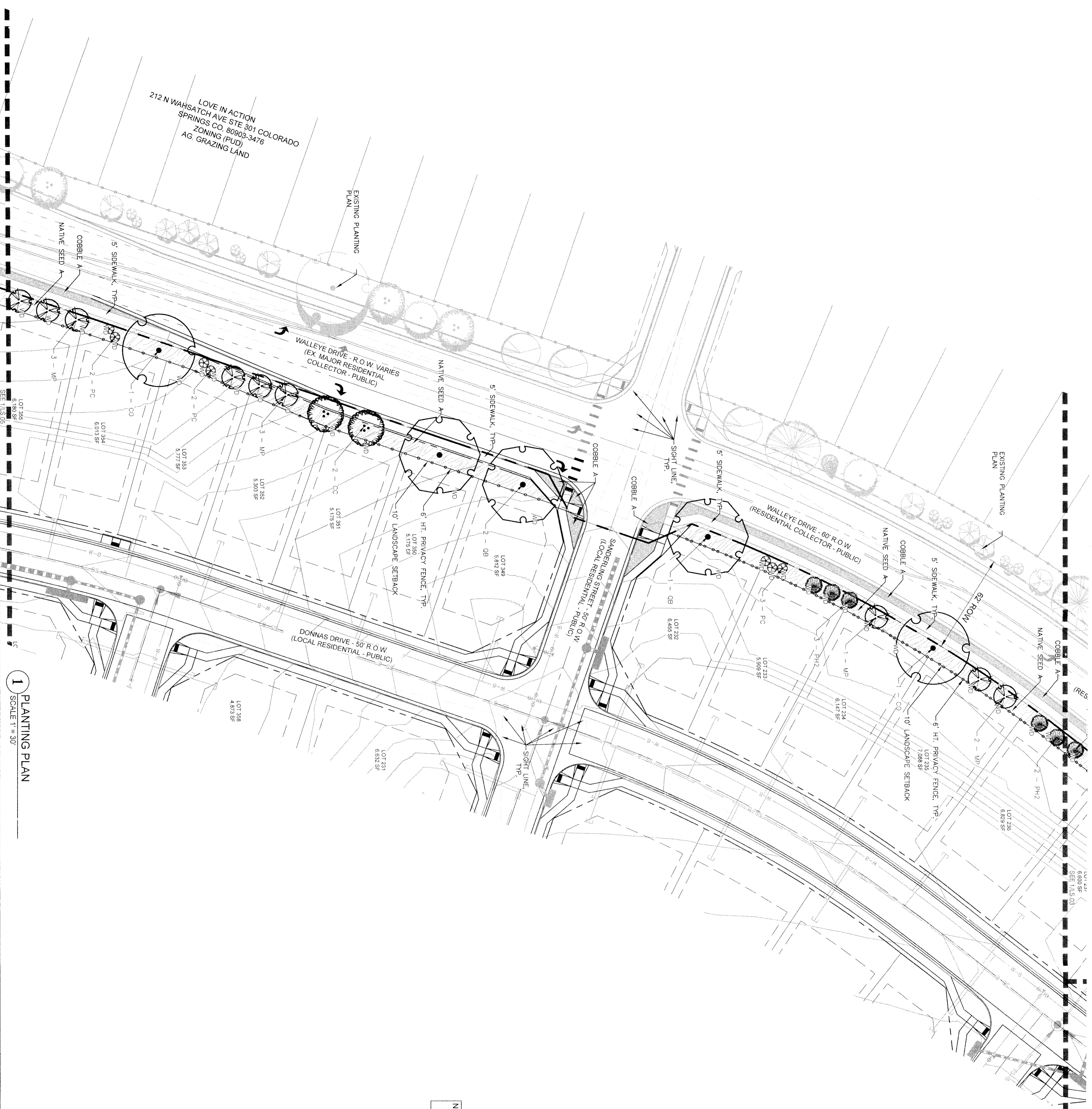
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DRAWING INFORMATION  
 PROJECT NO. 20 1129 006  
 DRAWN BY: SJC  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE

**FINAL PLANTING PLAN**

Q2-23-2022 222026380  
**LS03**





**1 PLANTING PLAN**  
SCALE: 1" = 30'

**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**  
LOCATED IN THE NORTH HALF IN 1/2 SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R69W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

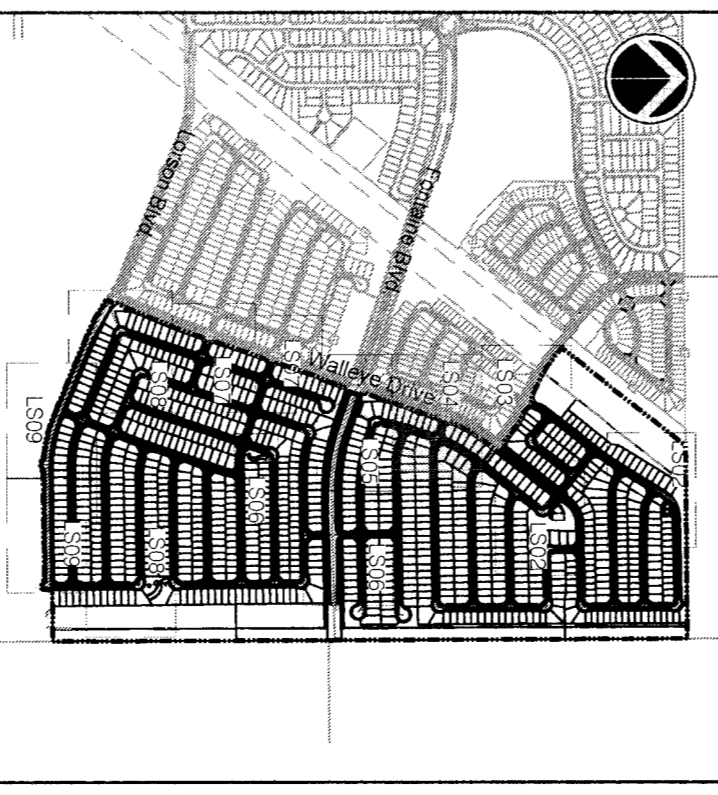
**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED TO BE PRE-BLENDED PAYMEE BUTTES SEED INC., (PBS) LOWGROW MIX- SEED BLEND INSTALLED PER SUPPLIERS AND APPROVAL PRIOR TO INST. SPECIFICATIONS
	NATIVE SEED A
	NATIVE SEED B
	COBBLE A
	COBBLE B
	STEEL LANDSCAPE EDGER TO BE INSTALLED BETWEEN ALL SEED OR SOIL AREAS AND PLANTING BEDS TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS
	FIRE HYDRANT TYP. REF. CIVIL
	UTILITY EASEMENT TYP. REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK REF. CIVIL

222026380  
02-23-2022



**CONSULTANTS**  
PLANNED LANDSCAPE ARCHITECT: 245 HESSBACH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80903  
**Matrix** PHONE: (719) 575-9100 FAX: (719) 575-9288  
CIVIL ENGINEER: 1504 1ST AVENUE S102, DENVER, CO 80202  
OWNER/DEVELOPER: LORSON LLC ET/AL, 212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903, (719) 635-3200



PROJECT: RIDGE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN  
EL PASO COUNTY, CO  
FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/08/2021	FOURTH SUBMITTAL	RAE

DRAWING INFORMATION:  
PROJECT NO: 20.1129.006  
DRAWN BY: SJC  
CHECKED BY: JRA  
APPROVED BY: JRA  
SHEET TITLE:

**FINAL PLANTING PLAN**

LS04

SHEET 18 OF 27



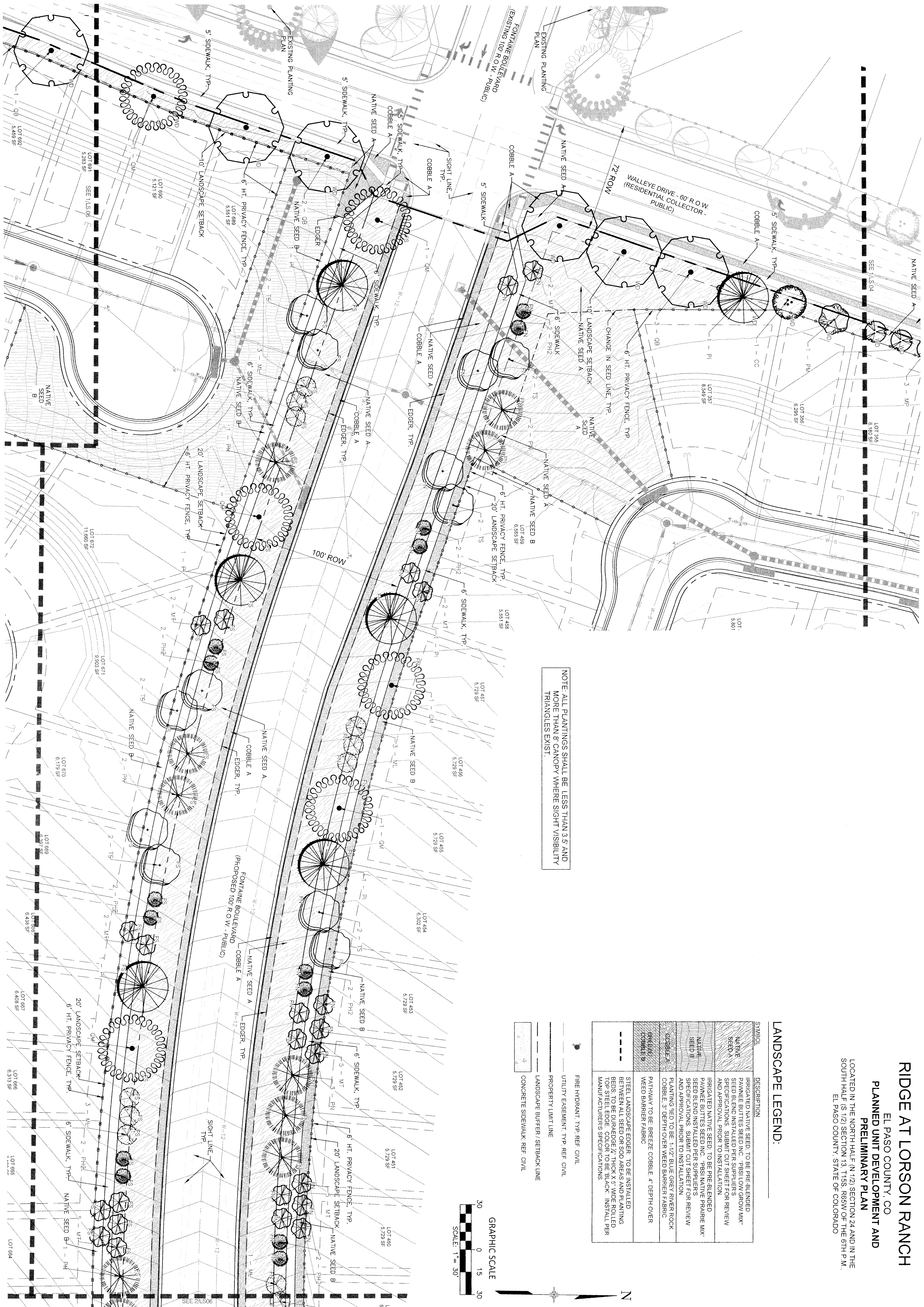
**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE  
 SOUTH HALF (S 1/2) SECTION 13 T15S, R65W OF THE 6TH P.M.,  
 EL PASO COUNTY, STATE OF COLORADO

**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED. TO BE PRE-BLENDED PANMEE BUTTES SEED INC. - PPSI LOW GROW MIX. SEED BLENDED INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	NATIVE SEED A. IRRIGATED NATIVE SEED. TO BE PRE-BLENDED PANMEE BUTTES SEED INC. - PPSI NATIVE PRAIRIE MIX. SEED BLENDED INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	NATIVE SEED B. PLANTING SEED TO BE 1.1/2" BLUE GREY RIVER ROCK COBBLE. 3" DEPTH OVER WEED BARRIER FABRIC.
	COBBLE A. PATHWAY TO BE BREEZE COBBLE. 4" DEPTH OVER WEED BARRIER FABRIC.
	COBBLE B. STEEL LANDSCAPE EDGER. TO BE INSTALLED PER SUPPLIER'S SPECIFICATIONS. PLANTING BENS TO BE DILATED/THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
	FIRE HYDRANT. TYP. REF. CIVIL
	UTILITY EASEMENT. TYP. REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK. REF. CIVIL

NOTE ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.



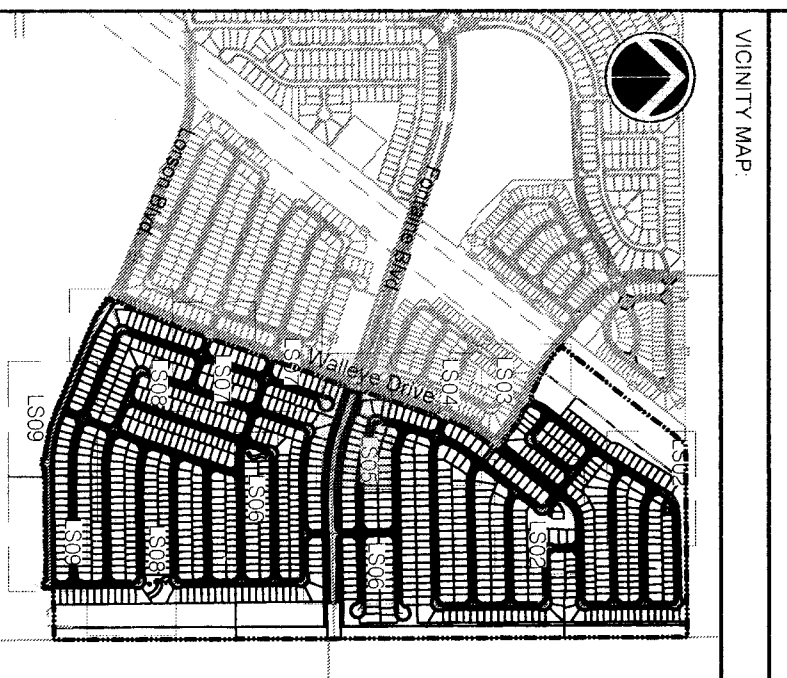
**1 PLANTING PLAN**  
 SCALE 1" = 30'

222026380  
 02-23-2022

**CONSULTANTS**  
 PLANNER LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY  
 SUITE 500  
 COLORADO SPRINGS, CO 80920  
**Matrix**  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0289

CIVIL ENGINEER:  
 CORE ENGINEERING GROUP  
 1504 1ST AVENUE S  
 BURNSVILLE, MN 55336  
 PHONE: (763) 970-1100

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N WAHSAATCH DR. SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	10/17/2021	FIRST SUBMITTAL	RAF
1	07/23/2022	SECOND SUBMITTAL	RAF
2	10/28/2022	THIRD SUBMITTAL	RAF
3	11/09/2022	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:  
 PROJECT NO. 20 1129 006  
 DRAWN BY: SJC  
 CHECKED BY: JJA  
 APPROVED BY: JJA

**FINAL PLANTING PLAN**

**LS05**

SHEET 19 OF 27

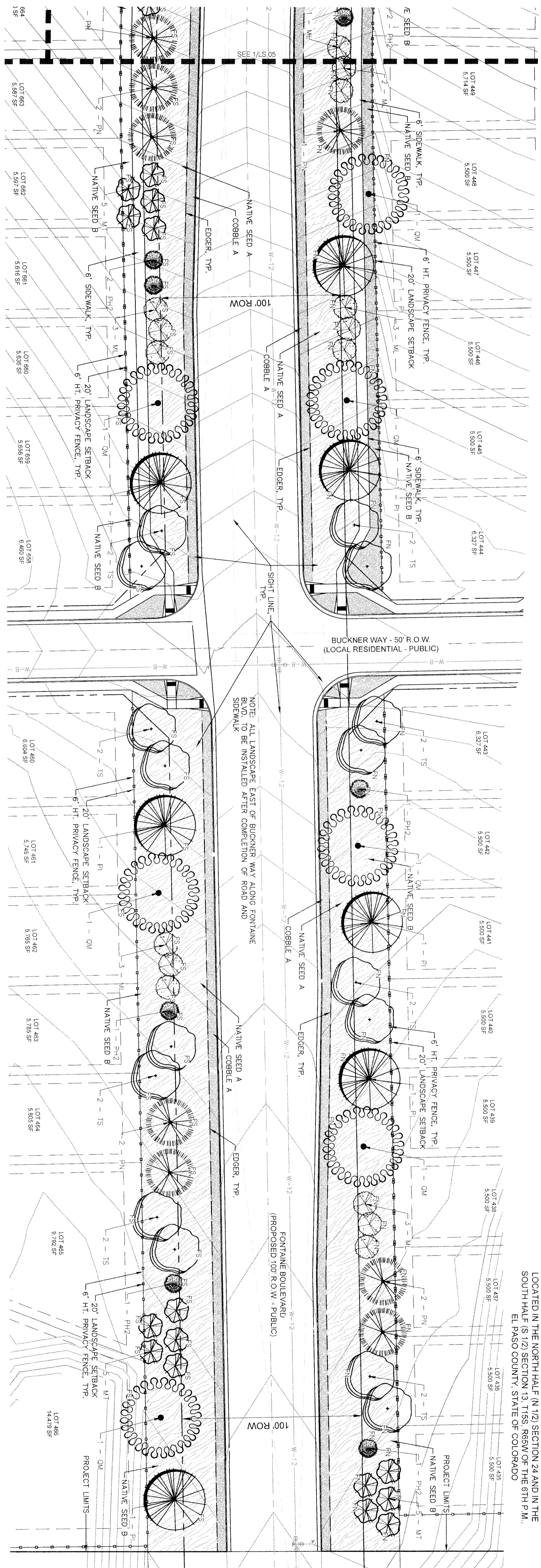
PDD FILE NO. PDDSP716



**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

LOCATED IN THE NORTH HALF IN 1/2 SECTION 24 AND IN THE  
 SOUTH HALF S 1/2 SECTION 13, T15S, R66W, OF THE 6TH P.M.  
 EL PASO COUNTY, STATE OF COLORADO

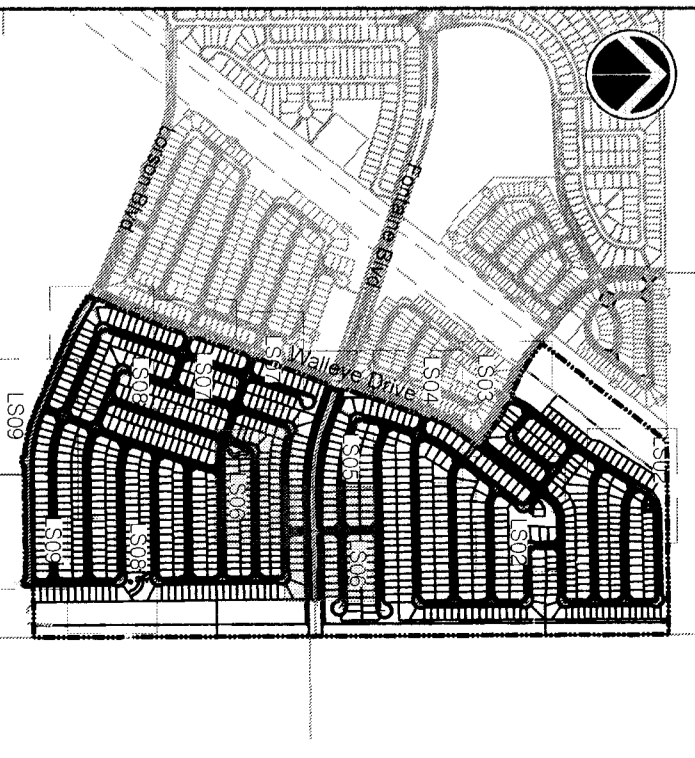
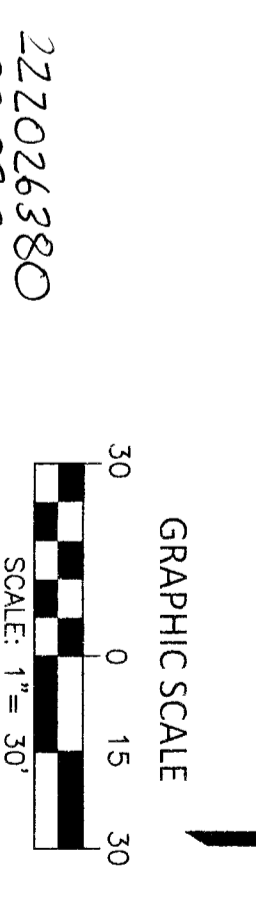
**CONSULTANTS**  
 PLANNER/LANDSCAPE ARCHITECT 2435 RESEARCH PARKWAY,  
**Matrix** SUITE 300, COLORADO SPRINGS, CO 80920  
 CIVIL ENGINEER 1500  
 PHONE (719) 576-0088  
 FAX (719) 576-0088  
 1804 1ST AVENUE S #6  
 COLORADO SPRINGS, CO 80903  
 PHONE (719) 570-1100  
 OWNER/DEVELOPER  
**LORSON LLC ET AL**  
 212 N WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200



NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
(Symbol: Irregular shape with diagonal lines)	IRRIGATED NATIVE SEED TO BE PRE-ALIGNED PANNER BUTTES SEED INC. 7851 LOW GROW MIX. SEED BLEND. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
(Symbol: Irregular shape with horizontal lines)	IRRIGATED NATIVE SEED TO BE PRE-ALIGNED PANNER BUTTES SEED INC. 7851 NATIVE PRAIRIE MIX. SEED BLEND. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
(Symbol: Irregular shape with vertical lines)	PLANTING BED TO BE 1-1/2" BLUE GREY RIVER ROCK COBBLE. 3" DEPTH OVER WEED BARRIER FABRIC. PATHWAY TO BE BREZE COBBLE. 4" DEPTH OVER WEED BARRIER FABRIC.
(Symbol: Irregular shape with cross-hatch)	STEEL LANDSCAPE EDGER. TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS. TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURERS SPECIFICATIONS.
(Symbol: Circle with dot)	FIRE HYDRANT. TYP. REF. CIVIL
(Symbol: Dashed line)	UTILITY EASEMENT. TYP. REF. CIVIL
(Symbol: Solid line)	PROPERTY LIMIT LINE
(Symbol: Dashed line with dots)	LANDSCAPE BUFFER / SETBACK LINE
(Symbol: Solid line with dots)	CONCRETE SIDEWALK. REF. CIVIL



PROJECT  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/28/2021	THIRD SUBMITTAL	RAE
3	11/01/2021	FOURTH SUBMITTAL	RAE

DRAWING INFORMATION  
 PROJECT NO. 201129\_006  
 DRAWN BY: SJC  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE

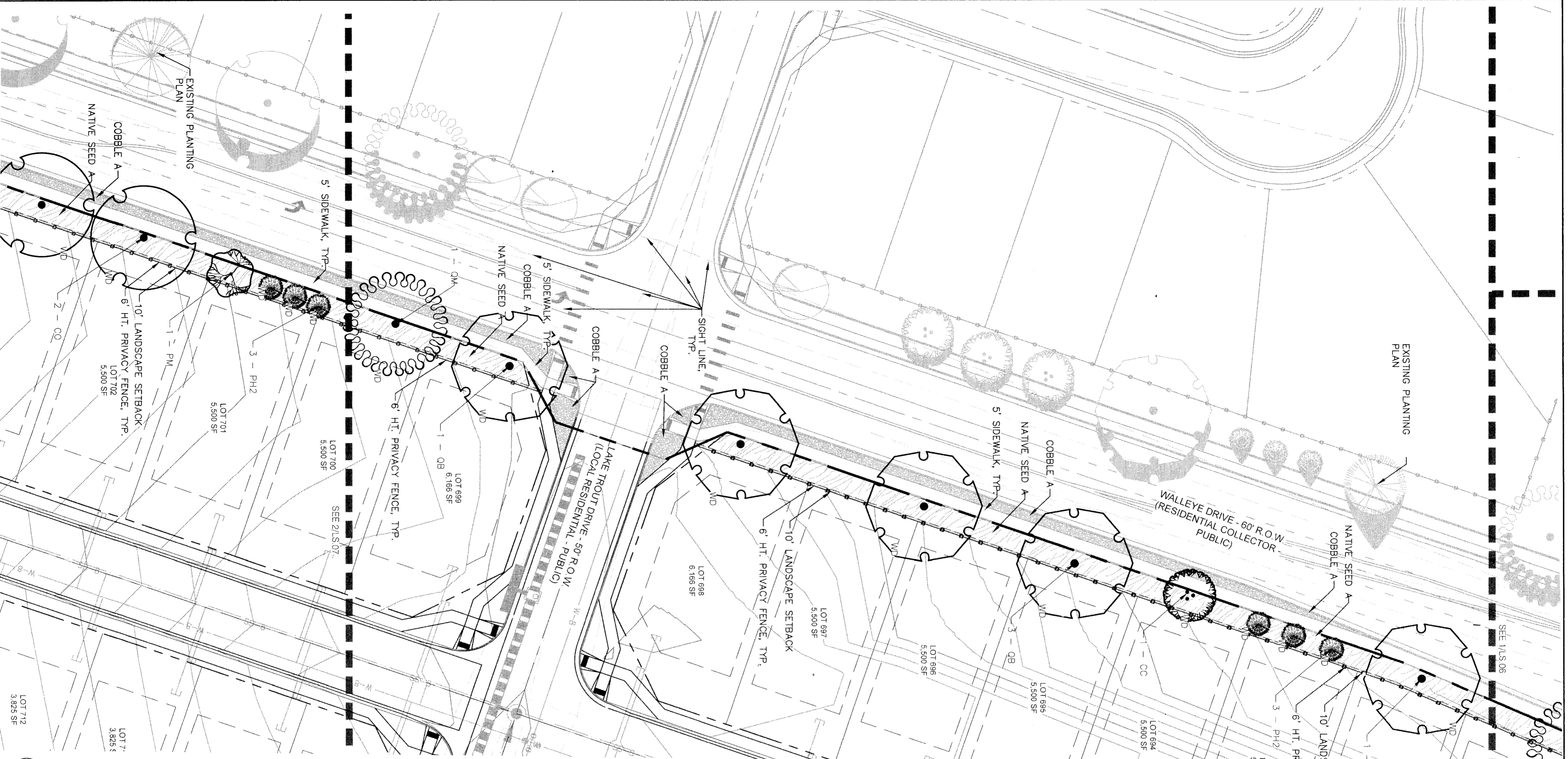
**FINAL PLANTING PLAN**

**LS06**

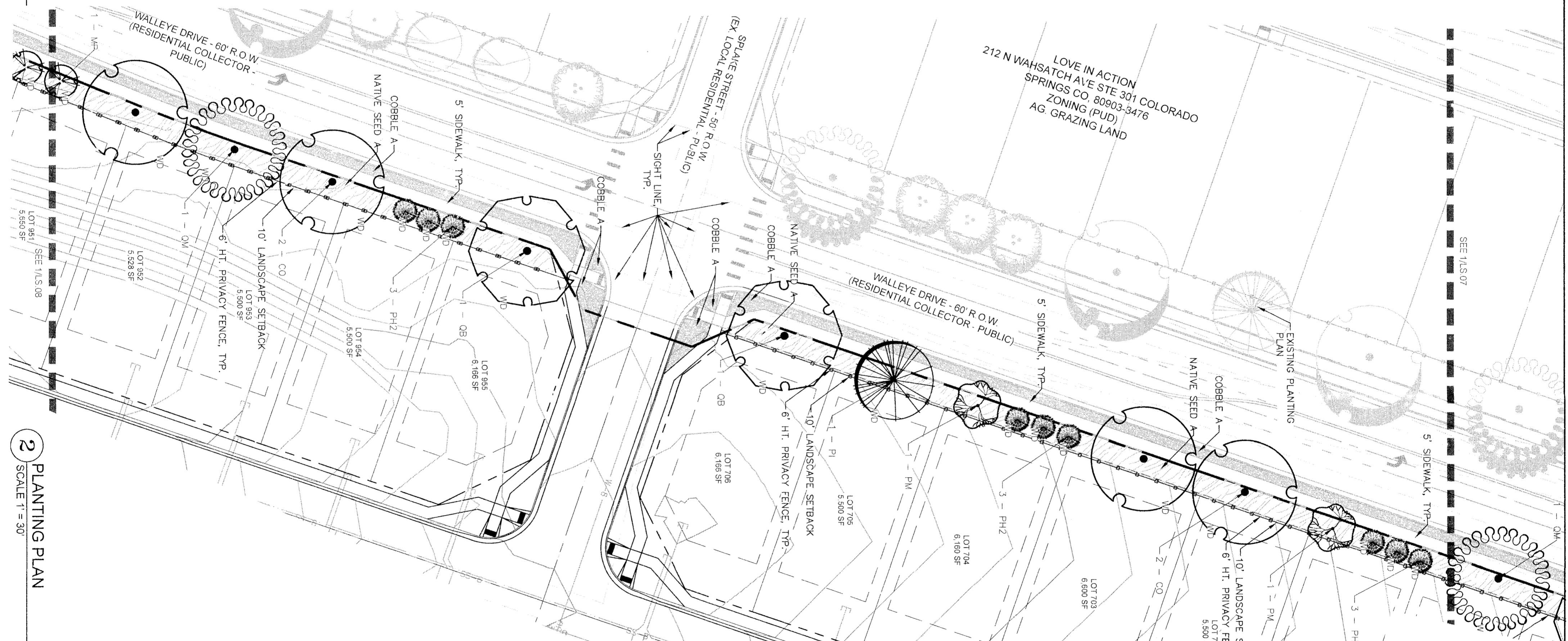
SHEET 20 OF 27

PCD FILE NO. PUDP216





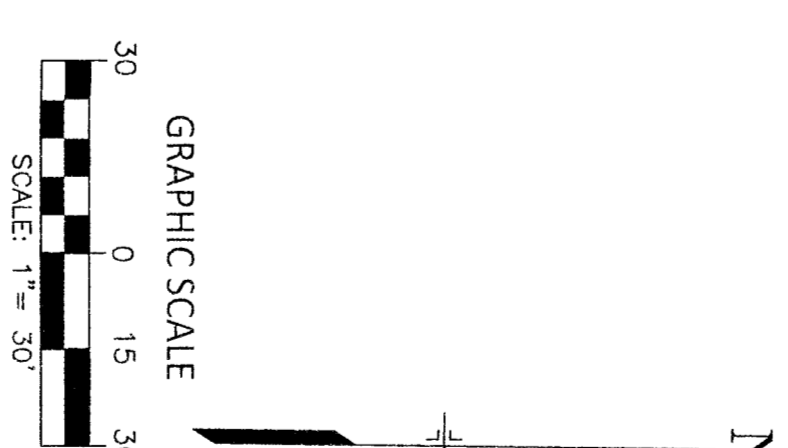
1 PLANTING PLAN  
SCALE 1" = 30'



2 PLANTING PLAN  
SCALE 1" = 30'

**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF IN 1/2 SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R69W, OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO



**LANDSCAPE LEGEND:**

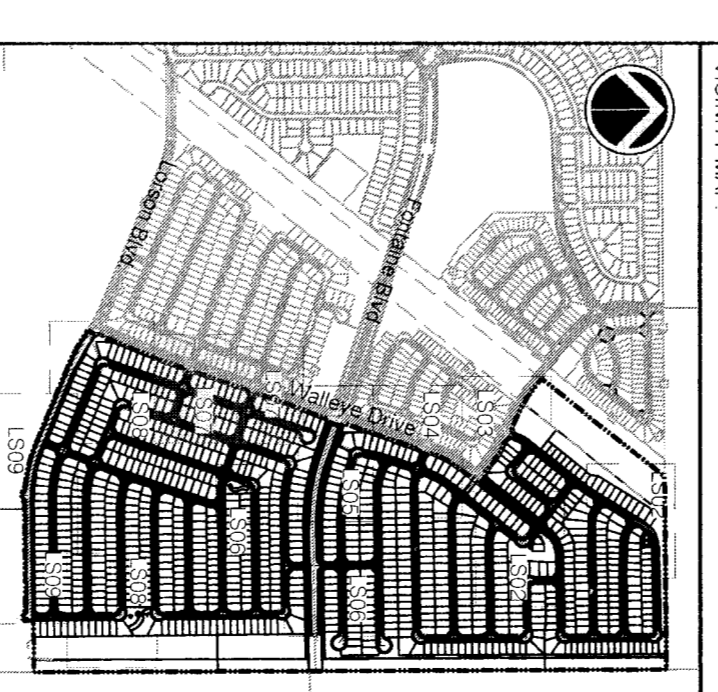
SYMBOL	DESCRIPTION
[Patterned Box]	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED WITH 25% BLENDED SEED BLENDED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
[Patterned Box]	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED WITH 25% BLENDED SEED BLENDED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
[Patterned Box]	PLANTING BED TO BE 1 1/2" BLUE GRASS TYPERS ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
[Patterned Box]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED ON SOD AREAS AND PLANTING BEDS. THE EDGER SHALL BE 1/2" THICK AND THE TOP STEEL EDGE COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
[Patterned Box]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED ON SOD AREAS AND PLANTING BEDS. THE EDGER SHALL BE 1/2" THICK AND THE TOP STEEL EDGE COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
[Patterned Box]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED ON SOD AREAS AND PLANTING BEDS. THE EDGER SHALL BE 1/2" THICK AND THE TOP STEEL EDGE COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
[Patterned Box]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED ON SOD AREAS AND PLANTING BEDS. THE EDGER SHALL BE 1/2" THICK AND THE TOP STEEL EDGE COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
[Patterned Box]	STEEL LANDSCAPE EDGER, TO BE INSTALLED BETWEEN ALL SEED ON SOD AREAS AND PLANTING BEDS. THE EDGER SHALL BE 1/2" THICK AND THE TOP STEEL EDGE COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

- FIRE HYDRANT TYP. REF. CIVIL
- UTILITY EASEMENT TYP. REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER/SETBACK LINE
- CONCRETE SIDEWALK, REF. CIVIL

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

CONSULTANTS

PLANNER/LANDSCAPE ARCHITECT: 3255 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80926  
**Matrix**  
 CIVIL ENGINEER: 1504 1ST AVENUE S#2, COLORADO SPRINGS, CO 80903  
 PHONE: (719) 570-1100  
 OWNER/ENGINEER: LORSON LLC ET AL  
 212 N WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903  
 (719) 535-3200



PROJECT: RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

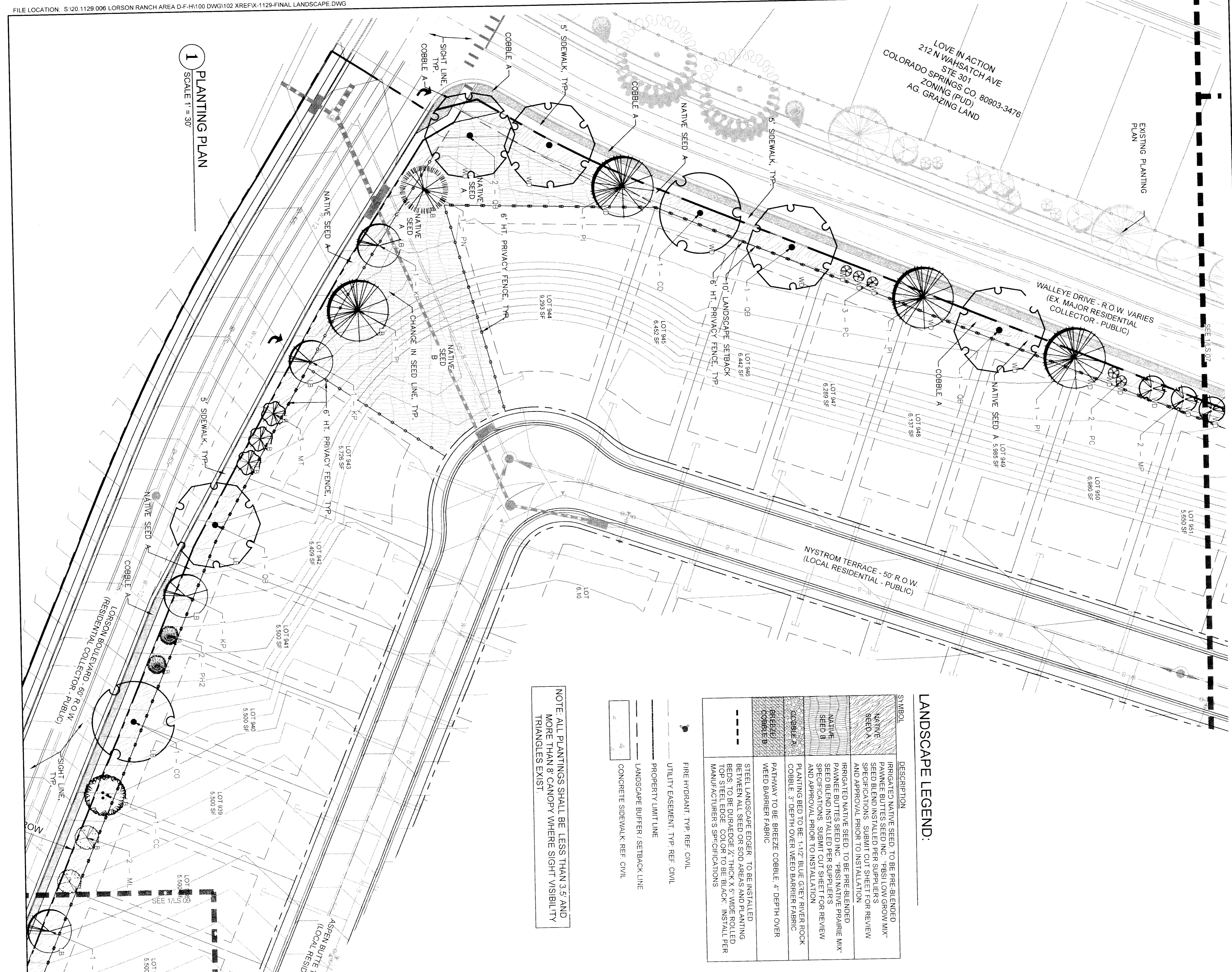
NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/08/2021	FOURTH SUBMITTAL	RAE

DRAWING INFORMATION:  
 PROJECT NO: 2011129006  
 DRAWN BY: SJC  
 CHECKED BY: JJA  
 APPROVED BY: JJA  
 SHEET TITLE:

**FINAL PLANTING PLAN**

02-23-2022 222026 \$82  
**LS07**



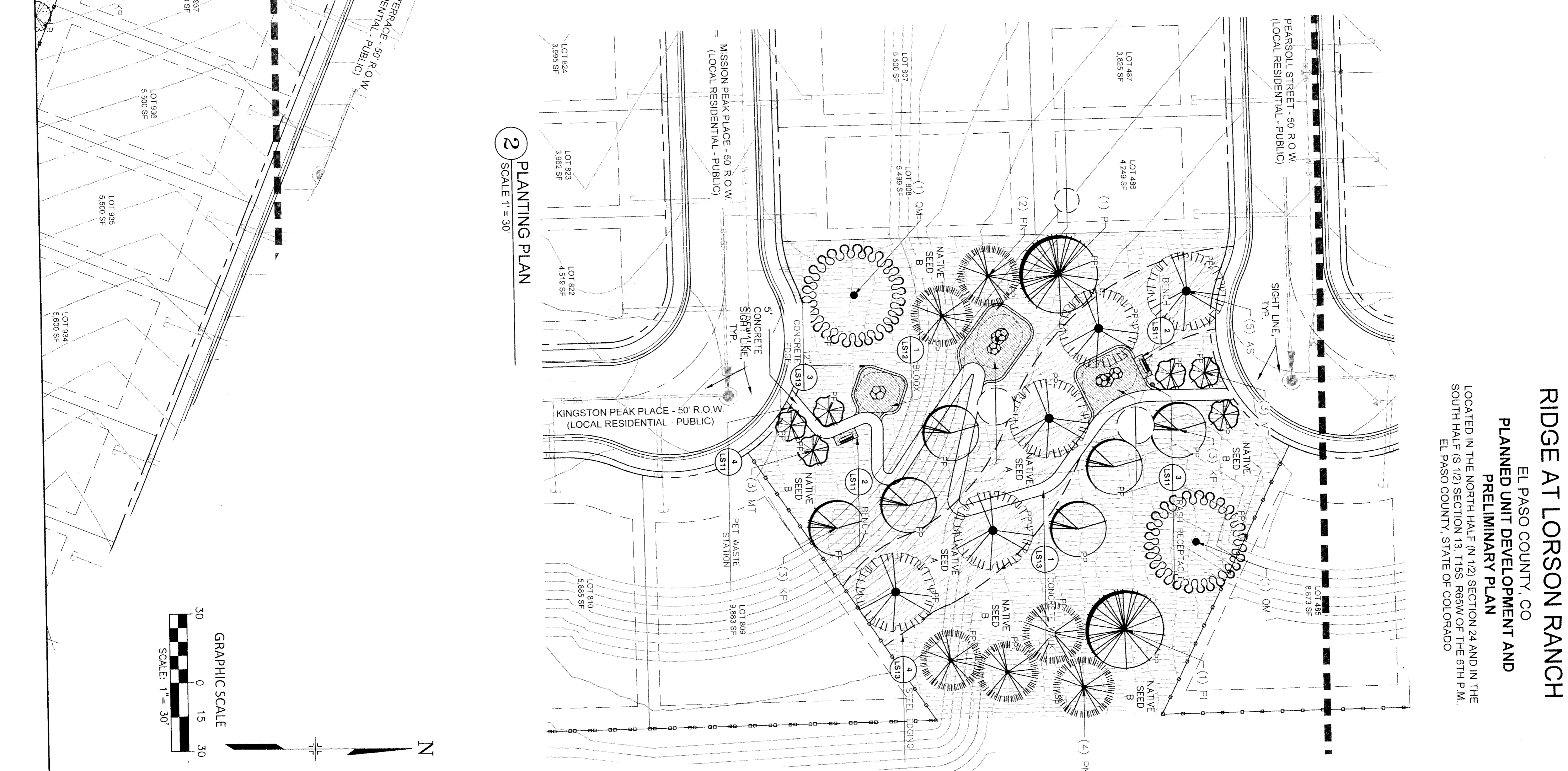


**1** PLANTING PLAN  
SCALE 1" = 30'

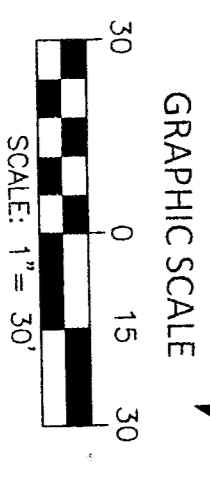
**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED TO BE PRE-BLENDED SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	IRRIGATED NATIVE SEED TO BE PRE-BLENDED SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
	PLANTING BED TO BE 1/2" BED DEPTH OVER ROCK COBBLE. 3" DEPTH OVER WEED BARRIER FABRIC.
	WEED BARRIER FABRIC.
	STEEL LANDSCAPE EDGER TO BE INSTALLED BETWEEN ALL SEED BEDS AND PLANTING BEDS. EDGER SHOULD BE 1/2" X 5" WIDE ROLLED TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
	FIRE HYDRANT TYP. REF. CIVIL
	UTILITY EASEMENT, TYP. REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER/SETBACK LINE
	CONCRETE SIDEWALK, REF. CIVIL

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

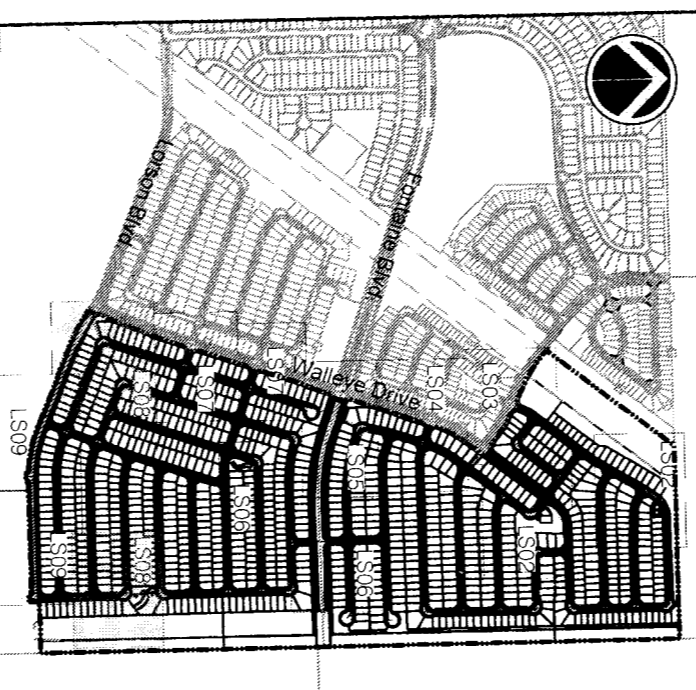


**2** PLANTING PLAN  
SCALE 1" = 30'



**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN  
LOCATED IN THE NORTH HALF (N1/2) SECTION 24 AND IN THE SOUTH HALF (S1/2) SECTION 19, T15S, R68W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS  
PLANNER, LANDSCAPE ARCHITECT  
**Matrix** 2435 RESEARCH PARKWAY, SUITE 300, SPRINGS, CO 80903  
PHONE: (719) 575-0100  
FAX: (719) 575-0208  
CIVIL ENGINEER  
CORE ENGINEERING GROUP  
BIRMINGHAM, AL 35206  
PHONE: (719) 570-1100  
OWNER/DEVELOPER  
**LORSON LLC ET AL**  
212 N WAHSAATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 635-3200



PROJECT:  
RIDGE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

EL PASO COUNTY, CO  
FIFTH SUBMITTAL - DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAF
1	07/23/2021	SECOND SUBMITTAL	RAF
2	09/29/2021	THIRD SUBMITTAL	RAF
3	11/06/2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:  
PROJECT NO. 20 1129.006  
DRAWN BY: SJC  
CHECKED BY: JRA  
APPROVED BY: JRA  
SHEET TITLE:

**FINAL PLANTING PLAN**

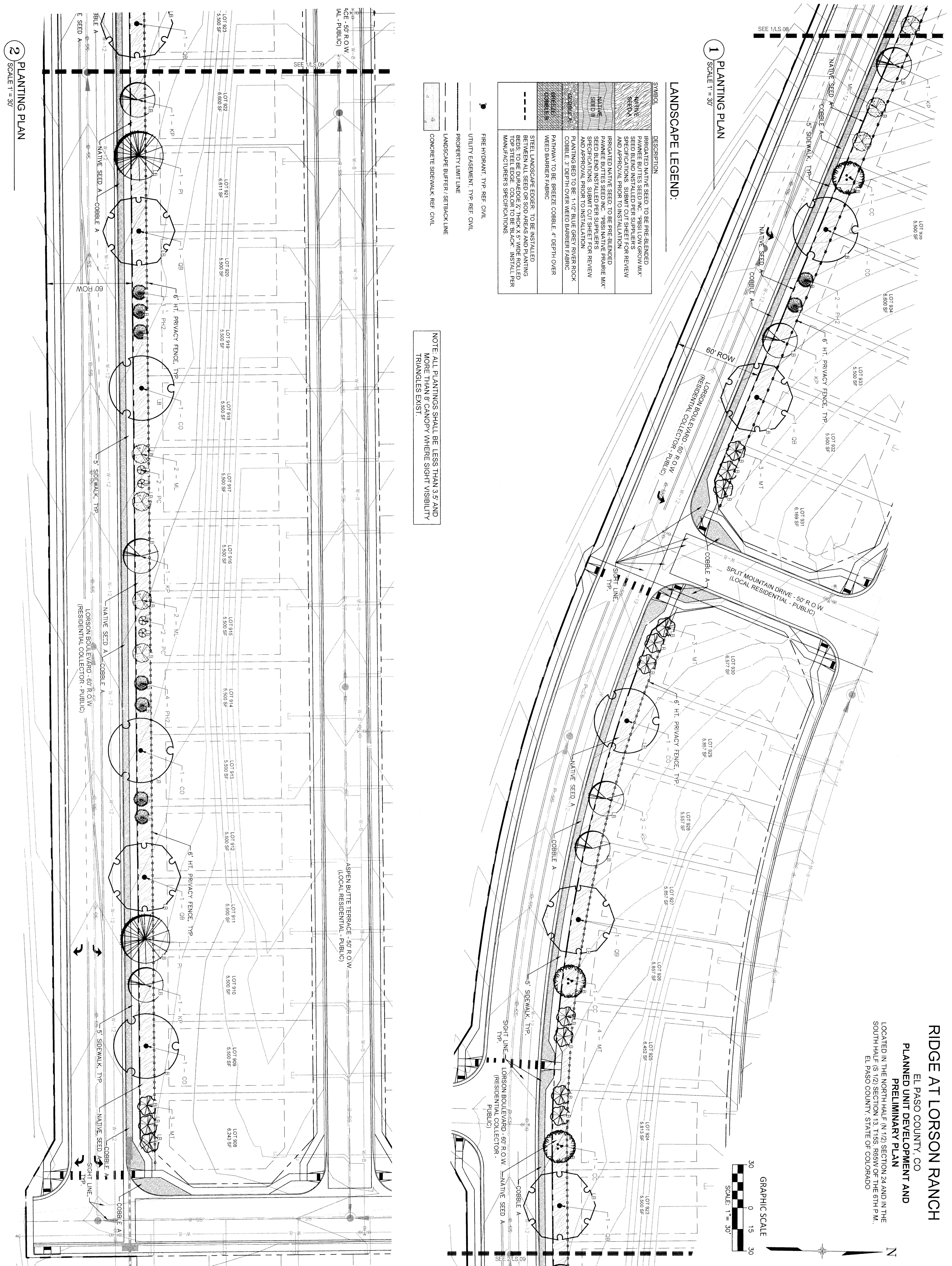
**LS08**

02-23-2022 222026380

SHEET 22 OF 27

POD FILE NO. P005P16



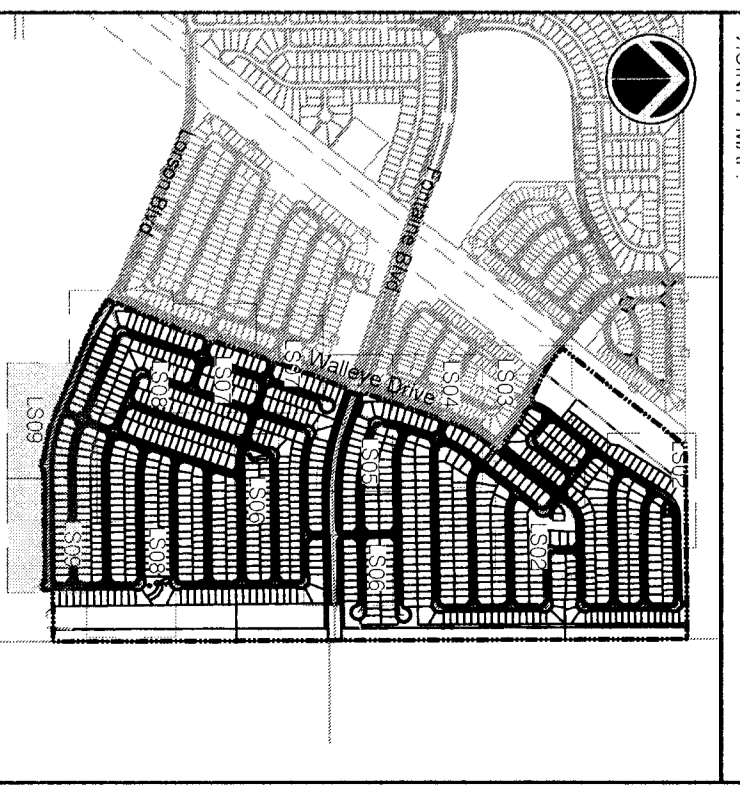


**1** PLANTING PLAN  
SCALE 1" = 30'

**2** PLANTING PLAN  
SCALE 1" = 30'

**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 LOCATED IN THE NORTH HALF, N 1/2, SECTION 24 AND IN THE  
 SOUTH HALF, S 1/2, SECTION 13, T15S, R69W OF THE 6TH P.M.,  
 EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS  
**Matrix** 2426 RESEARCH PARKWAY,  
 SUITE 300  
 COLORADO SPRINGS, CO 80903  
 PHONE: (719) 575-6100  
 FAX: (719) 575-6200  
 CIVIL ENGINEER  
 CORE ENGINEERING GROUP  
 1504 1ST AVENUE S  
 DENVER, CO 80202  
 PHONE: (303) 733-1100  
 OWNER/DEVELOPER  
**LORSON LLC ET/AL**  
 2124 N. WASHATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200



PROJECT  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/09/2021	FOURTH SUBMITTAL	RAE

REVISION HISTORY

DRAWING INFORMATION:  
 PROJECT NO: 20 1129 006  
 DRAWN BY: SJC  
 CHECKED BY: JRA  
 APPROVED BY: JRA  
 SHEET TITLE

**FINAL PLANTING PLAN**

02-23-2022 222026380

**LS09**



**RIDGE AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

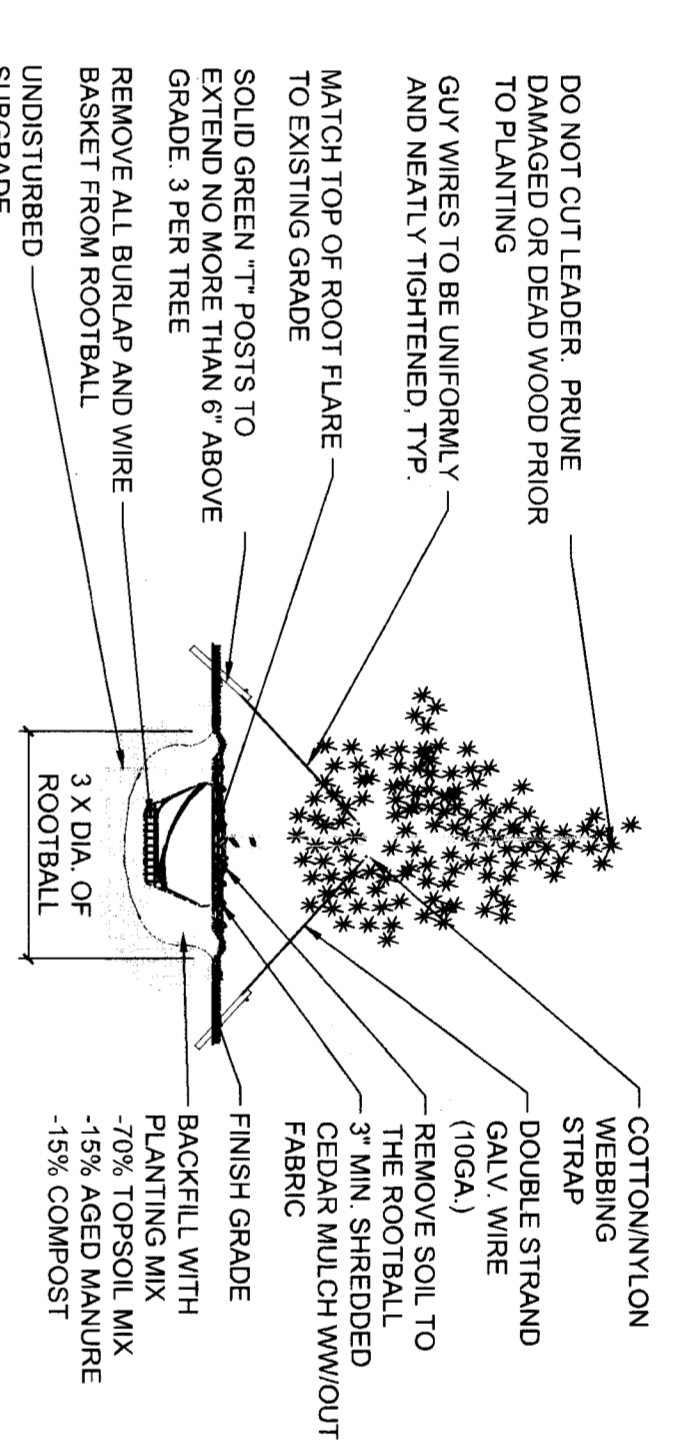
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

**SHRUB/ TREE PLANTING NOTES:**

- ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY WITH ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- OWNER AND OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- AT THE COMPLETION OF PLANTING OPERATIONS, ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS REPRESENTATIVE. CONTRACTORS SHALL REPORT UNDESIRABLE PLANTS OR PLANTS THAT DO NOT MEET THE SPECIFICATIONS TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- PLANT GROUND COVER WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE PER DRAWINGS, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED AGAIN.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. CENTRAL LEADERS SHALL NOT BE REMOVED.

**SODDING & SEEDING:**

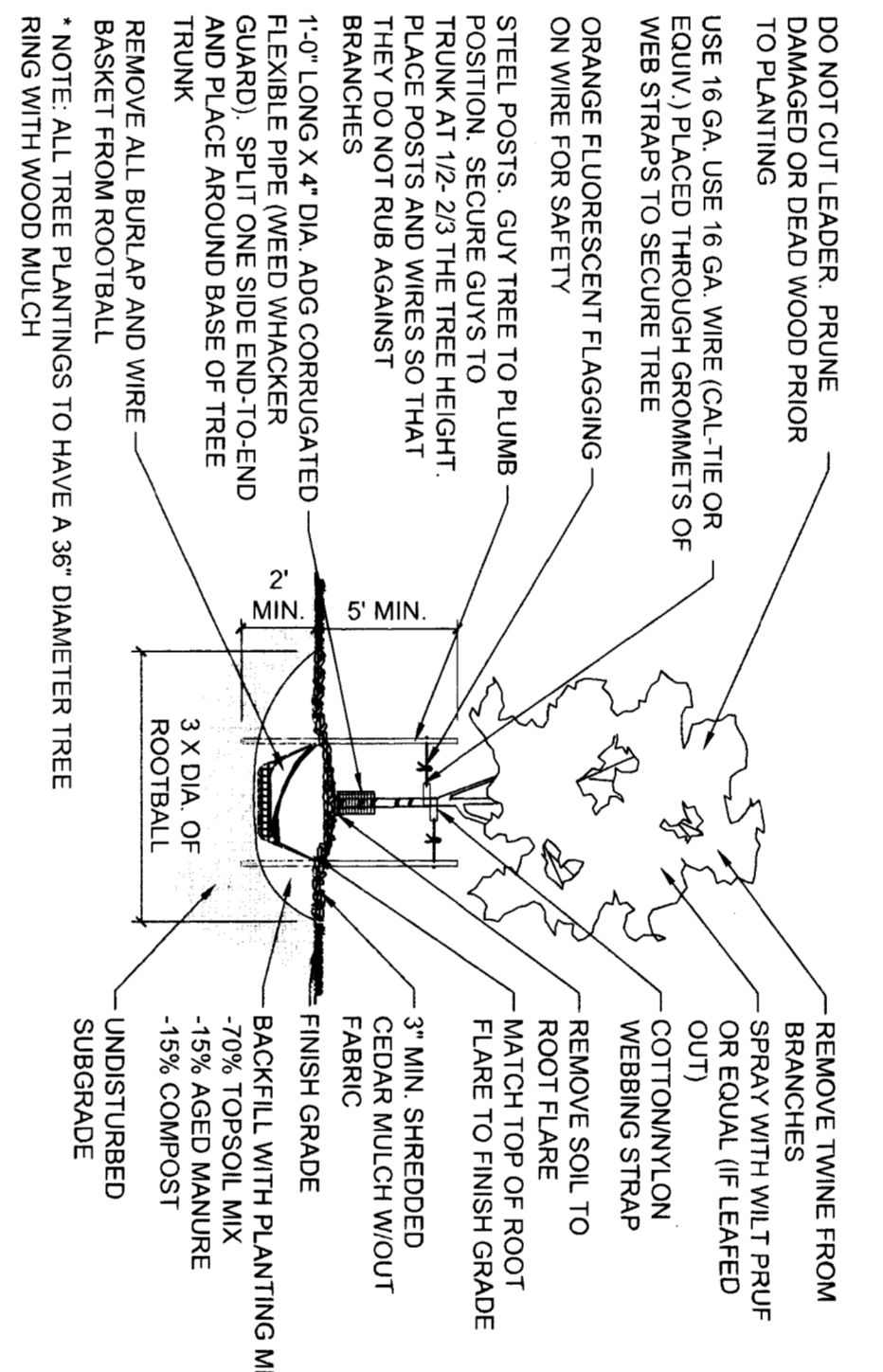
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON SITE.
- GENERAL CONTRACTOR SHALL PROVIDE # OF TOPSOIL AT ALL SOD AND PLANTING AREAS IN ADDITION TO ANY REQUIRED SOIL AMENDMENTS. GRADE SHALL BE ADJUSTED FOR SOD GROUND COVER THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINISH GRADING.
- ALL AREAS TO BE SEEDING SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKE OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER AND DEEPER THAT MAY IMPED SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITH SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE. IT IS PREFERRED THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COME WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED, AS OUTLINED BELOW. THE SIZE AND SLOPE OF THE SEEDING AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE.
  - SLOPES LESS THAN 3%: SEED SHALL BE PLANTED USING A MANUFACTURED SEEDER. SEEDING SHALL BE ACCOMPLISHED USING BIDIRECTIONAL DRILLING AND PROPER SEED DISTRIBUTION AND RATE.
  - SLOPES GREATER THAN 3% OR AREAS LESS THAN 0.10 ACRE: SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDING SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
- MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL GROWTH PER SEED MIX TYPE AND SLOPE.
- STRAW CRIMPING: TO BE NATIVE HAY OR STRAW CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.
- HYDRO-MULCHING (BASE BID): ORGANIC TACKIFIER SHALL BE USED. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
- FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDING AREAS WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
- IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES PER WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDING AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL COVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 VARIETY GRASS SEEDS (SUNSHINE FLOO AND BLUE PAGES) EXCEEDING ONE SQUARE FOOT PER THE SECOND GRASS SEEDS ON ONE SQUARE FOOT. SEEDS SHALL BE PLANTED AT A DEPTH OF 1/2" TO 3/4" IN THE SECOND GRASS SEEDS. APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEED DURING THE SAME SEASON.
- ALL BARE AREAS TO BE RESEED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD CITY REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT.



**1 EVERGREEN TREE**

NIS

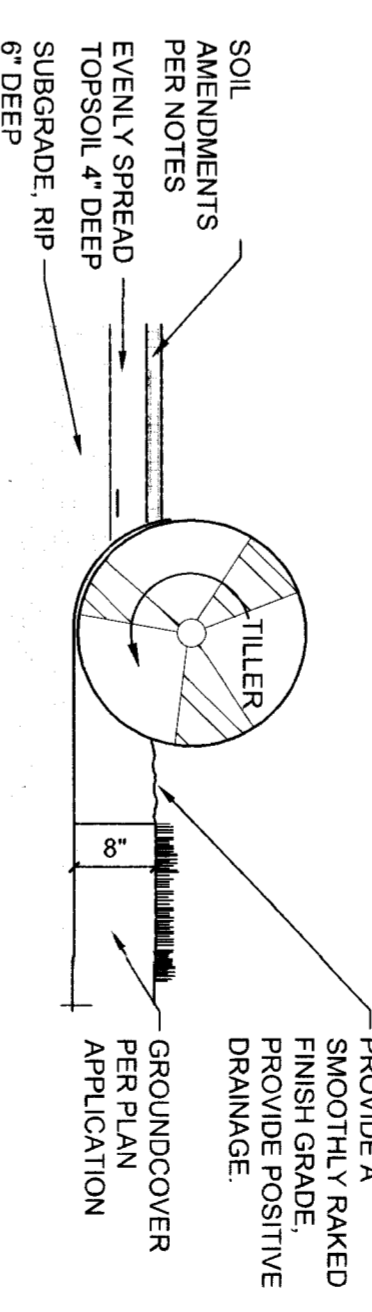
MS STD. LS-02



**2 DECIDUOUS TREE**

NIS

MS STD. LS-01



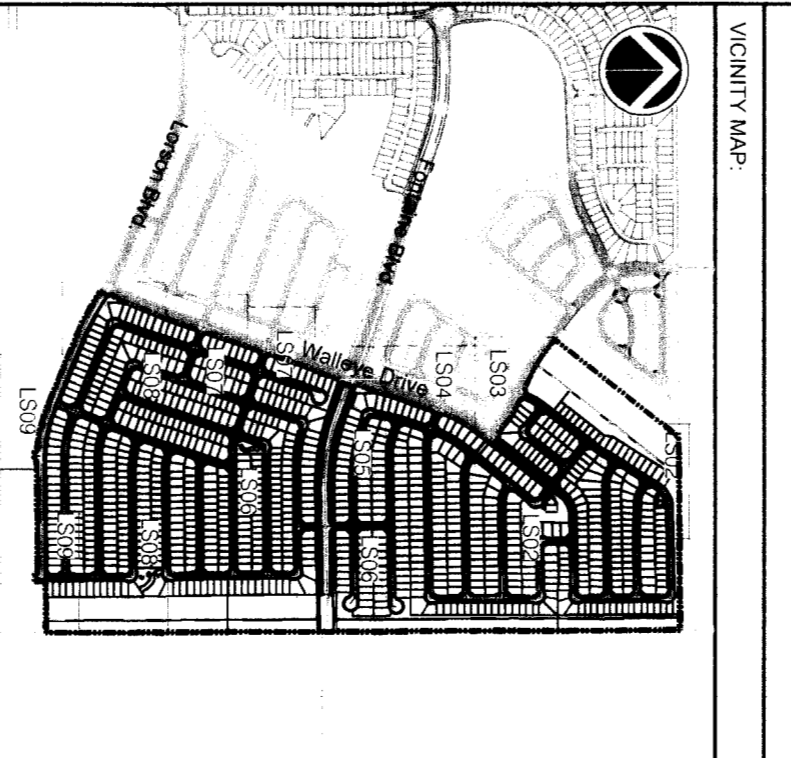
**3 SOIL PREP FOR ALL AREAS**

NIS

MS STD. LS-05

**GENERAL NOTES:**

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLANS IMMEDIATELY TO THE OWNER, OWNERS REPRESENTATIVE.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REVERSE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING CALL BEFORE YOU DIG® AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSERVED CONDITION AT ALL TIMES.
- STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
- ALL COMMON LANDSCAPE AND STREETSCAPE PLANTINGS WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE METROPOLITAN DISTRICT.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL. FOR GRADING SEE CIVIL ENGINEER DRAWINGS.
- A 3" DIAMETER CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL SIGHT TRIANGLES ARE TO MAINTAIN VEGETATIVE CLEARANCE WITH PLANTING HEIGHTS BELOW 36" AND CANOPY OF TREES CLEARED BELOW 8' HEIGHT.



NO.	DATE	DESCRIPTION	BY
0	07/19/2021	FIRST SUBMITTAL	SAF
1	07/23/2021	SECOND SUBMITTAL	SAF
2	09/29/2021	THIRD SUBMITTAL	PAF
3	11/06/2021	FOURTH SUBMITTAL	SAF

PROJECT NO.	20-1129-006
DRAWING INFORMATION:	
PROJECT NO.	20-1129-006
DRAWN BY:	SJC
CHECKED BY:	JRA
APPROVED BY:	JRA
SHEET TITLE:	

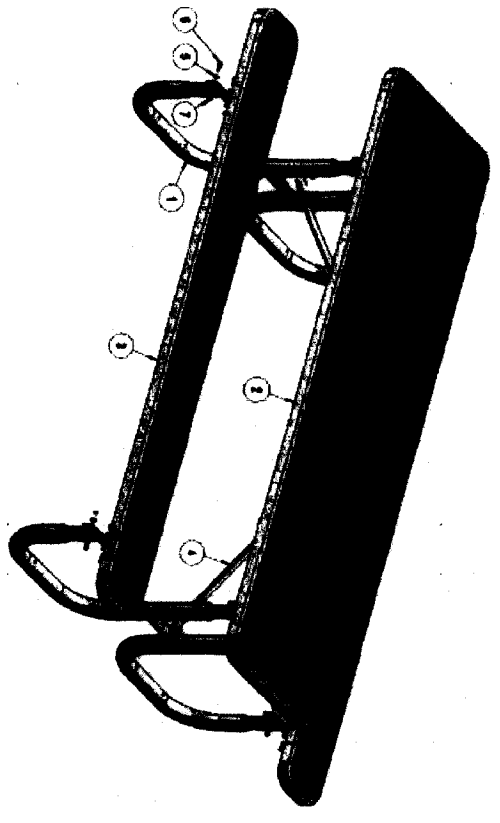
**LANDSCAPE NOTES & DETAILS**

**LS10**

**SHEET 24 OF 27**

222026380  
 02-23-2022



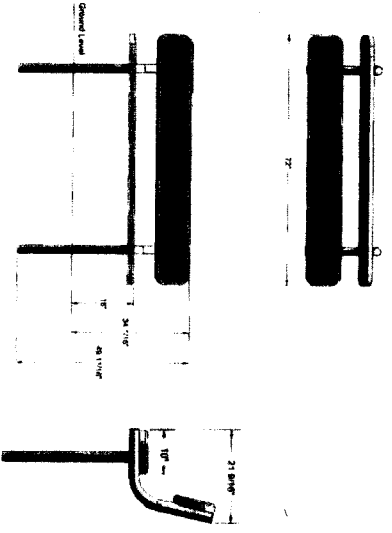


**MANUFACTURER:** ULTRA-SITE  
**PRODUCT:** 238-8V8  
**COLOR:** BY OWNER  
**MOUNTING:** SURFACE MOUNT  
**WEBSITE:** WWW.ULTRA-SITE.COM  
**PHONE:** 800-458-5872

**NOTES:**  
 1. TABLE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS OR APPROVED EQUAL

**1 PICNIC TABLE**

MS-1P-03

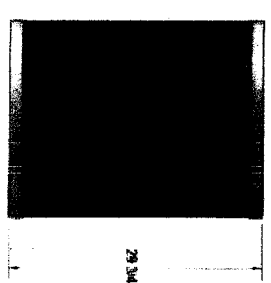


**MANUFACTURER:** ULTRA-SITE  
**PRODUCT:** 940S-8V6  
**BY OWNER**  
**MOUNTING:** IN-GROUND  
**WEBSITE:** WWW.ULTRA-SITE.COM  
**PHONE:** 800-458-5872

**NOTES:**  
 1. BENCH TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS

**2 BENCH**

MS-1B-04

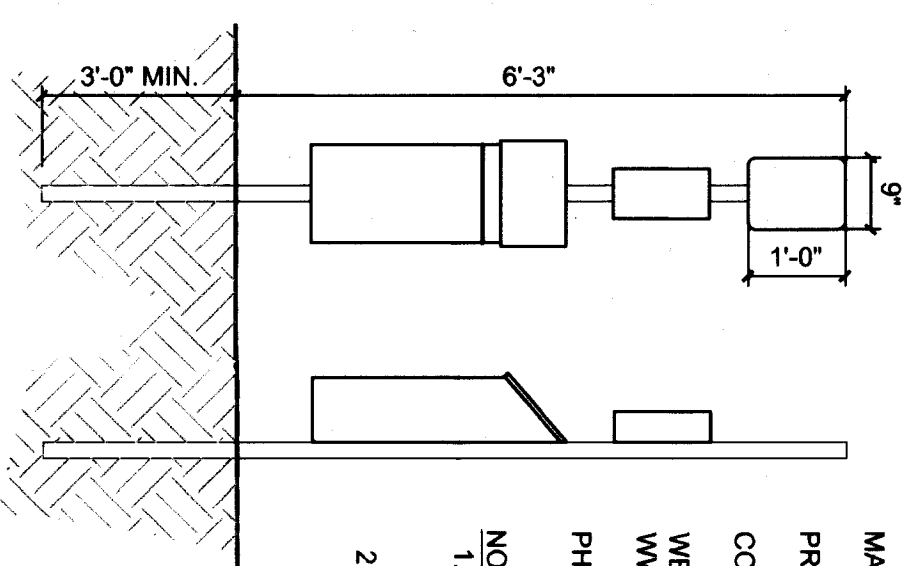


**MANUFACTURER:** ULTRA-SITE  
**PRODUCT:** EX-32  
**BY OWNER**  
**MOUNTING:** IN-GROUND  
**WEBSITE:** WWW.ULTRA-SITE.COM  
**PHONE:** 800-458-5872

**NOTES:**  
 1. TRASH RECEPTACLE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS  
 2. OR APPROVED EQUAL

**3 TRASH RECEPTACLE**

MS-1P-05

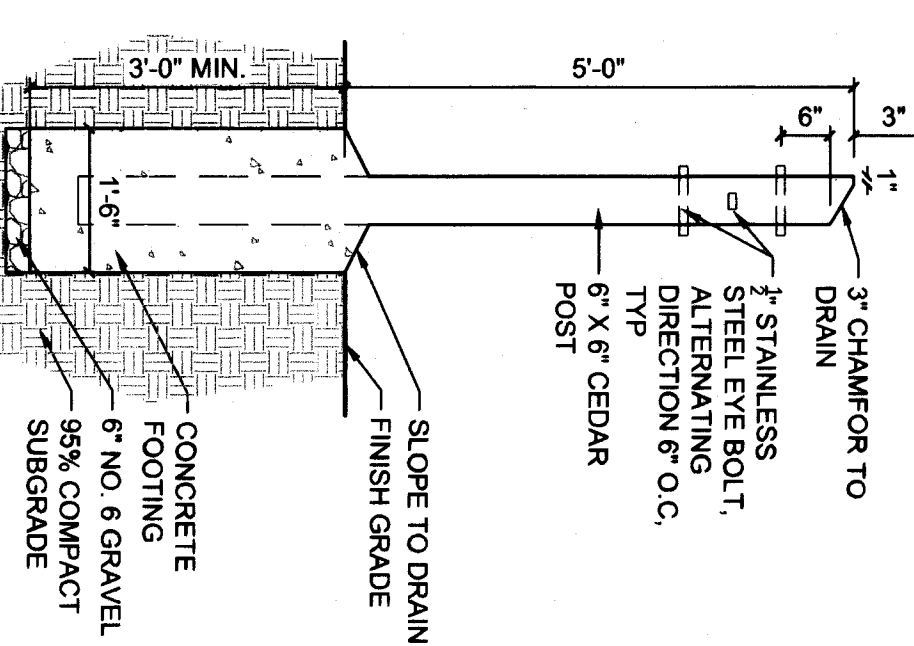


**MANUFACTURER:** WORTHINGTON DIRECT  
**PRODUCT:** BARKWAY, BY OWNER  
**COLOR:** BY OWNER  
**WEBSITE:** WWW.WORTHINGTONDIRECT.COM  
**PHONE:** 800-589-6636

**NOTES:**  
 1. TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS  
 2. OR APPROVED EQUAL

**4 PET WASTE STATION**

MS-1P-24



**MANUFACTURER:** DIRECT  
**PRODUCT:** BARKWAY, BY OWNER  
**COLOR:** BY OWNER  
**WEBSITE:** WWW.WORTHINGTONDIRECT.COM  
**PHONE:** 800-589-6636

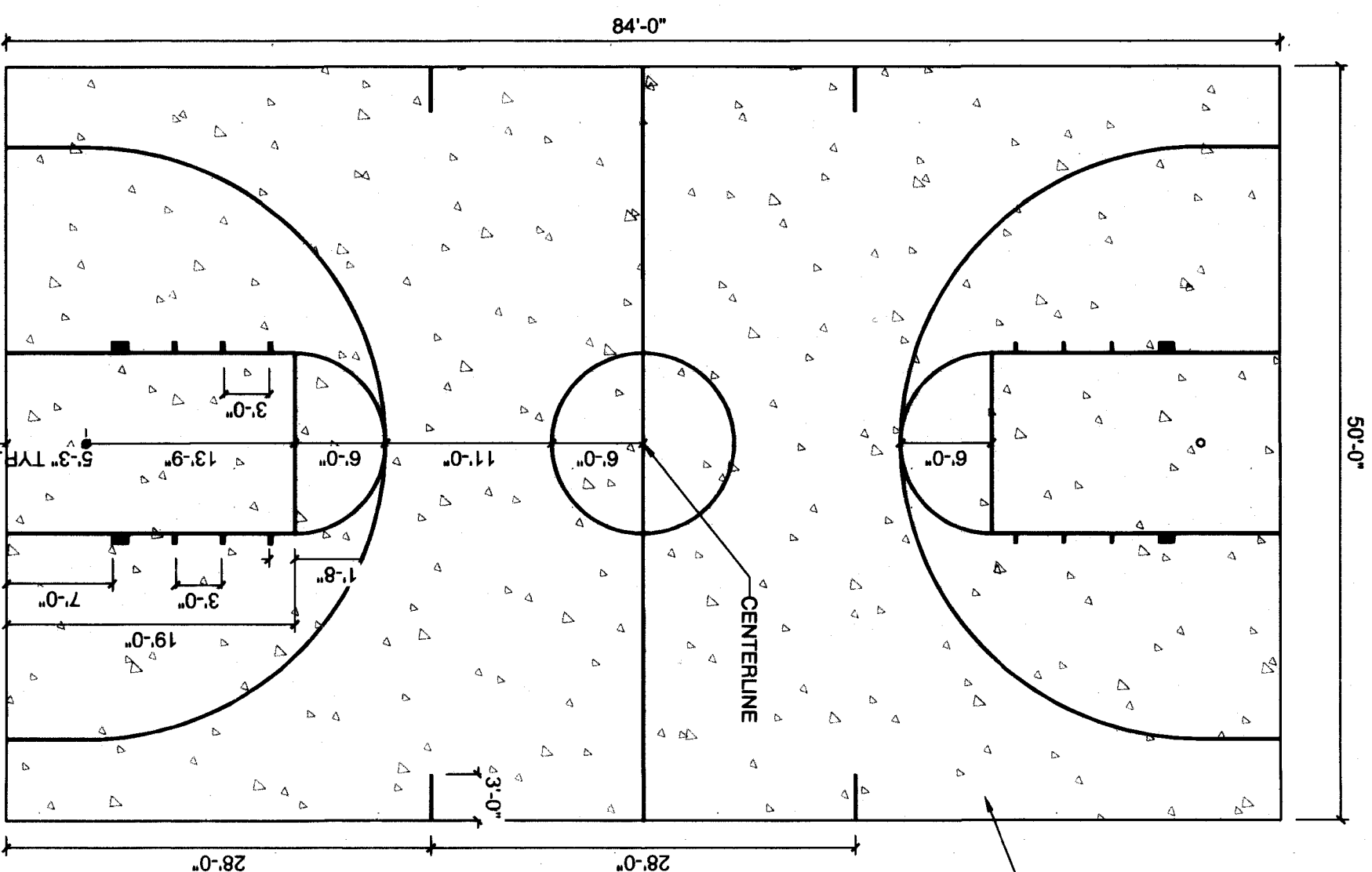
**NOTES:**  
 1. TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS  
 2. OR APPROVED EQUAL

**5 HAMMOCK POST**

MS-1P-08

**RIDGE AT LORSON RANCH**

EL PASO COUNTY, CO  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R85W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO



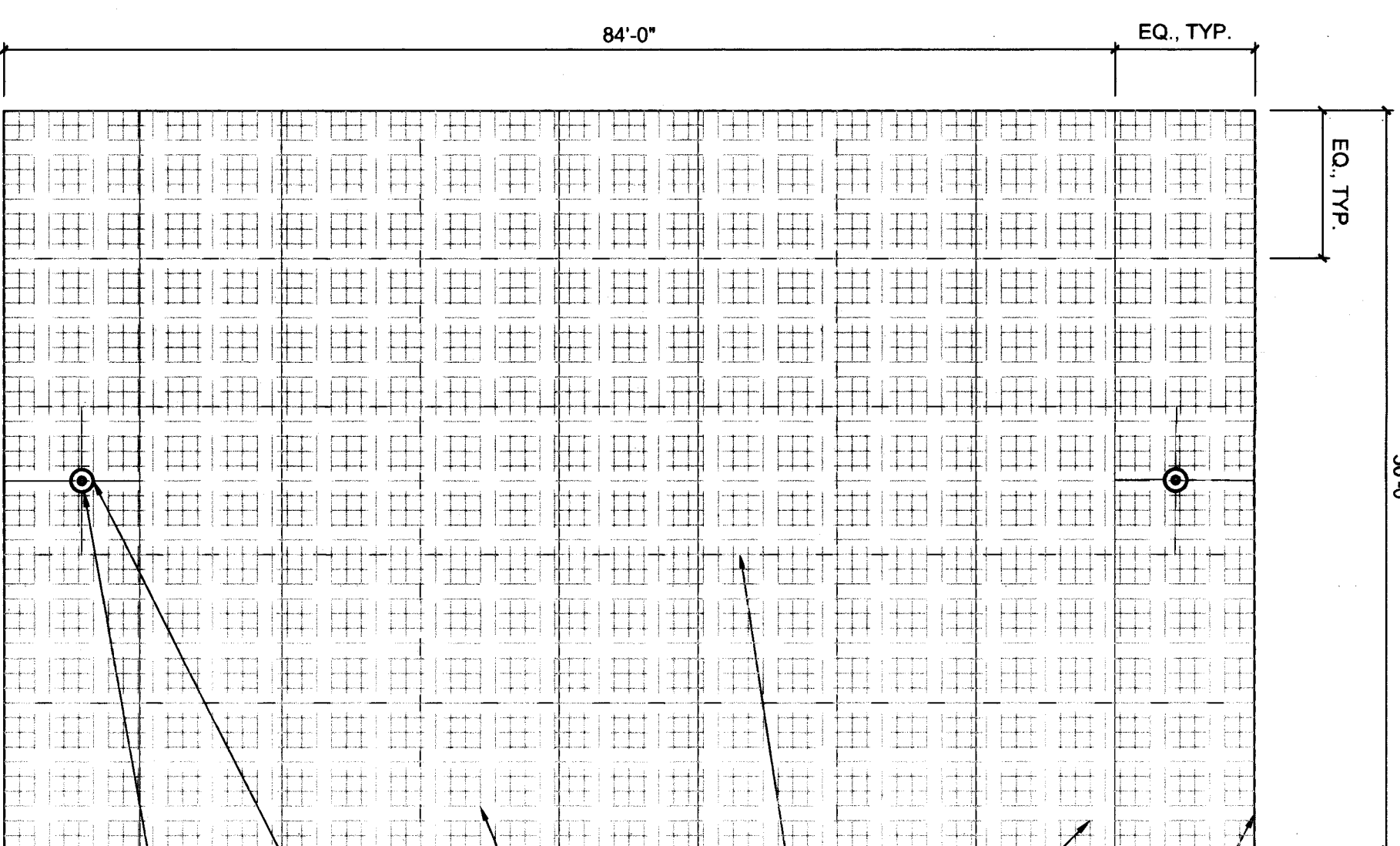
6" CONCRETE SLAB, NOTE: UNLESS OTHERWISE SPECIFIED BY THE GEOTECHNICAL REPORT

**NOTES:**  
 1. ALL COURT LINES TO BE PAINTED AT 2" WIDTH. COLOR TO BE WHITE. SUBMIT AND OBTAIN APPROVAL FROM OWNER'S REP.  
 2. ALL MEASUREMENTS ARE FROM OUTSIDE OF PAINTED LINES, EXCEPT CENTERLINE WHICH IS ON CENTER.  
 3. SLOPED TO DRAIN IN DIRECTION OF 1% MAX. REFINISH GRADE.

**7 BASKETBALL COURT**

NTS

MS-STD-GM-01



1/2" EXPANSION JOINT AROUND COURT WHERE ADJACENT TO CONCRETE  
 #4 REBAR AT 12" O.C., TYP.  
 SAW CUT CONTROL JOINT TO 1/3 OF DEPTH, TYP. (MIN. 1" DEPTH FOR 6" CONCRETE BASE)

6" CONCRETE SLAB, NOTE: UNLESS OTHERWISE SPECIFIED BY THE GEOTECHNICAL REPORT

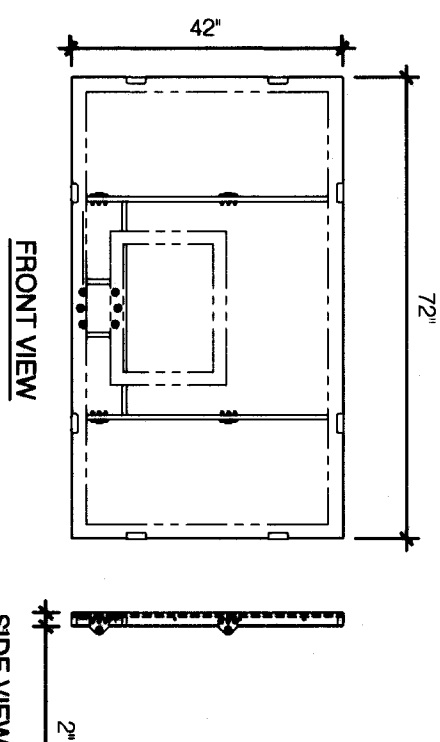
APPROXIMATE FOOTER LOCATION - FIELD LOCATE - SAWCUT JOINTS TO BE INSTALLED - TYP.  
 1/2" EXPANSION JOINT AROUND ENTIRE BASKETBALL GOAL POST, EXTEND TO BASE OF SPECIFIED CONCRETE DEPTH - TYP.

**8 BASKETBALL COURT PAVEMENT PLAN**

NTS

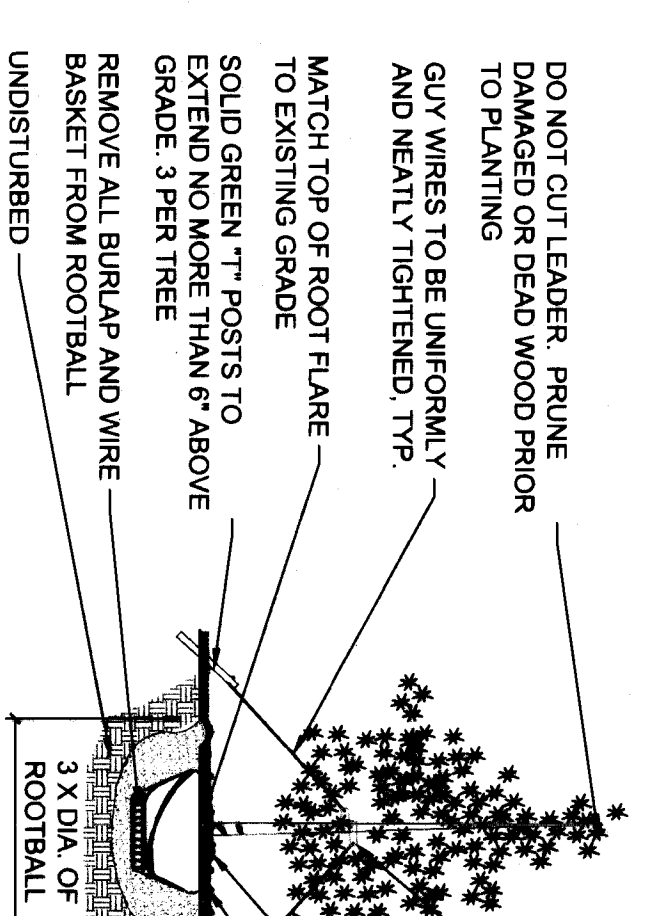
MS-STD-GM-02

**MANUFACTURER:** SPALDING  
**PRODUCT:** AERBA VIEW SERIES 77Z ACRYLIC FIXED HT. MOUNTING: IN-GROUND BASKETBALL HOOP  
**WEBSITE:** WWW.SPALDING.COM  
**PHONE:** 800.435.5865



**6 BASKETBALL HOOP BACK**

NTS



\*NOTE: ALL TREE PLANTINGS TO HAVE A 36" DIAMETER TREE RING WITH WOOD MULCH

**9 EVERGREEN TREE**

NTS

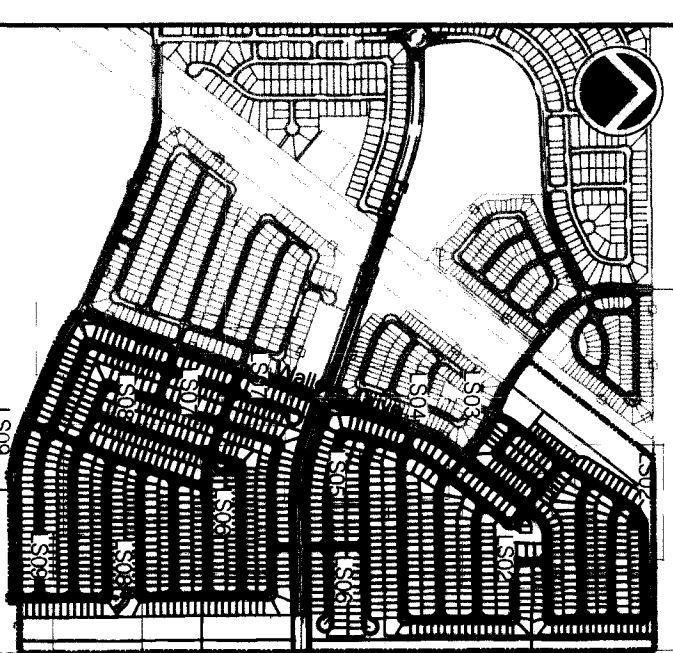
222026380  
 02-23-2022

CONSULTANTS

PLANNER / LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80902  
**Matrix**  
 CIVIL ENGINEER: 1904 1ST AVENUE S, DENVER, CO 80202  
 PHONE: (719) 576-1100  
 FAX: (719) 575-0208

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 635-3200

VICINITY MAP



PROJECT:  
 RIDGE AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 FIFTH SUBMITTAL: DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04/18/2021	FIRST SUBMITTAL	RAE
1	07/23/2021	SECOND SUBMITTAL	RAE
2	09/29/2021	THIRD SUBMITTAL	RAE
3	11/08/2021	FOURTH SUBMITTAL	RAE

DRAWING INFORMATION:  
 PROJECT NO.: 20.1129.006  
 DRAWN BY: SJC  
 CHECKED BY: JRA  
 APPROVED BY: JRA

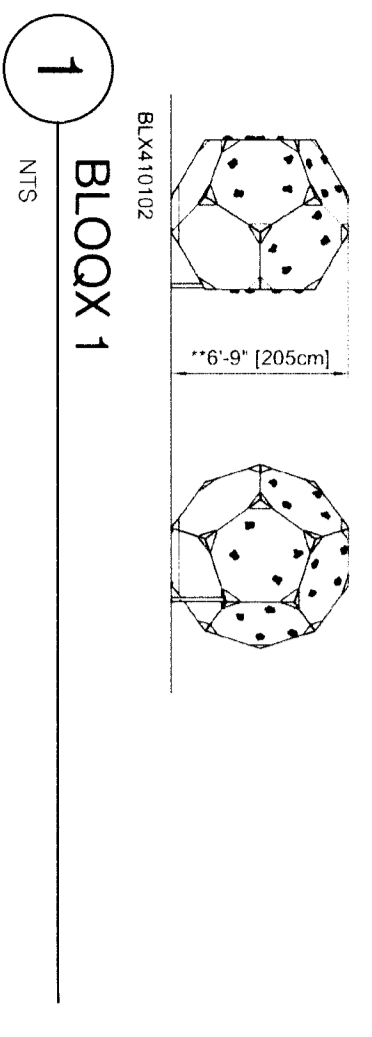
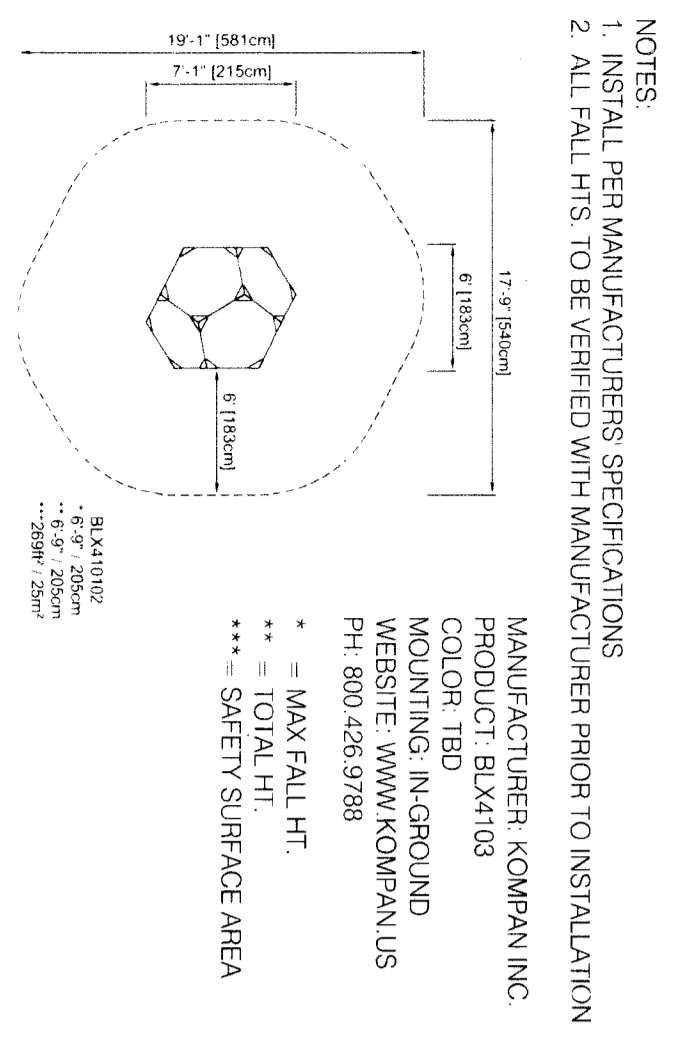
**PLAYGROUND & SITE DETAILS**

LS11

SHEET 25 OF 27

PCD FILE NO.: P108P216



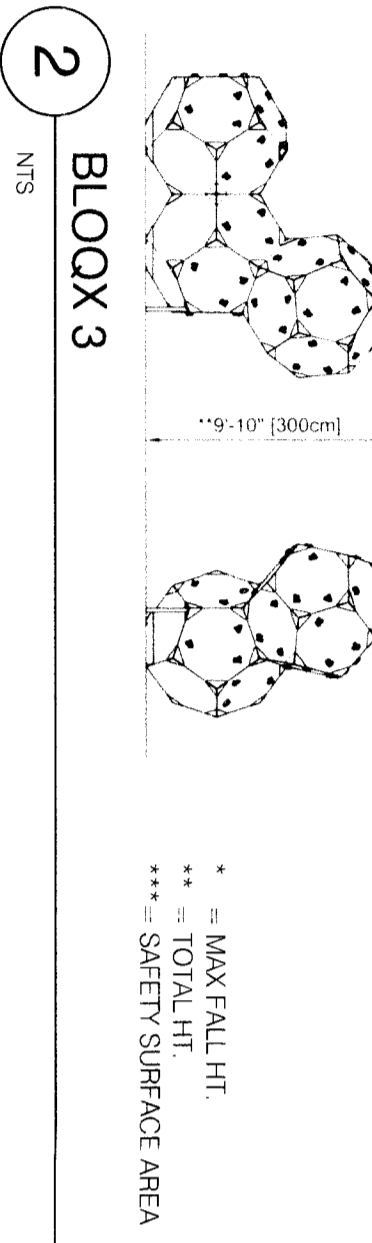
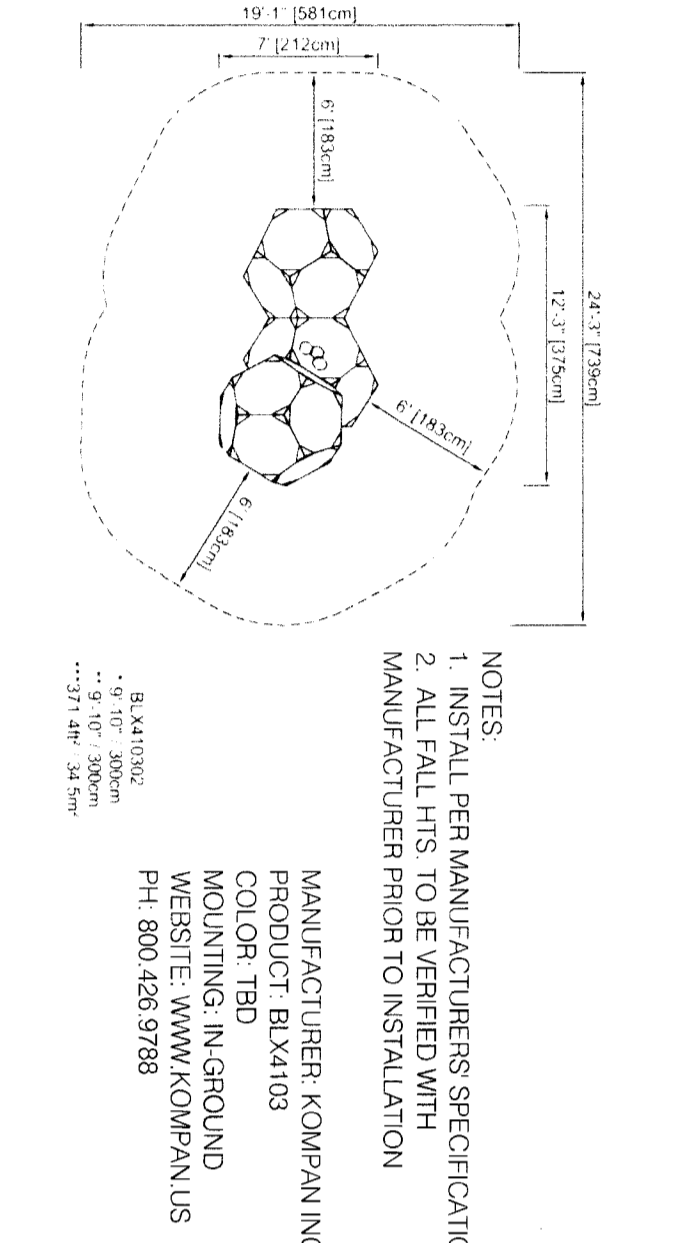


**1 BLOOX 1**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 242016 A-FRAME CARGO  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
495 SQFT = SAFETY SURFACE AREA

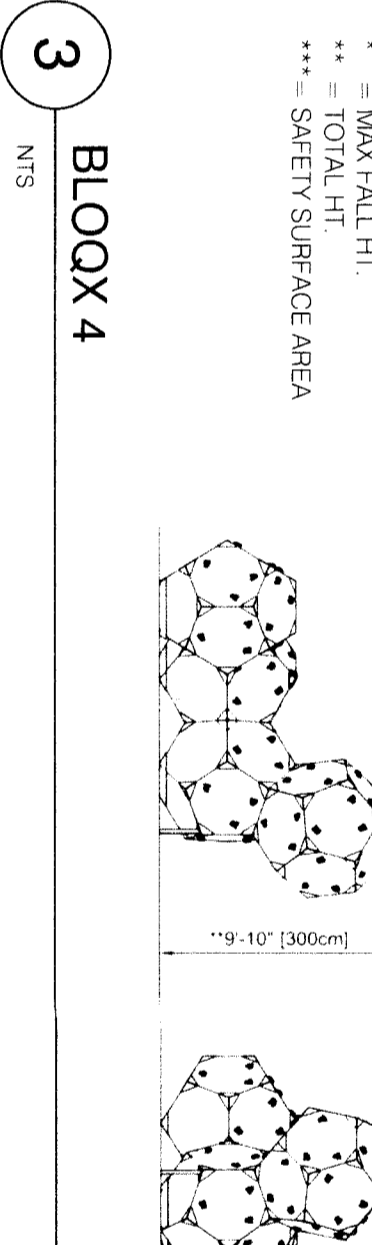
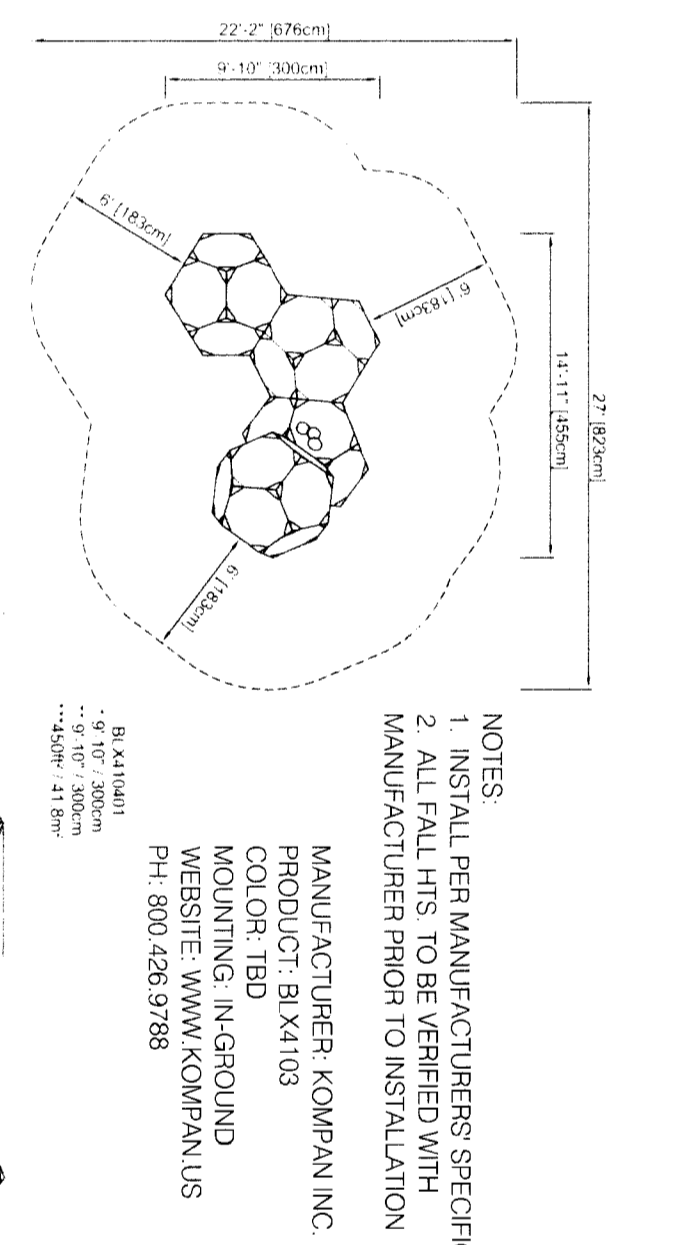


**2 BLOOX 3**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: KOMPAN INC.  
PRODUCT: BUX103  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.KOMPAN.US  
PH: 800.426.9788

11'-6" = MAX FALL HT  
495 SQFT = SAFETY SURFACE AREA

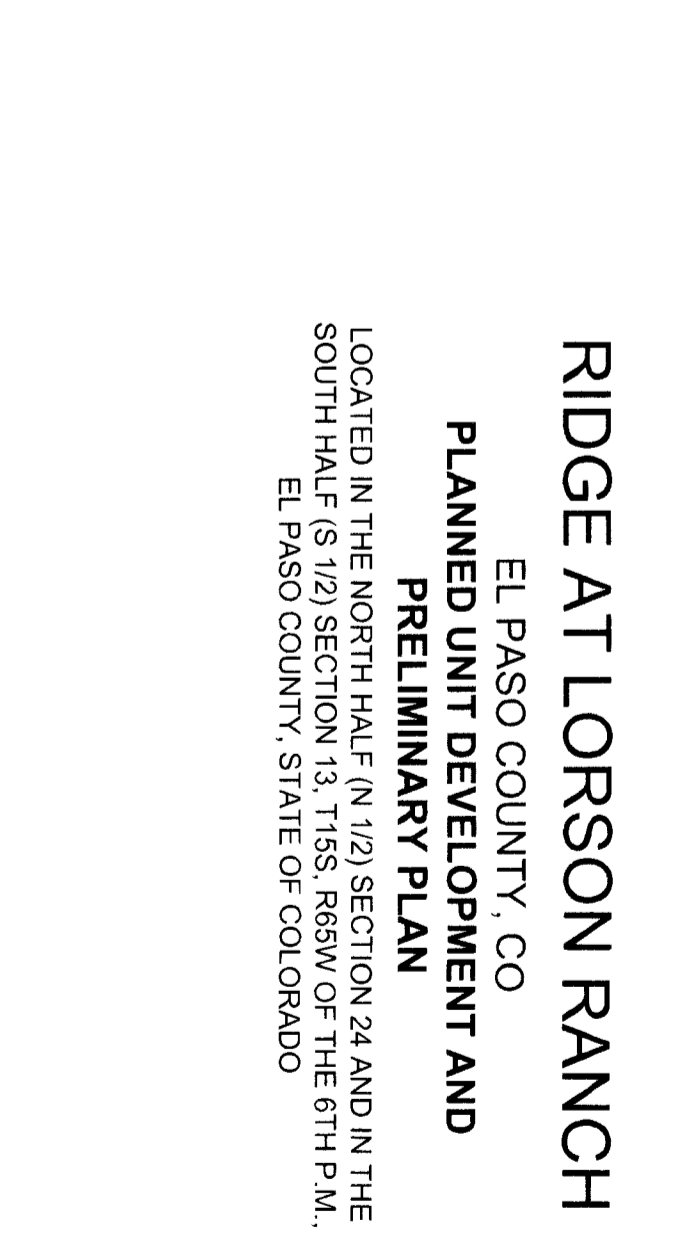


**3 BLOOX 4**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 244201 HIGH STEP  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
465 SQFT = SAFETY SURFACE AREA

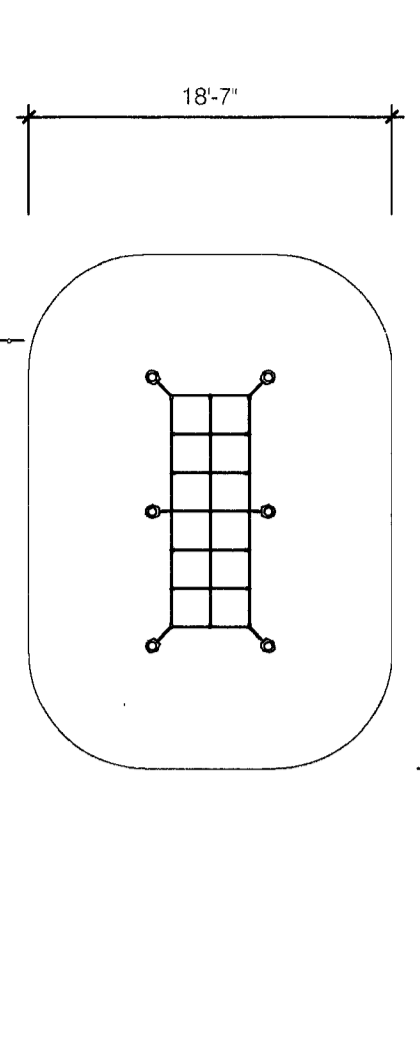


**4 A-FRAME CARGO**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 242016 A-FRAME CARGO  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
495 SQFT = SAFETY SURFACE AREA

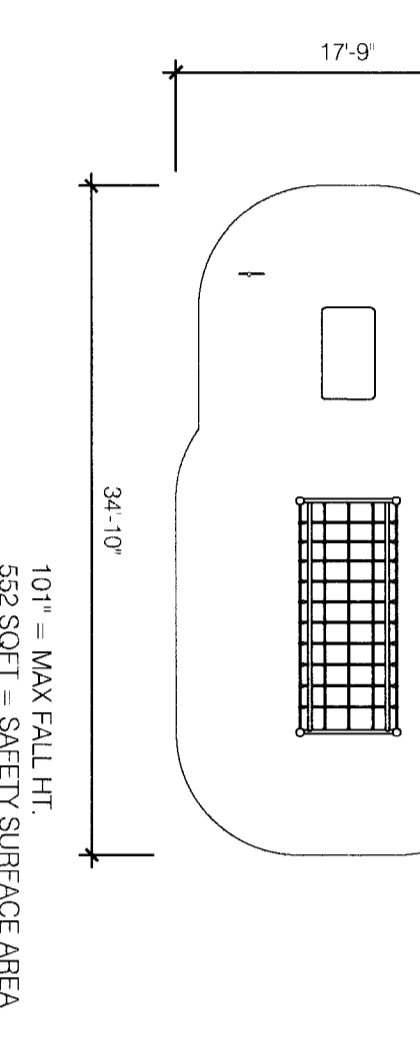


**4 A-FRAME CARGO**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 242016 A-FRAME CARGO  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
495 SQFT = SAFETY SURFACE AREA

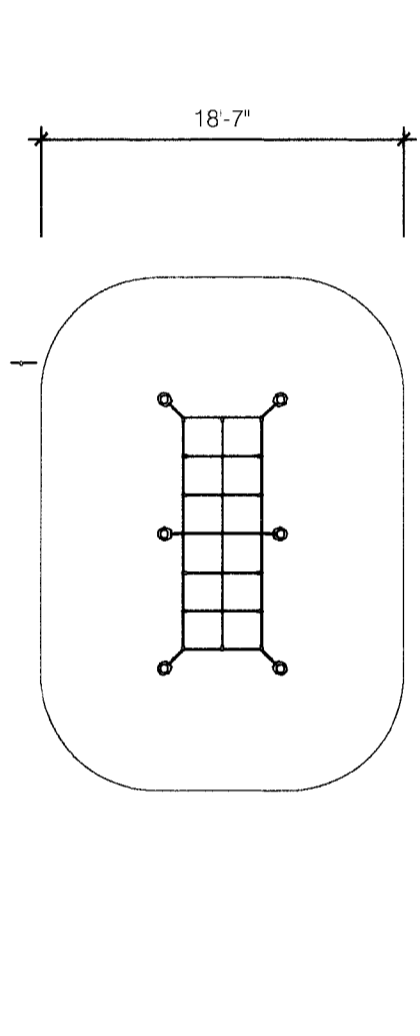


**5 JUMP HANG**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 234190 JUMP HANG  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
592 SQFT = SAFETY SURFACE AREA

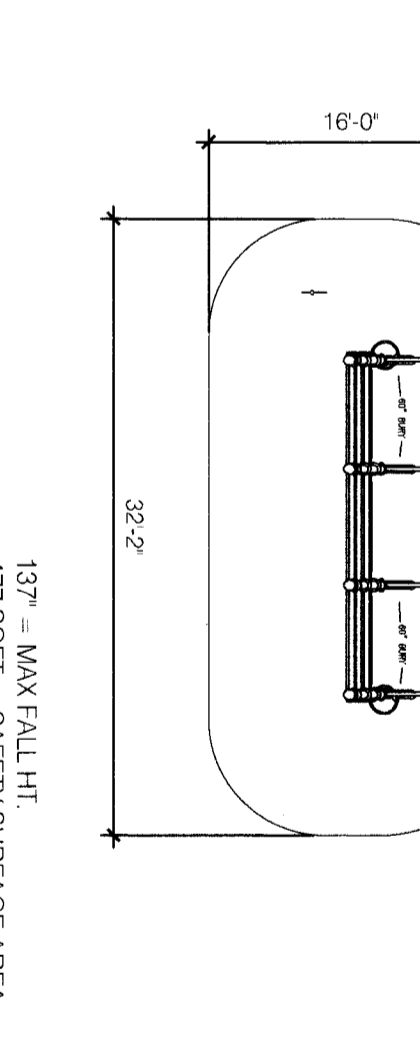


**6 HIGH STEP**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 244201 HIGH STEP  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
465 SQFT = SAFETY SURFACE AREA

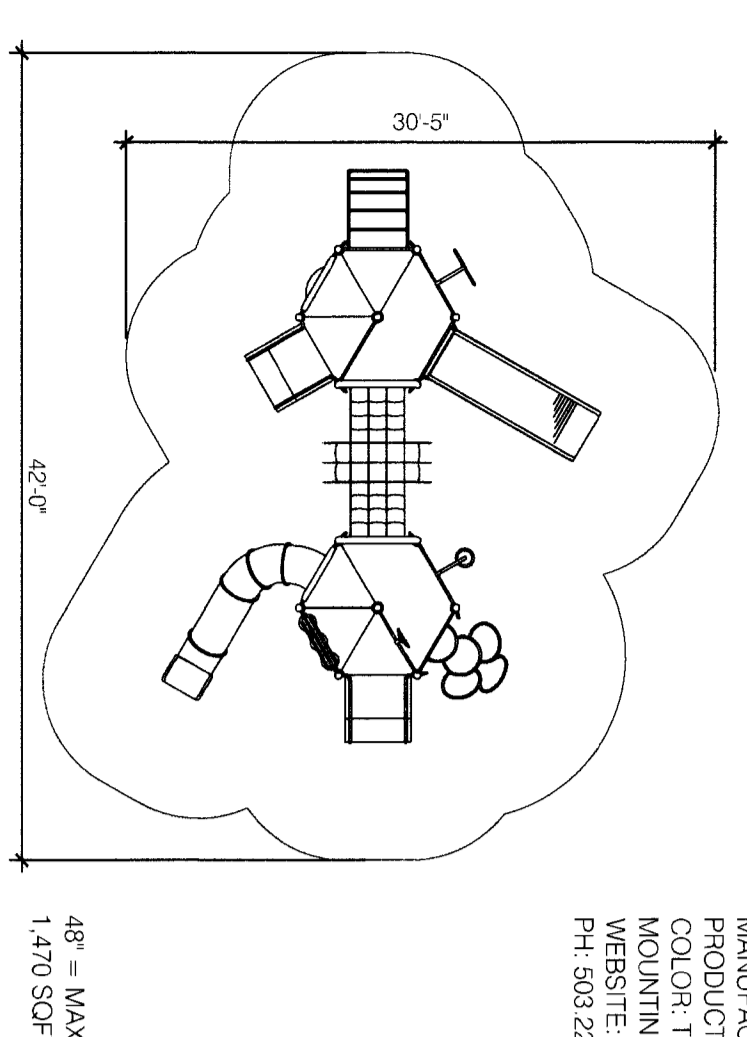


**7 LEDGE HANGER**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES  
PRODUCT: 243778 LEDGE HANGER  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.PLAYS.COM  
PH: 888.438.6574

11'-6" = MAX FALL HT  
477 SQFT = SAFETY SURFACE AREA

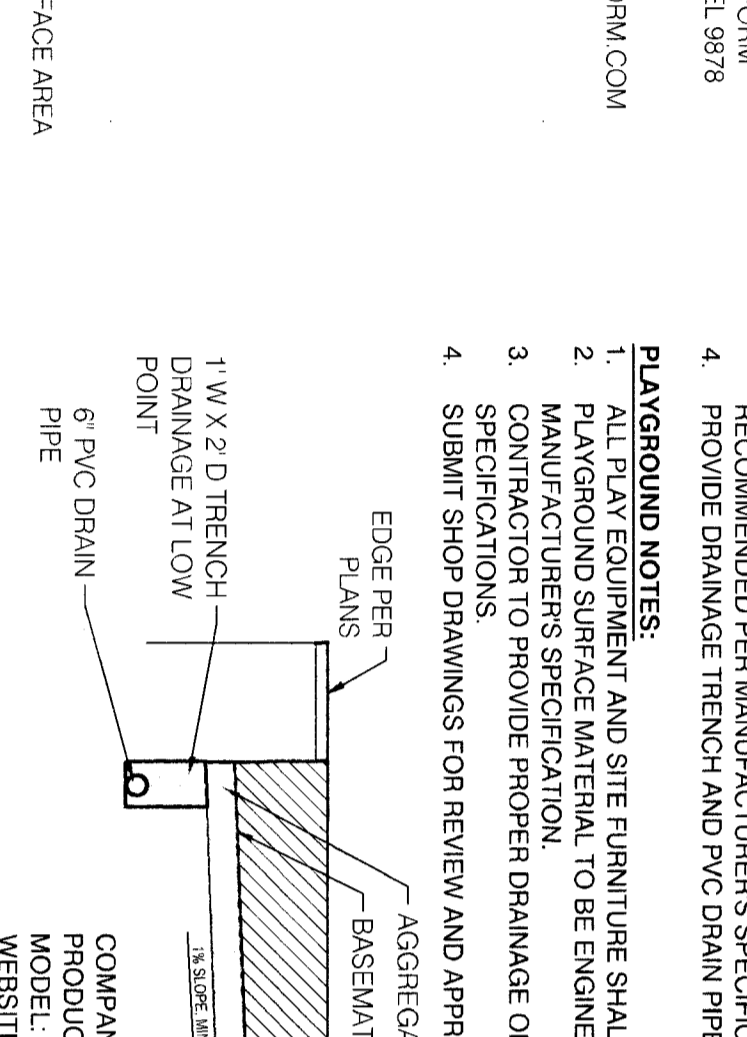


**8 PIPELINE PLAY STRUCTURE 9878**  
NIS

NOTES:  
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: TIMBERFORM  
PRODUCT: PIPELINE MODEL 9878  
COLOR: TBD  
MOUNTING: IN-GROUND  
WEBSITE: WWW.TIMBERFORM.COM  
PH: 503.223.1157

48' = MAX FALL HT  
1,470 SQFT = SAFETY SURFACE AREA



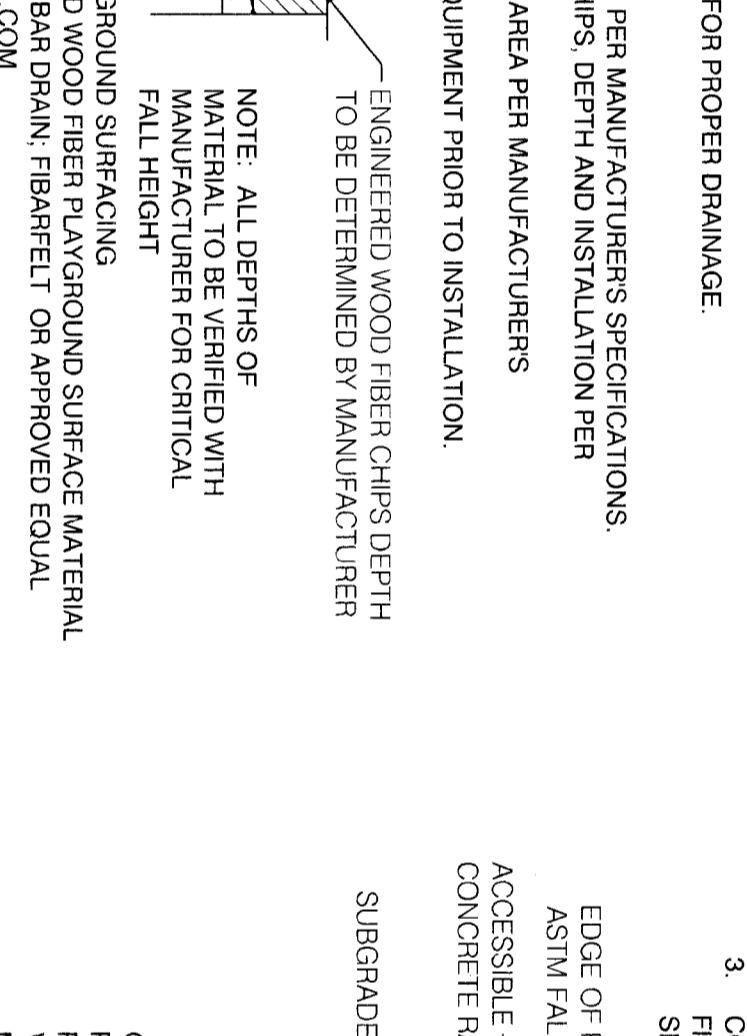
**9 ENGINEERED WOOD FIBAR WITH DRAINAGE**  
NIS

GENERAL NOTES:  
1. INSTALL DRAINAGE SYSTEM PER MANUFACTURER'S SPECIFICATIONS  
2. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION  
3. CONTRACTOR TO VERIFY FINISHED GRADES PRIOR TO INSTALLATION PER FIBAR WOOD CHIPS DEPTH AS RECOMMENDED PER MANUFACTURER'S SPECIFICATIONS  
4. PROVIDE DRAINAGE TRENCH AND PVC DRAIN PIPE AS REQUIRED FOR PROPER DRAINAGE

PLAYGROUND NOTES:  
1. ALL PLAY EQUIPMENT AND SITE FURNITURE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS  
2. PLAYGROUND SURFACE MATERIAL TO BE ENGINEERED WOOD CHIPS, DEPTH AND INSTALLATION PER MANUFACTURER'S SPECIFICATIONS  
3. CONTRACTOR TO PROVIDE PROPER DRAINAGE OF PLAYGROUND AREA PER MANUFACTURER'S SPECIFICATIONS  
4. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ALL EQUIPMENT PRIOR TO INSTALLATION.

NOTE: ALL DEPTHS OF MATERIAL TO BE VERIFIED WITH MANUFACTURER FOR CRITICAL FALL HEIGHT

COMPANY: FIBAR PLAYGROUND SURFACING  
PRODUCT: ENGINEERED WOOD FIBAR PLAYGROUND SURFACE MATERIAL  
PHONE: 1-800-372-2721  
WEBSITE: WWW.FIBAR.COM  
MODEL: HALF-RAMP



**10 FIBAR RAMP SYSTEM**  
NIS

GENERAL NOTES:  
1. INSTALL DRAINAGE SYSTEM PER MANUFACTURER'S SPECIFICATIONS  
2. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION  
3. CONTRACTOR TO VERIFY FINISHED GRADES PRIOR TO INSTALLATION PER FIBAR WOOD CHIPS DEPTH AS RECOMMENDED PER MANUFACTURER'S SPECIFICATIONS

PLAYGROUND NOTES:  
1. ALL PLAY EQUIPMENT AND SITE FURNITURE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS  
2. PLAYGROUND SURFACE MATERIAL TO BE ENGINEERED WOOD CHIPS, DEPTH AND INSTALLATION PER MANUFACTURER'S SPECIFICATIONS  
3. CONTRACTOR TO PROVIDE PROPER DRAINAGE OF PLAYGROUND AREA PER MANUFACTURER'S SPECIFICATIONS  
4. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ALL EQUIPMENT PRIOR TO INSTALLATION.

NOTE: ALL DEPTHS OF MATERIAL TO BE VERIFIED WITH MANUFACTURER FOR CRITICAL FALL HEIGHT

COMPANY: FIBAR PLAYGROUND SURFACING  
PRODUCT: FIBAR WHEELCHAIR ACCESS RAMP  
PHONE: 1-800-372-2721  
WEBSITE: WWW.FIBAR.COM  
MODEL: HALF-RAMP

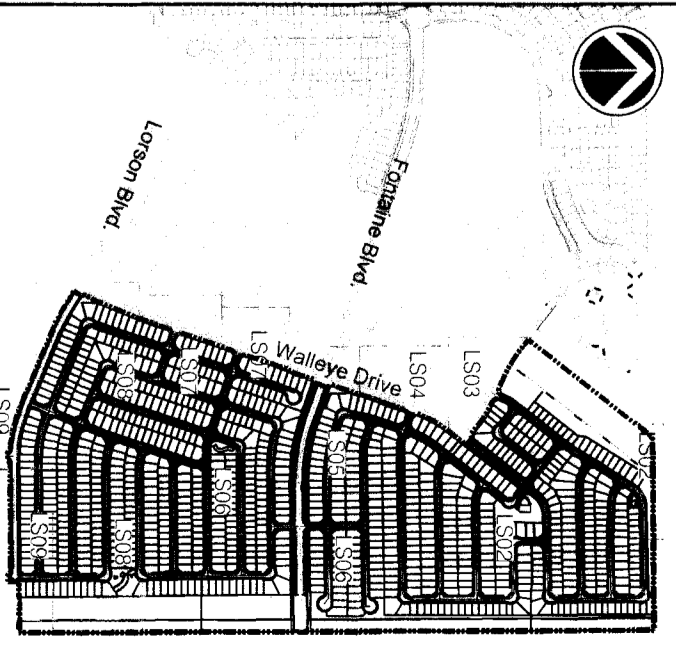
**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:  
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300, DENVER, CO 80202  
**Matrix** ARCHITECTS  
PHONE: (719) 576-0100  
FAX: (719) 576-0208

CIVIL ENGINEER:  
CORE ENGINEERING GROUP  
212 N. WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
PHONE: (719) 576-1190  
FAX: (719) 576-1190

OWNER/DEVELOPER:  
**LORSON LLC ET AL**  
212 N. WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
PHONE: (719) 535-3200



PROJECT:  
RIDGE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

EL PASO COUNTY, CO  
FIFTH SUBMITTAL, DECEMBER 09, 2021

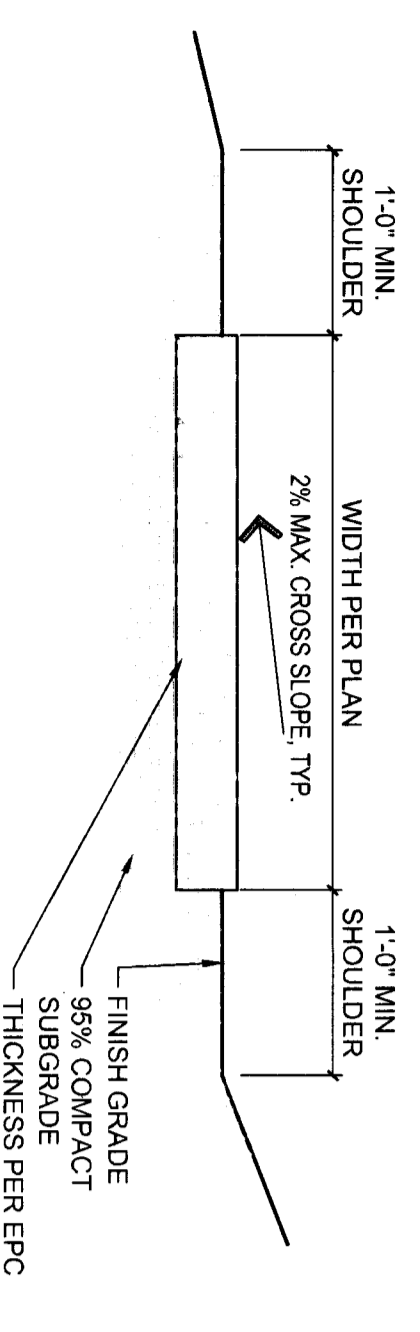
NO.	DATE	DESCRIPTION	BY
0	04/19/2021	FIRST SUBMITTAL	SAJ
1	07/23/2021	SECOND SUBMITTAL	SAJ
2	09/28/2021	THIRD SUBMITTAL	SAJ
3	11/09/2021	FOURTH SUBMITTAL	SAJ

REVISION HISTORY:

DRAWING INFORMATION:  
PROJECT NO.: 20.1129.006  
DRAWN BY: SAJ  
CHECKED BY: JRA  
APPROVED BY: JRA

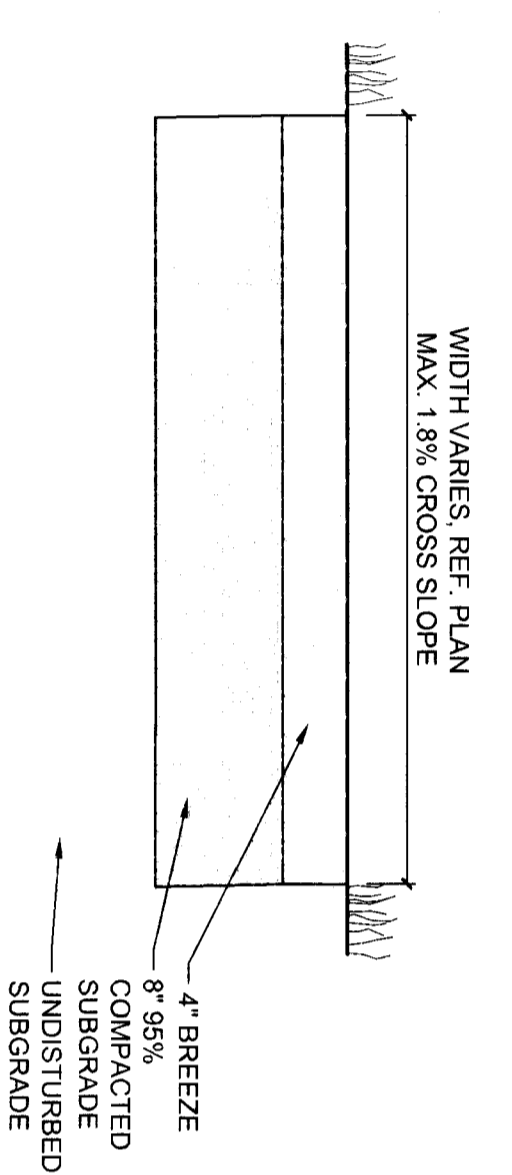
SHEET TITLE:  
**PLAYGROUND DETAILS**



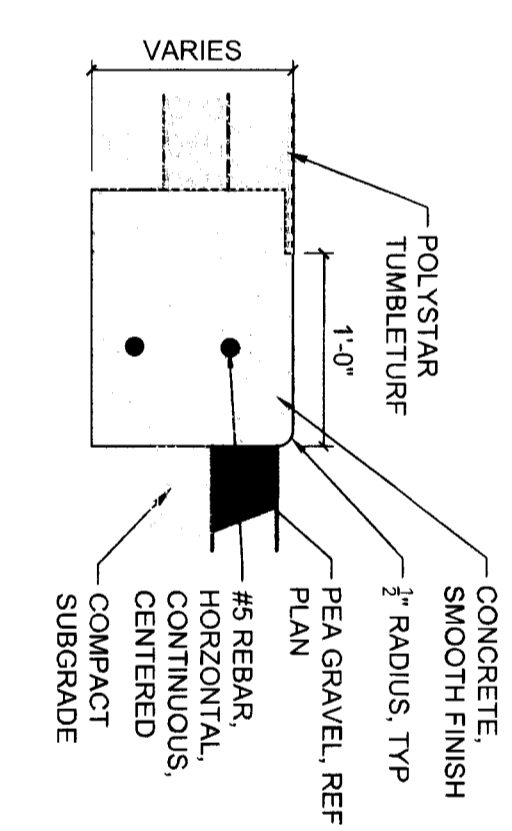


- CONCRETE WALKWAYS:**
1. REFER TO GEOTECH FOR CONCRETE DEPTH AND SUBGRADE REQUIREMENTS.
  2. MEDIUM BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW.
  3. ALL FINISHED CONCRETE SURFACES TO HAVE 2% CROSS SLOPE, MAX.

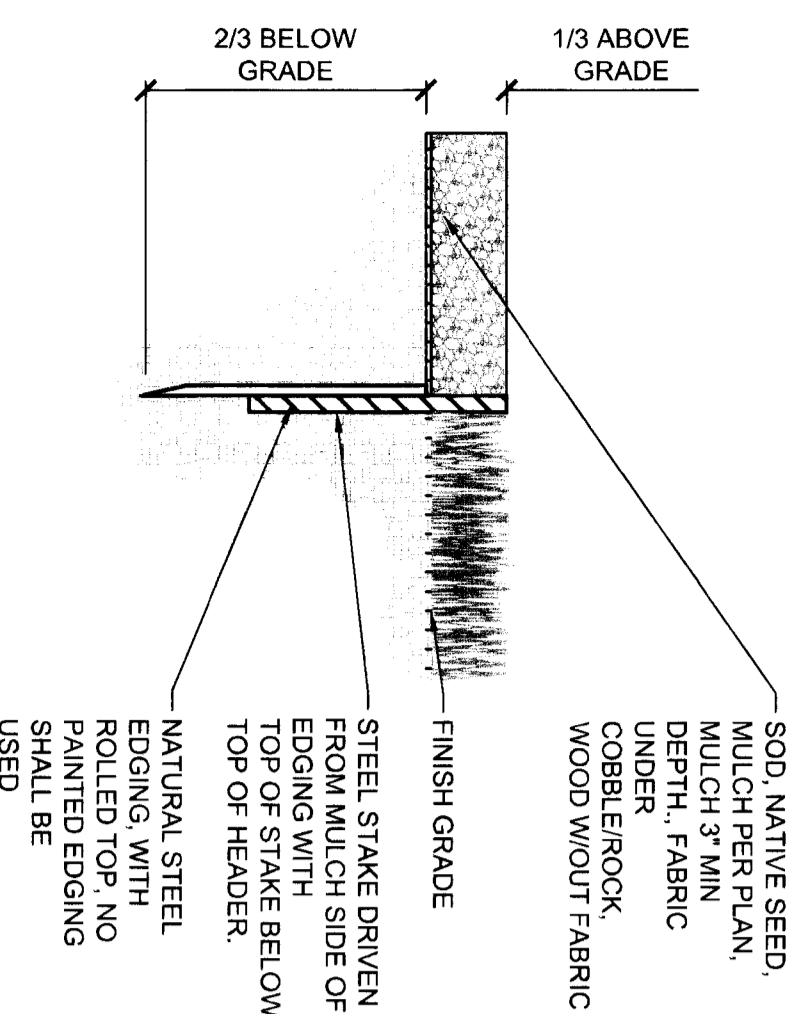
**1 CONCRETE WALK**  
MS-STD-PV-05



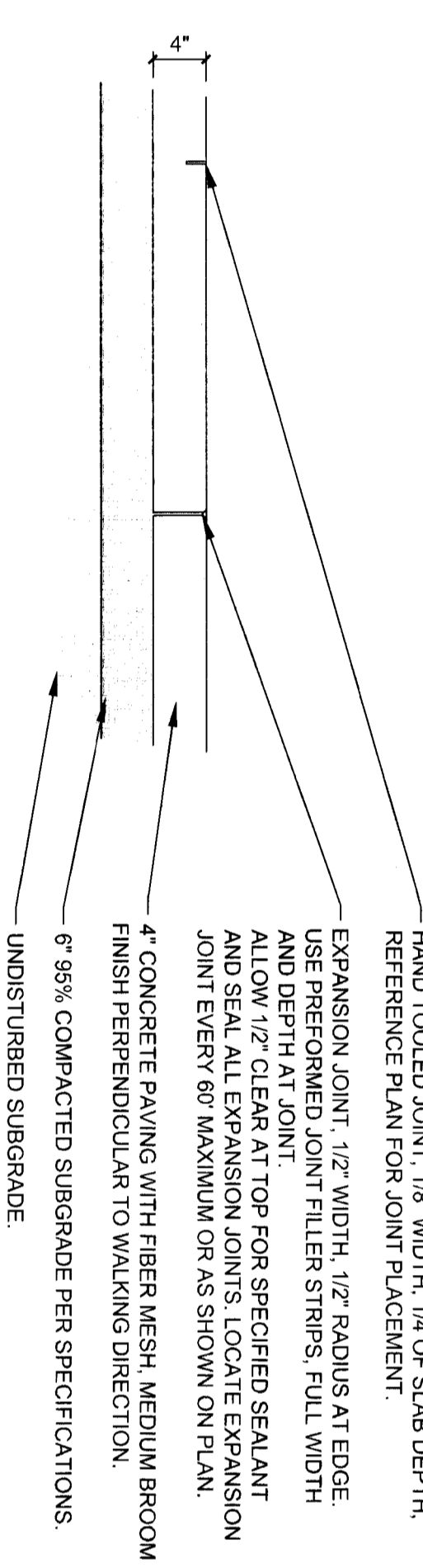
**2 BREEZE PATH**  
MS-STD-PV-02



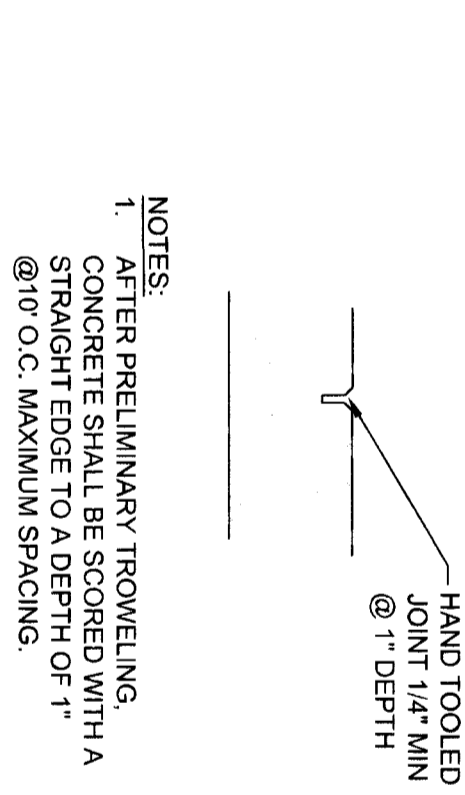
**3 12\"/>MS-79A-00**



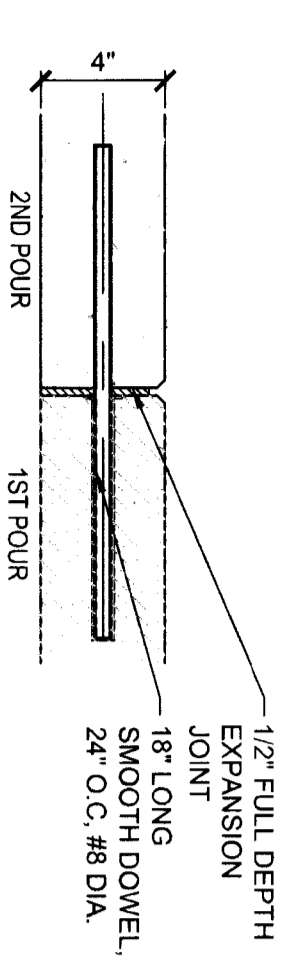
**4 STEEL EDGING**  
MS-STD-LS-12



**5 4\"/>MS-STD-PV-04**



**6 CONCRETE CONTROL JOINT**  
MS-STD-PV-06

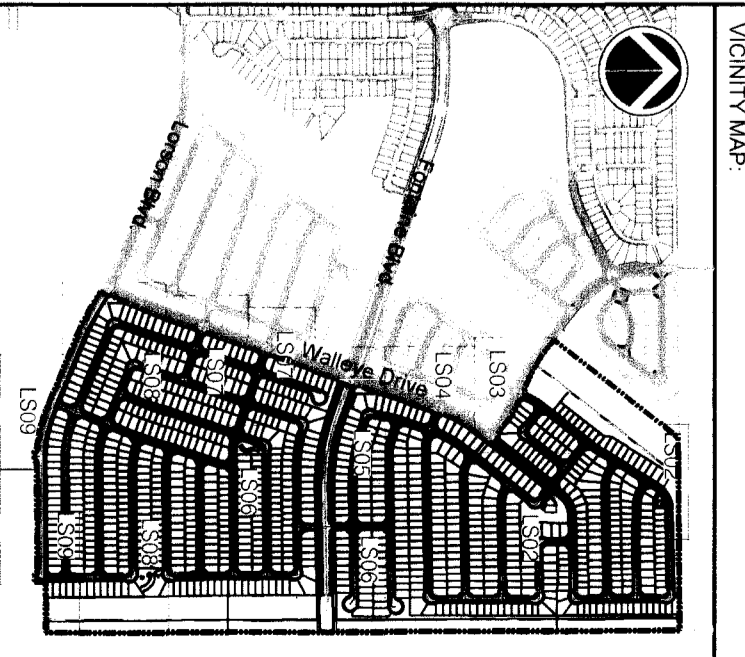


- NOTES:**
1. FIBER REINFORCE CALLING TO MATCH CONCRETE COLOR.
  2. 1/2\"/>

**7 CONCRETE EXPANSION JOINT**  
MS-STD-PV-07

**RIDGE AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**  
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R68W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

**CONSULTANTS:**  
PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 SPRINGS, CO 80930  
**Matrix**  
CIVIL ENGINEER: 4000 W. WASHINGTON AVE., SUITE 100, BURNSVILLE, MN 55336  
PHONE: (719) 570-1100  
FAX: (719) 575-0208  
OWNER/ENGINEER:  
**LORSON LLC ET AL**  
212 N. WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200



PROJECT:  
RIDGE AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

EL PASO COUNTY, CO  
FIFTH SUBMITTAL, DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	02/19/2021	FIRST SUBMITTAL	SAF
1	07/21/2021	SECOND SUBMITTAL	SAF
2	09/28/2021	THIRD SUBMITTAL	SAF
3	11/01/2021	FOURTH SUBMITTAL	SAF

DRAWING INFORMATION:  
PROJECT NO.: 201129-006  
DRAWN BY: SJC  
CHECKED BY: JRA  
APPROVED BY: JRA  
SHEET TITLE:

**SITE DETAILS**

**LS13**

**SHEET 27 OF 27**

222026380  
02-23-2022