

FILE LOCATION: S:\02-1120-008- LORSON RANCH AREA.D\F-H100.DWG\104-PLAN SETS\DEVELOPMENT PLAN\CS01.DWG

GENERAL PROVISIONS:

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) IS TO PROVIDE FOR 994 SINGLE-FAMILY DETACHED RESIDENTIAL UNITS, OPEN SPACE, UTILITIES, AND DRAINAGE.

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND, THE LANDOWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR RIDGE AT LORSON RANCH IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED; AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF RIDGE AT LORSON RANCH PROVIDED; HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THEN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

GENERAL NOTES:

- NO RESIDENTIAL LOTS SHALL HAVE DIRECT ACCESS TO COLLECTOR ROADWAY OR MINOR ARTERIAL ROADWAY CLASSIFICATIONS INCLUDING FONTAINE BOULEVARD AND LORSON BOULEVARD. ALL RESIDENTIAL LOTS WILL HAVE DIRECT ACCESS TO LOCAL RESIDENTIAL STREETWAYS.
- ALL WATER SYSTEM ELEMENTS AND SANITARY SEWERAGE CONDUITS AND THEIR ASSOCIATED APPURTENANCES SHALL BE DEDICATED TO THE WIDEFIELD WATER & SANITATION DISTRICT. ALL OTHER UTILITIES SHALL BE OWNED AS APPROPRIATED.
- ALL ELECTRICAL SERVICE SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL LOTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN UTILITY EASEMENTS AS REQUIRED.
- PUBLIC UTILITY/DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS FOLLOWS:
FRONT: TEN FEET (10)
SIDE: FIVE FEET (5)
REAR: TEN FEET (10)
- STREET LIGHTS SHALL BE APPROVED BY EPC PCD AND WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LORSON RANCH AND THE LORSON RANCH DESIGN GUIDELINES.
- FENCING: ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND DESIGN GUIDELINES FOR LORSON RANCH.
- INTERNAL FENCING IS ALLOWED WITHIN INDIVIDUAL REAR & SIDE YARDS, UTILITY EASEMENTS, AND DRAINAGE EASEMENTS. FENCING DESIGN, MATERIALS, AND LAYOUT SHALL BE APPROVED BY THE DESIGN REVIEW COMMITTEE.
- NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY.
- NEW SIDEWALKS, EXCEPT WITHIN OPEN SPACE OR WHEN NOT ADJACENT TO A STREET, ARE TO BE 5'-6" WIDE BY 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE. MINOR CHANGES TO RIGHT-OF-WAY, EASEMENTS AND LOTS WITH MAILBOX KIOSK DESIGN WILL NOT REQUIRE AMENDMENT TO THIS PUD/PRELIMINARY PLAN.
- INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION/ LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE SIDEWALKS.
- ALL GAS SERVICE SHALL BE PROVIDED BY BLACK HILLS ENERGY.
- THE RIDGE AT LORSON RANCH IS REQUESTING VESTING AS PART OF THIS APPLICATION AND MEETS THE VESTING REQUIREMENTS OF THIS CODE. A VESTED PROPERTY RIGHT SHALL ATTACH TO AND RUN WITH THE APPLICABLE PROPERTY AND SHALL CONFER UPON THE LANDOWNER THE RIGHT TO UNDERTAKE AND COMPLETE THE DEVELOPMENT AND USE OF SAID PROPERTY UNDER THE TERMS AND CONDITIONS OF THE SITE SPECIFIC DEVELOPMENT PLAN INCLUDING ANY AMENDMENTS THERE TO.
- ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC.
- WATER & WASTEWATER SERVICE PROVIDED BY WIDEFIELD WATER AND SANITATION DISTRICT.

STREETS:

- ALL STREETS SHALL BE PUBLIC AND SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
- LANDSCAPING AREAS, COMMON OPEN SPACE AND BUFFERS SHALL BE OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.
- STREETS WITHIN THIS DEVELOPMENT PROVIDE FOR LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS AS ILLUSTRATED ON THIS PLAN.
- A DETAILED ANALYSIS OF THE NOISE IMPACTS OF FONTAINE BLVD. ON THE PROPOSED RIDGE AT LORSON RANCH RESIDENTIAL DEVELOPMENT, TO BE LOCATED WITHIN THE LORSON RANCH DEVELOPMENT IN EL PASO COUNTY, COLORADO (LSC TRANSPORTATION CONSULTANTS, INC., MARCH 19, 2021) IS INCLUDED WITH THE SUBMITTAL PACKAGE. BASED ON THE STUDY AND THE CRITERIA CONTAINED IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL, NO NOISE MITIGATION IS REQUIRED.
- TRACTS U AND V ADJACENT TO AND INCLUDING FUTURE MERIDIAN ROAD SHALL BE RESERVED FOR FUTURE CONSTRUCTION OF MERIDIAN ROAD, UPON DEDICATION OR CONVEYANCE TO LORSON RANCH METROPOLITAN DISTRICT NO. 1 ("DISTRICT"), THE DISTRICT WILL OWN AND MAINTAIN THESE TRACTS UNTIL SUCH TIME, IF ANY, THAT THE COUNTY REQUESTS THE DEEDS AND EASEMENTS CONVEYING THE PORTIONS OF THESE TRACTS NECESSARY FOR RIGHT-OF-WAY AND CONSTRUCTION TO BE CONVEYED TO THE COUNTY. LANDSCAPING ALLOWED TO REMAIN WITHIN THE ACQUIRED RIGHT-OF-WAY SHALL CONTINUE TO BE MAINTAINED BY THE DISTRICT UNDER A LANDSCAPE LICENSE AGREEMENT.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

LANDSCAPE:

- COMMON OPEN SPACE AREAS SHALL BE XERISCAPED. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATED AND/OR BY EL PASO COUNTY AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.
- PARK SITE LOCATIONS HAVE BEEN LOCATED IN TRACTS AS SHOWN ON THE DRAWINGS. LOCATIONS ARE SUBJECT TO CHANGE PENDING FUTURE FINAL DESIGN. PARK SITE AMENITIES AND TIMING OF CONSTRUCTION ARE TO BE DETERMINED WITH FUTURE COORDINATION WITH THE EL PASO COUNTY PARK DEPARTMENT.
- LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.
- ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
- ANY OBJECT WITHIN THE SITE DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.
- THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL, AS AMENDED.
- TRAILS TO BE SOFT SURFACE TO MATCH EXISTING TRAILS FOUND WITHIN LORSON RANCH. ANY FUTURE TRAILS SHALL BE PUBLIC. FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE FIELD BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES.
- ANY FUTURE NON-REGIONAL TRAILS SHALL BE OWNED AND MAINTAINED BY THE LORSON RANCH METROPOLITAN DISTRICT.

ARCHITECTURAL CONTROL COMMITTEE REVIEW:

- INDIVIDUAL UNIT BUILD OUT, DESIGN, AND ARCHITECTURAL STYLE SHALL BE IN ACCORDANCE TO ARCHITECTURAL CONTROL COMMITTEE RULES AND REGULATIONS OF THE LORSON RANCH METRO DISTRICT CCR'S AS WELL AS THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES. PLEASE VISIT: WWW.LORSONRANCH.COM FOR MORE INFORMATION REGARDING REVIEW AND APPROVAL BY THE ARCHITECTURAL CONTROL COMMITTEE.

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 13 AND THE NORTHEAST QUARTER (NE 1/4) OF SECTION 24, T15S, R65W OF THE 6th P.M., EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE INTERSECTION OF THE EAST-WEST CENTERLINE OF SAID SECTION 13 AND THE EASTERLY LINE OF THE 100 FOOT WIDE "TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT" AS RECORDED IN BOOK 2665 AT PAGE 715 AND IN BOOK 2846 AT PAGE 719 OF THE EL PASO COUNTY RECORDS FROM WHENCE THE CENTER QUARTER OF SAID SECTION 13 BEARS S89°31'44"W A DISTANCE OF 1,236.86 FEET;
THENCE N89°31'44"E ALONG SAID CENTERLINE A DISTANCE OF 1,424.38 FEET TO THE NORTHEAST CORNER OF AFORESAID SOUTHEAST QUARTER (SE 1/4) SECTION 13;
THENCE S00°13'35"E ALONG THE EASTERLY LINE THEREOF A DISTANCE OF 2,616.98 FEET TO THE SECTION CORNER COMMON TO SECTIONS 13 AND 24, T15S, R65W OF THE 6th P.M. AND SECTIONS 18 AND 19, T15S, R64W OF THE 6th P.M.;
THENCE S00°11'19"E ALONG THE EASTERLY LINE OF AFORESAID NORTHEAST QUARTER (NE 1/4) SECTION 24 A DISTANCE OF 2,011.91 FEET
THENCE S89°25'43"W A DISTANCE OF 380.07 FEET;
THENCE S00°34'17"E A DISTANCE OF 76.83 FEET;
THENCE S89°25'43"W A DISTANCE OF 46.97 FEET;
THENCE N60°34'17"W A DISTANCE OF 40.00 FEET;
THENCE S89°25'43"W A DISTANCE OF 787.32 FEET;
THENCE S61°29'50"W A DISTANCE OF 40.94 FEET;
THENCE N88°30'10"W A DISTANCE OF 44.27 FEET
THENCE N58°30'10"W A DISTANCE OF 41.38 FEET TO A NON-TANGENT CURVE;
THENCE 319.29 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,030.00 FEET, A CENTRAL ANGLE OF 17°45'40", THE CHORD OF 318.01 FEET BEARS N76°23'33"W TO A POINT OF TANGENT;
THENCE N67°31'03"W A DISTANCE OF 863.92 FEET TO A POINT OF CURVE;
THENCE 189.64 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,030.00 FEET, A CENTRAL ANGLE OF 10°32'56", THE CHORD OF 189.37 FEET BEARS N62°14'35"W;
THENCE N58°24'55"W, NON-TANGENT TO THE PREVIOUS COURSE, 79.22 FEET TO THE EASTERLY RIGHT OF WAY LINE OF WALLEYE DRIVE AS SHOWN ON THE PLAT OF "THE HILLS AT LORSON RANCH FILING NO 1" AS RECORDED UNDER RECEPTION NO. _____ IN THE EL PASO COUNTY, COLORADO RECORDS;

THENCE ALONG SAID EASTERLY LINE THE FOLLOWING TWENTY-SIX (26) COURSES:

- THENCE N33°01'53"E A DISTANCE OF 64.00 FEET;
- THENCE N13°07'56"W A DISTANCE OF 27.70 FEET;
- THENCE N30°42'15"E A DISTANCE OF 26.72 FEET TO A POINT OF CURVE;
- THENCE N20°49'59"W A DISTANCE OF 632.00 FEET, A CENTRAL ANGLE OF 8°13'18", THE CHORD OF 90.61 FEET BEARS N26°35'36"E TO A POINT OF TANGENT;
- THENCE N22°28'57"E A DISTANCE OF 349.86 FEET TO A POINT OF CURVE;
- THENCE 62.79 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1,032.00 FEET, A CENTRAL ANGLE OF 3°29'10", THE CHORD OF 62.78 FEET BEARS N20°44'22"E TO A POINT OF TANGENT;
- THENCE N18°59'47"E A DISTANCE OF 134.57 FEET;
- THENCE N61°45'15"E A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°45'41"W A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 396.74 FEET;
- THENCE N61°45'15"E A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°45'41"W A DISTANCE OF 29.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 307.87 FEET;
- THENCE N23°17'08"E A DISTANCE OF 106.97 FEET;
- THENCE N18°59'47"E A DISTANCE OF 119.41 FEET;
- THENCE N63°59'47"E A DISTANCE OF 25.46 FEET;
- THENCE N18°59'47"E A DISTANCE OF 93.91 FEET;
- THENCE N26°00'13"W A DISTANCE OF 36.77 FEET;
- THENCE N18°59'47"E A DISTANCE OF 567.87 FEET;
- THENCE N61°35'11"E A DISTANCE OF 30.06 FEET;
- THENCE N18°59'47"E A DISTANCE OF 50.00 FEET;
- THENCE N23°47'26"W A DISTANCE OF 29.39 FEET TO A NON-TANGENT CURVE;
- THENCE 267.95 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 868.00 FEET, A CENTRAL ANGLE OF 17°41'11", THE CHORD OF 266.89 FEET BEARS N29°32'04"E TO A POINT OF TANGENT;
- THENCE N38°22'41"E A DISTANCE OF 159.73 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAYLING DRIVE AS SHOWN ON THE AFORESAID PLAT OF "THE HILLS AT LORSON RANCH FILING NO 1";

THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING ELEVEN (11) COURSES:

- THENCE N51°37'19"W A DISTANCE OF 62.00 FEET;
 - THENCE S83°22'41"W A DISTANCE OF 33.94 FEET;
 - THENCE N51°37'19"W A DISTANCE OF 94.90 FEET TO A POINT OF CURVE;
 - THENCE 141.30 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 12°51'04", THE CHORD OF 141.01 FEET BEARS N58°02'51"W TO A POINT OF TANGENT;
 - THENCE N64°28'23"W A DISTANCE OF 56.25 FEET;
 - THENCE N27°31'10"W A DISTANCE OF 33.27 FEET;
 - THENCE N64°28'23"W A DISTANCE OF 50.00 FEET;
 - THENCE S78°34'24"W A DISTANCE OF 33.27 FEET;
 - THENCE N64°28'23"W A DISTANCE OF 122.30 FEET TO A POINT OF CURVE;
 - THENCE 210.78 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 12°22'02", THE CHORD OF 210.37 FEET BEARS N58°14'52"W TO A POINT OF TANGENT;
 - THENCE N52°01'21"W A DISTANCE OF 85.54 FEET TO THE AFORESAID EASTERLY LINE OF THE 100 FOOT WIDE "TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT"
- THENCE N38°22'41"E ALONG SAID WESTERLY LINE, 1,158.91 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 8,993,976 SQUARE FEET (206.473 ACRES, MORE OR LESS).

BASIS OF BEARINGS:

THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 13, T15S, R65W OF THE 6th P.M. AS MONUMENTED AT THE CENTER QUARTER OF SAID SECTION 13 WITH A NO. 6 REBAR AND 3.25" ALUMINUM CAP STAMPED "NOLTE, T15S R65W, C1/4 S13, 2005, PLS 23044" AND AT THE QUARTER CORNER COMMON TO SECTION 13 AND SECTION 18, T15S, R64W WITH A NO. 6 REBAR AND 3.25" ALUMINUM CAP STAMPED "JR ENG LTD, T15S, R65W R64W, 1/4, S13 1 S18, 2002, RLS 31161", SAID LINE BEARS N89°31'44"E A DISTANCE OF 2663.24 FEET.

FLOODPLAIN NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 198041C0976G; EFFECTIVE DATE 12/DECEMBER 7, 2018.

GEOLOGY & SOILS:

A "GEOLOGY AND SOILS REPORT, THE RIDGE AT LORSON RANCH, EL PASO COUNTY, COLORADO" (RMG- ROCKY MOUNTAIN GROUP, JULY 2, 2021) IS INCLUDED WITH THE SUBMITTAL PACKAGE. AS PART OF THIS REPORT, 134 EXPLORATORY TEST BORINGS WERE COMPLETED. GEOLOGIC HAZARDS (AS DESCRIBED IN SECTION 8.0 OF THE REPORT) WERE NOT FOUND TO BE PRESENT AT THIS SITE. POTENTIAL GEOLOGIC CONSTRAINTS (ALSO AS DESCRIBED IN SECTION 8.0 OF THE REPORT) WERE FOUND ON SITE TO INCLUDE: EXPANSIVE SOILS AND BEDROCK, FAULTS AND SEISMICITY, RADON, AND EROSION. WHERE AVOIDANCE IS NOT READILY ACHIEVABLE, THE EXISTING GEOLOGIC AND ENGINEERING CONDITIONS CAN BE SATISFACTORILY MITIGATED THROUGH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES. BEDROCK CAN BE EXCAVATED USING TYPICAL CONSTRUCTION EQUIPMENT. EXTERIOR, PERIMETER FOUNDATION DRAINS SHALL BE INSTALLED AROUND BELOW GRADE HABITABLE OR STORAGE SPACES. SURFACE WATER SHOULD BE EFFICIENTLY REMOVED FROM THE BUILDING AREA TO PREVENT PONDING AND INFILTRATION INTO THE SUBSURFACE SOIL.

LAND OWNER CERTIFICATION

IN WITNESS WHEREOF, THE AFOREMENTIONED LORSON LLC, LOVE IN ACTION, AND LORSON LLC NOMINEE FOR LORSON CONSERVATION INVEST 2 LLLP HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 20____ A.D., A COLORADO LIMITED LIABILITY COMPANY

AUTHORIZED AGENT, MANAGER _____

STATE OF COLORADO)
JSS,
EL PASO COUNTY)

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ A.D. BY _____

WITNESS MY HAND AND SEAL:

_____, MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

COUNTY CERTIFICATION

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH BOARD RESOLUTION # _____ AND DATE _____, APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

CHAIR, BOARD OF COUNTY COMMISSIONERS _____ DATE _____

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT _____ DATE _____

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO)
JSS,
EL PASO COUNTY)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS _____ OF _____, 20____ AT _____ O'CLOCK A.M./P.M. AND WAS

RECORDED PER _____

RECEPTION NO. _____

EL PASO COUNTY CLERK AND RECORDER

LAND USE:

CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)

PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

CURRENT LAND USE: AG, GRAZING LAND

PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL; PUBLIC & PRIVATE STREETS; LANDSCAPE SETBACKS; PARKS/ OPEN SPACE; TRAIL CORRIDORS; UTILITY EASEMENTS; DRAINAGE & DETENTION FACILITIES; SIGNAGE

SITE DATA TABLE:

TOTAL SITE ACREAGE	206.473 AC
PROPOSED SINGLE-FAMILY DWELLING UNITS	994 D.U.
PROPOSED GROSS DENSITY	4.81 D.U./AC

SITE DATA TABLE:		
TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE FAMILY RESIDENTIAL (994 LOTS)	121.849 AC	59.01%
OPEN SPACE/ LANDSCAPE/ PARKS	19.669 AC	9.53%
FUTURE DEVELOPMENT TRACT	1.201 AC	0.58%
POWERLINE EASEMENT (OPEN SPACE)	6.439 AC	3.12%
PUBLIC STREETS RIGHTS-OF-WAY	47.960 AC	23.23%
RIGHTS-OF-WAY RESERVATION (FUTURE MERIDIAN ROAD)	9.355 AC	4.53%
TOTAL	206.473 AC	100.0%

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 206.473 AC X .10 = 20.65 ACRES
TOTAL OPEN SPACE PROVIDED IS 12.65% = 26.108 ACRES

SHEET INDEX:

01	CS01	PUD TITLE SHEET
02	DT02	PUD TRACT MAP & DETAILS
03-04	DT03-04	PUD DETAILS
05-14	SP01-10	PUD SITE PLAN
15-27	LS01-13	LANDSCAPE PLANS

CONSULTANTS:

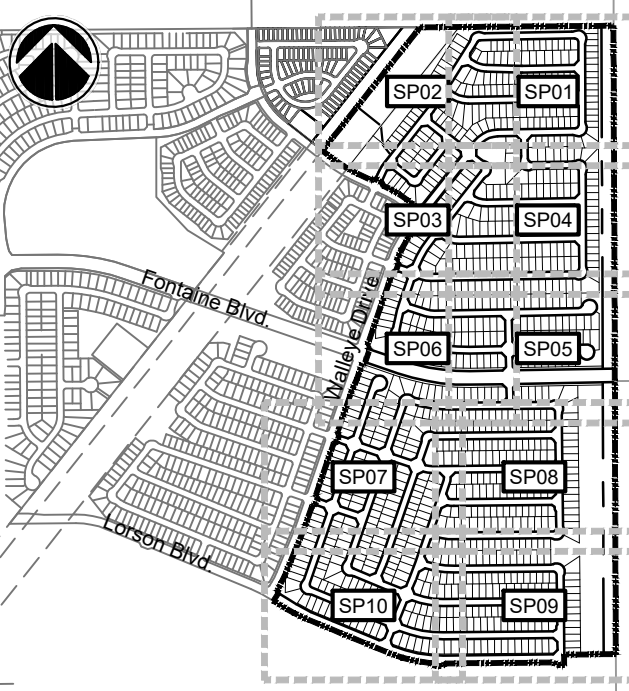
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55305
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 02, 2021

REVISION HISTORY:			
NO	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF
4	12 / 09 / 2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

PUD TITLE SHEET

CS01

SHEET 01 OF 27

PCD FILE NO.: PUDSP216

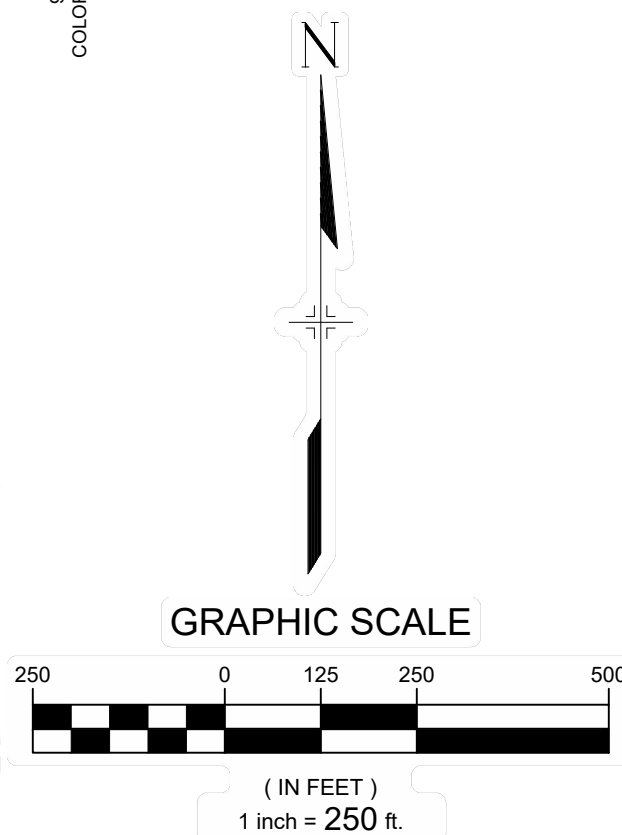
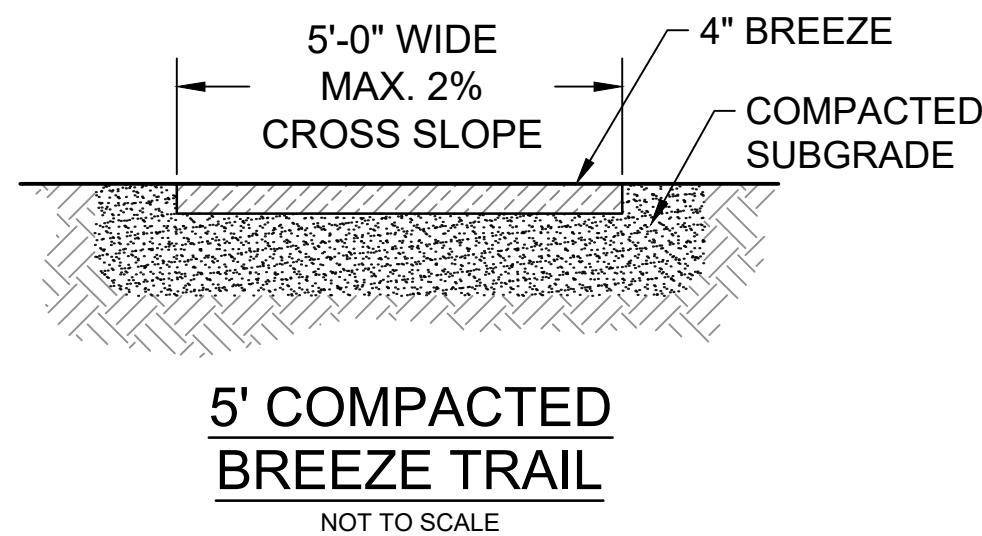
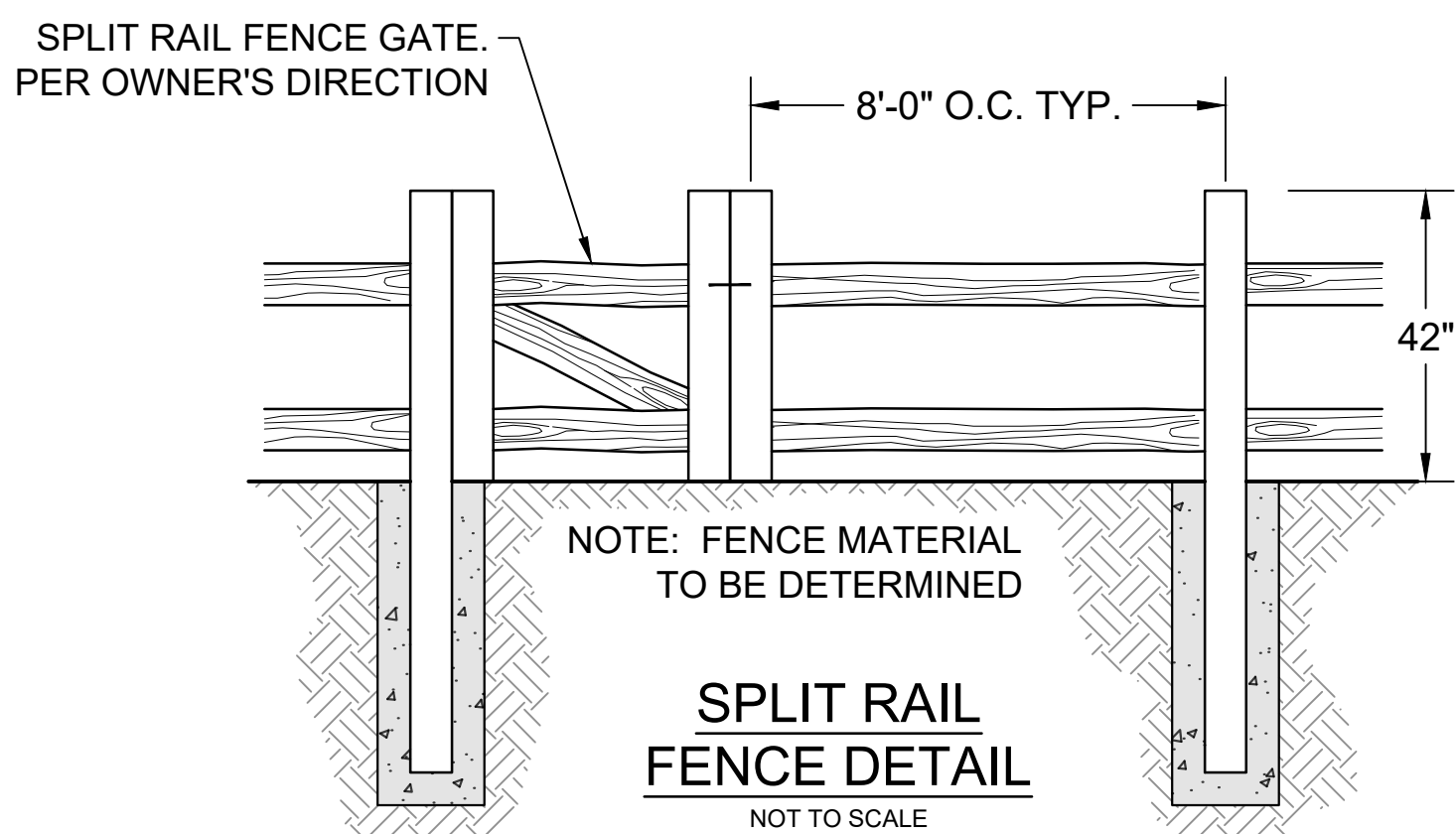
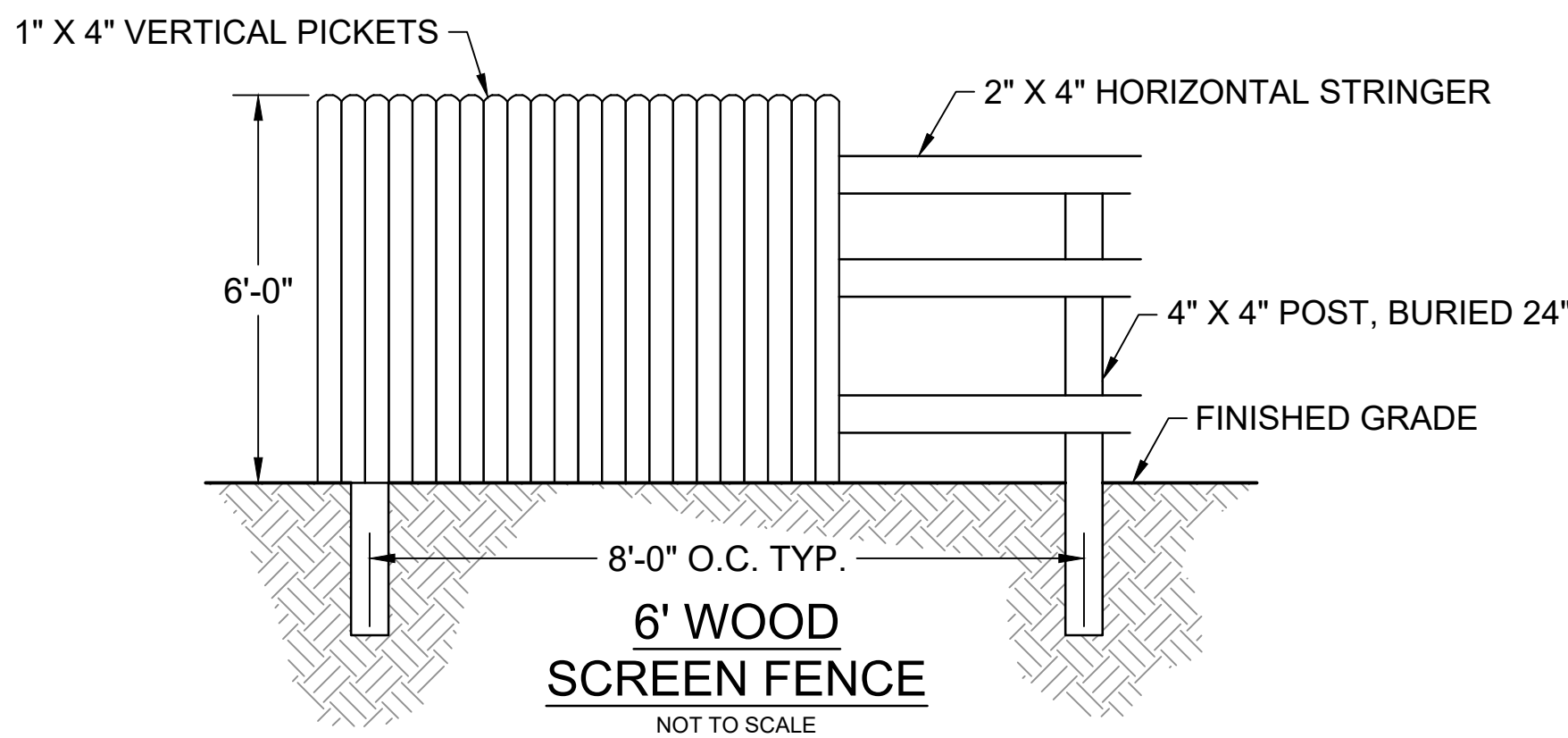
RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

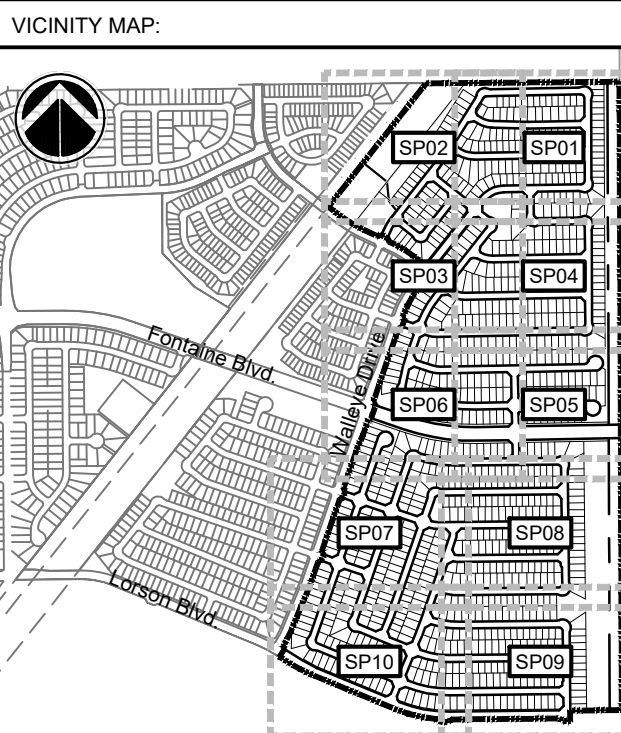
TRACT	SIZE (SF)	LANDSCAPE/ OPEN SPACE/ TRAIL	POCKET PARK	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	ELECTRIC EASEMENT	OWNED BY	MAINTAINED BY
A	280,487	X			X		X	LRMD	LRMD
B	54,972	X		X	X	X		LRMD	LRMD
C	70,159	X		X	X	X		LRMD	LRMD
D	8,607	X	X	X	X	X		LRMD	LRMD
E	8,177	X		X	X	X		LRMD	LRMD
F	9,129	X		X	X	X		LRMD	LRMD
G	3,850	X		X	X	X		LRMD	LRMD
H	56,346	X	X	X	X	X		LRMD	LRMD
I	86,585	X		X	X	X		LRMD	LRMD
J	12,936	X		X	X	X		LRMD	LRMD
K	43,553	X		X	X	X		LRMD	LRMD
L	15,717	X		X	X	X		LRMD	LRMD
M	26,451	X		X	X	X		LRMD	LRMD
N	12,902	X		X	X	X		LRMD	LRMD
O	350,272	X		X	X	X		LRMD	LRMD
P	37,349	X	X	X	X	X		LRMD	LRMD
Q	15,983	X	X	X	X	X		LRMD	LRMD
R	4,033	X		X	X	X		LRMD	LRMD
S	26,787	X		X	X	X		LRMD	LRMD
T	11,978	X		X	X	X		LRMD	LRMD
U	227,354	X		X	X	X		LRMD	LRMD
V	180,169	X		X	X	X		LRMD	LRMD
W	52,292	X		X	X	X		LIA	LRMD
X	1,011	X		X	X	X		LRMD	LRMD
1,597,099									

LRMD = LORSON RANCH METROPOLITAN DISTRICT
LIA = LOVE IN ACTION



CONSULTANTS:
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PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



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RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
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CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

PUD TRACT MAP
AND DETAILS

DT01

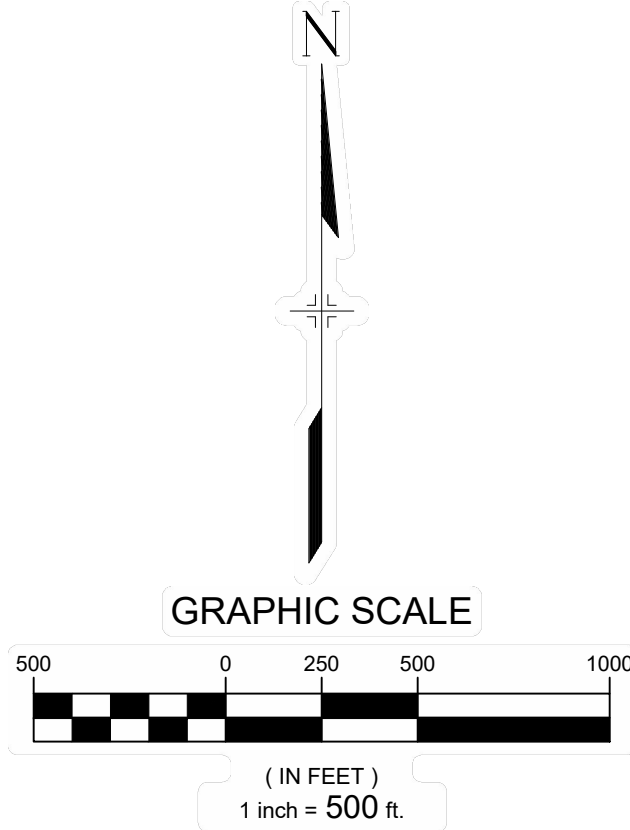
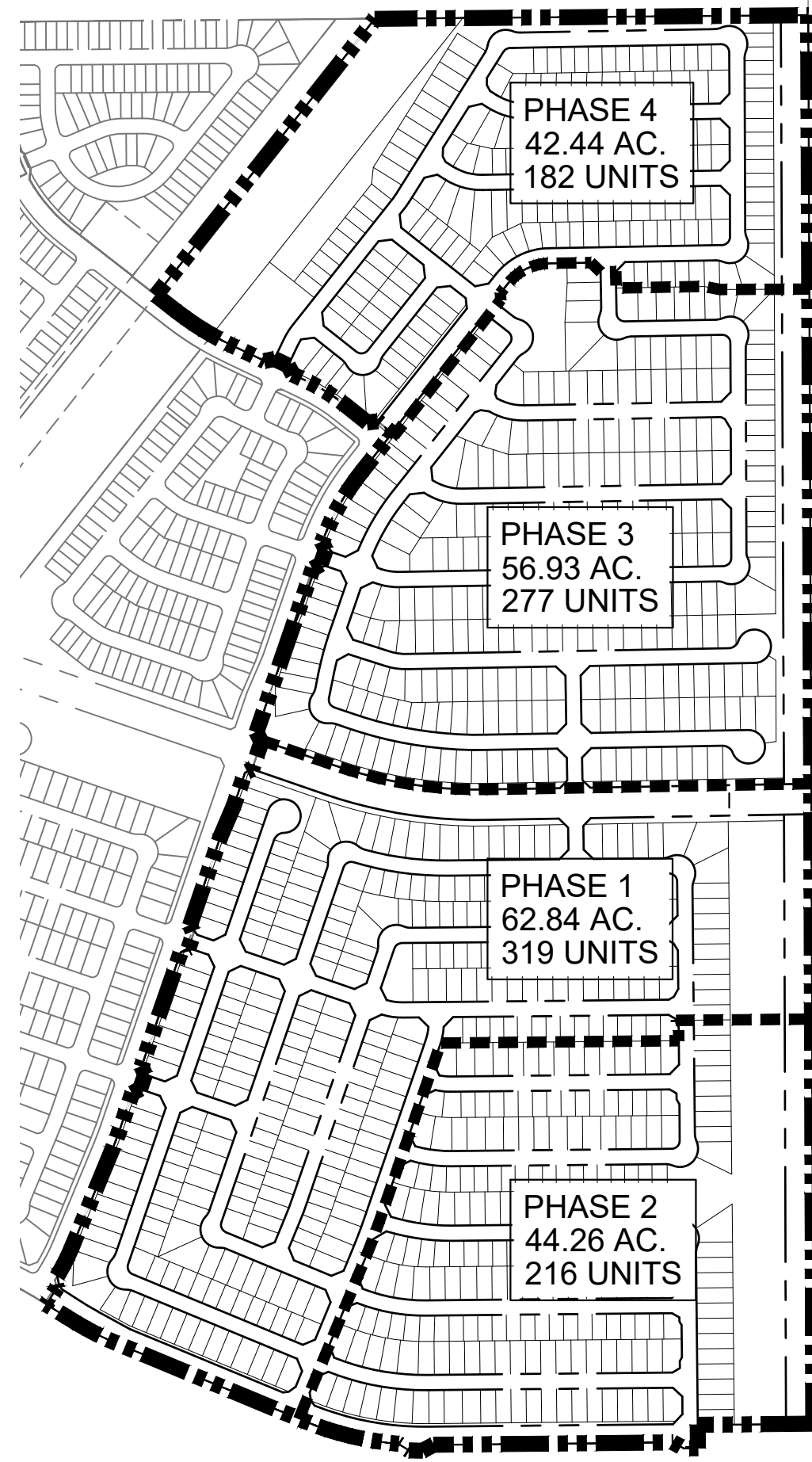
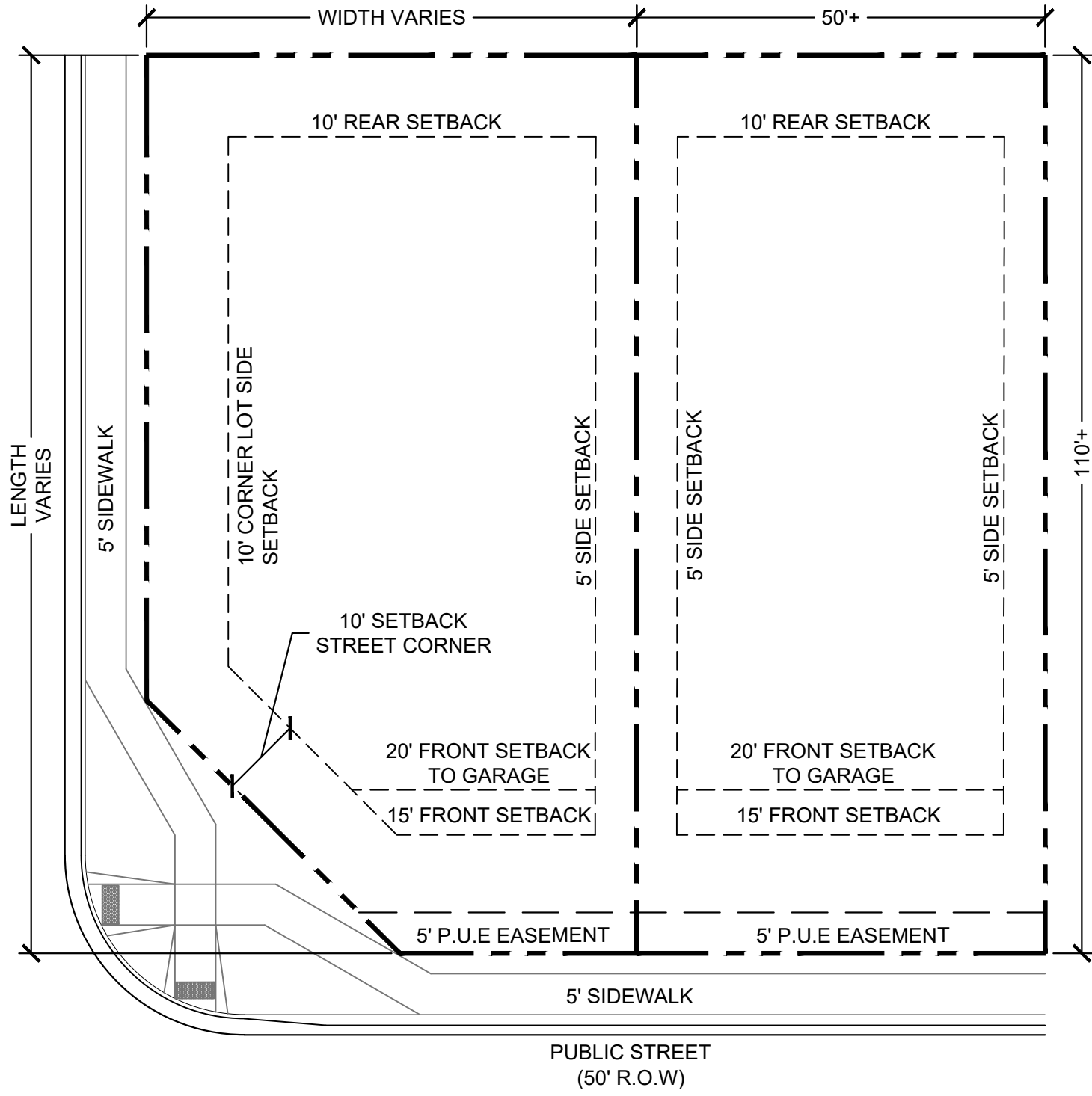
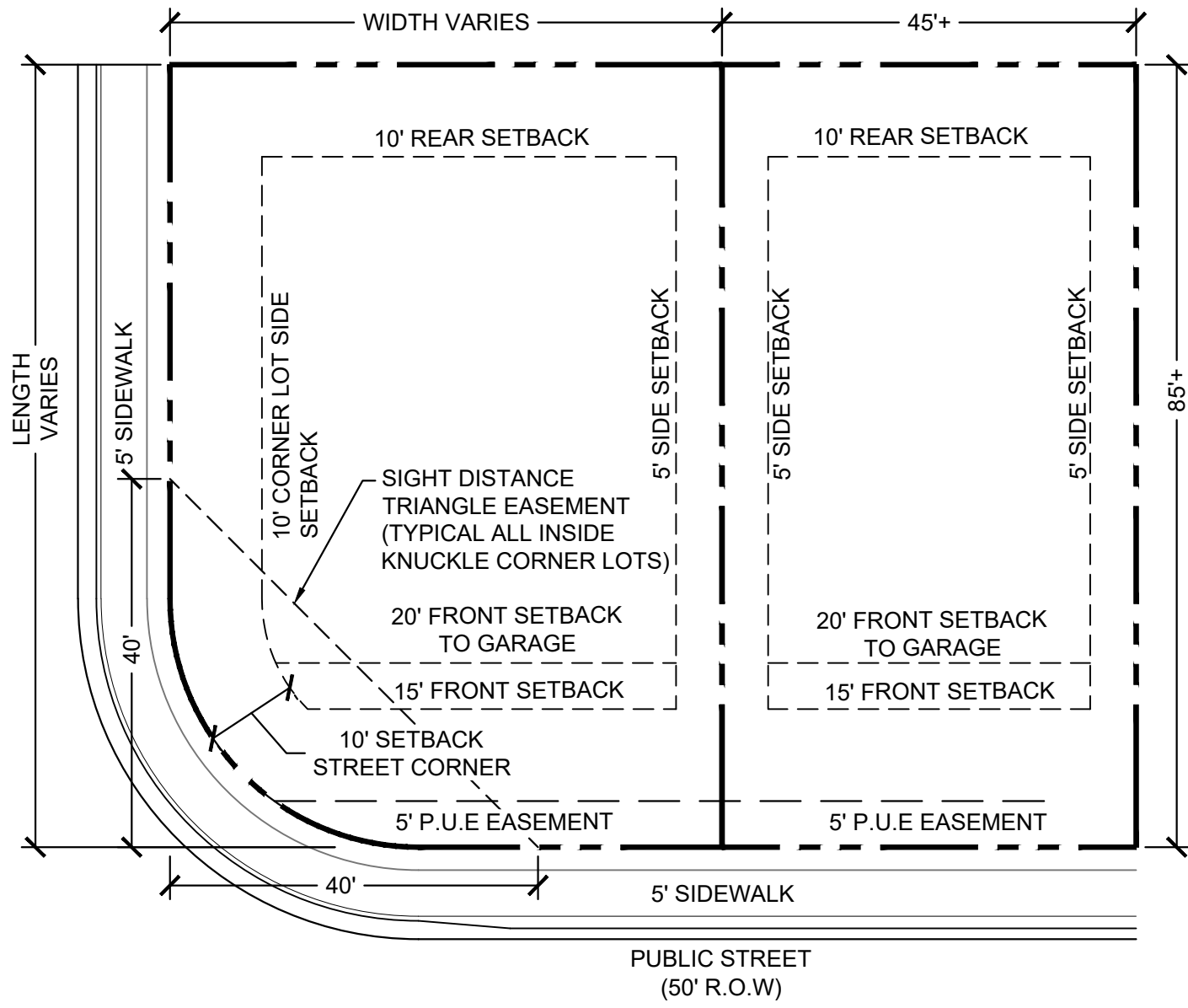
SHEET 02 OF 27

PCD FILE NO.: PUDSP216

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO



DIMENSIONAL STANDARDS AND GUIDELINES

DIMENSIONAL STANDARDS FOR LOTS 1-994

- MINIMUM LOT AREA:
 - DWELLING, SINGLE FAMILY: 3,825 SF
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM
- MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
- PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES, STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- SETBACK REQUIREMENTS (SEE DETAILS):
 - FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
FIFTEEN FEET (15') TO FACE OF HOUSE
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: TEN FEET (10')
 - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- ACCESSORY STRUCTURE STANDARDS:
 - MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - SETBACK REQUIREMENTS:
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')

DEVELOPMENT STANDARDS AND GUIDELINES

PRINCIPAL USES:

- THERE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
- ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT, AND OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LORSON RANCH, AND THE LORSON RANCH DESIGN GUIDELINES.

*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TEMPORARY USES:

- MODEL HOME/ SUBDIVISION SALES OFFICE
- CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
- YARD OR GARAGE SALES

*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

ACCESSORY USES:

- RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED.
- MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

SPECIAL USES:

- CNRS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

ACCESSORY STRUCTURES:

- SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GAZEBOs, PATIOS (COVERED OR UNCOVERED), HOT TUBS/ SPAS, AND POOLS.
- FENCES, WALLS, OR HEDGES
- MAILBOXES
- PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
- PERSONAL USE SMALL CELL TOWER
- DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
- ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE WITH THE EXCEPTION OF COVERED/ SEMI-ENCLOSED PORCHES.

*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TYPICAL LOT NOTES:

- LOCATION OF PRIVATE 4'-5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/ EGRESS CONFIGURATION.
- OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
- ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A "SIGHT DISTANCE EASEMENT" SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

CONSULTANTS:

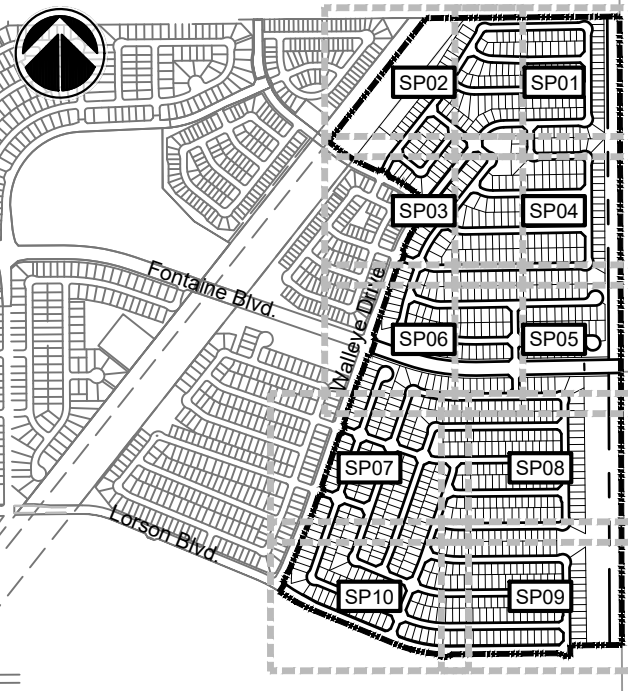
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
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PHONE: (719) 575-0100
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OWNER/DEVELOPER:

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VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
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EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

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PROJECT NO: 20.1129.006

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CHECKED BY: JRA

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SHEET TITLE:

PUD DETAILS

DT02

SHEET 03 OF 27

PCD FILE NO.: PUDSP216

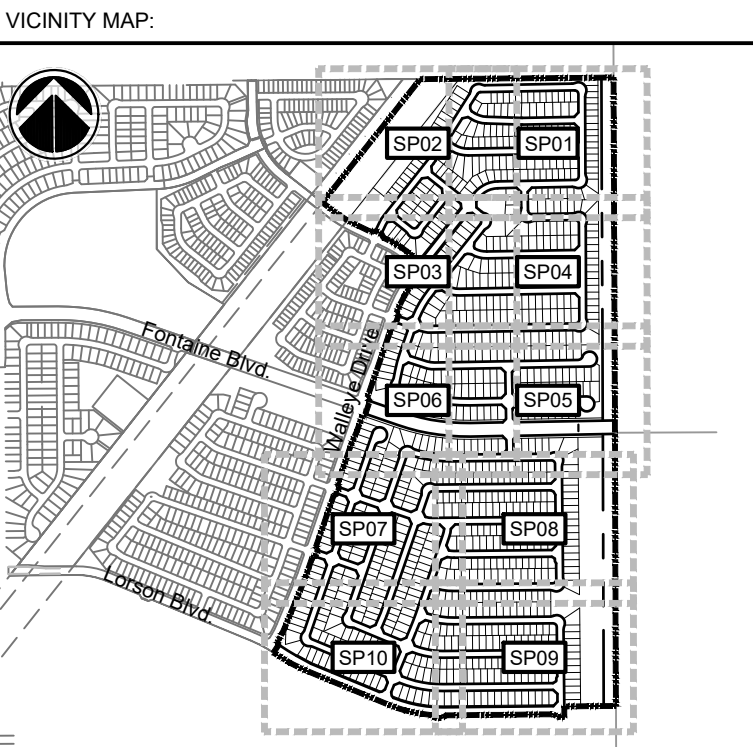
RIDGE AT LORSON RANCH

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LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
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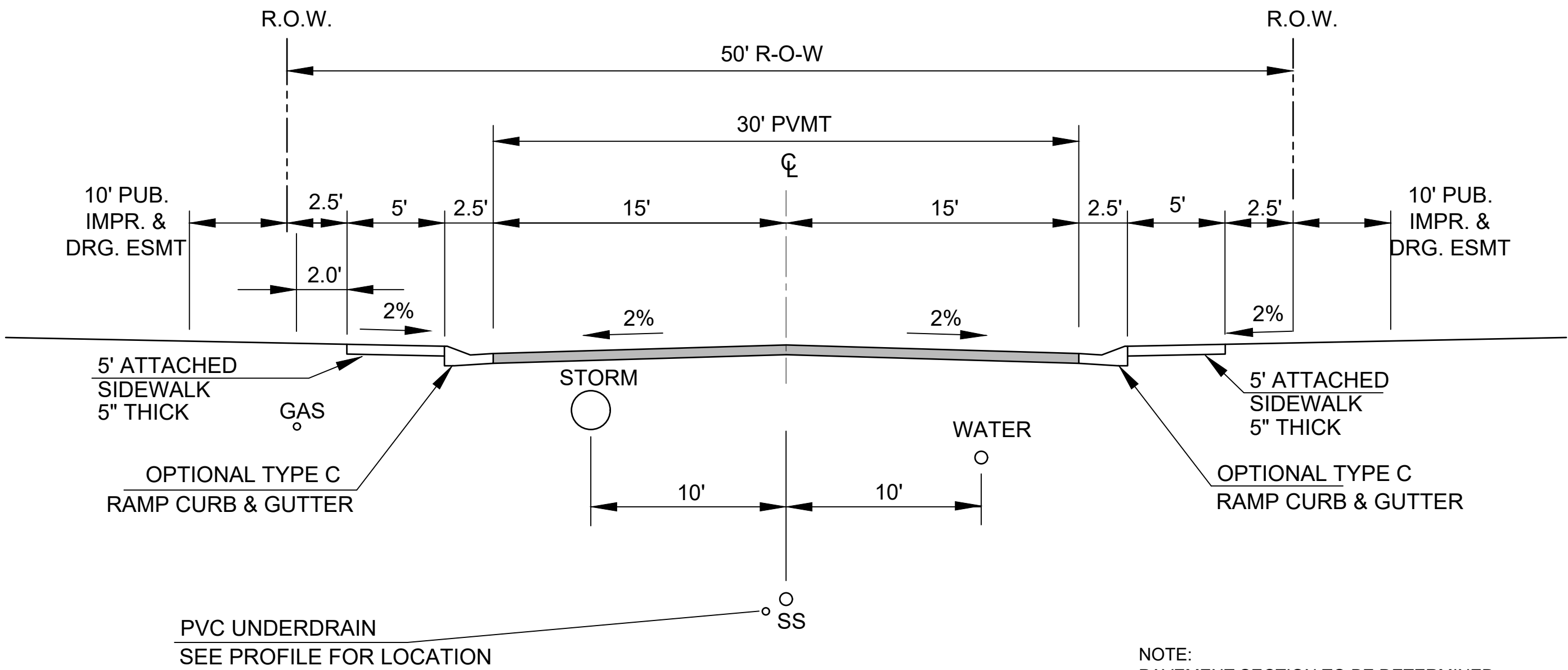
DRAWING INFORMATION:
PROJECT NO: 20.1129.006
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APPROVED BY: JRA
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PUD DETAILS

DT03

SHEET 04 OF 27

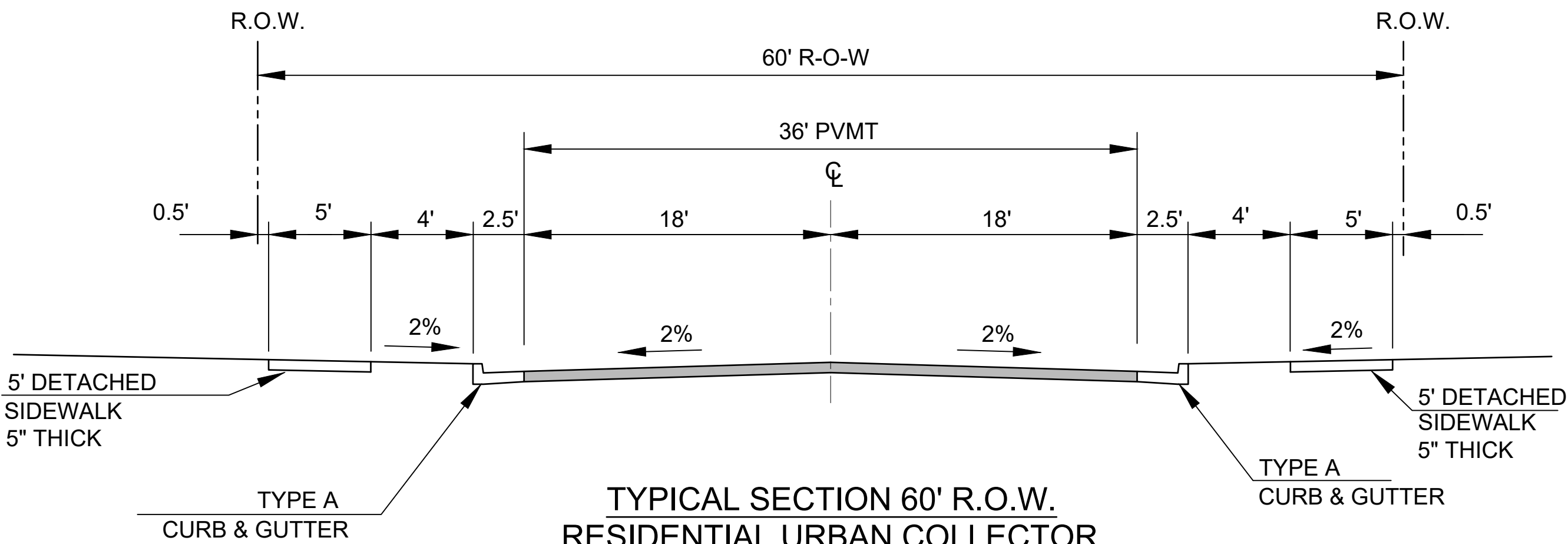
PCD FILE NO.: PUDSP216



DESIGN SPEED: 25 MPH
POSTED SPEED: 25 MPH

TYPICAL SECTION 50' R.O.W.
RESIDENTIAL URBAN LOCAL
NOT TO SCALE

NOTE:
PAVEMENT SECTION TO BE DETERMINED
BY HVEEM ANALYSIS AND DESIGN. DESIGN
TO BE APPROVED BY EL PASO COUNTY PCD
ENGINEERING.

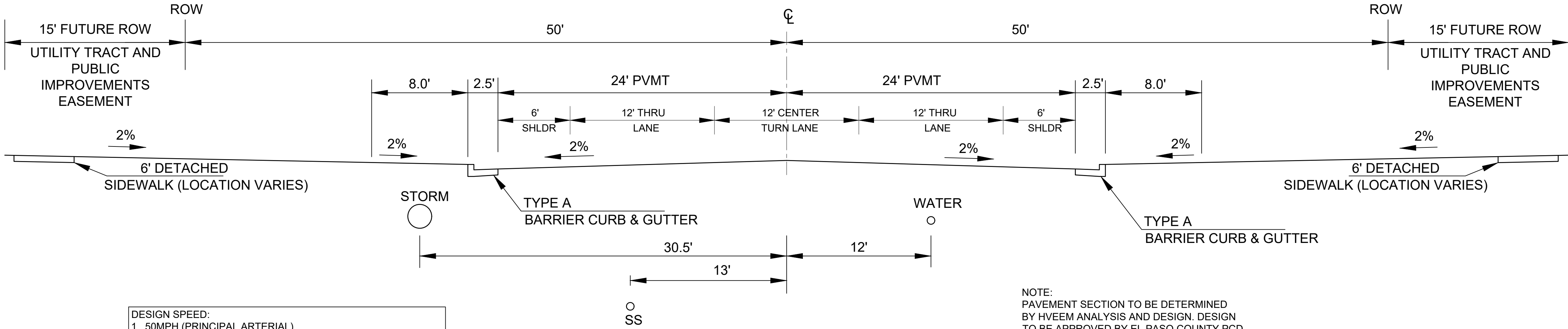


NOTE:
PAVEMENT SECTION TO BE DETERMINED
BY HVEEM ANALYSIS AND DESIGN. DESIGN
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ENGINEERING.

TYPICAL SECTION 60' R.O.W.
RESIDENTIAL URBAN COLLECTOR
NOT TO SCALE

WALLEYE DRIVE (NORTH OF FONTAINE)
GRAYLING DRIVE

DESIGN SPEED: 40 MPH
POSTED SPEED: 35 MPH



DESIGN SPEED:
1. 50MPH (PRINCIPAL ARTERIAL)
2. 40MPH FOR TAPERS (WESTBOUND) (NON-RES COLLECTOR)

TYPICAL SECTION 100' R.O.W.
FONTAINE BLVD
NOT TO SCALE

NOTE:
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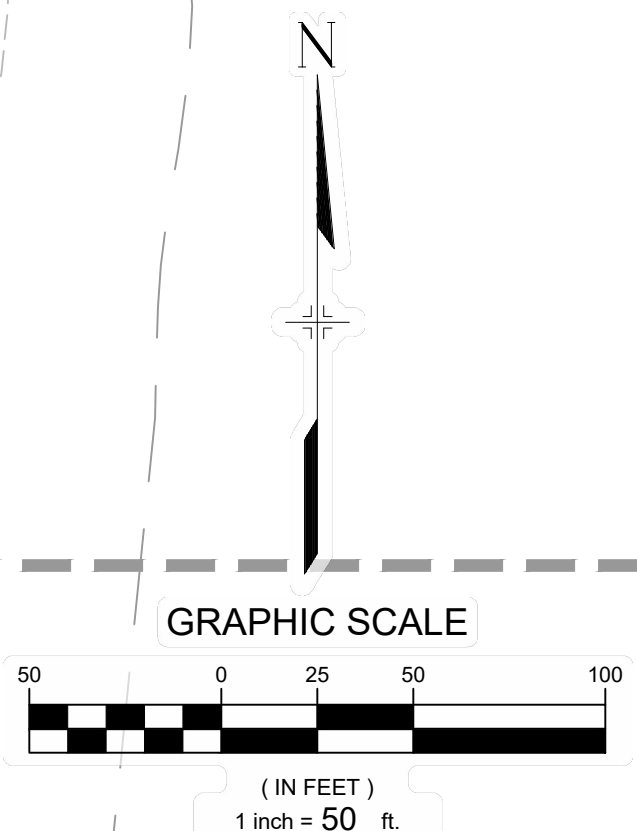
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1	ASPHALT SURFACE (TYPICAL)
2	CONCRETE SIDEWALK
3	6' WOOD SCREEN FENCE
4	CONCRETE CROSSPAN (6' TYPICAL)
5	CURB AND GUTTER (TYPE A)
6	CURB AND GUTTER (OPTIONAL TYPE C)
7	PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
8	PARALLEL PEDESTRIAN RAMP (SD 2-50)
9	PROPOSED FIRE HYDRANT LOCATION
10	COMPACTED BREEZE TRAIL (5' TYPICAL)
11	SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED EASEMENT
 PROPERTY BOUNDARY
 SHEET MATCHLINE
 6' WOODEN SCREEN FENCE
 SIGHT TRIANGLE
 PROPOSED UTILITY STRUCTURES
 PROPOSED CONTOURS
 EXISTING CONTOURS

STATE OF COLORADO
C/O DIVISION OF PURCHASING
633 17TH ST STE 1520
DENVER CO, 80202-3609
ZONING (A-35 RR-5)
LAND USE: STATE

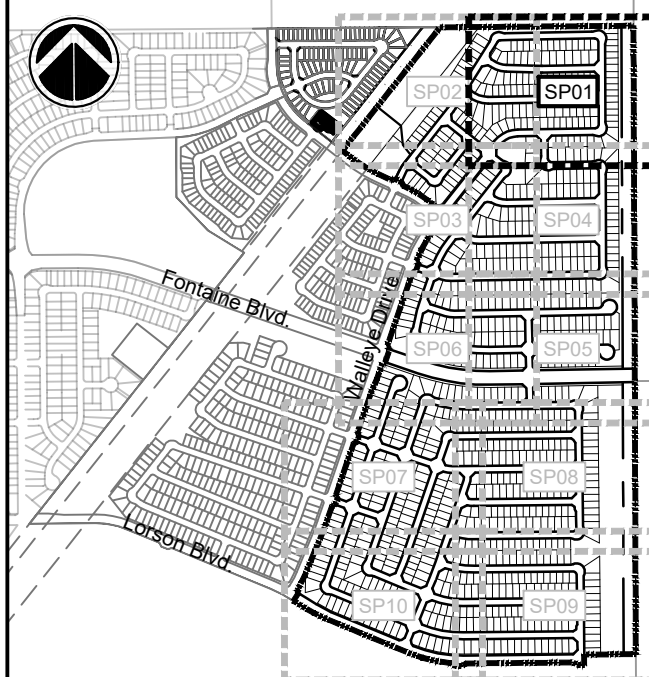
PROPERTY BOUNDARY



CONSULTANTS:	
PLANNER/ LANDSCAPE ARCHITECT: 	2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80902 PHONE: (719) 575-0100 FAX: (719) 575-0208
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VICINITY MAP:



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CHECKED BY	IRB
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CHECKED BY:	SPR
	12/1

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SHEET TITLE:

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BCD FILE NO.: PUDSP2

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RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 CURB AND GUTTER (OPTIONAL TYPE C)
- 7 PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)
- 8 PARALLEL PEDESTRIAN RAMP (SD_2-50)
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 COMPACTED BREEZE TRAIL (6" TYPICAL)
- 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

SKYLINE AT LORSON RANCH
PCD FILE NO.: PUDSP212

100 TRISTATE
GENERATION AND
TRANSMISSION
ASSOCIATION INC.
BOOK 2855 PAGE 115 &
BOOK 2846 PAGE 719

PROPERTY BOUNDARY

LORSON LLC NOMINEE FOR LORSON
CONSERVATION INVESTMENTS 2 LLC
212 N WAHATCH AVE STE 301
COLORADO SPRINGS CO. 80903-3476
AG. GRAZING LAND

EXISTING
DETENTION
AREA

DETENTION
TRACT A
280487 SF

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54972 SF

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70159 SF

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LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

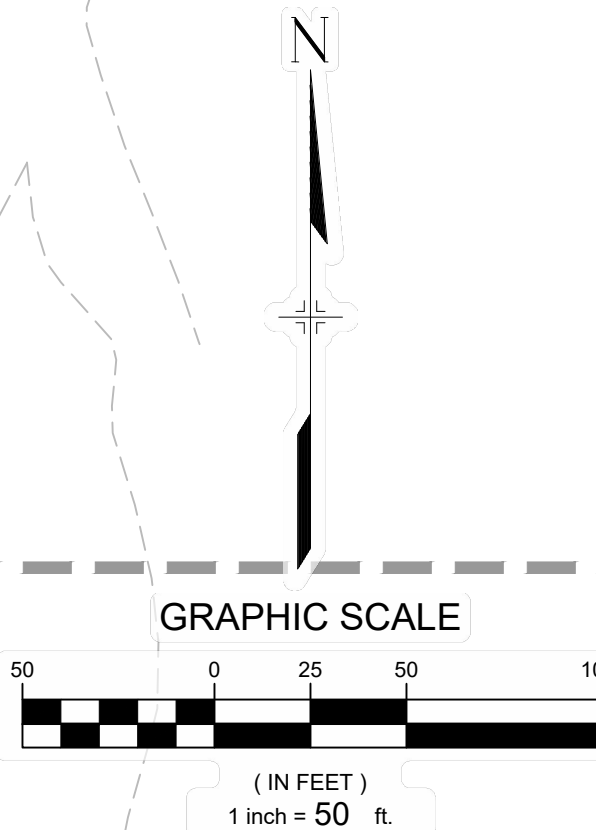
1	ASPHALT SURFACE (TYPICAL)
2	CONCRETE SIDEWALK
3	6' WOOD SCREEN FENCE
4	CONCRETE CROSSPAN (6' TYPICAL)
5	CURB AND GUTTER (TYPE A)
6	CURB AND GUTTER (OPTIONAL TYPE C)
7	PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
8	PARALLEL PEDESTRIAN RAMP (SD 2-50)
9	PROPOSED FIRE HYDRANT LOCATION
10	COMPACTED BREEZE TRAIL (5' TYPICAL)
11	SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED EASEMENT
 PROPERTY BOUNDARY
 SHEET MATCHLINE
 6' WOODEN SCREEN FENCE
 SIGHT TRIANGLE
 PROPOSED UTILITY STRUCTURES
 PROPOSED CONTOURS
 EXISTING CONTOURS

FUTURE
ROAD R.O.W
TRACT U
227354 SE

STATE OF COLORADO
DIVISION OF PURCHASING
633 17TH ST STE 1520
DENVER CO 80202-3609
ZONING (A-35 RR-5)
LAND USE: STATE

- PROPERTY BOUNDARY



LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

FIFTH SUBMITTAL: DECEMBER 09, 2021

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF
4	12 / 09 / 2021	FIFTH SUBMITTAL	RAF

PROJECT NO:	20.1129.006
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DRAWN BY: RA

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

SHEET 08 OF 27

PCD FILE NO.: PUDSP216

A north arrow pointing upwards, labeled 'N' at the top. Below it is a graphic scale bar with markings at 50, 0, 25, 50, and 100. The text '(IN FEET)' is centered above the scale bar, and '1 inch = 50 ft.' is centered below it. The scale bar has a checkered pattern from 50 to 0 and a solid black pattern from 0 to 100.

PCD FILE NO.: PUDSP216

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

1	ASPHALT SURFACE (TYPICAL)
2	CONCRETE SIDEWALK
3	6' WOOD SCREEN FENCE
4	CONCRETE CROSSSPAN (6' TYPICAL)
5	CURB AND GUTTER (TYPE A)
6	CURB AND GUTTER (OPTIONAL TYPE C)
7	PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
9	PARALLEL PEDESTRIAN RAMP (SD 2-50)
9	PROPOSED FIRE HYDRANT LOCATION
10	COMPACTED BREEZE TRAIL (5' TYPICAL)
11	SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED EASEMENT
PROPERTY BOUNDARY
SHEET MATCHLINE
WOODEN SCREEN FENCE
SIGHT TRIANGLE
ED UTILITY STRUCTURES
PROPOSED CONTOURS
EXISTING CONTOURS

HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203

PROPERTY

LOVE IN ACTION
N WAHSATCH AVE STE 301 COLORADO
SPRINGS CO, 80903-3476
ZONING (PUD)
AG GRAZING LAND

HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203



PROPERTY BOUNDARY

LOVE IN ACTION
212 N WAHSATCH AVE STE 301 COLORADO
SPRINGS CO, 80903-3476
ZONING (PUD)
AG. GRAZING LAND

HILLS AT LORSON RANCH
PCD FILE NO.: PUDSP203

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

PLANNER/ LANDSCAPE ARCHITECT:

 **Matrix**

2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX : (719) 575-0208

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF
4	12 / 09 / 2021	FIFTH SUBMITTAL	RAF

SHEET TITLE:

SHEET 10 OF 27

PCD FILE NO.: PUDSP216

RIDGE AT LORSON RANCH

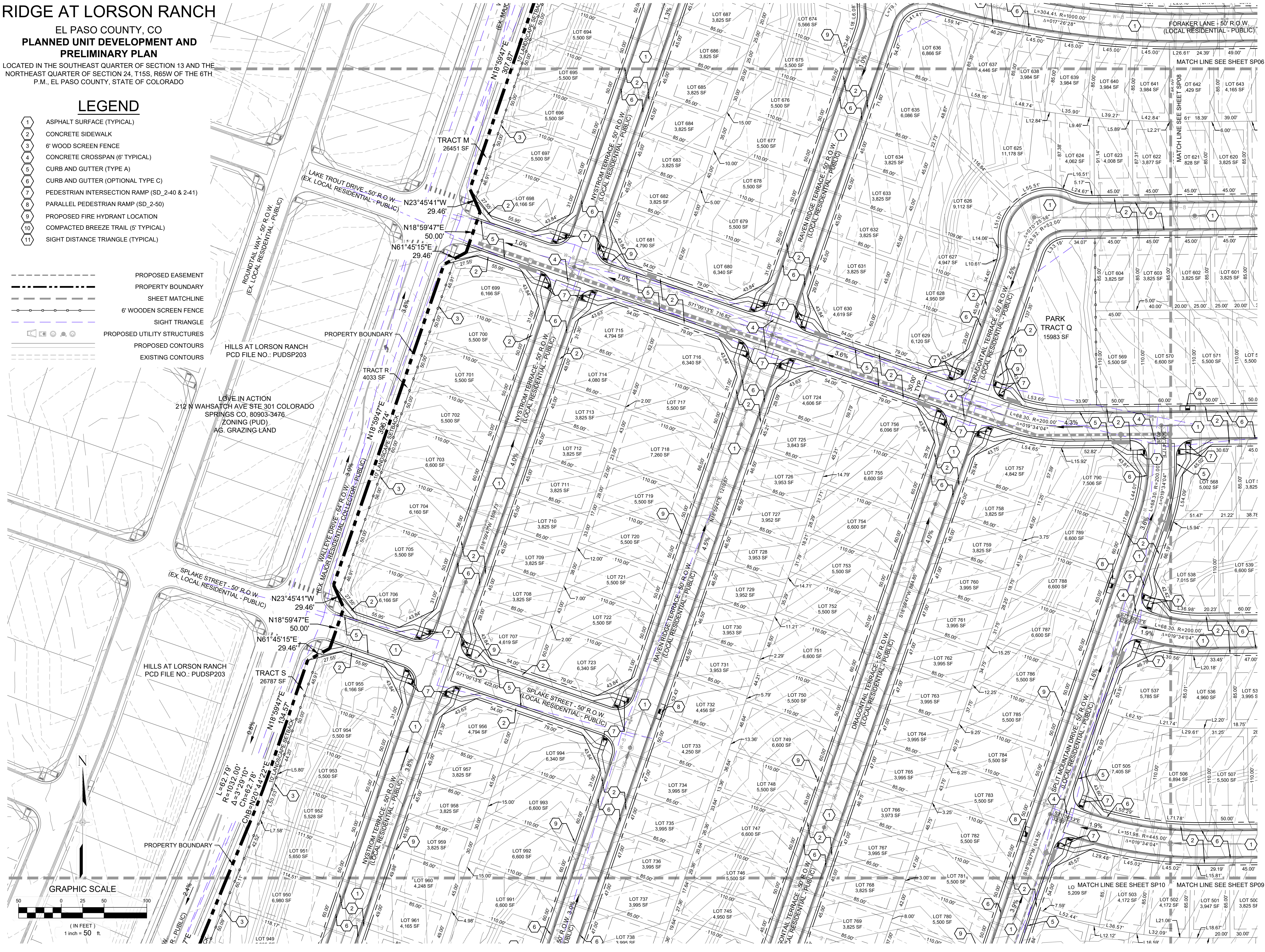
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
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LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

LEGEND

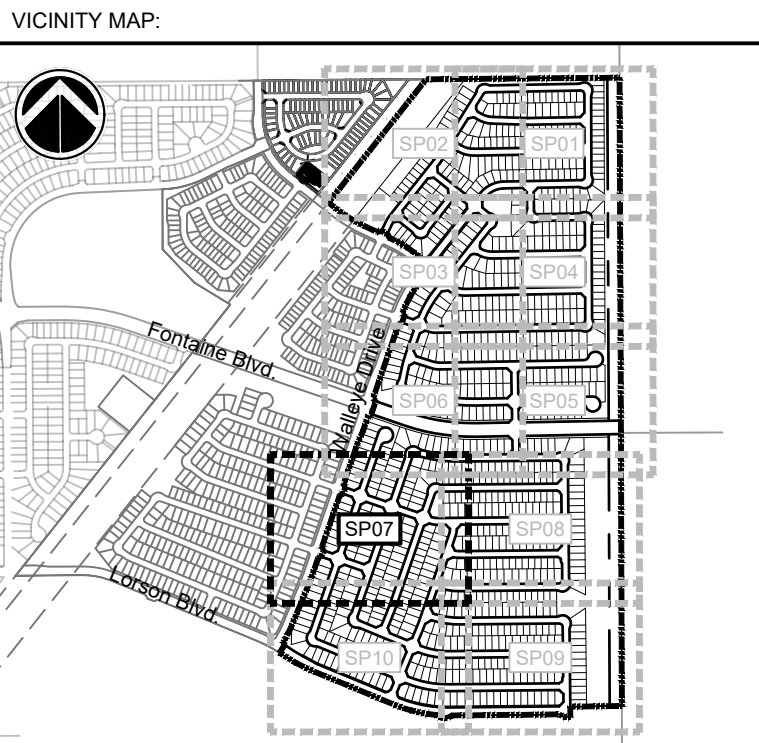
- 1 ASPHALT SURFACE (TYPICAL)
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- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT:
2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:				
NO.	DATE	DESCRIPTION	BY	
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF	
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF	
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF	
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF	
4	12 / 09 / 2021	FIFTH SUBMITTAL	RAF	

DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: RAF
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

SITE PLAN

SP07

SHEET 11 OF 27

PCD FILE NO.: PUDSP216

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

1	ASPHALT SURFACE (TYPICAL)
2	CONCRETE SIDEWALK
3	6" WOOD SCREEN FENCE
4	CONCRETE CROSSSPAN (6" TYPICAL)
5	CURB AND GUTTER (TYPE A)
6	CURB AND GUTTER (OPTIONAL TYPE C)
7	PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)
8	PARALLEL PEDESTRIAN RAMP (SD_2-50)
9	PROPOSED FIRE HYDRANT LOCATION
10	COMPACTED BREEZE TRAIL (5" TYPICAL)
11	SIGHT DISTANCE TRIANGLE (TYPICAL)

-
- PROPOSED EASEMENT
 PROPERTY BOUNDARY
 SHEET MATCHLINE
 6' WOODEN SCREEN FENCE
 SIGHT TRIANGLE
 PROPOSED UTILITY STRUCTURES
 PROPOSED CONTOURS
 EXISTING CONTOURS

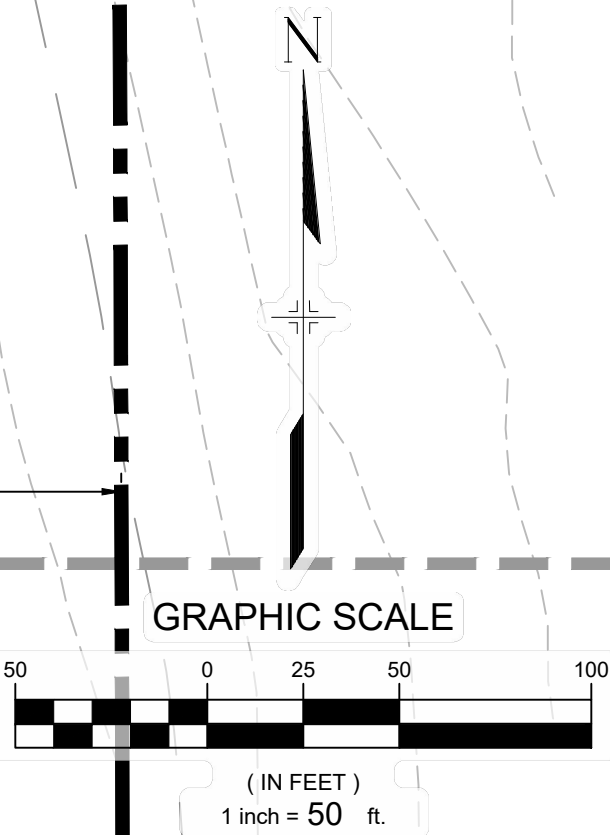
FUTURE
ROAD R.O.W.
TRACT V
180169 SF

FUTURE MERIDIAN ROAD
PROPOSED 90' R.O.W. RESERVATION)

BJ RANCHES LLC
970 SUMMER GAMES DR
COLORADO SPRINGS CO, 80905-7381
ZONING (A-35)
AG. GRAZING LAND

AG. GRAZING LAND

- PROPERTY BOUNDARY



CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT:

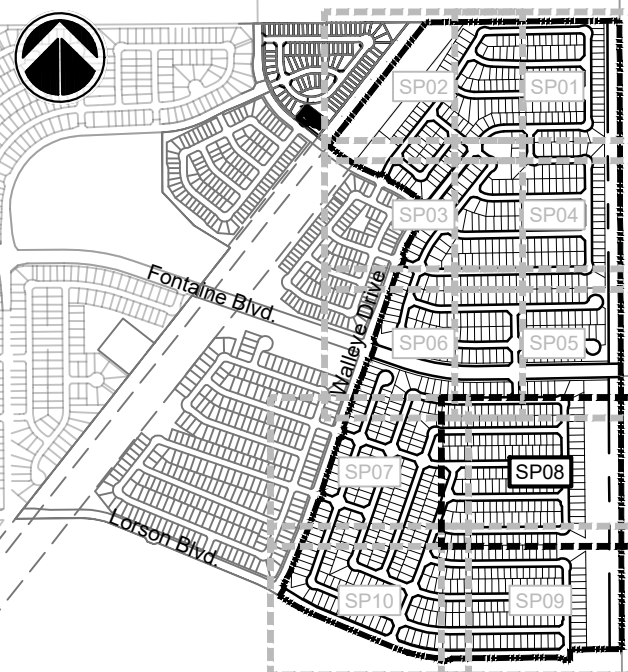


CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO

FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY

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4	12 / 09 / 2021	FIFTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JIRA

SHEET TITLE: E-

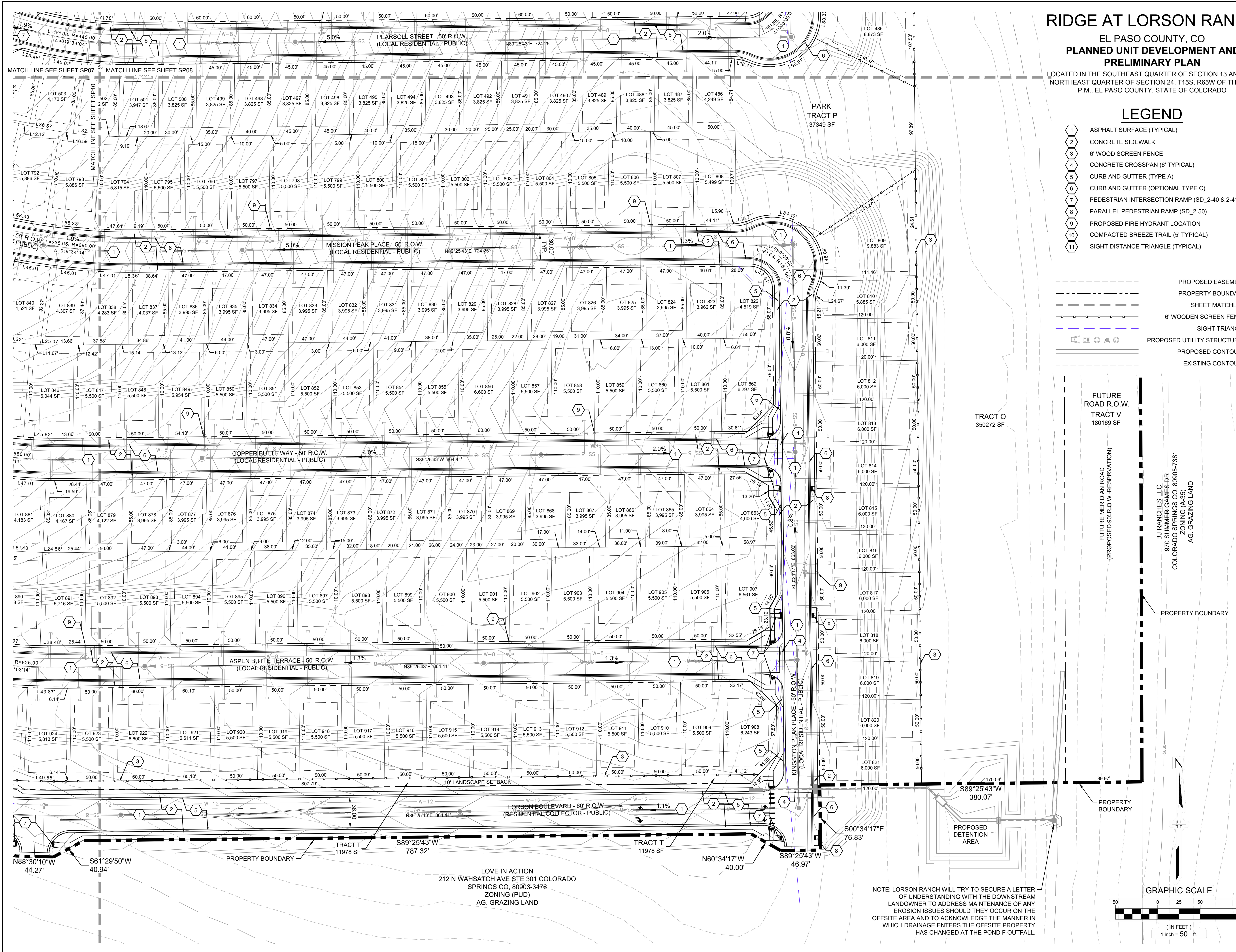
SITE PLAN

SP08

SHEET 12 OF 27

PCD FILE NO.: PUDSP216

FILE LOCATION: S:\2012\12\08\ LORSON RANCH AREA.DWG\101 DWS\101 PLAN SET\DEVELOPMENT PLAN\SP01.DWG



RIDGE AT LORSON RANCH

EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
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- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
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- 7 PEDESTRIAN INTERSECTION RAMP (SD_2-40 & 2-41)
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- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

FUTURE
ROAD R.O.W.
TRACT V
180'169 SF

FUTURE MERIDIAN ROAD
(PROPOSED 60' R.O.W. RESERVATION)

BU RANCHES LLC
970 SUMMIT GAMES DR
COLORADO SPRINGS CO 80905-7381
ZONING (A-35)
AG. GRAZING LAND

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT:

Matrix

2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:

PROJECT:

**RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN**

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

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DRAWING INFORMATION:

PROJECT NO: 20.1129.006

DRAWN BY: RAF

CHECKED BY: JRA

APPROVED BY: JRA

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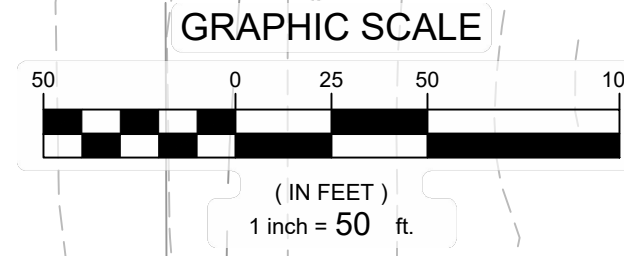
SITE PLAN

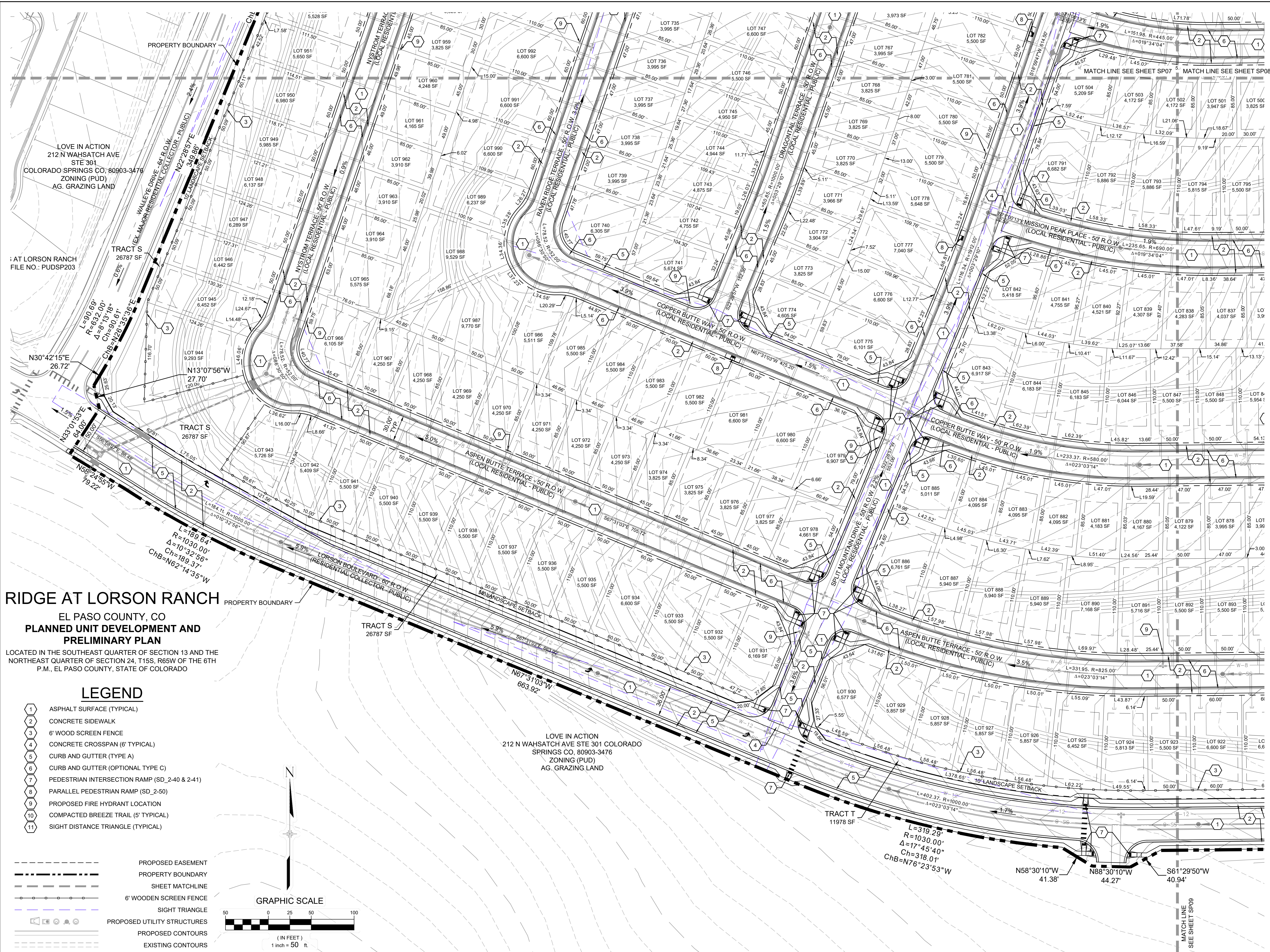
SP09

SHEET 13 OF 27

PCD FILE NO.: PUDSP216

NOTE: LORSON RANCH WILL TRY TO SECURE A LETTER
OF UNDERSTANDING WITH THE DOWNSTREAM
LANDOWNER TO ADDRESS MAINTENANCE OF ANY
EROSION ISSUES SHOULD THEY OCCUR ON THE
OFFSITE AREA AND TO ACKNOWLEDGE THE MANNER IN
WHICH DRAINAGE ENTERS THE OFFSITE PROPERTY
HAS CHANGED AT THE POND F OUTFALL.





RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

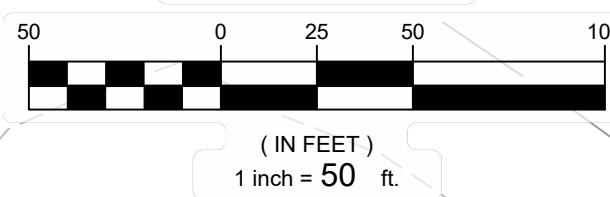
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND THE
NORTHEAST QUARTER OF SECTION 24, T15S, R65W OF THE 6TH
P.M., EL PASO COUNTY, STATE OF COLORADO

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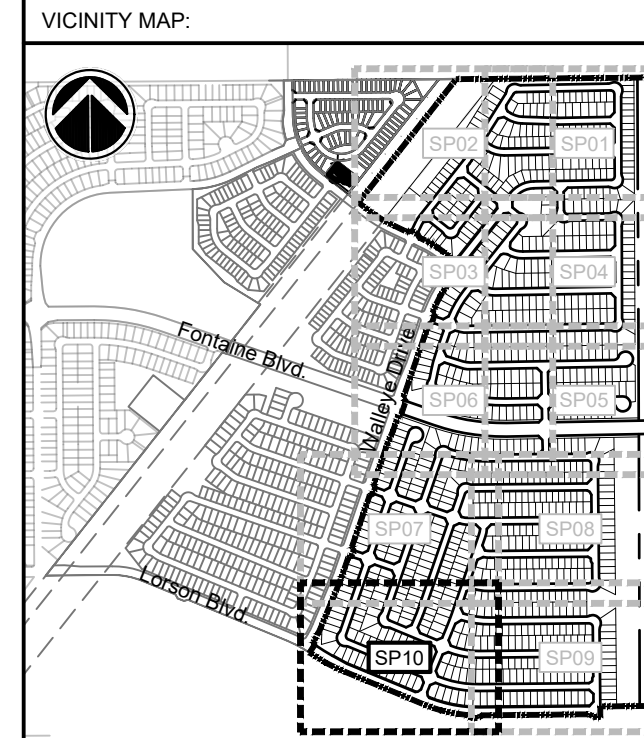
- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6' WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

GRAPHIC SCALE



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

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DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: RAF
CHECKED BY: JRA
APPROVED BY: JRA

SHEET TITLE:

SITE PLAN

SP10

SHEET 14 OF 27

PCD FILE NO.: PUDSP216

FILE LOCATION: S:\2011\2008 LORSON RANCH AREA D\F-H1103 DWG\1102 XREF\X-1129-FINAL LANDSCAPE.DWG



RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

SHEET INDEX:


















LS01 LANDSCAPE PLAN TITLE SHEET, SITE REQUIREMENTS & LEGEND
LS02-LS09 PLANTING PLAN
LS10-LS13 LANDSCAPE NOTES, SITE & LANDSCAPE DETAILS

DEVELOPMENT PLAN DATA :

LANDSCAPE SETBACKS:		WEST	EAST	NORTH		SOUTH
STREET NAME OR ZONE BOUNDARY:	GRAYLING DR.	WALLEYE DR.	WALLEYE DR.	LORSON BLVD.	FONTAINE BLVD.	FONTAINE BLVD.
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO	NO	NO
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	COLLECTOR	COLLECTOR	ARTERIAL	ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	10' / 10'	10' / 10'	25' / 25'	25' / 25'
LINEAR FOOTAGE:	536'	493	3,139'	2,040'	1,493	1,493
TREE/FEET REQUIRED:	1 / 30	1 / 30	1 / 30	1 / 30	1 / 20	1 / 20
NUMBER OF TREES REQUIRED/PROVIDED:	18 / 18	17 / 20	105 / 105	68 / 69	75 / 75	75 / 75
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN: *	GD	WW	WD	LB	NF	SF
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%






* TREES FOR POCKET PARKS LABELED: PP






PLANT SCHEDULE

EVERGREEN TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	PH2	70	PICEA PUNGENS 'HOOPSII' HOOPSII BLUE SPRUCE	6" HT.	B&B	10" - 12"	20'-25'
	PN	27	PINUS NIGRA AUSTRIAN BLACK PINE	6" HT.	B&B	25'-30"	30'-40'
	PI	36	PINUS PONDEROSA PONDEROSA PINE	6" HT.	B&B	30'-40"	50'-75'
	PSL	12	PINUS SYLVESTRIS SCOTCH PINE	6" HT.	B&B	20'-30"	30'-50'
ORNAMENTAL TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	ML	36	MALUS X 'LOUISA' LOUISA CRABAPPLE	1.5" CAL.	B&B	12'-15"	12' - 15'
	MP	25	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRAB APPLE	1.5" CAL.	B&B	12'-15"	15'-25'
	MT	68	MALUS X 'THUNDERCHILD' THUNDERCHILD CRABAPPLE	1.5" CAL.	B&B	12'-15"	20'-25'
	PC	52	PRUNUS CERASIFERA 'CRIMSON POINTE' CRIMSON POINTE FLOWERING PLUM	1.5" CAL.	B&B	5'-6"	15'-20'
	PM	25	PRUNUS MAACKII AMUR CHOKECHERRY	1.5" CAL.	B&B	15'-20"	20'-30'
SHADE TREES							
	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	AS	14	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" CAL.	B&B	30'-40"	40' - 50'
	CC	14	CATALPA SPECIOSA 'HIAWATHA 2' TM HEARTLAND CATALPA	2" CAL.	B&B	20'-25"	40' - 50'
	CO	18	CELTIS OCCIDENTALIS 'CHICAGOLAND' COMMON HACKBERRY	2" CAL.	B&B	40'-50"	50'-60'
	GK	3	GYMNOCADUS DIOICA KENTUCKY COFFEETREE	2" CAL.	B&B	40'-50"	50'-60'
	KP	10	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" CAL.	B&B	20'-30"	20'-30'
	QB	31	QUERCUS BICOLOR SWAMP WHITE OAK	2" CAL.	B&B	40' - 60"	40' - 60'
	QM	15	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	40'-50"	50'-60'
	TS	37	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN	2" CAL.	B&B	20' 35"	40' - 50'

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

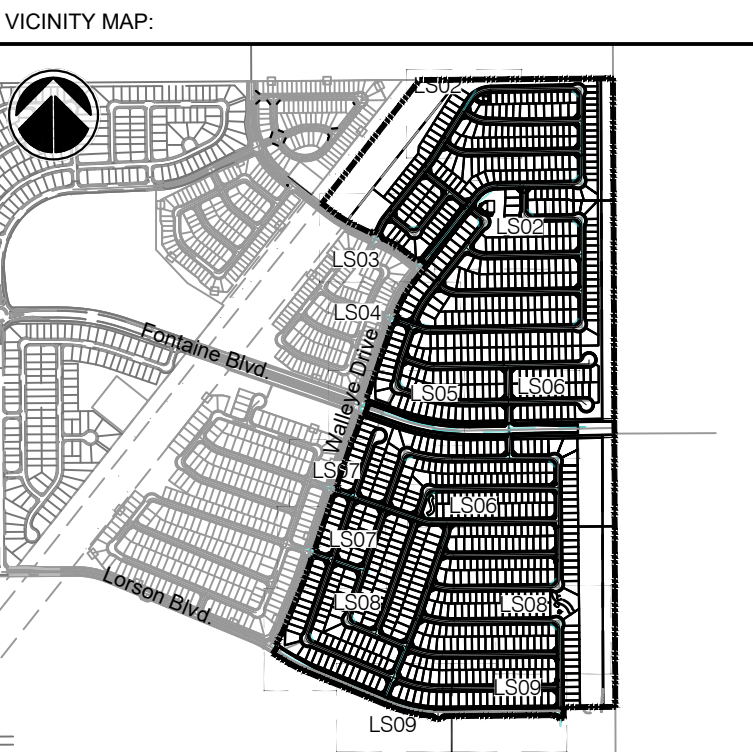
LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
	STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURAEDGE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE "BLACK". INSTALL PER MANUFACTURER'S SPECIFICATIONS.

-  FIRE HYDRANT, TYP; REF. CIVIL
-  UTILITY EASEMENT, TYP; REF. CIVIL
-  PROPERTY LIMIT LINE
-  LANDSCAPE BUFFER / SETBACK LINE
-  CONCRETE SIDEWALK; REF. CIVIL

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0206
CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55308 PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:			
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DRAWING INFORMATION:
PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

LANDSCAPE
COVER SHEET

LS01

SHEET 15 OF 27

PCD FILE NO.: PUDSP216

FILE LOCATION: S:\2012\08 LORSON RANCH AREA D\F-H\101 DWG\102 XREF\X-1129-FINAL LANDSCAPE.DWG



1 PLANTING PLAN
SCALE 1" = 30'

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

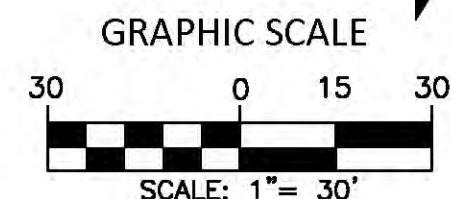
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
NATIVE SEED A	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
NATIVE SEED B	IRRIGATED NATIVE SEED, TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
COBBLE A	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC.
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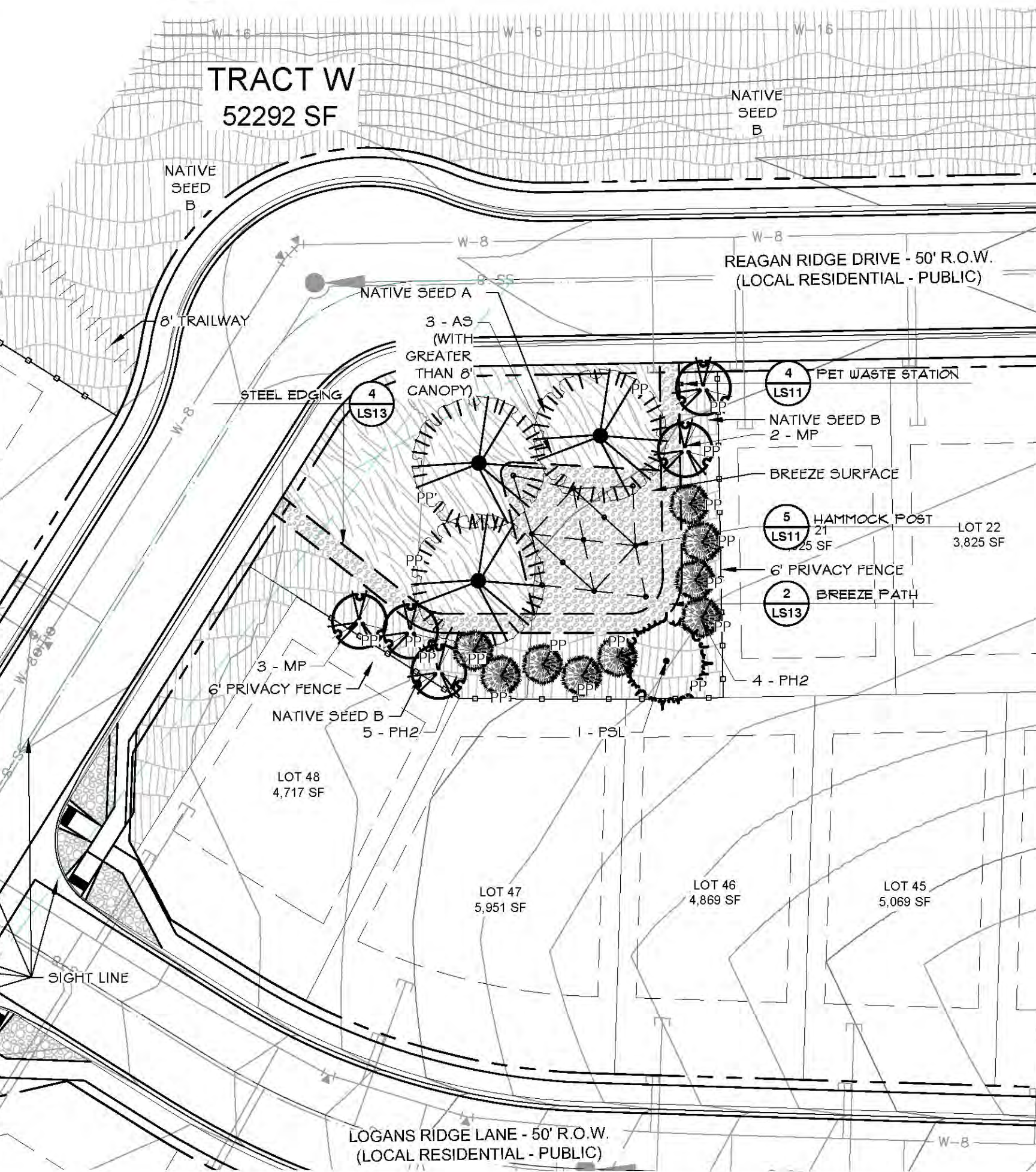
- FIRE HYDRANT, TYP. REF. CIVIL
- UTILITY EASEMENT, TYP. REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER / SETBACK LINE
- CONCRETE SIDEWALK, REF. CIVIL

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.



2 PLANTING PLAN
SCALE 1" = 30'

TRACT W 52292 SF

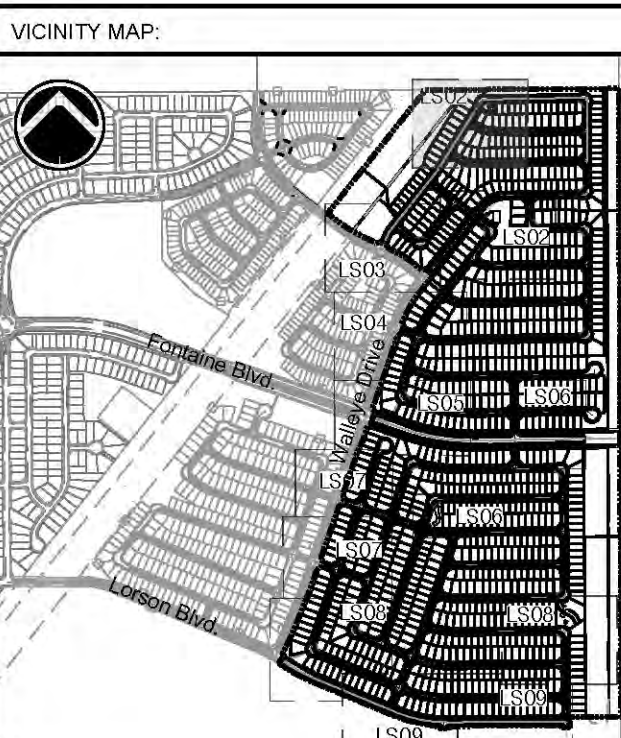


CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

CIVIL ENGINEER: CORE ENGINEERING GROUP
15004 1ST AVENUE S, BURNSVILLE, MN 55305
PHONE: (719) 570-1100

OWNER/DEVELOPER: LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT: RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 02, 2021

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DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

FINAL PLANTING PLAN

LS02

SHEET 16 OF 27



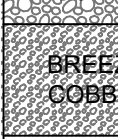

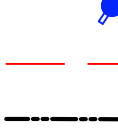




PCD FILE NO.: PUDSP216

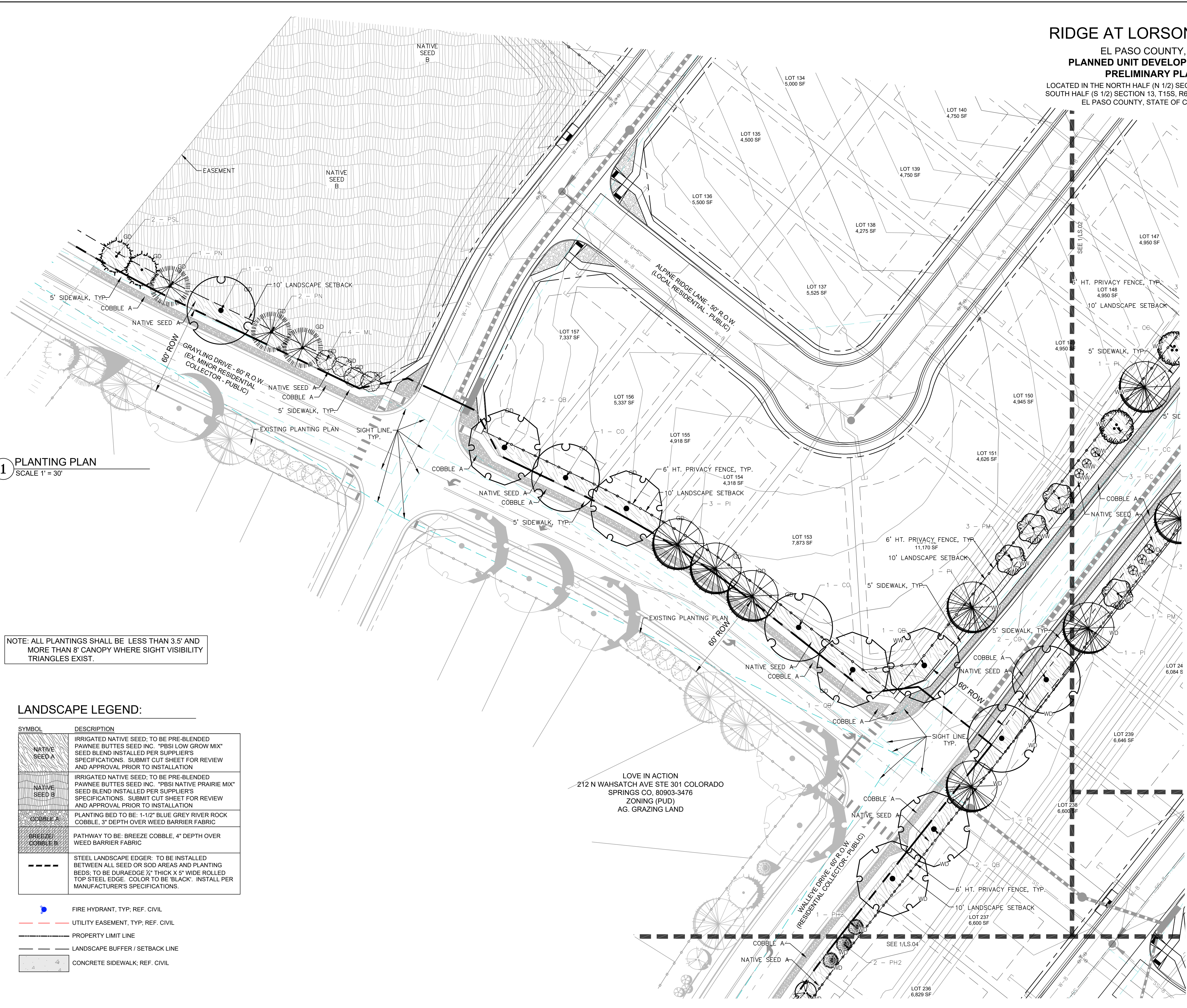
FILE LOCATION: S:\2011\2008 LORSON RANCH AREA D\F-H1100 DWG\1102 XREF\1129-FINAL LANDSCAPE.DWG

1 PLANTING PLAN
SCALE 1" = 30'

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

LANDSCAPE LEGEND:

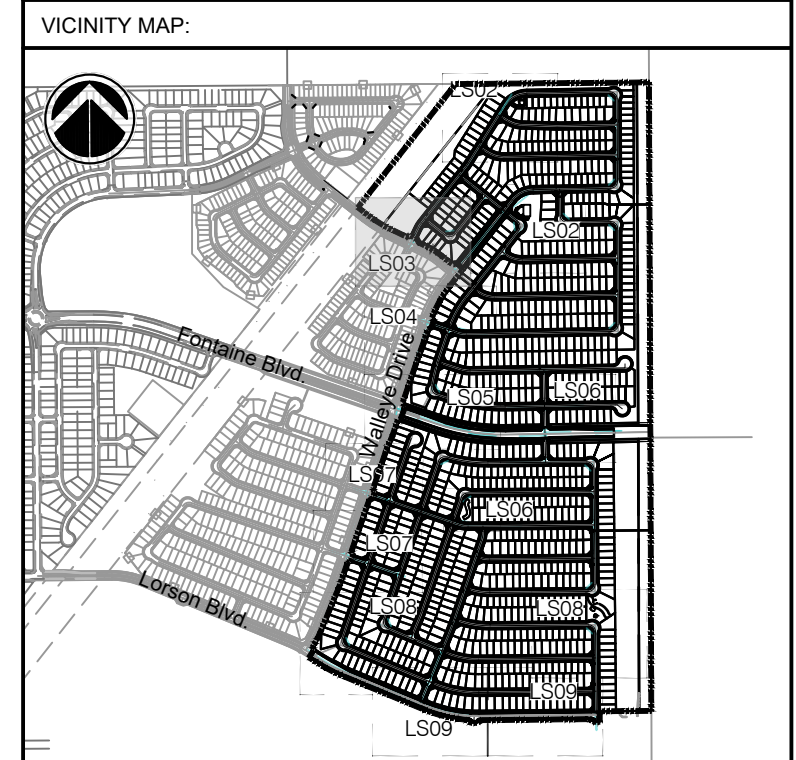
SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED: TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	IRRIGATED NATIVE SEED: TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
	STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS: TO BE DURAEDGE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
	FIRE HYDRANT, TYP. REF. CIVIL
	UTILITY EASEMENT, TYP. REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK, REF. CIVIL



RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT:
Matrix 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55305
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: SJC
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

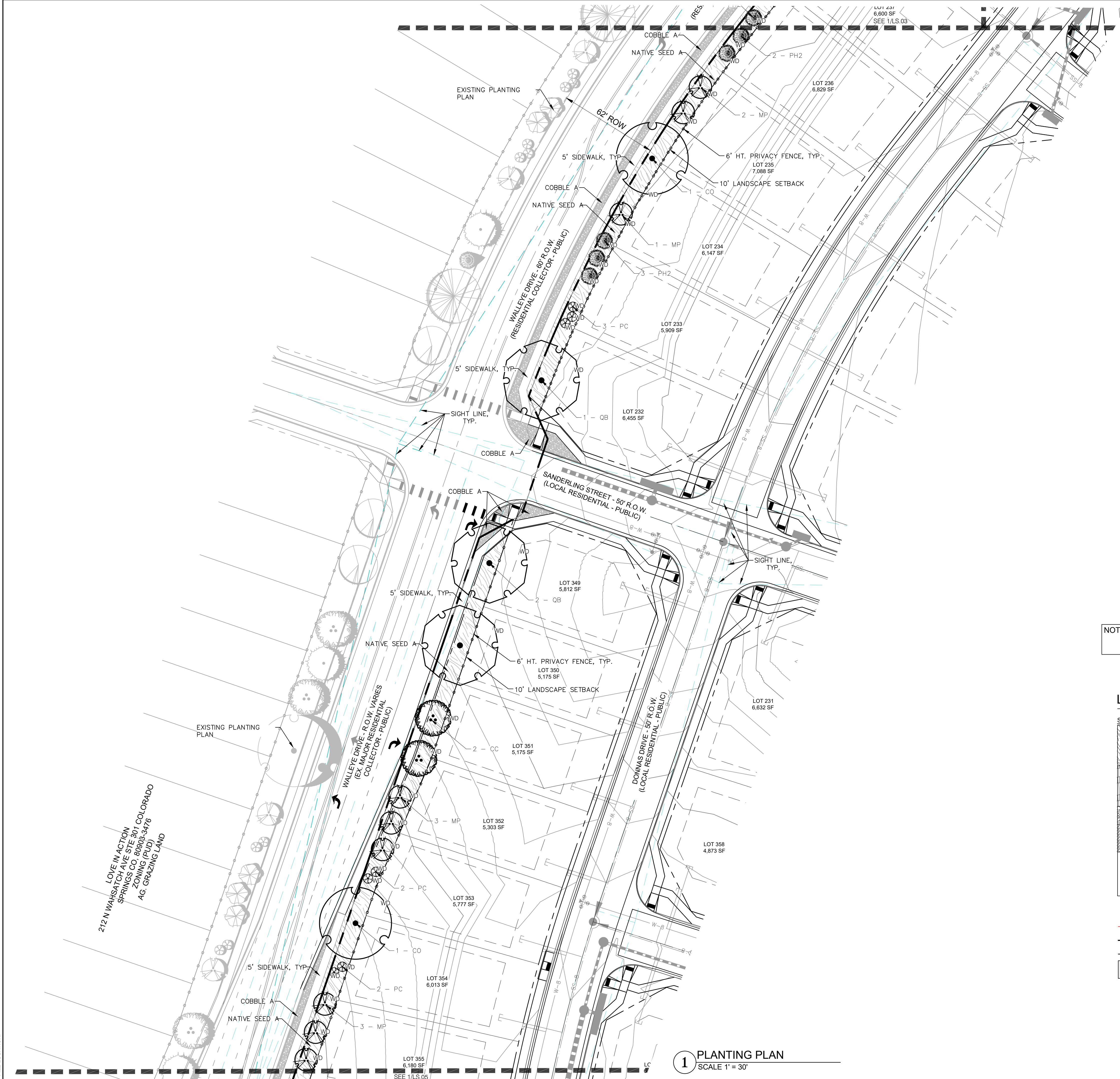
FINAL PLANTING
PLAN

LS03

SHEET 17 OF 27

PCD FILE NO.: PUDSP216

FILE LOCATION: S:\2011\2010\08\ LORSON RANCH AREA D\F-H\1100 DWG\102 XREF\X-1129-FINAL LANDSCAPE.DWG



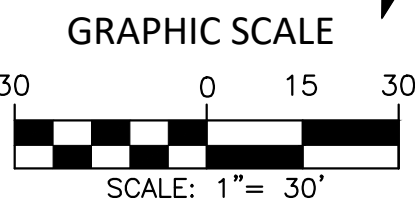
RIDGE AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
	STEEL LANDSCAPE EDGER; TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

FIRE HYDRANT, TYP; REF. CIVIL
 UTILITY EASEMENT, TYP; REF. CIVIL
 PROPERTY LIMIT LINE
 LANDSCAPE BUFFER / SETBACK LINE
 CONCRETE SIDEWALK; REF. CIVIL



CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100 FAX: (719) 575-0206
CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S, BURNSVILLE, MN 55305
PHONE: (719) 570-1100
OWNER/DEVELOPER: LORSON LLC ET/ AL, 212 N. WAHSATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903, (719) 635-3200

VICINITY MAP:

PROJECT: RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: SJC
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

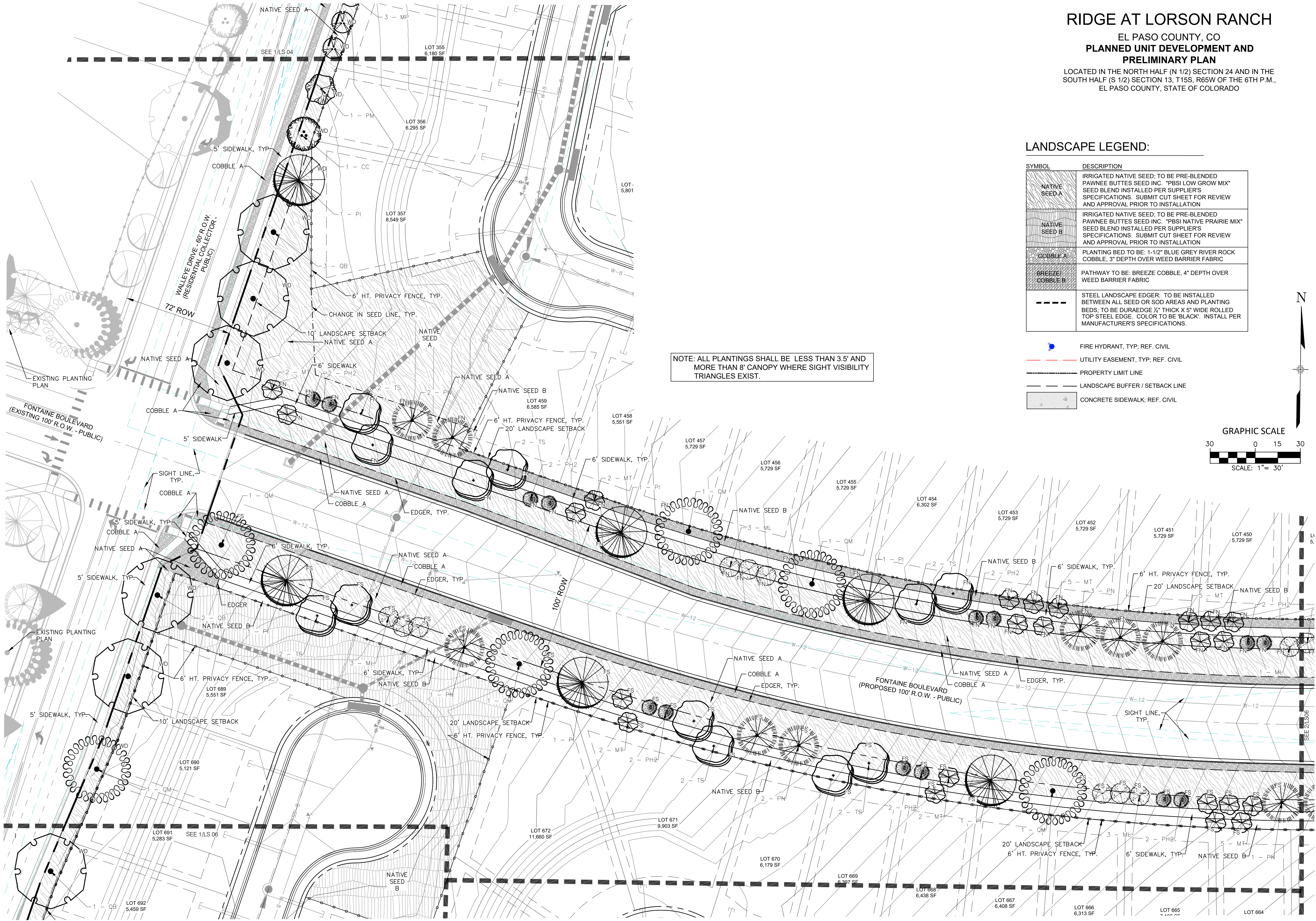
FINAL PLANTING PLAN

LS04

SHEET 18 OF 27

PCD FILE NO.: PUDSP216

FILE LOCATION: S:\2011\2010\08\ LORSON RANCH AREA D\F-H100 DWG\102 XREF\X-1123-FINAL LANDSCAPE.DWG



NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

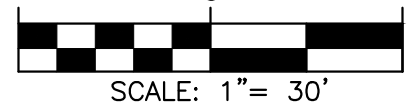
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

LANDSCAPE LEGEND:

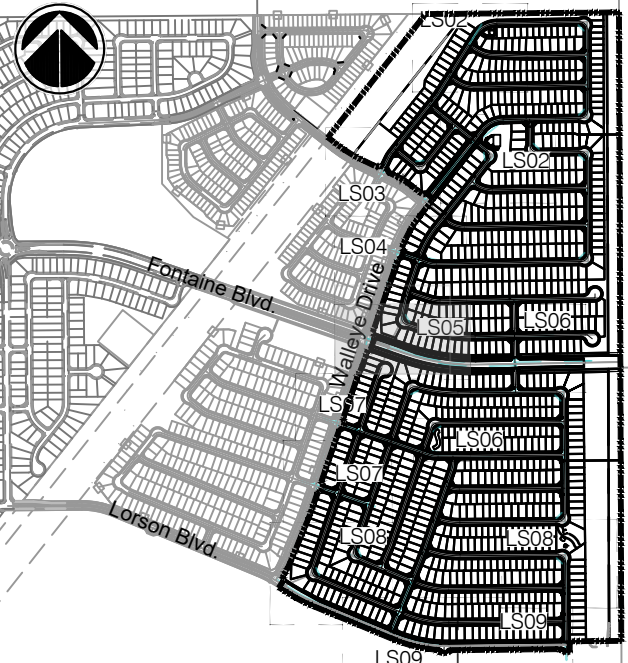
SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBS LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBS NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
	STEEL LANDSCAPE EDGER: TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURABLE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

- FIRE HYDRANT, TYP.; REF. CIVIL
- UTILITY EASEMENT, TYP.; REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER / SETBACK LINE
- CONCRETE SIDEWALK; REF. CIVIL

GRAPHIC SCALE



VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

FINAL PLANTING
PLAN

LS05

SHEET 19 OF 27

PCD FILE NO.: PUDSP216

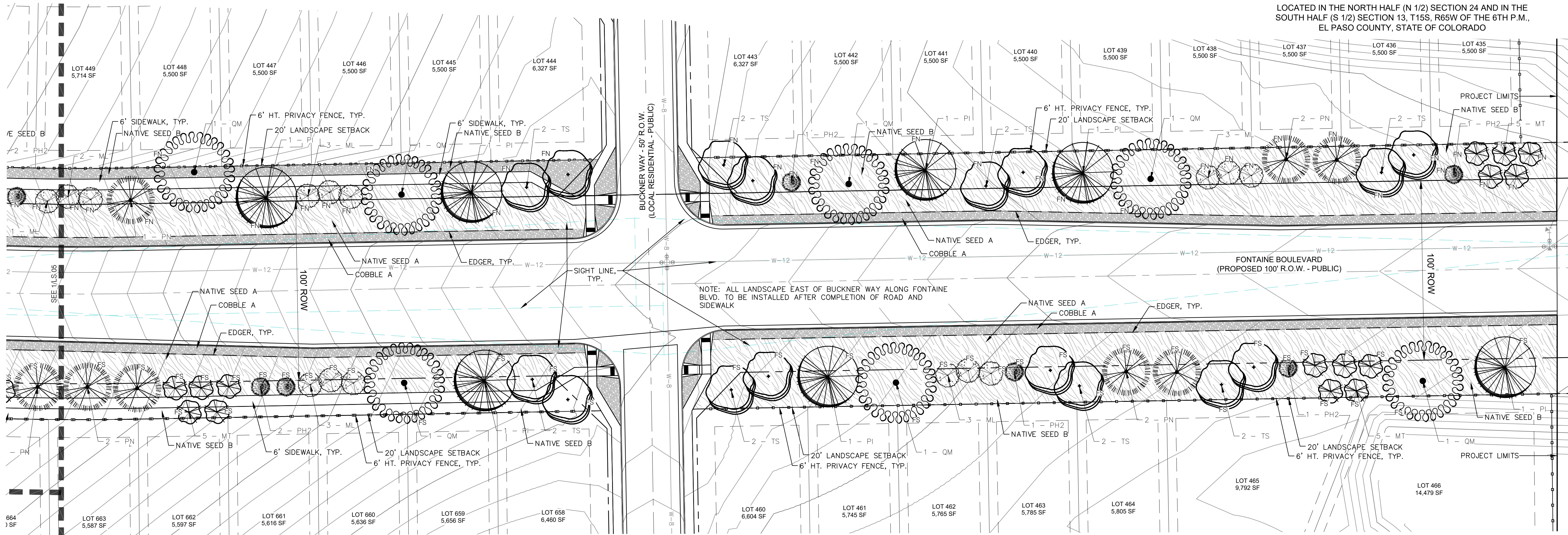
1 PLANTING PLAN
SCALE 1" = 30'

FILE LOCATION: S:\2011\2008 LORSON RANCH AREA D\F-H100 DWG\102 XREF\X-1129-FINAL LANDSCAPE.DWG

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO



1 PLANTING PLAN
SCALE 1" = 30'

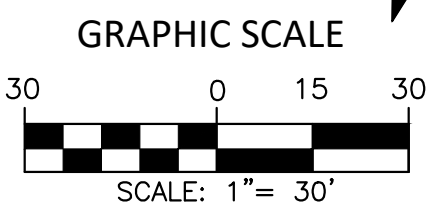
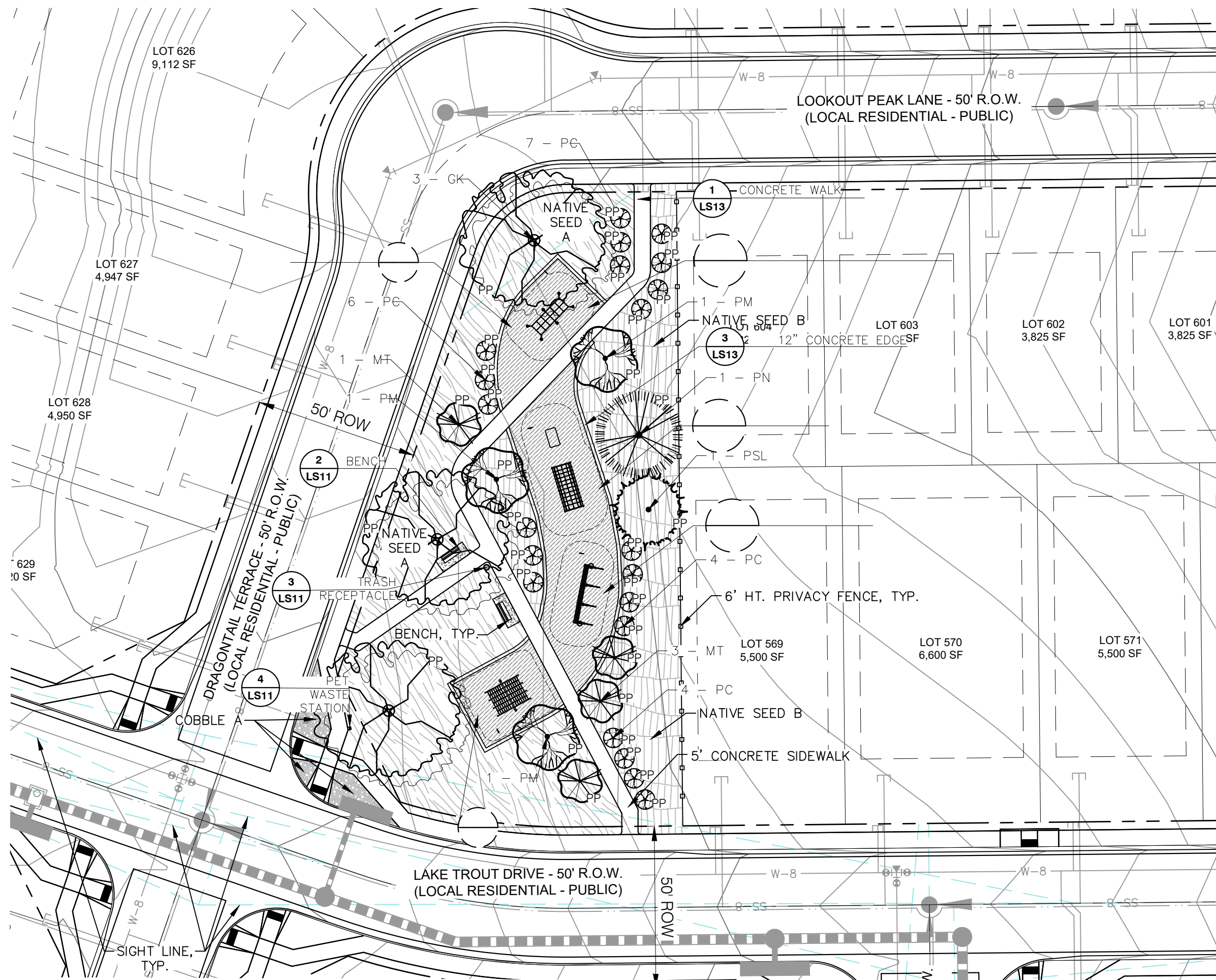
NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI LOW GROW MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	IRRIGATED NATIVE SEED; TO BE PRE-BLENDED PAWNEE BUTTES SEED INC. "PBSI NATIVE PRAIRIE MIX" SEED BLEND INSTALLED PER SUPPLIER'S SPECIFICATIONS. SUBMIT CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
	PLANTING BED TO BE: 1-1/2" BLUE GREY RIVER ROCK COBBLE, 3" DEPTH OVER WEED BARRIER FABRIC
	PATHWAY TO BE: BREEZE COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC
	STEEL LANDSCAPE EDGER; TO BE INSTALLED BETWEEN ALL SEED OR SOD AREAS AND PLANTING BEDS; TO BE DURAEDGE 1/2" THICK X 5" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE 'BLACK'. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

	FIRE HYDRANT, TYP. REF. CIVIL
	UTILITY EASEMENT, TYP. REF. CIVIL
	PROPERTY LIMIT LINE
	LANDSCAPE BUFFER / SETBACK LINE
	CONCRETE SIDEWALK; REF. CIVIL

2 PLANTING PLAN
SCALE 1" = 30'



CONSULTANTS:

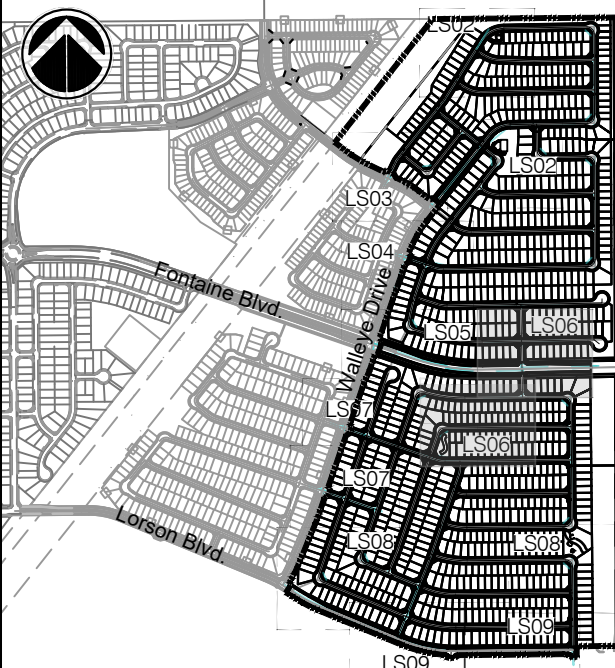
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0205

CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55305 PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

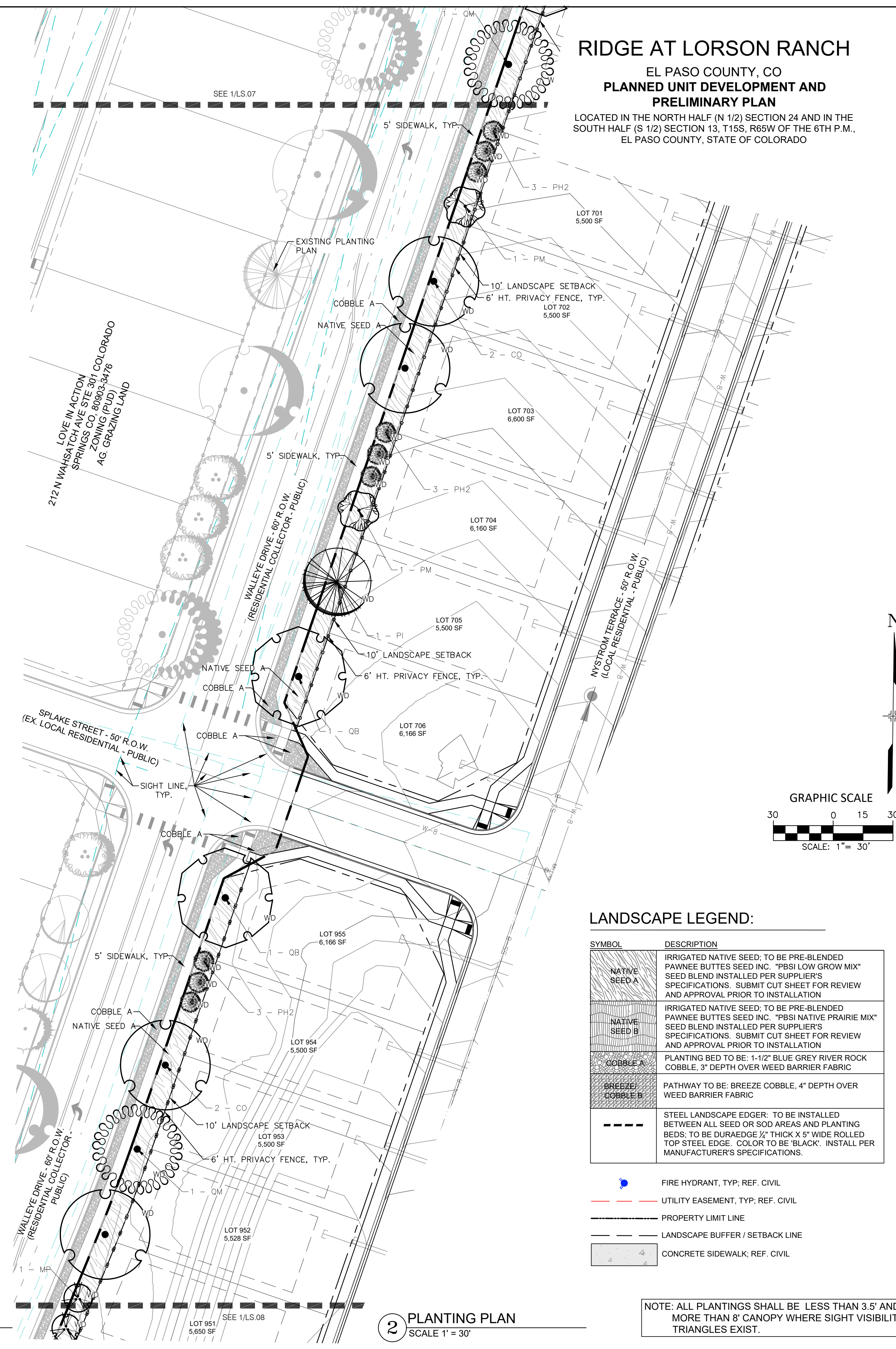
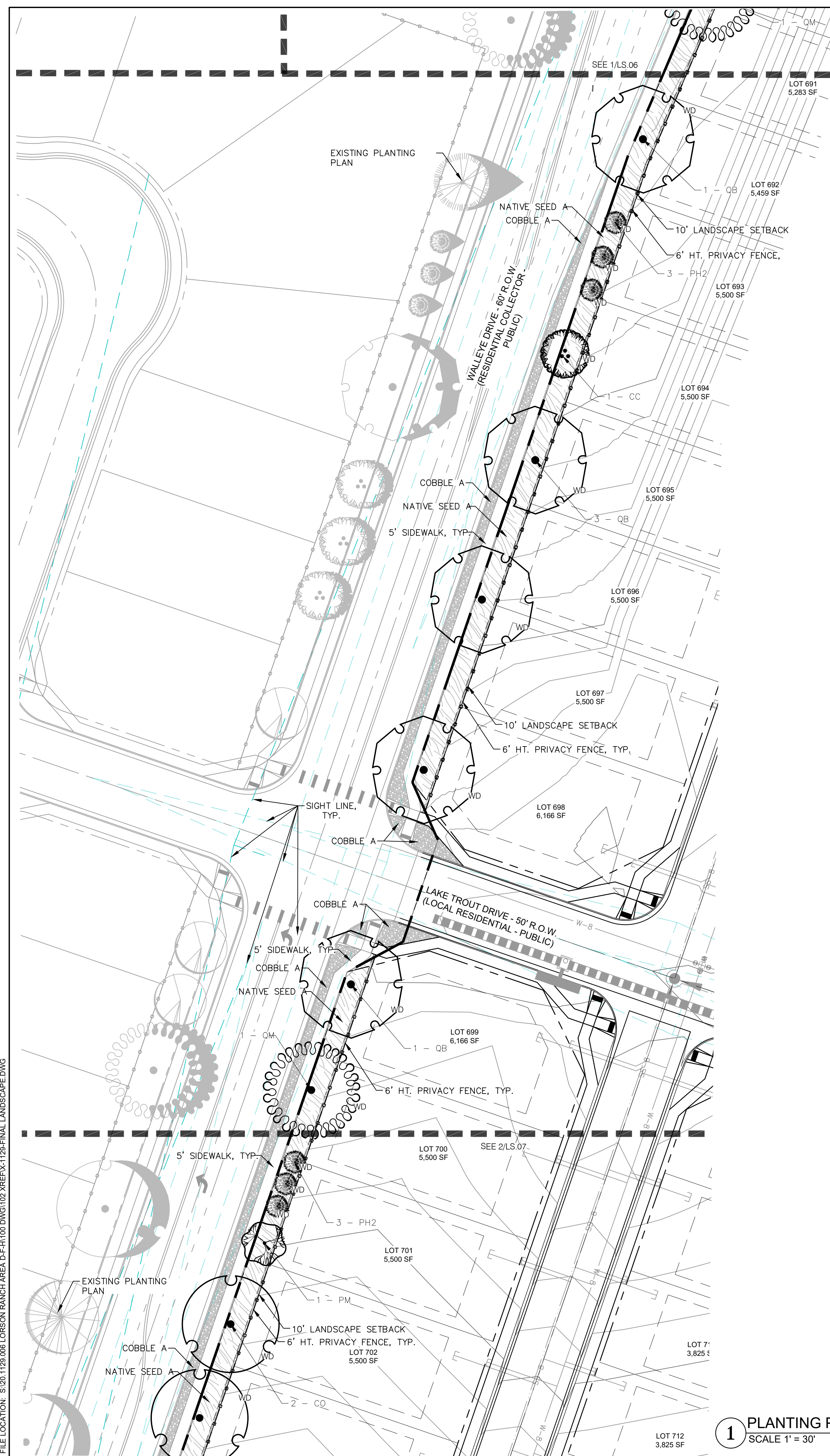
SHEET TITLE:

FINAL PLANTING
PLAN

LS06


SHEET 20 OF 27

PCD FILE NO.: PUDSP216



RIDGE AT LORSON RANCH

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:	
PLANNER/ LANDSCAPE ARCHITECT: 	2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208
CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55306 PHONE: (719) 570-1100	

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:

The map shows the intersection of Lone Star Blvd and Potomac Blvd. The project location is marked with a red 'X' at the intersection. The map includes a north arrow and a scale bar (0 to 1500 feet). Labels on the map include 'Lone Star Blvd', 'Potomac Blvd', '0', '1500', 'Feet', and 'LS049'.

PROJECT:	
RIDGE AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN	

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

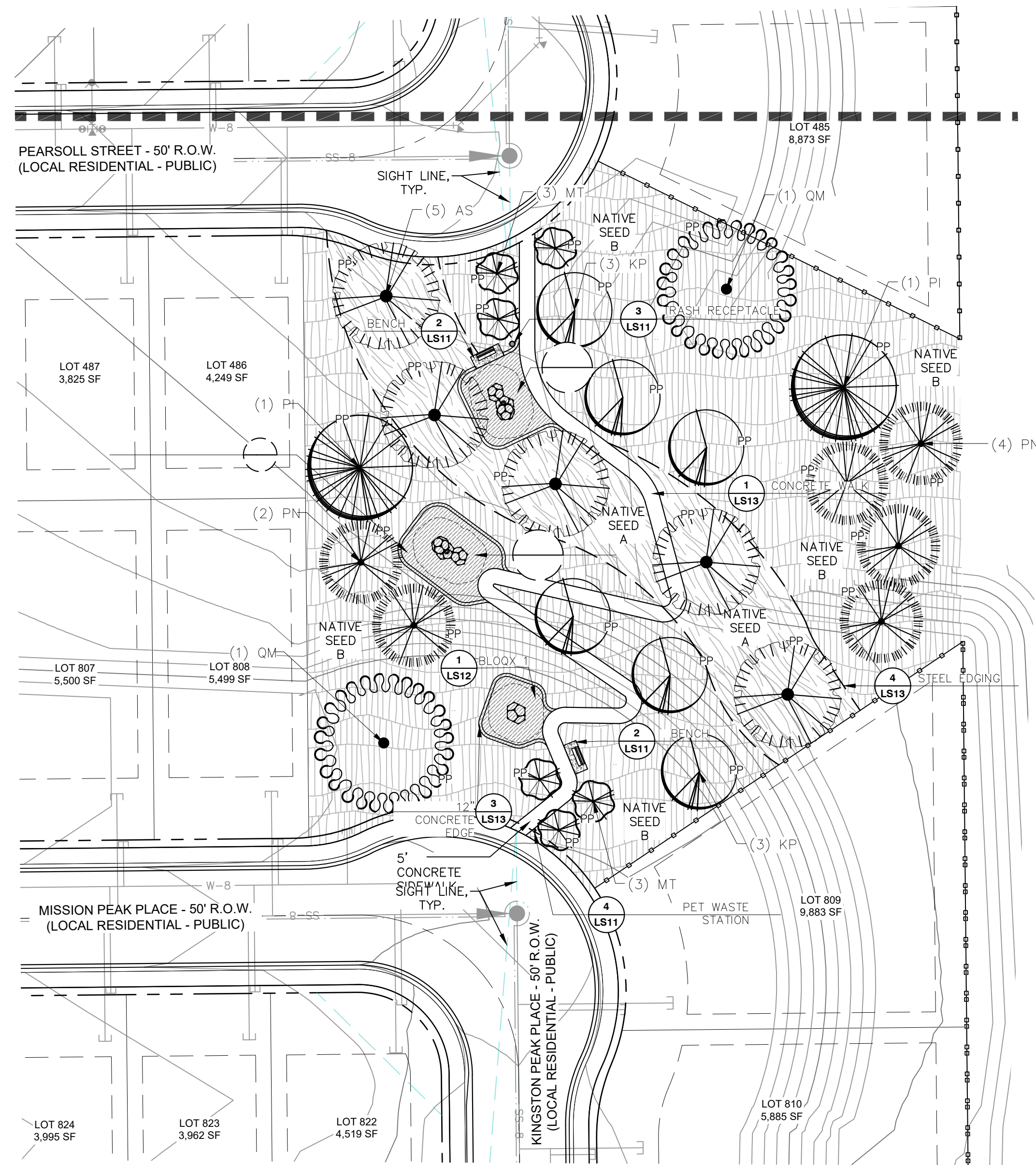
DRAWING INFORMATION:	
PROJECT NO:	20.1129.006
DRAWN BY:	SJC
CHECKED BY:	JRA
APPROVED BY:	JRA
SHEET TITLE:	

FINAL PLANTING PLAN

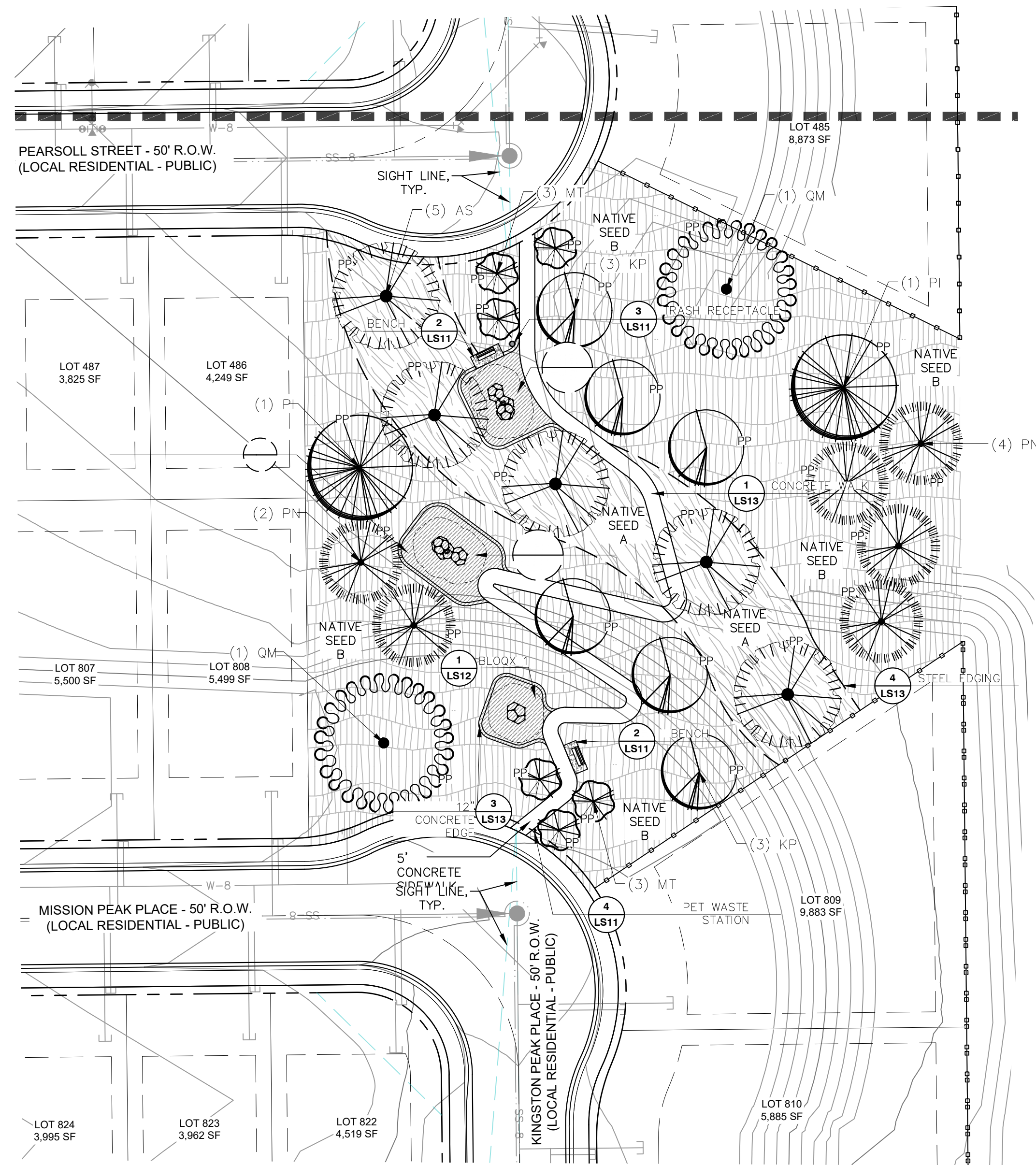
LS07

SHEET 21 OF 27

PCD FILE NO.: PUDSP216



2 PLANTING PLAN
SCALE 1' = 30'



2 PLANTING PLAN
SCALE 1' = 30'

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:	
--------------	--

PLANNER/ LANDSCAPE ARCHITECT:



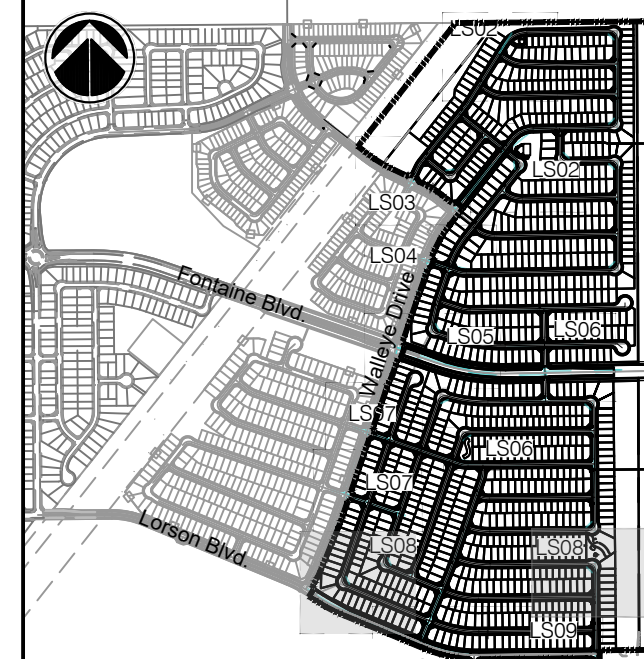
CIVIL ENGINEER:
CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX : (719) 575-0208

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO:	20.1129.006
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DRAWN BY: SJ

CHECKED BY: JR

APPROVED BY: .IR

SHEET TITLE:

FINAL PLANTING PLAN

LS08

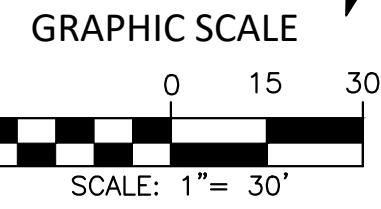
SHEET 22 OF 27

PCD FILE NO.: PUDSP216






EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

N 24 AND IN THE
OF THE 6TH P.M.,
RADO

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200



LANDSCAPE LEGEND:

 FIRE HYDRANT, TYP; REF. CIVIL
 UTILITY EASEMENT, TYP; REF. CIVIL
 PROPERTY LIMIT LINE
 LANDSCAPE BUFFER / SETBACK LINE
 CONCRETE SIDEWALK; REF. CIVIL

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.



PLANTING PLAN



NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

PROJECT NO:	20.1129.006
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DESIGNED BY:	200
CHECKED BY:	IRA

APPROVED BY: JNA

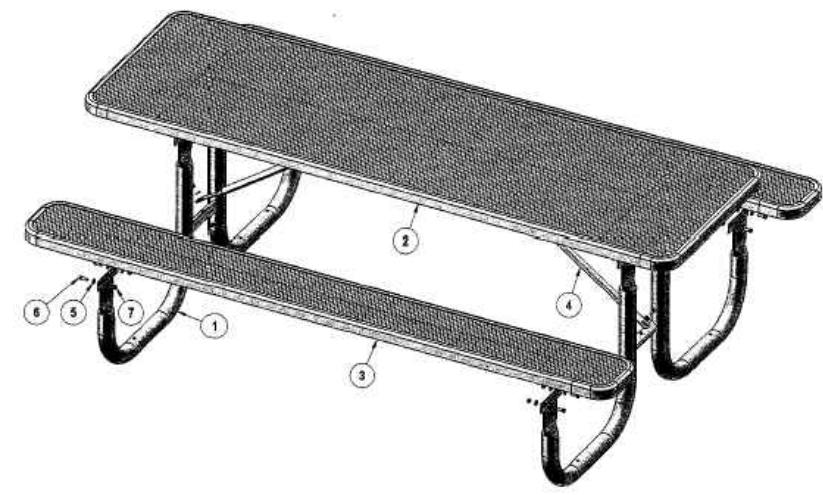
QUEST TITLE

FINAL PLANTING PLAN

LS09

SHEET 23 OF 27

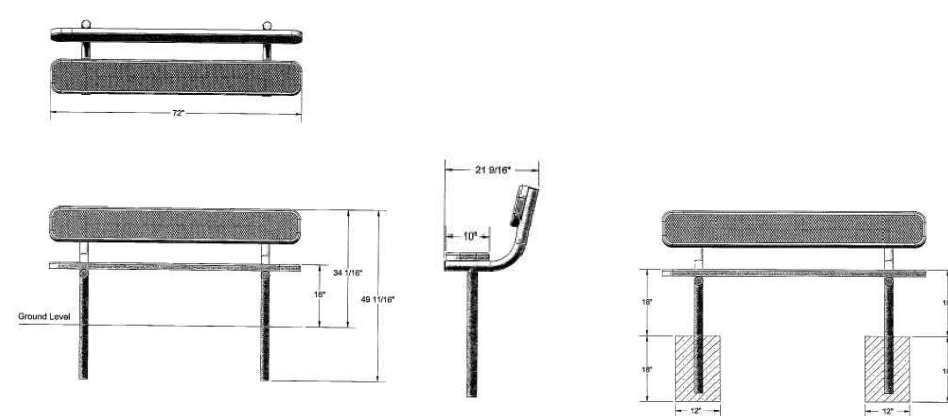
PCD FILE NO. PUDSP216



MANUFACTURER: ULTRA-SITE
PRODUCT: 238-EV8
COLOR: BY OWNER
MOUNTING: SURFACE MOUNT
WEBSITE: WWW.ULTRA-SITE.COM
PHONE: 800-458-5872

- NOTES:
1. TABLE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
2. OR APPROVED EQUAL

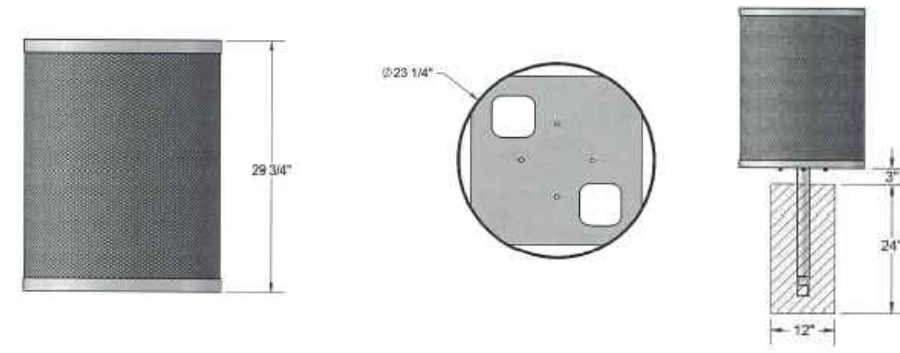
1 PICNIC TABLE
NTS MS-LR-03



MANUFACTURER: ULTRA-SITE
PRODUCT: 940S-EV6
COLOR: BY OWNER
MOUNTING: IN-GROUND
WEBSITE: WWW.ULTRA-SITE.COM
PHONE: 800-458-5872

- NOTES:
1. BENCH TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

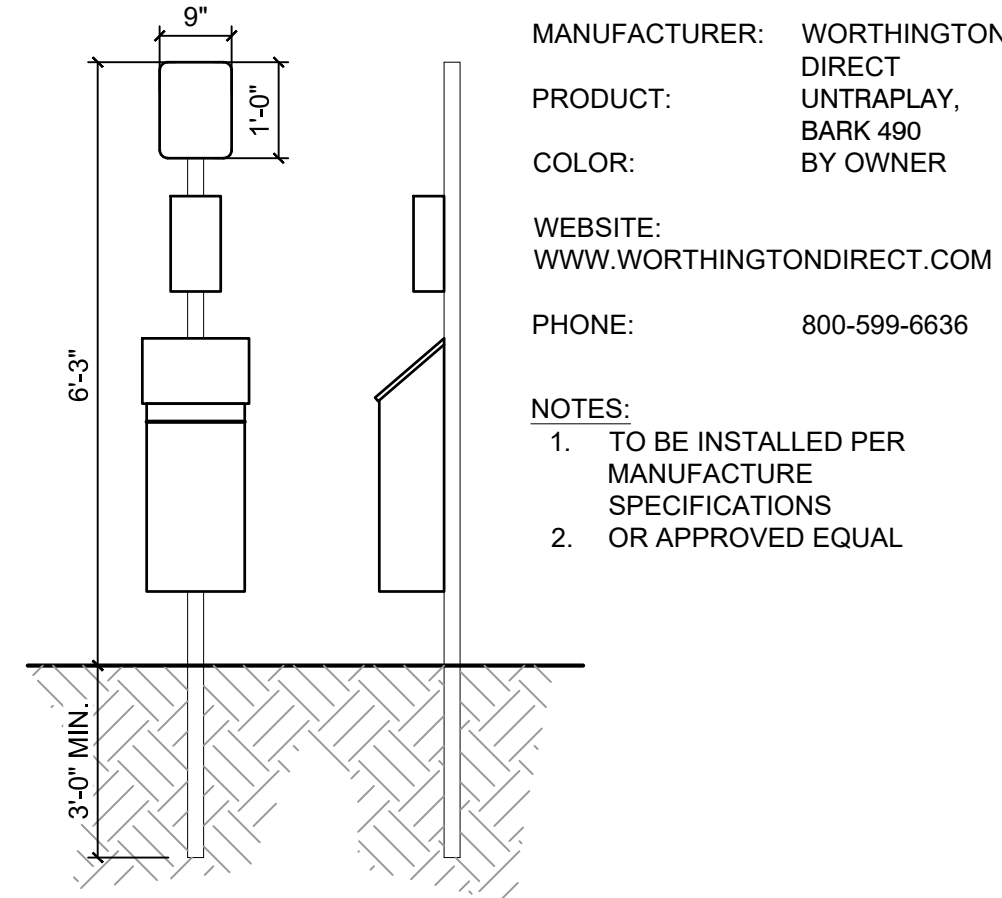
2 BENCH
NTS MS-LR-04



MANUFACTURER: ULTRA-SITE
PRODUCT: EX-32
COLOR: BY OWNER
MOUNTING: IN-GROUND
WEBSITE: WWW.ULTRA-SITE.COM
PHONE: 800-458-5872

- NOTES:
1. TRASH RECEPTACLE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
2. OR APPROVED EQUAL

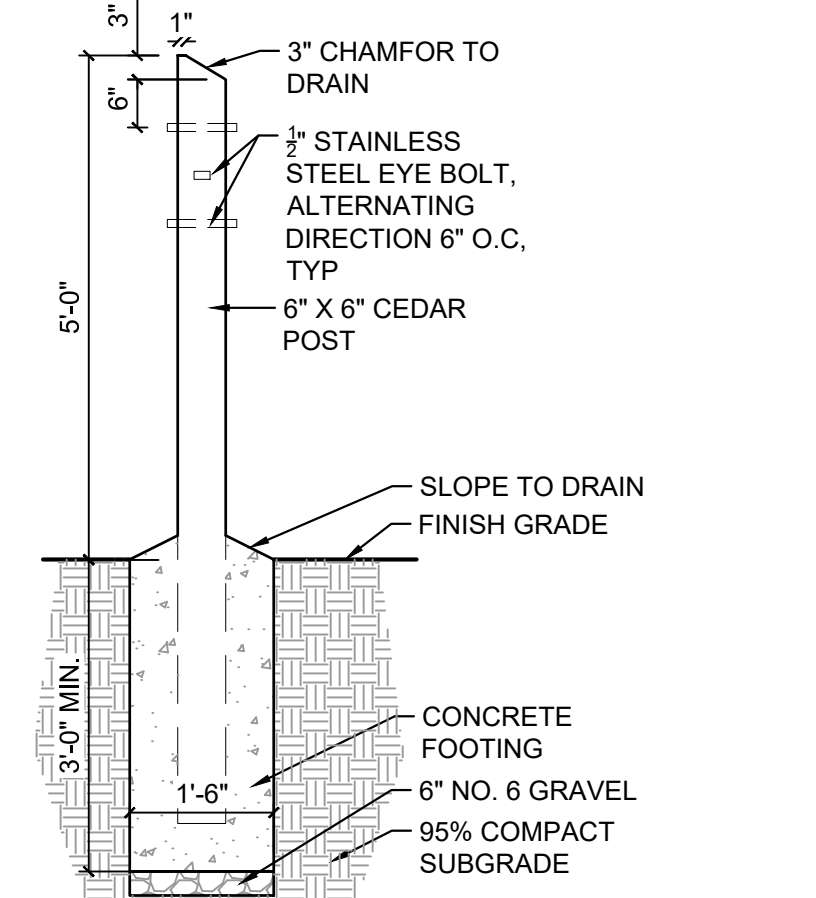
3 TRASH RECEPTACLE
NTS MS-LR-05



MANUFACTURER: WORTHINGTON DIRECT
PRODUCT: UNTRAPLAY, BARK 490 BY OWNER
COLOR: BY OWNER
WEBSITE: WWW.WORTHINGTONDIRECT.COM
PHONE: 800-599-6636

- NOTES:
1. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
2. OR APPROVED EQUAL

4 PET WASTE STATION
NTS MS-TAR-24

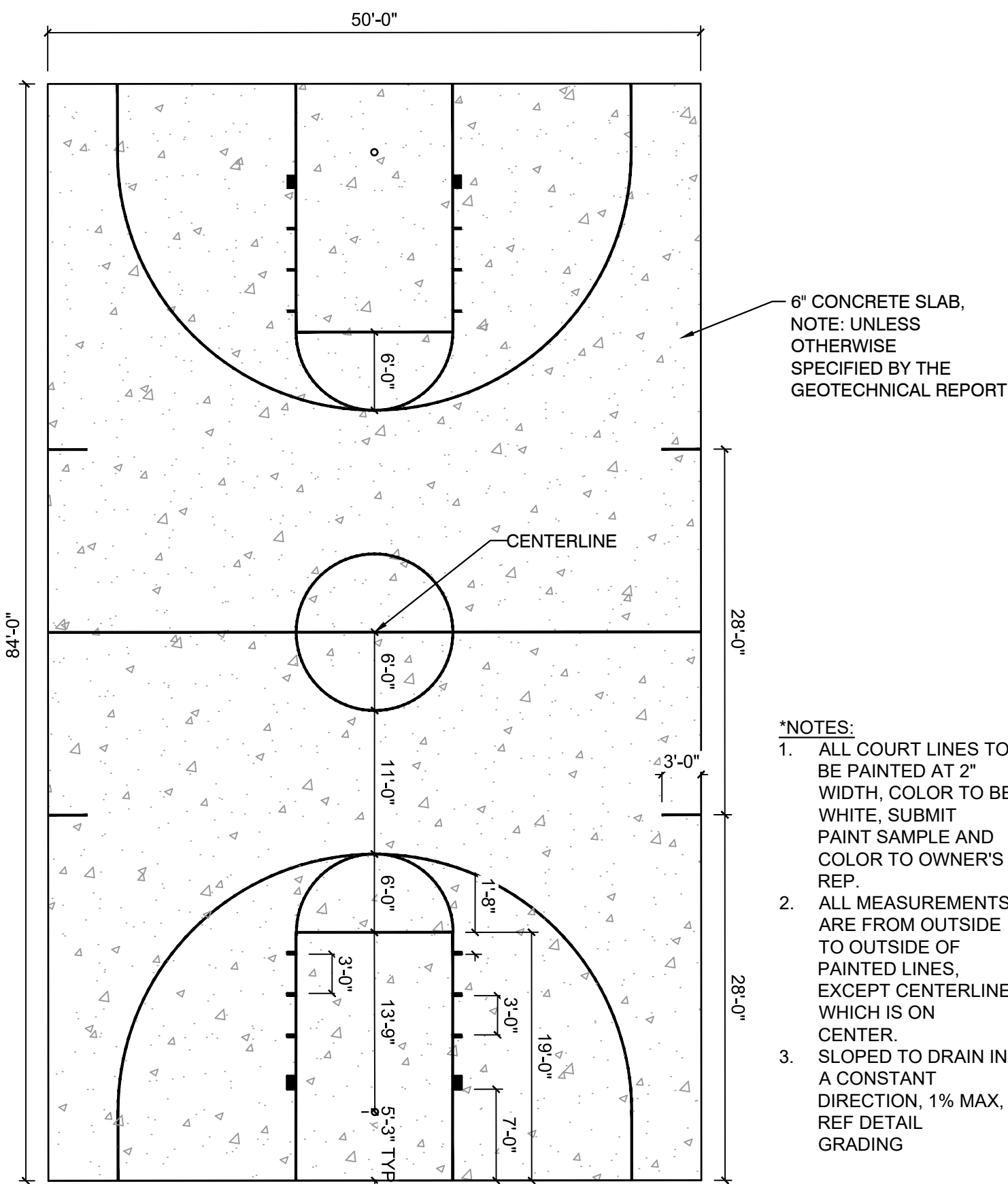


5 HAMMOCK POST
NTS MS-LR-08

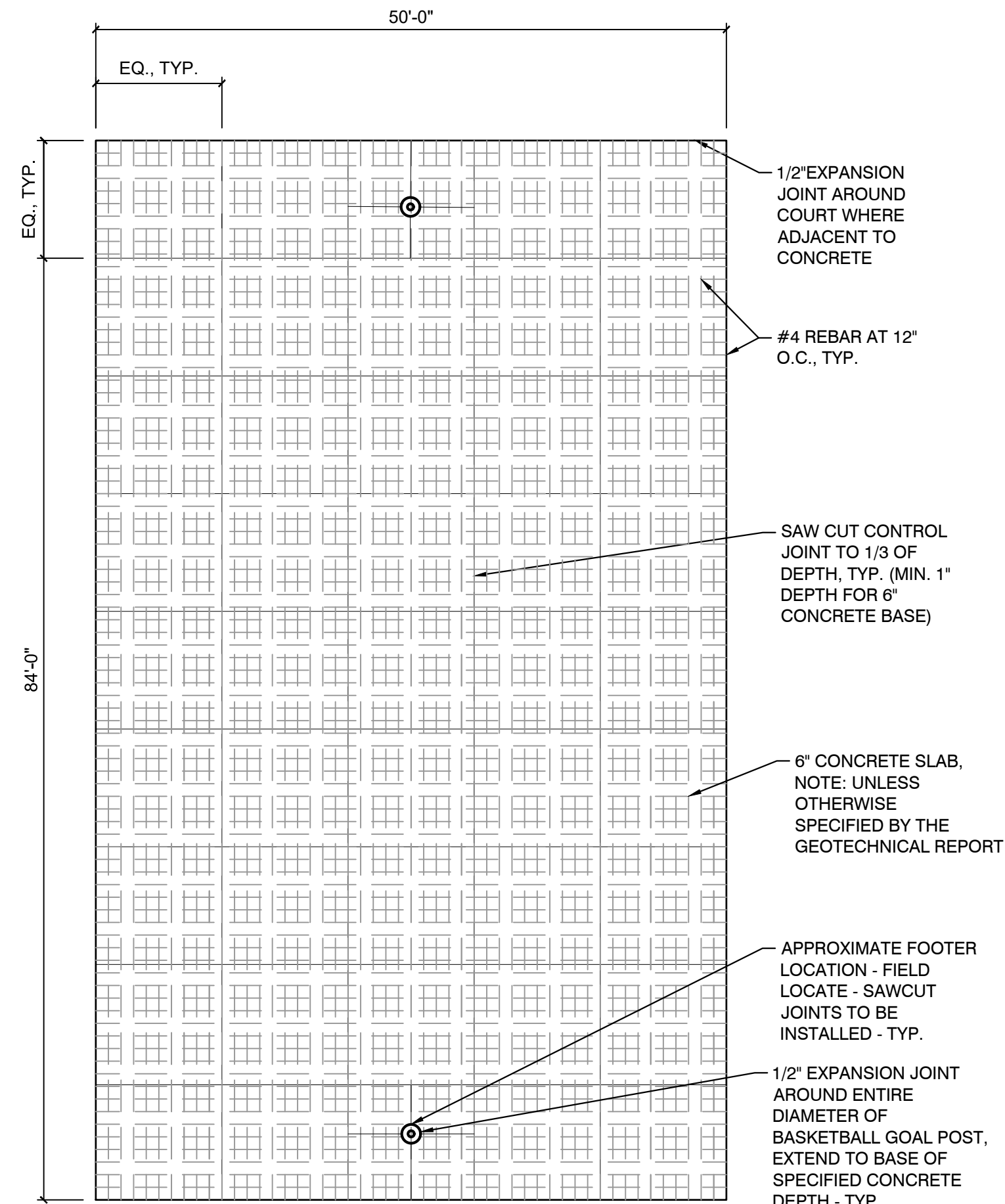
RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

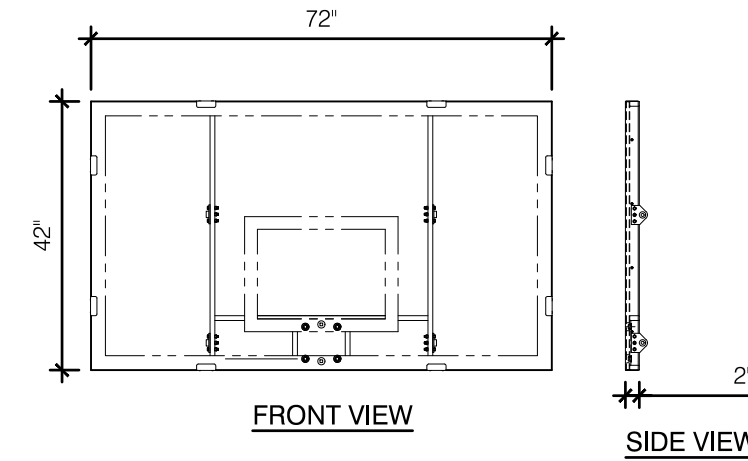


7 BASKETBALL COURT
NTS MS-STD-GM-01



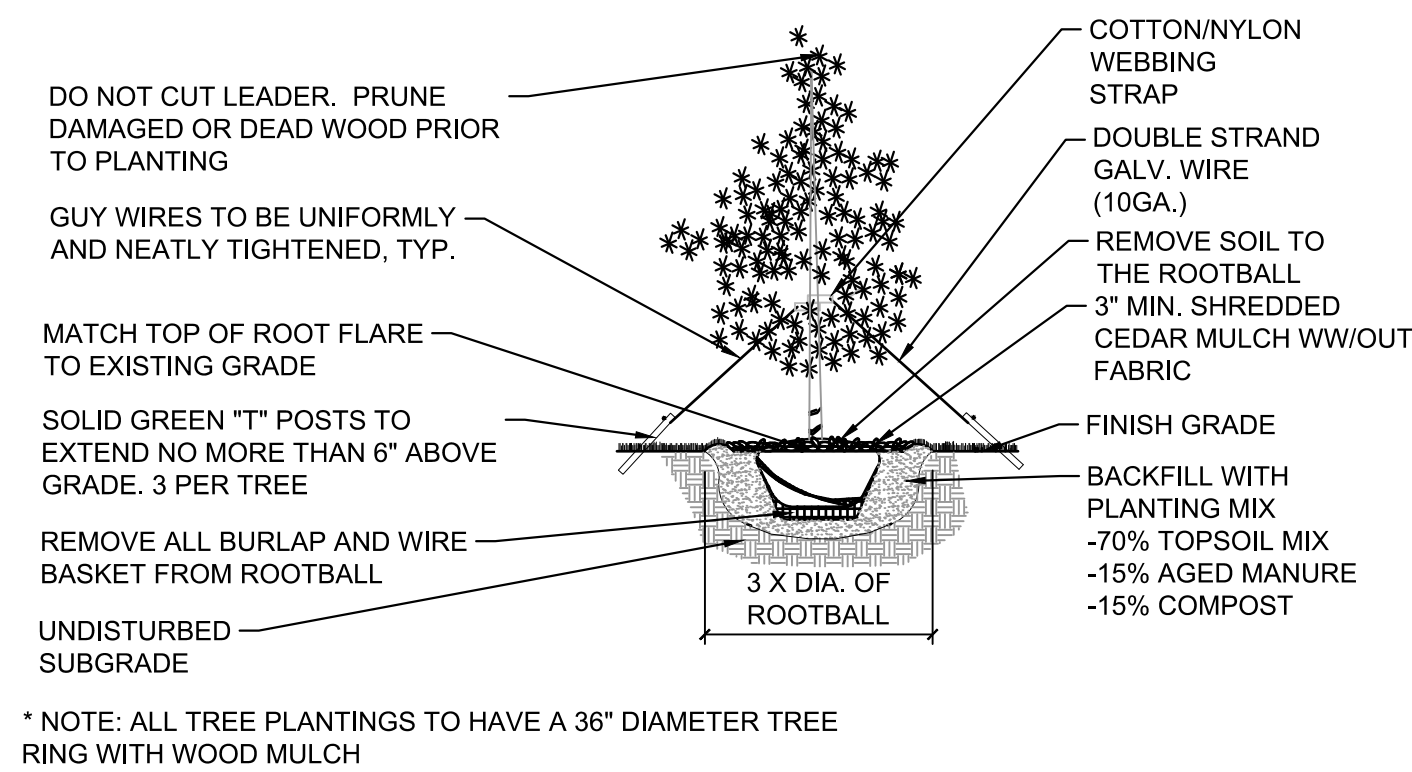
8 BASKETBALL COURT PAVEMENT PLAN
NTS MS-STD-GM-02

- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS



MANUFACTURER: SPALDING
PRODUCT: ARENA VIEW SERIES 72" ACRYLIC FIXED HT.
MOUNTING: IN-GROUND BASKETBALL HOOP
WEBSITE: WWW.SPALDING.COM
PHONE: 800.435.3865

6 BASKETBALL HOOP BACK
NTS



9 EVERGREEN TREE
NTS

CONSULTANTS:

PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300, COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206

CIVIL ENGINEER: CORE ENGINEERING GROUP
15004 1ST AVENUE S.
BURNSVILLE, MN 55308
PHONE: (719) 570-1100

OWNER/DEVELOPER: **LORSON LLC ET/ AL**
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:

PROJECT: **RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN**

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	04 / 19 / 2021	FIRST SUBMITTAL	RAF
1	07 / 23 / 2021	SECOND SUBMITTAL	RAF
2	09 / 29 / 2021	THIRD SUBMITTAL	RAF
3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

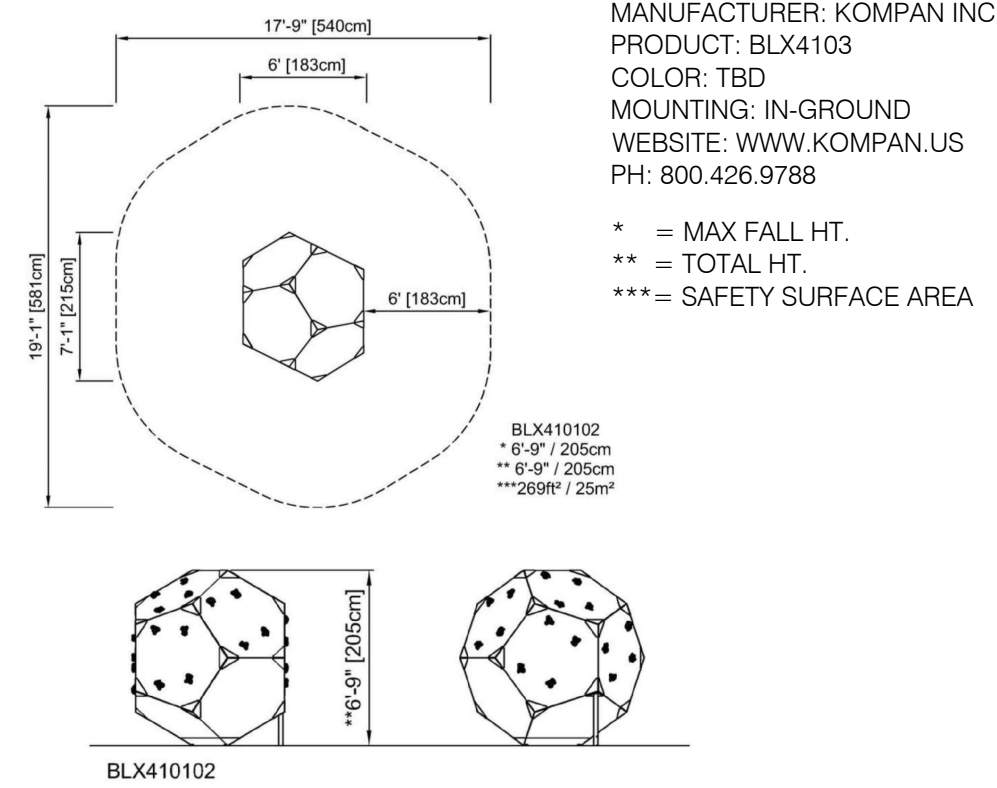
**PLAYGROUND &
SITE DETAILS**

LS11

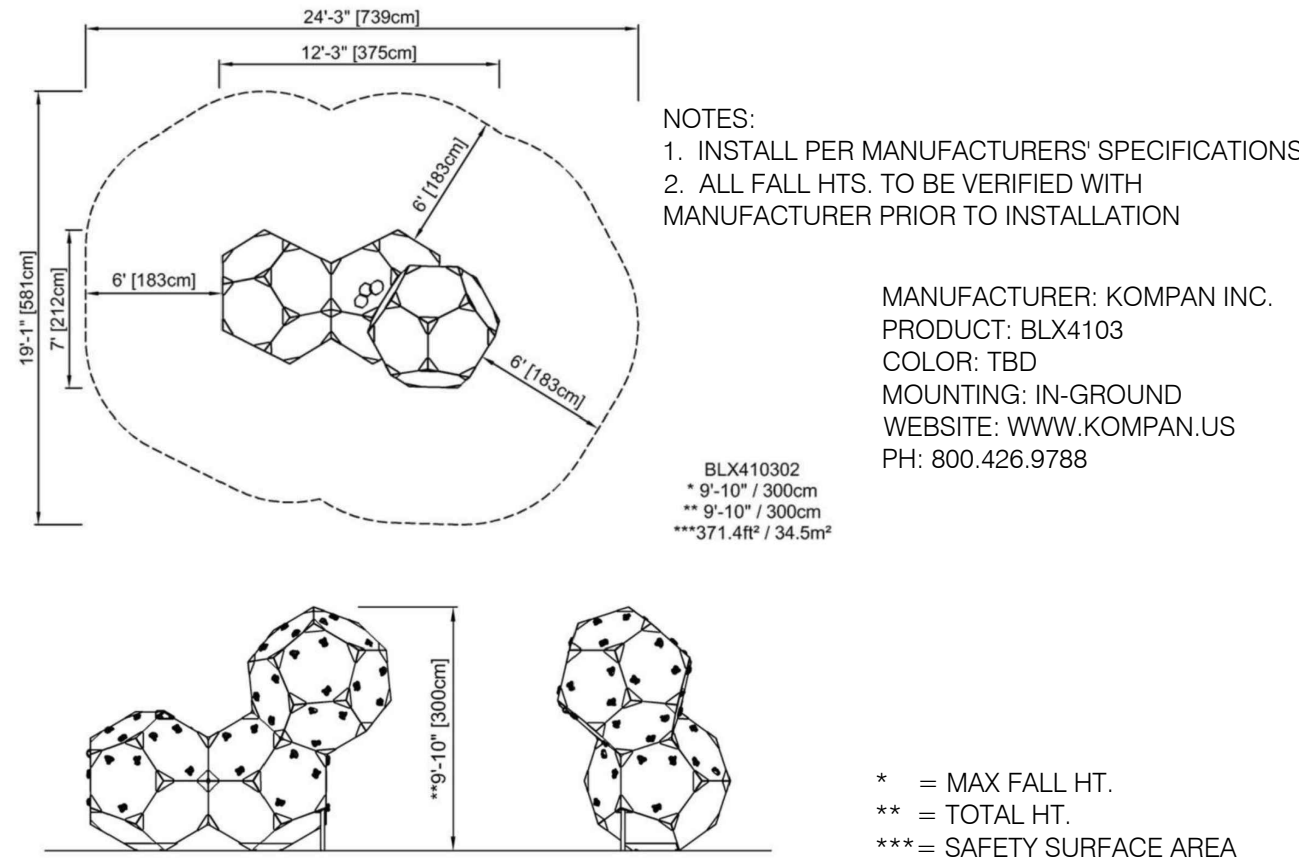
SHEET 25 OF 27

PCD FILE NO.: PUDSP216

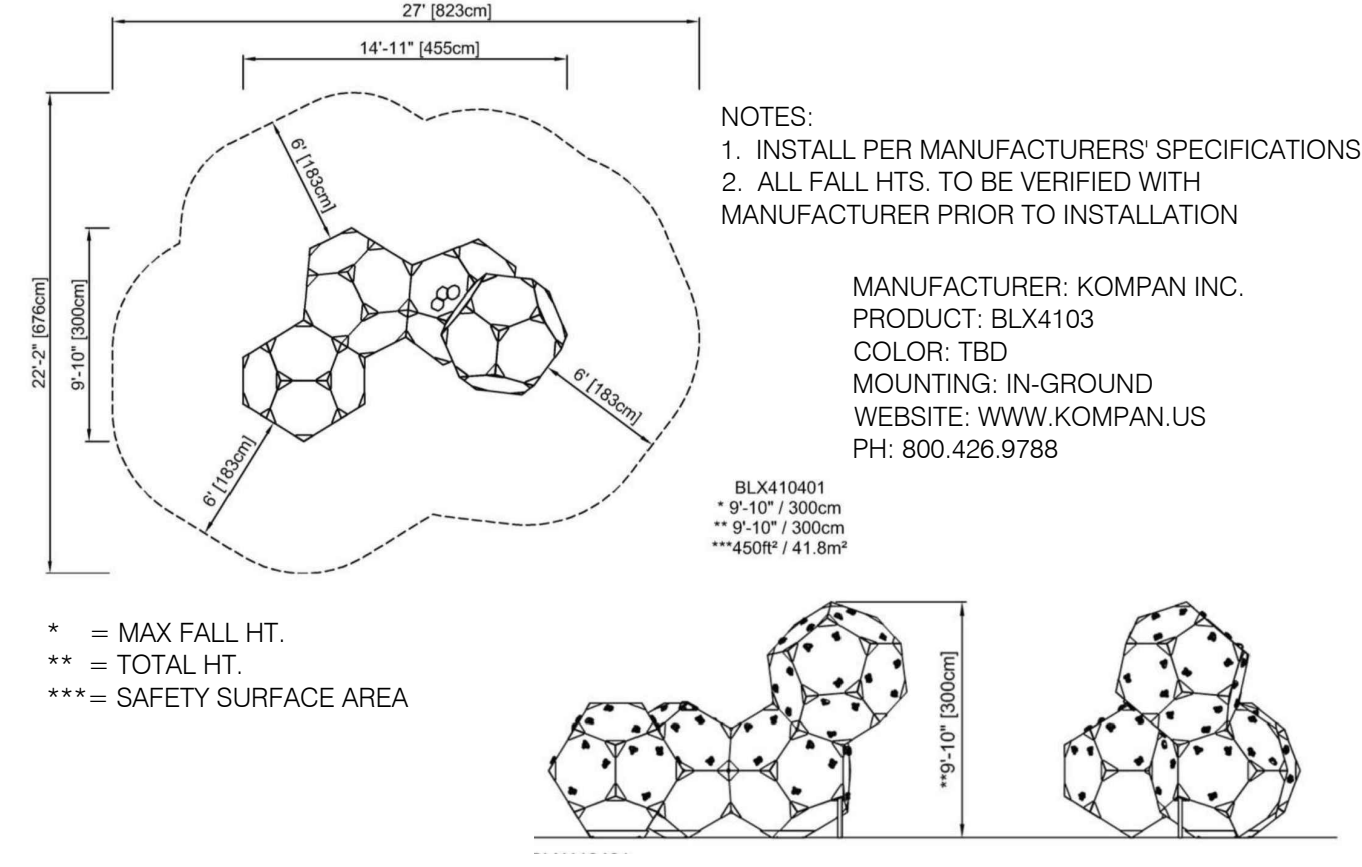
- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION



1 BLOQX 1
NTS



2 BLOQX 3
NTS

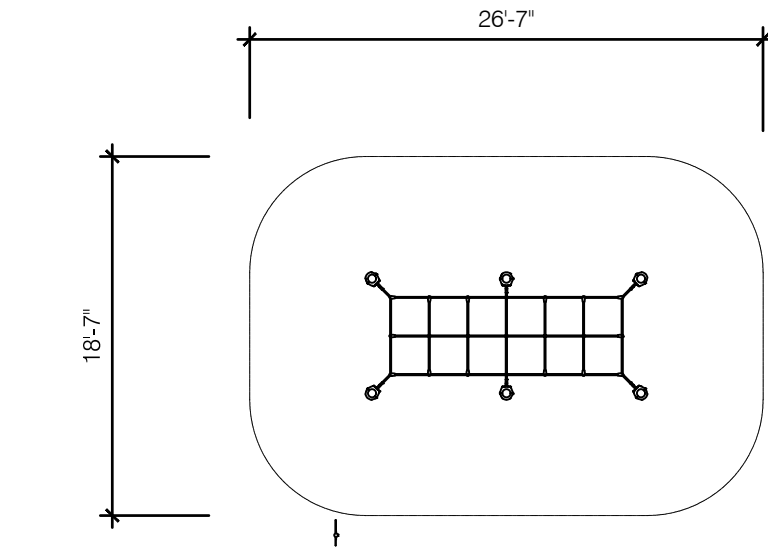


3 BLOQX 4
NTS

- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: 243016 A-FRAME CARGO
COLOR: TBD
MOUNTING: IN-GROUND
WEBSITE: WWW.PLAYSI.COM
PH: 888.438.6574

118" = MAX FALL HT.
495 SQFT = SAFETY SURFACE AREA

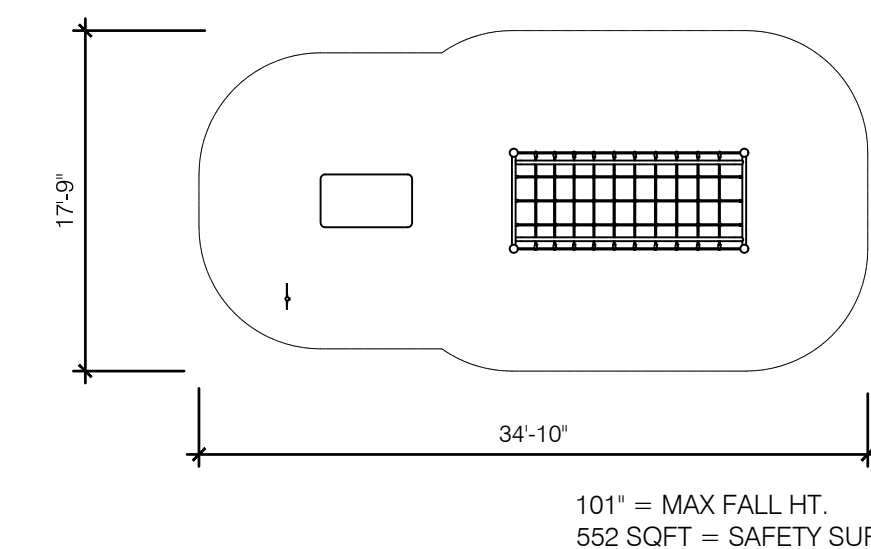


4 A-FRAME CARGO
NTS

- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: 234190 JUMP HANG
COLOR: TBD
MOUNTING: IN-GROUND
WEBSITE: WWW.PLAYSI.COM
PH: 888.438.6574

101" = MAX FALL HT.
552 SQFT = SAFETY SURFACE AREA

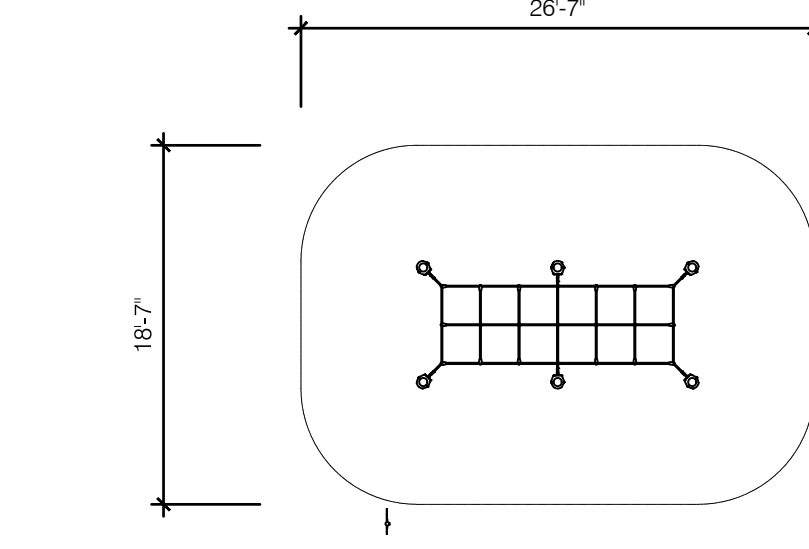


5 JUMP HANG
NTS

- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: 244201 HIGH STEP
COLOR: TBD
MOUNTING: IN-GROUND
WEBSITE: WWW.PLAYSI.COM
PH: 888.438.6574

11" = MAX FALL HT.
465 SQFT = SAFETY SURFACE AREA

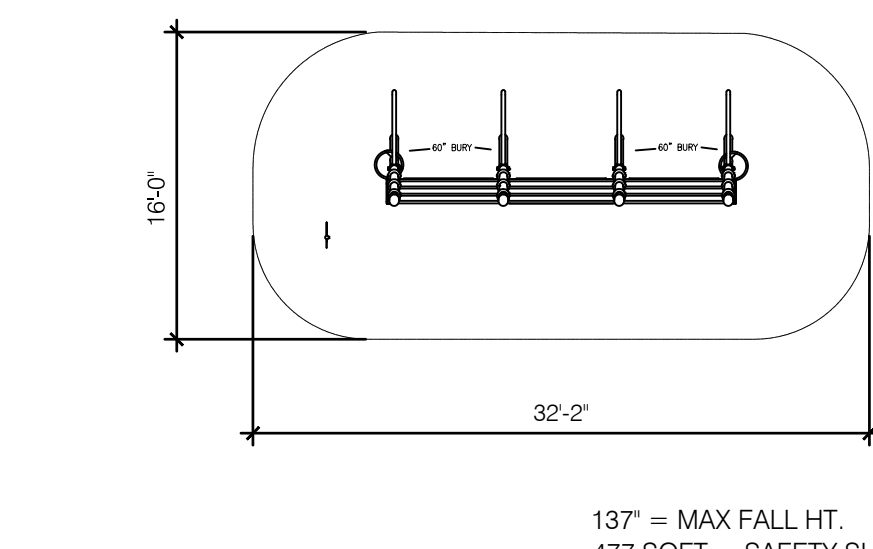


6 HIGH STEP
NTS

- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION

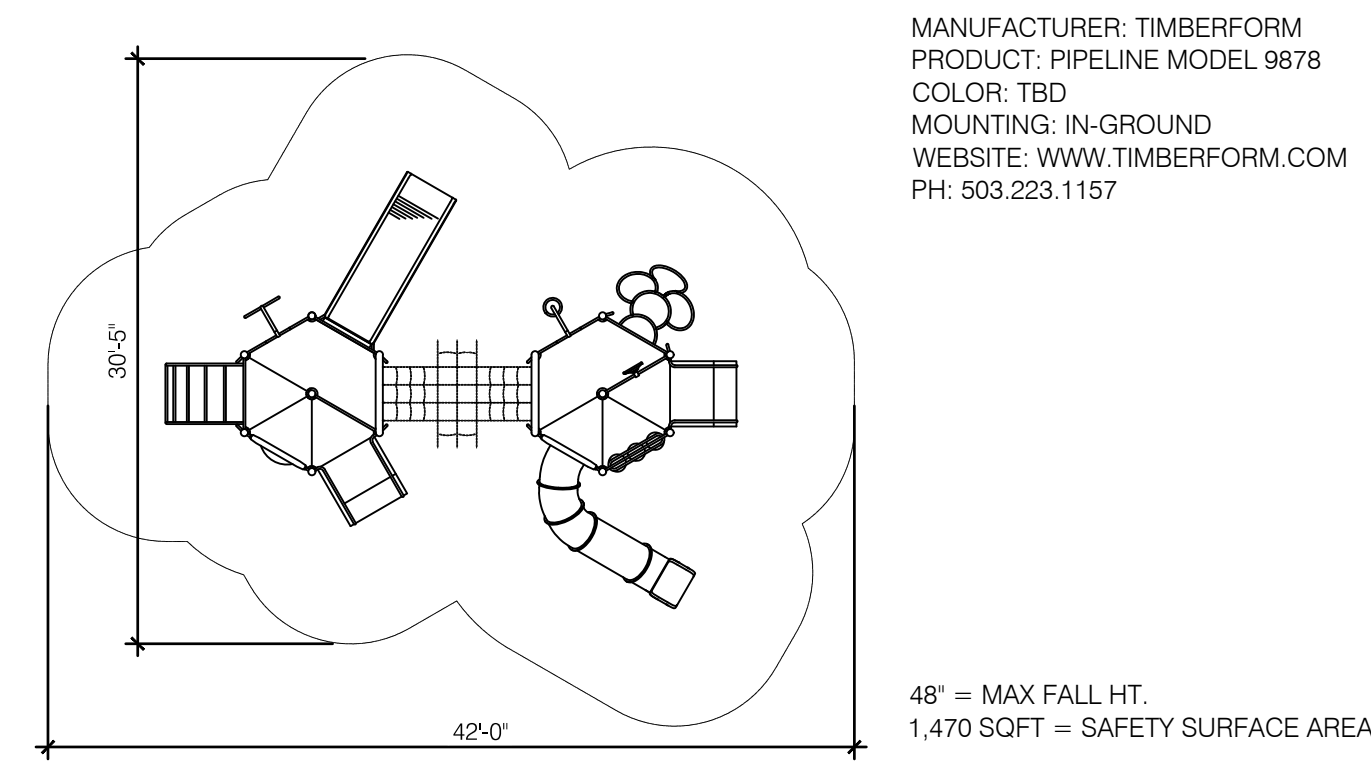
MANUFACTURER: LANDSCAPE STRUCTURES
PRODUCT: 243778 LEDGE HANGER
COLOR: TBD
MOUNTING: IN-GROUND
WEBSITE: WWW.PLAYSI.COM
PH: 888.438.6574

137" = MAX FALL HT.
477 SQFT = SAFETY SURFACE AREA



7 LEDGE HANGER
NTS

- NOTES:
1. INSTALL PER MANUFACTURERS' SPECIFICATIONS
 2. ALL FALL HTS. TO BE VERIFIED WITH MANUFACTURER PRIOR TO INSTALLATION



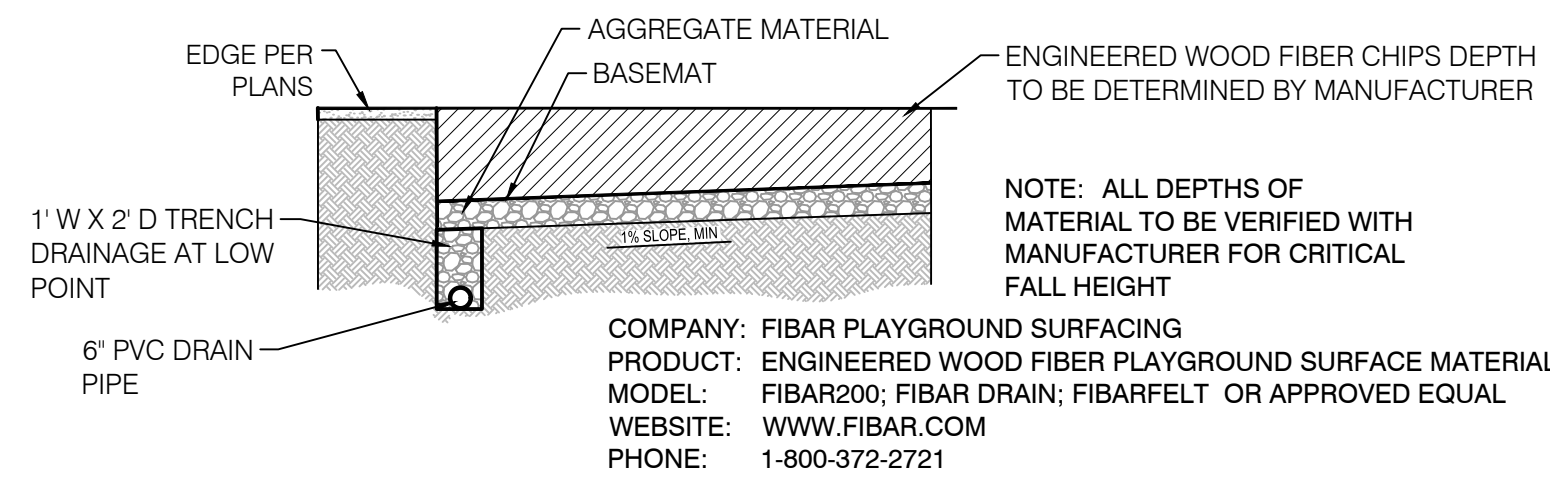
8 PIPELINE PLAY STRUCTURE 9878
NTS

GENERAL NOTES:

1. INSTALL DRAINAGE SYSTEM PER MANUFACTURER'S SPECIFICATIONS.
2. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. CONTRACTOR TO VERIFY FINISHED GRADES PRIOR TO INSTALLATION PER FIBAR WOOD CHIPS DEPTH AS RECOMMENDED PER MANUFACTURER'S SPECIFICATIONS.
4. PROVIDE DRAINAGE TRENCH AND PVC DRAIN PIPE AS REQUIRED FOR PROPER DRAINAGE.

PLAYGROUND NOTES:

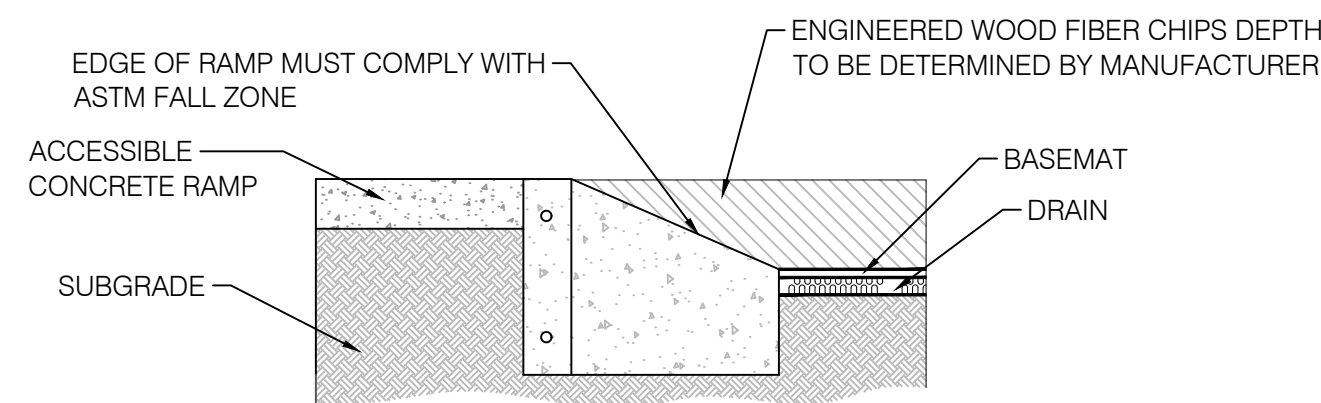
1. ALL PLAY EQUIPMENT AND SITE FURNITURE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. PLAYGROUND SURFACE MATERIAL TO BE ENGINEERED WOOD CHIPS, DEPTH AND INSTALLATION PER MANUFACTURER'S SPECIFICATION.
3. CONTRACTOR TO PROVIDE PROPER DRAINAGE OF PLAYGROUND AREA PER MANUFACTURER'S SPECIFICATIONS.
4. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ALL EQUIPMENT PRIOR TO INSTALLATION.



9 ENGINEERED WOOD FIBAR WITH DRAINAGE
NTS

GENERAL NOTES:

1. INSTALL DRAINAGE SYSTEM PER MANUFACTURER'S SPECIFICATIONS.
2. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. CONTRACTOR TO VERIFY FINISHED GRADES PRIOR TO INSTALLATION PER FIBAR WOOD CHIPS DEPTH AS RECOMMENDED PER MANUFACTURER'S SPECIFICATIONS



COMPANY: FIBAR PLAYGROUND SURFACING
PRODUCT: FIBAR WHEELCHAIR ACCESS RAMP
PHONE: 1-800-372-2721
WEBSITE: WWW.FIBAR.COM
MODEL: HALF RAMP

NOTE: ALL DEPTHS OF MATERIAL TO BE VERIFIED WITH MANUFACTURER FOR CRITICAL FALL HEIGHT

10 FIBAR RAMP SYSTEM
NTS

RIDGE AT LORSON RANCH

EL PASO COUNTY, CO PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:

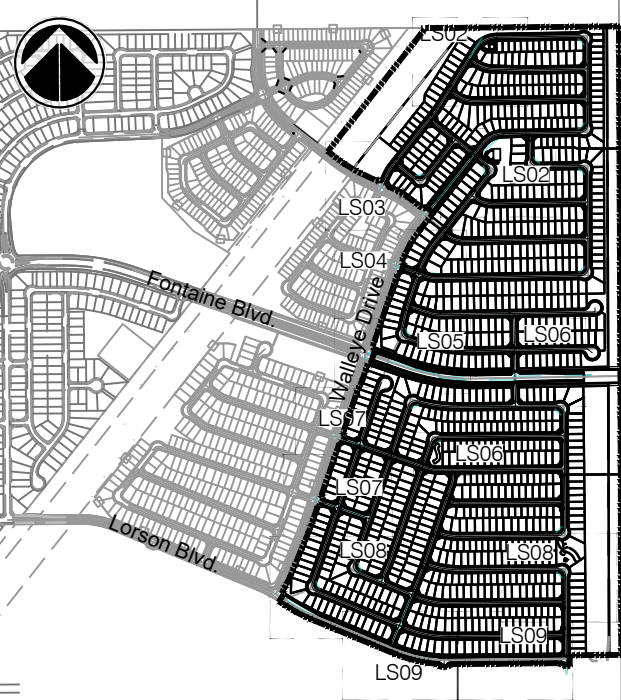
PLANNER/ LANDSCAPE ARCHITECT: **Matrix** 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0206

CIVIL ENGINEER: CORE ENGINEERING GROUP 15004 1ST AVENUE S. BURNSVILLE, MN 55308 PHONE: (719) 570-1100

OWNER/DEVELOPER:

LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
COLORADO SPRINGS, CO 80903
(719) 635-3200

VICINITY MAP:



PROJECT:

RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
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3	11 / 06 / 2021	FOURTH SUBMITTAL	RAF

DRAWING INFORMATION:

PROJECT NO.: 20.1129.006

DRAWN BY: SJC

CHECKED BY: JRA

APPROVED BY: JRA

SHEET TITLE:

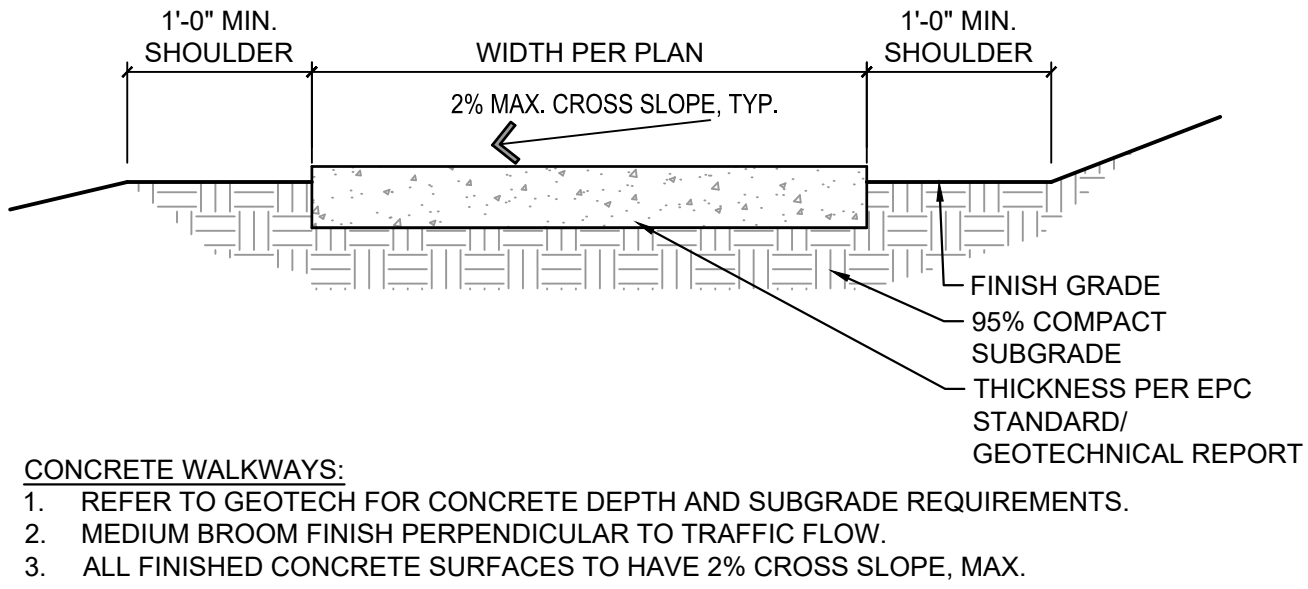
PLAYGROUND DETAILS

LS12

SHEET 26 OF 27

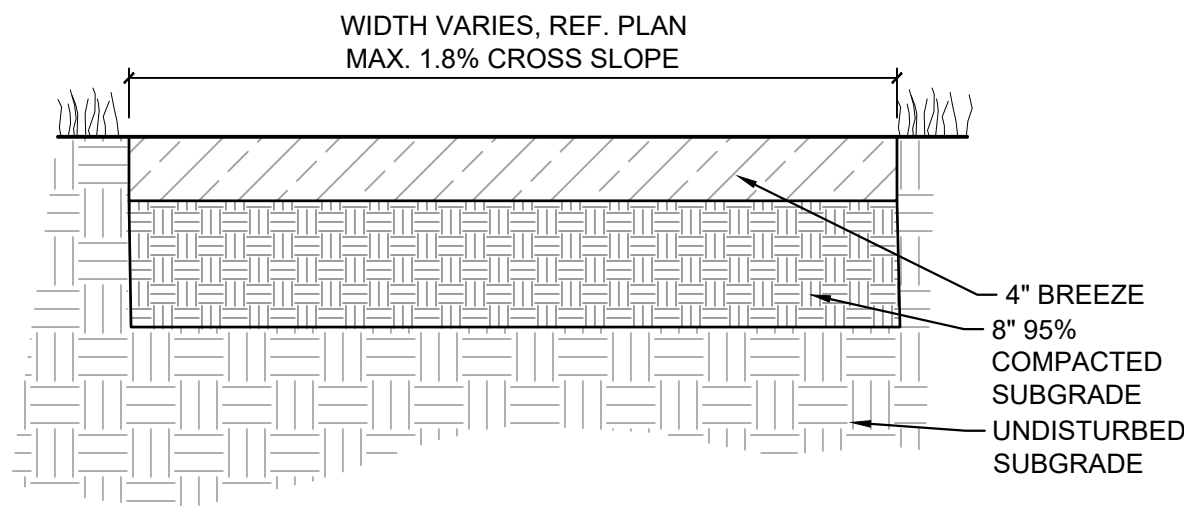
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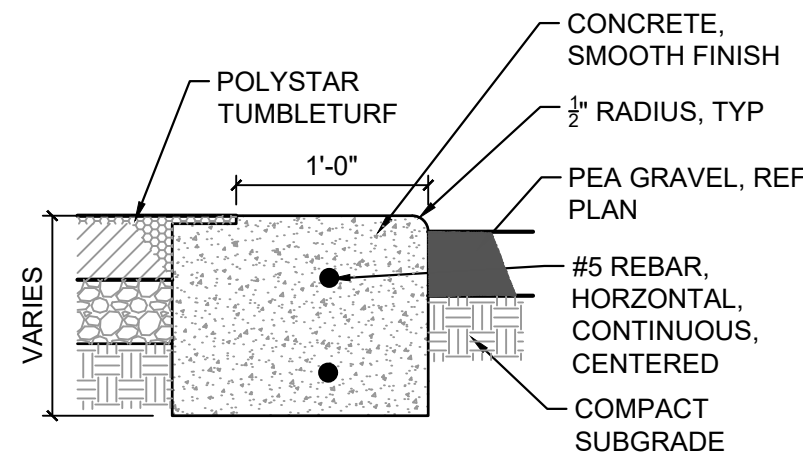


CONCRETE WALKWAYS:
1. REFER TO GEOTECH FOR CONCRETE DEPTH AND SUBGRADE REQUIREMENTS.
2. MEDIUM BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW.
3. ALL FINISHED CONCRETE SURFACES TO HAVE 2% CROSS SLOPE, MAX.

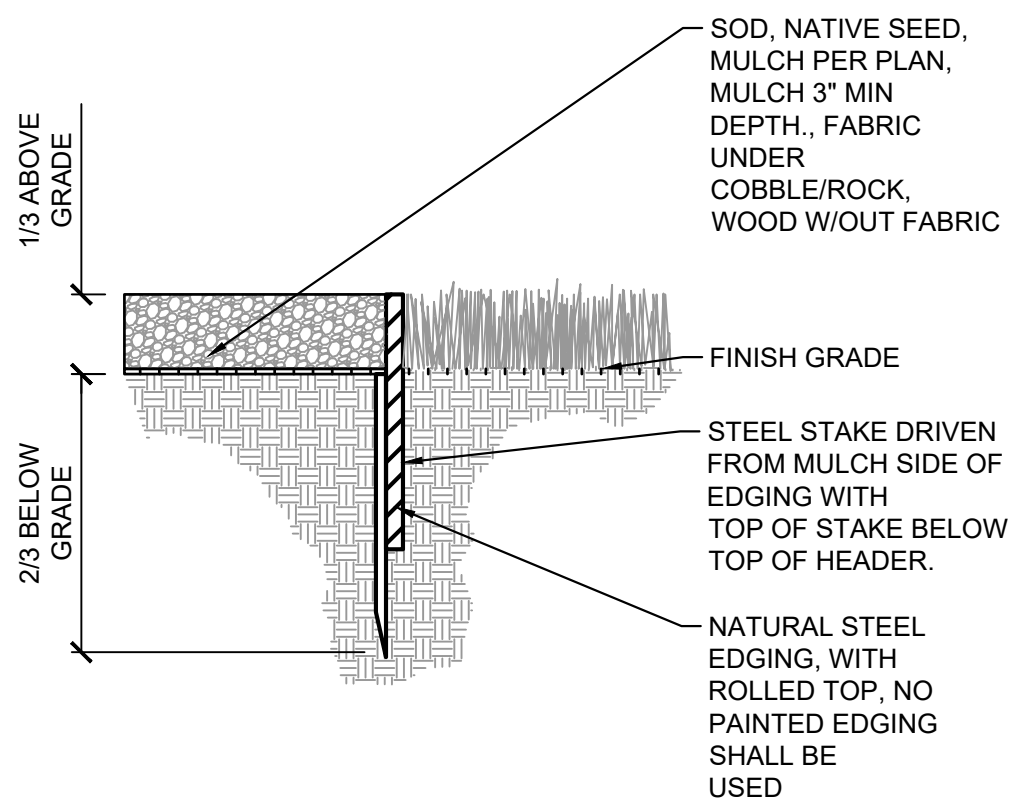
1 CONCRETE WALK
NTS MS-STD-PV-05



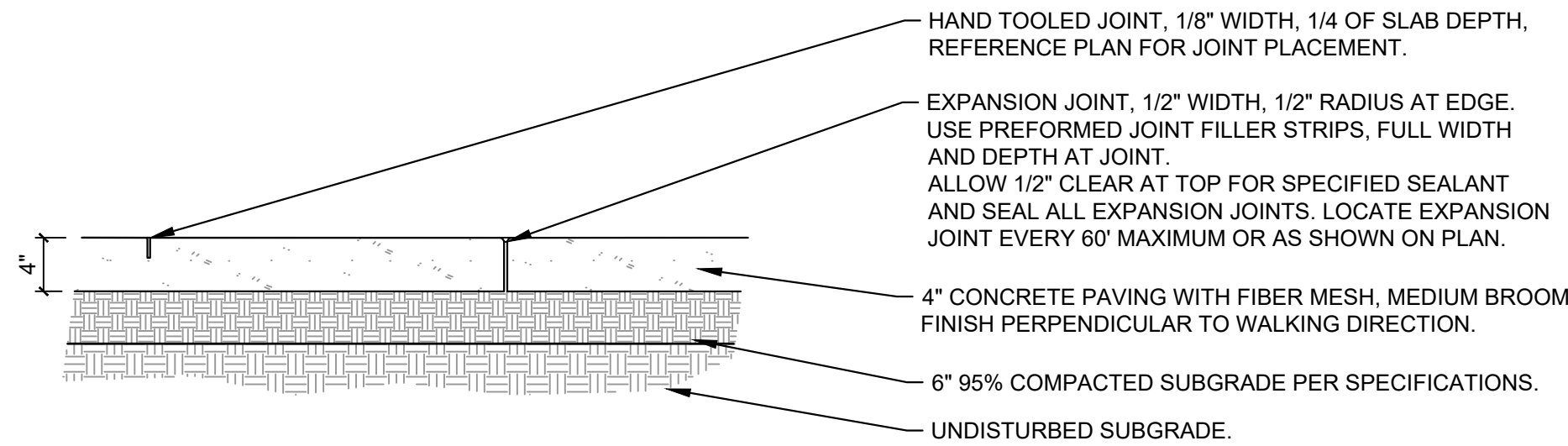
2 BREEZE PATH
NTS MS-STD-PV-02



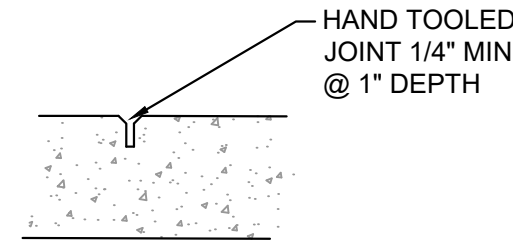
3 12" CONCRETE EDGE
NTS MS-TAR-40



4 STEEL EDGING
NTS MS-STD-LS-12

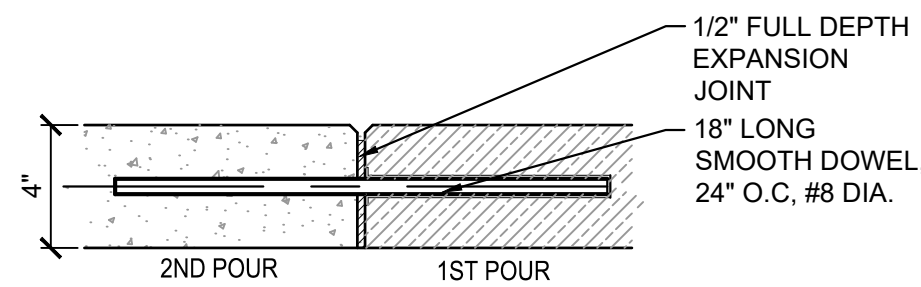


5 4" CONCRETE
NTS MS-STD-PV-04



NOTES:
1. AFTER PRELIMINARY TROWELING, CONCRETE SHALL BE SCORED WITH A STRAIGHT EDGE TO A DEPTH OF 1" @ 10' O.C. MAXIMUM SPACING.

6 CONCRETE CONTROL JOINT
NTS MS-STD-PV-06



NOTES:
1. POLYURETHANE CAULKING TO MATCH CONCRETE COLOR.
2. 1/2" PREMOLD FIBER EXPASION JOINT @ 50' O.C. MAX SPACING.
3. ALL FINISH SURFACES TO DRAIN AT 2% CROSS SLOPE, TYPICAL.
4. 90% COMPACTED SUBGRADE

7 CONCRETE EXPANSION JOINT
NTS MS-STD-PV-07

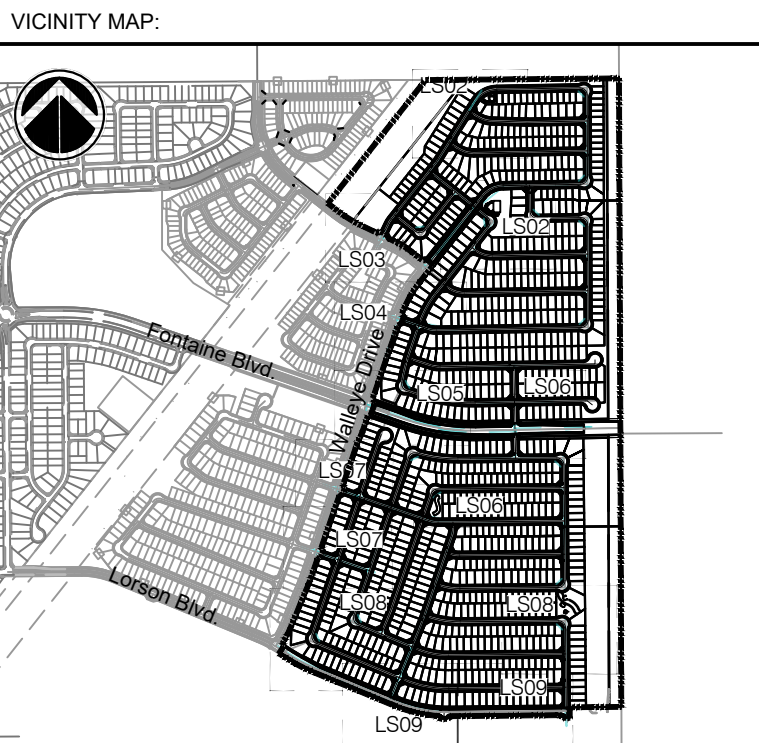
RIDGE AT LORSON RANCH

EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE
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EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:
PLANNER/ LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY,
SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0206
CIVIL ENGINEER:
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15004 1ST AVENUE S.
BURNSVILLE, MN 55306
PHONE: (719) 570-1100

OWNER/DEVELOPER:
LORSON LLC ET/ AL
212 N. WAHSATCH DR., SUITE 301
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(719) 635-3200



PROJECT:
RIDGE AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
FIFTH SUBMITTAL: DECEMBER 09, 2021

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DRAWING INFORMATION:
PROJECT NO.: 20.1129.006
DRAWN BY: SJC
CHECKED BY: JRA
APPROVED BY: JRA
SHEET TITLE:

SITE DETAILS

LS13

SHEET 27 OF 27

PCD FILE NO.: PUDSP216