

Colorado Springs, CO

Planning and Development
30 S. Nevada Ave., Suite 701
Colorado Springs, CO 80903



Final Report - Corrections Required **Application No. DEPN-26-0063**

Report Date: 06/04/2026

Description : Single Family Detached residential development located north of New Life Drive in the Flying Horse Master Plan

Address : 0 tbd

Record Type : Development Plans

Document Filename : DP Creekridge at Flying Horse Filing No 1.pdf

Comment Author Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Don Smith	donald.smith@asd20.org	-
Becky Allen	beckya@pprbd.org	719-799-2707
Allison Stocker	allison.stocker@coloradosprings.gov	-
Caroline Miller	caroline.miller@coloradosprings.gov	719-385-6089
Matthew Alcuran	malcuran@csu.org	-
Hao Vo	hao.vo@coloradosprings.gov	-
Erica Schmitz	erica.schmitz@coloradosprings.gov	-
Steve Smith	steven.smith@coloradosprings.gov	
Teresa Guagliardo	teresa.guagliardo@state.co.us	-
Gregory Stachon	gregory.stachon@coloradosprings.gov	719-385-5613
Brian Corrado	brian.corrado@coloradosprings.gov	719-444-3168

General Comments

Comment ID	Reviewer : Department	Review Comments
6	Teresa Guagliardo : CDOT	Please refer to the planning referral letter emailed to Allison on 5-19-26 for CDOT's comments regarding this development.

Comment ID	Reviewer : Department	Review Comments
5	Brian Corrado : Planning	•Recommend landscaping material not consist of large river rock or other large items that could be used to force entry •Construction Signage -Installation of temporary signage indicating No Trespassing or Video Surveillance in Progress during construction to deter unwanted persons on the property. •Construction Fencing -Temporary installation of construction barrier fencing around proposed location during any phase of demolition or area prep to deter unwanted foot traffic. •Trespassing Signage -Installation of signage on premises to indicate that the property is for shopping customers only & that trespassing, soliciting, and unauthorized parking is prohibited per City Ordinance 9.6.102. •Contact CSPD Crime Prevention office site survey and/or staff training prior to occupancy Ofc. B.P.Corrado; Falcon Division Crime Prevention Officer; brian.corrado@coloradosprings.gov
7	Becky Allen : Regional Building-Enumerations	1. All street names have been approved and are in our records. 2. For addressing purposes, if tract addresses are needed please add an addressing marker. 3. Standard Development Plan comments apply: a. For assignment of addressing for lots and tracts, place addressing marker (xxx) where they are intended to be utilized. Addressing marker for lots should be front door, and should be placed as close to the edge of the lot as possible, running parallel to the street it is being addressed from. b. Provide a 100 scale copy or larger of the entire APPROVED development plan (d.p.) to this department so that addressing can be assigned. Once received, the development plan will be placed on a list to be addressed. Development plans that are not yet approved may be addressed, however additional plan review fees will accrue if changes are made to the D.P. after initial addressing. c. If underground service is needed prior to plat, submit a Utilities Addressing Plan (UAP), to Colorado Springs Utilities via the related link at Link For more information contact: Jade Swan jswan@csu.org

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Reviewer : Department	Review Comments
24	1	Erica Schmitz : City Engineering - SWENT	This development is the most adjacent development to a channel; therefore, channel improvements may be required based on the Drainage Basin Planning Study (DBPS). The DBPS for this basin must be reviewed to determine if there are proposed improvements for this segment of the channel. Even if the DBPS does not require improvements, stabilization of the existing channel must be shown and if the existing channel is not stabilized, it may be required to be stabilized. Please reach out to the Lead Reviewer to set-up a meeting to discuss the channel improvements and to schedule a site visit.
25	1	Erica Schmitz : City Engineering - SWENT	SWENT may have additional comments on this DP once additional information is provided in the FDR and a channel site visit has taken place.
26	1	Erica Schmitz : City Engineering - SWENT	This development is adjacent to Black Squirrel Creek. Per the DPBS, stream improvements may be required. Please reach out to SWENT to determine if channel improvements are required.
27	1	Erica Schmitz : City Engineering - SWENT	The Preliminary Drainage Report (STM-REV26-0460) was reviewed and returned to the engineer. Stormwater Enterprise (SWENT) requests that the DP not be approved prior to all major comments on the drainage report being resolved.
28	1	Erica Schmitz : City Engineering - SWENT	The Four Step Process and detention requirements must be met for this site, as disturbance is greater than 1 acre. Show provisions for WQ/Detention or provide a note on the cover sheet stating the name and location of the existing facility that provides water quality and detention for the site. The note must include the full FDR name that designed the PCM, who prepared that report, and the approval date of the report. If this Site is a redevelopment, detention may not be required if the downstream drainage system is shown to have capacity for the proposed developed flow.

Comment ID	Page Reference	Reviewer : Department	Review Comments
29	1	Erica Schmitz : City Engineering - SWENT	Info Only: The Stormwater Enterprise (SWENT) has recently updated Criteria regarding required submittals. For all Development Plans (DPs) which previously required a Final Drainage Report (FDR) submittal (generally, all DPs with 1 acre or more of earth disturbance proposed), a Preliminary Drainage Report (PDR) submittal is now acceptable instead of an FDR submittal. This change in Criteria allows for such DPs to be approved without requiring detailed, final drainage design calculations at the planning stage of the project. For DPs with less than 1 acre of earth disturbance proposed, a Final Drainage Letter (FDL) submittal is required. A PDR submittal is now acceptable instead of an FDR submittal in support of a Final Plat (FP). The PDR must be approved before the FP can be recorded. An FDR may still be submitted in support of DP or FP approval if final design information is available at the time of the DP or FP submittal. FDR Addendums are no longer accepted. All required final calculations must be included in the FDR prior to FDR approval. FDR approval is still a prerequisite for Construction Drawing (CD) approval (e.g., GEC Plan, Drainage Plan/Profile, PCM Plan, etc.). Master Development Drainage Plans (MDDPs) are no longer required for DPs with 10 or more acres of earth disturbance proposed. Please see SWENT's website for updated checklists: Link
30	1	Erica Schmitz : City Engineering - SWENT	Please note if the specified improvements were constructed previously, adjacent development is responsible for re-constructing the improvements if the existing improvements are not in good condition as determined by Stormwater Enterprise inspection.
32	1	Erica Schmitz : City Engineering - SWENT	Info Only: Please contact the Lead Reviewer, Erica Schmitz (erica.schmitz@coloradosprings.gov) with any questions related to SWENT comments. Please reference the Planning review number in all communications.
31	13	Erica Schmitz : City Engineering - SWENT	Planned Infiltration Areas (PIAs) must match the applicable drainage report. This comment will remain open until the drainage report (STM-REV26-0460) is approved.
8	1	Hao Vo : City Engineering Dev Review	Please include the following note: Accessible routes, including ramps and sidewalks within the public right-of-way, shall comply with the City's Standard Drawings and Specifications. The City's Engineering Development Review Inspector will have final authority over the acceptance of public improvements."
9	1	Hao Vo : City Engineering Dev Review	Info Only: Please contact Marisa Medrano (marisa.j.medrano@usps.gov) directly to review this development for mail service. To establish mail delivery and kiosk locations an appointment will be required with USPS to determine final locations. Information required for this establishment include proposed locations, type of mail receptacle, final plat with addresses, type of development (residential/commercial) and date of first occupancy
10	1	Hao Vo : City Engineering Dev Review	Please include the following note: Sidewalks shall be free of obstructions (e.g. vaults, risers), and shall meander around obstacles.
11	1	Hao Vo : City Engineering Dev Review	Info Only: EDRD mandates the removal and replacement of all public sidewalks, curbs, gutters, pedestrian ramps, and similar infrastructure during development if they are in poor condition or do not meet current standards.
12	1	Hao Vo : City Engineering Dev Review	Future construction drawings must clearly label and identify all existing public infrastructure along all public roadways. CDs must be submitted through ProjectDox for review and approval.

Comment ID	Page Reference	Reviewer : Department	Review Comments
22	1	Hao Vo : City Engineering Dev Review	EDRD has determined minimal geological hazards exist in this area and will accept a Geologic Hazard Not Applicable Form, exempting this site from a full report or waiver, to be submitted for this subdivision. Please fill out the form and submit it to EDRD through our electronic review system called ProjectDox. Below is a link to ProjectDox and a user manual. Link Form link: geologic_hazard_not_applicable_application_20230822.pdf Once it has been approved, please upload the approved form with this submission.
23	1	Hao Vo : City Engineering Dev Review	Please include details for all proposed roadways. Link
13	2	Hao Vo : City Engineering Dev Review	Sidewalk is required along all public roadways. Please call out.
14	2	Hao Vo : City Engineering Dev Review	If the curb and gutter are Type 5, please call out a detached sidewalk along the public roadways.
15	2	Hao Vo : City Engineering Dev Review	Please call out the owner of the project will maintain and operate these medians.
16	3	Hao Vo : City Engineering Dev Review	Please call out sidewalk and curb and gutter along the public roadways.
17	11	Hao Vo : City Engineering Dev Review	Please meander the sidewalk to avoid the inlet.
18	11	Hao Vo : City Engineering Dev Review	Please meander the sidewalk to avoid the inlet.
19	11	Hao Vo : City Engineering Dev Review	Please meander the sidewalk to avoid the inlet.
20	11	Hao Vo : City Engineering Dev Review	Please meander the sidewalk to avoid the inlet.
21	12	Hao Vo : City Engineering Dev Review	Please meander the sidewalk to avoid the manhole and inlet.
43	9	Matthew Alcuran : Col Springs Utilities	Per WWLESS 2.5.F.5 Crossing Roundabouts and Medians: Manholes may be located within a roundabout or median but they must be accessible by Colorado Springs Utilities for operation and maintenance of the Wastewater System per Section 2.5.D.5. Please provide a maintenance access road per Detail C2-11.
44	9	Matthew Alcuran : Col Springs Utilities	Please acknowledge the following: Information Items: 1.Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development. oIn instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots. 2.When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing Form will be required to be submitted to CSU prior to Service Contract issuance and plan set approval. 3.CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data

Comment ID	Page Reference	Reviewer : Department	Review Comments
			form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985. 4.CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. With regard to natural gas extensions, CSU may require an extension contract and advance payment for the estimated costs to construct the necessary gas extensions. 5.Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or CSU' policies. 6.Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities. 7.Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities. 8.CSU requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to UDS via www.csu.org.
45	11	Matthew Alcuran : Col Springs Utilities	Need to have 10ft of separation between waste water and water main. Add dimension to ensure horizontal separation is met.
46	11	Matthew Alcuran : Col Springs Utilities	Call out new connection to existing wastewater main.
47	11	Matthew Alcuran : Col Springs Utilities	Call out new connection to existing water main.
57	1	Steve Smith : Fire	Please provide a second non-emergency, access point per code below. D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of dwelling units exceeds 40 shall be provided with two (2) separate and approved fire apparatus access roads unless otherwise required by the fire code official.
42	1	Gregory Stachon : Planning	•"All street trees and streetscape improvements located in the ROW will be maintained by {choose one – Home Owner/HOA/Metro District or by the abutting property owner}."
48	1	Caroline Miller : Planning	CDI information can be removed from the DP - a fee estimate will be uploaded with this Accela file and will be reflected with the Approval Letter.
58	1	Allison Stocker : Planning	Staff reserves the right to provide additional comments with new or updated information provided in subsequent submittals.
59	1	Allison Stocker : Planning	Please include your signed copy of the public notice affidavit with the resubmittal package. The project will not be approved until this document has been provided back to your Planner.
61	1	Allison Stocker : Planning	remove
62	1	Allison Stocker : Planning	I think it would be worth clarifying this further. Is the intend that fences in the "front yard" facing the courtyards cannot exceed 4'?
67	1	Allison Stocker : Planning	2 ADA (1 van accessible) must be provided within the guest parking stalls. ADA stalls have to be provided based on the provided quantity of parking stalls
69	1	Allison Stocker : Planning	If no lighting is provided, add/revise a plan note to read as follows: "Site does not contain any site lighting. The addition of site lighting may require an amendment to this plan and/or a photometric plan."

Comment ID	Page Reference	Reviewer : Department	Review Comments
74	1	Caroline Miller : Planning	CDI: Citywide Development Impact Fees for Police and Fire apply to all new and redeveloped residential and nonresidential development, per City Code 7.5.532. This development is applicable to CDI, and a School and CDI Fee estimate has been uploaded to this file for applicant review, with fees due at the time of building permit. If there are questions or additional prior history that is applicable to this site for fee determinations, please reach out to reviewer. Fees are subject to change by time of payment.
75	1	Caroline Miller : Planning	Additional PLDO Notes may be added upon second review.
76	1	Caroline Miller : Planning	Regarding PLDO Note 1: As detailed with LUPL-25-0023, the PLDO Calculations and Analysis report, Staff sees a surplus of 0.95 acres of Flying Horse Master Plan park dedications, which could be used following the Analysis - within Flying Horse Master Plan Parcels 13 & 17. This is the first development application since that updated analysis. Please schedule a meeting with PLDO Reviewer to discuss the application of the 0.95 acres surplus, the adjacent Neighborhood Park site, and future Alternative Compliance Agreement which will be needed for the metro district ownership and maintenance of the neighborhood park under current 7.4.307 code. Staff does not anticipate any fees due for this development, but the processing of this application will set in motion the direction for future applications and fees.
77	1	Caroline Miller : Planning	PLDO Notes 2 and 3 can be removed with this Development Plan, as the Park Site is not included with this DP.
80	1	Caroline Miller : Planning	Please see Staff Note 00078 and remove Note 19 - the sidewalks within CreekrIDGE at Flying Horse No. 1 will be internal pedestrian connections, rather than Urban Trails.
89	1	Allison Stocker : Planning	Please add ordinance reference
54	2	Allison Stocker : Planning	Patios above 18" height cannot be located within a setback. Per Section 7.4.203, uncovered decks or patios less than 18" inches high can be 50% of the required side/rear yard area.
65	2	Allison Stocker : Planning	There is a depiction of typicals for a 6' vinyl fence but I am not seeing where that is used onsite. Same goes for the retaining wall
68	2	Allison Stocker : Planning	Is there no desire to have lighting near the mail kiosk or any of the guest parking areas?
70	2	Allison Stocker : Planning	Please label front / rear yard setbacks
71	2	Allison Stocker : Planning	Will there be any signage or educational materials posted to encourage future residents to avoid the mouse habitat? The fence should help, but awareness of the habitat can help residents understand why they should refrain from entering that area or using it for recreation.
72	2	Allison Stocker : Planning	will there be additional signage or cross walks at the roundabout to make pedestrians and cyclists more visible? Especially with the trail coming through here, we will want to make sure this is extra safe.
73	2	Allison Stocker : Planning	Has there been any consideration to moving the Tract A / parking area that is at the southern corner toward the middle of the row of homes (maybe between Lots 4 & 5) and allow an access opportunity between two lots and the future park? This would make the park more accessible to the neighborhood.
81	2	Allison Stocker : Planning	The plat shows Lot 55 as 4500SF
50	3	Allison Stocker : Planning	Please confirm that the off-ramp is in alignment with the construction drawings for the Powers improvements
51	3	Allison Stocker : Planning	Sound walls?
52	3	Allison Stocker : Planning	Why are there no sidewalks along the main road?
53	3	Allison Stocker : Planning	Are these city approved cross-sections? these look more like private street configurations
63	3	Allison Stocker : Planning	There is a mail kiosk already shown on this plan?

Comment ID	Page Reference	Reviewer : Department	Review Comments
66	3	Allison Stocker : Planning	is there any intention to build sound walls along the proposed off-ramp?
82	3	Allison Stocker : Planning	The plat has lot 40 as 4739SF
83	3	Allison Stocker : Planning	Please check all lot sizes against the plat. There seems to be some typos or minor inconsistencies in size.
84	3	Allison Stocker : Planning	Plat shows the radius as 60'
85	3	Allison Stocker : Planning	See EDR's comments on sidewalks along road frontages
86	3	Allison Stocker : Planning	What is this dashed line?
78	5	Caroline Miller : Planning	After internal staff review with PRCS, the proposed Black Forest Trail connection and Skyline Trail connections are not planned connections within the Park System Master Plan. The 'Trail' qualifier can be removed, as Parks is not able to take this connection into Parks maintenance. Staff acknowledges this impacts the routing shown on LUPL-25-0023, which as detailed on Note 13 as subject to change. Staff highly recommends keeping the pedestrian sidewalks to connect to Skyline Trail, which routes east/west at the New Life Drive intersection, as this connection will support the residents of this development.
60	6	Allison Stocker : Planning	label preble mouse area
79	6	Caroline Miller : Planning	See staff comment 00078 regarding 'Trail' nomenclature.
49	12	Caroline Miller : Planning	What is the timing for the continuation of the 8ft walk? Can this pedestrian sidewalk (See Staff Note 00078) be completed with this development, to connect to New Life Drive?
33	14	Gregory Stachon : Planning	Internal landscape for compact lots is 10% (7.5% with park proximity reduction)
35	14	Gregory Stachon : Planning	Based on proposed residential development and densities for this project, current Compact Lot standards would apply. Based on this, provide the following 1. Include Active and Non-Active Green Space information for the internal landscape requirements per Appendix F format. 2. For Compact Lot projects, a total of 10% green space (5% active and 5% non-active) is required. 3. Add the required Street-Oriented lot tree in chart for each lot. 4. Show all Active/Non-Active Green Space areas, including limits of SF for each, and labeled on the plans. Provide details for all proposed amenities. (PLP check list #8 and 7.4.908.B.1.2)
36	14	Gregory Stachon : Planning	confirm that any high water turf is "active green space" or "functional" areas only. No turf as infill.
37	17	Gregory Stachon : Planning	how is this turf area functional? Looks more like infill.
38	17	Gregory Stachon : Planning	label proposed turf areas as "Active Green Space"
39	18	Gregory Stachon : Planning	Native seed should not be used in small visible areas (COS Landscape Manual Appendix B)
40	18	Gregory Stachon : Planning	label turf as "Active Green Space"
87	18	Allison Stocker : Planning	Has there been any consideration to add additional trees along this side of the development to help provide additional sound buffering?
41	21	Gregory Stachon : Planning	Information Only: Provide soil amendment chart and notes at Final Landscape Plan. Amendments to be based on horticultural soil testing.
64	22	Allison Stocker : Planning	Please include the 3' habitat fence typical
88	23	Allison Stocker : Planning	Please make sure that the application ID is on all plan sheets
2	1	Don Smith : School Districts	Academy District 20 is in receipt of File #DEPN-26-0063 for approval of the Creekridge at Flying Horse Filing No. 1. The District is requesting fees in lieu of land dedication per the existing City Code for all residential units within this development.

Comment ID	Page Reference	Reviewer : Department	Review Comments
			The District is experiencing ongoing residential development. The District gained approximately 13,650 new residential units between 2018 and 2025 which included 5,650 Single Family, 1,225 Single Family Attached, and 6,800 Apartments as reported to the District by local developers. During that same timeframe, the District only experienced a total membership increase of 23 students. This information is updated annually in October. A drop in the birth rate plus the significant increase in the cost of housing has contributed to the slowed student growth in the District. The District is able to serve each student who is a resident of District 20. If you need additional information, please contact me. Don Smith Planning Consultant

LEGAL DESCRIPTION:

TO BE PLATTED AS CREEKRIDGE AT FLYING HORSE FILING NO. 1

A PARCEL OF LAND LOCATED IN THE NORTH HALF (N1/2) OF SECTION 21, AND THE SOUTH HALF (S1/2) OF SECTION 16, ALL IN TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, WITHIN A PORTION OF WARRANTY DEED RECORDED NOVEMBER 10, 1999 IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDER UNDER RECEPTION NUMBER 090173491; SAID PARCEL MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF DOWNTOWN FLYING HORSE FILING NO. 1, RECORDED AUGUST 29, 2025 UNDER RECEPTION NO. 225715578, MONUMENTED AT THE SOUTH END BY A NO. 5 REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED "CCS LLC PLS 20116", FOUND 0.2 FEET ABOVE GROUND, AND AT THE NORTH END WITH A NO. 5 REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED "CCS LLC PLS 20116", FOUND 0.2 FEET ABOVE GROUND, AND DETERMINED BY GPS OBSERVATION TO BEAR NORTH 00°04'57" EAST, A DISTANCE OF 725.95 FEET.

COMMENCING AT THE SOUTHWEST CORNER OF SAID DOWNTOWN FLYING HORSE FILING NO. 1:

THENCE NORTH 00°04'57" EAST ON SAID WEST LINE, A DISTANCE OF 398.34 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF FIRESTEED DRIVE AS DEDICATED TO THE PUBLIC ON SAID PLAT OF DOWNTOWN FLYING HORSE FILING NO. 1;

THENCE SOUTH 89°55'03" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 469.44 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 363.50 FEET, WHOSE CENTER BEARS SOUTH 79°27'23" EAST, SAID POINT BEING THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF FIRESTEED DRIVE AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SOMERSTONE DRIVE AS DEDICATED TO THE PUBLIC ON SAID DOWNTOWN FLYING HORSE FILING NO. 1;

THENCE NORTHEASTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 33°27'25", AN ARC DISTANCE OF 212.28 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 10.61 FEET;

THENCE NORTH 46°00'00" WEST A DISTANCE OF 15.00 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 65.00 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 10.00 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 15.00 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 6.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 336.38 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 225.00 FEET, WHOSE CENTER BEARS NORTH 44°00'00" EAST;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°36'47", AN ARC DISTANCE OF 33.82 FEET;

THENCE NORTH 52°36'47" EAST, A DISTANCE OF 50.00 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 175.00 FEET, WHOSE CENTER BEARS NORTH 52°36'47" EAST;

THENCE SOUTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°36'47", AN ARC DISTANCE OF 26.31 FEET;

THENCE NORTH 44°00'00" EAST, A DISTANCE OF 255.00 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 30.50 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°36'47", AN ARC DISTANCE OF 26.31 FEET;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°41'04", AN ARC DISTANCE OF 51.03 FEET;

THENCE NORTH 46°00'00" WEST, A DISTANCE OF 393.91 FEET;

THENCE NORTH 57°25'01" EAST A DISTANCE OF 147.87 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 542.70 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 50°23'32", AN ARC DISTANCE OF 477.31 FEET;

THENCE NORTH 06°57'19" EAST A DISTANCE OF 316.98 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 313.30 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 32°02'28", AN ARC DISTANCE OF 175.84 FEET;

THENCE NORTH 39°08'44" EAST A DISTANCE OF 24.03 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 513.30 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 21°08'38", AN ARC DISTANCE OF 189.42 FEET;

THENCE NORTH 60°18'21" EAST, A DISTANCE OF 480.88 FEET;

THENCE SOUTH 15°48'12" EAST A DISTANCE OF 14.15 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 472.00 FEET, WHOSE CENTER BEARS SOUTHWESTERLY;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 42°18'12", AN ARC DISTANCE OF 348.49 FEET;

THENCE SOUTH 26°50'00" WEST A DISTANCE OF 321.60 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 528.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 45°00'52", AN ARC DISTANCE OF 414.82 FEET;

THENCE SOUTH 79°47'05" WEST, A DISTANCE OF 6.38 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 140.00 FEET, WHOSE CENTER BEARS SOUTH 79°47'05" WEST;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 43°23'16", AN ARC DISTANCE OF 106.02 FEET;

THENCE SOUTH 01°00'00" EAST, A DISTANCE OF 26.86 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 16.97 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 592.73 FEET;

THENCE SOUTH 01°00'00" EAST A DISTANCE OF 26.28 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 18.97 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 300.00 FEET, WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°59'35", AN ARC DISTANCE OF 47.09 FEET;

THENCE NORTH 76°53'10" EAST, A DISTANCE OF 16.40 FEET;

THENCE SOUTH 60°08'24" EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 17°11'58" EAST A DISTANCE OF 16.40 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 300.00 FEET, WHOSE CENTER BEARS NORTH 24°40'47" EAST;

THENCE SOUTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°47'39", AN ARC DISTANCE OF 19.87 FEET;

THENCE SOUTH 60°18'21" EAST A DISTANCE OF 180.62 FEET TO A POINT ON THE NORTHWESTERLY LINE OF STATE HIGHWAY NO. 83 AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED APRIL 12, 2004 UNDER RECEPTION NO. 204057832;

THENCE SOUTH 26°13'32" WEST ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 70.30 FEET;

THENCE NORTH 60°18'21" WEST A DISTANCE OF 321.60 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 370.00 FEET, WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°12 FEET, AN ARC DISTANCE OF 30.82 FEET;

THENCE NORTH 73°14'16" WEST, A DISTANCE OF 17.47 FEET;

THENCE NORTH 60°08'24" EAST A DISTANCE OF 30.00 FEET;

THENCE NORTH 13°33'08" WEST A DISTANCE OF 17.47 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 370.00 FEET, WHOSE CENTER BEARS NORTH 34°01'41" EAST;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 09°58'19", AN ARC DISTANCE OF 64.40 FEET;

THENCE NORTH 46°00'00" WEST A DISTANCE OF 298.20 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 28.28 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 263.50 FEET;

THENCE SOUTH 01°00'00" EAST A DISTANCE OF 14.14 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 14.14 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 336.38 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SAID SOMERSTONE DRIVE;

THENCE NORTH 46°00'00" WEST ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION PRODUCES A CALCULATED AREA OF 818.81 SQUARE FEET (18.79732 ACRES).

GENERAL NOTES:

- NO PORTION OF THIS SITE IS LOCATED WITHIN F.E.M.A. DESIGNATED FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBERS 08041C002956 & 08041C005066 EFFECTIVE DECEMBER 7, 2018.
- THE SUBJECT PROPERTY IS INCLUDED IN THE FLYING HORSE METROPOLITAN DISTRICT NO. 2. THE FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 2 IS RECORDED UNDER RECEPTION NO. 204189318 AND AS AMENDED.
- FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 1 ARE RECORDED UNDER RECEPTION NO. 204189317 AND AS AMENDED.
- SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND INSTALLED PER CITY STANDARDS. SIDEWALKS WITHIN THE PRIVATE TRACTS NOT IN A PUBLIC IMPROVEMENT EASEMENT SHALL BE INSTALLED 4' OR 5' WIDE, UNLESS ATTACHED TO CURB WHERE SIDEWALK WILL BE 6' WIDE. ALL SIDEWALKS SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- THERE SHALL BE NO DIRECT VEHICULAR ACCESS FROM ANY LOT OR TRACT TO SOMERSTONE DRIVE OR SKIPPING ROCK AVENUE.
- SPEED LINE OF SIGHT ANALYSIS IS REQUIRED FOR ALL FENCING AND VEGETATION OTHER THAN DECIDUOUS TREES, AT STREET INTERSECTIONS.
- ALL LANDSCAPING NOT WITHIN PRIVATE PROPERTY, SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- ALL STREET TREES AND STREETSCAPE LOCATED IN THE R.O.W. AND SITE LANDSCAPING IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF FLYING HORSE METROPOLITAN DISTRICT NO. 2 AND/OR ITS ASSIGNS.
- NO ON STREET PARKING ALLOWED ON 30' R.O.W. PUBLIC STREETS. NO PARKING SIGNS WILL BE INSTALLED.
- ALL DRIVEWAYS SHALL MAINTAIN A MINIMUM WIDTH OF 18' WIDE AND NOT EXCEED 24' WIDE.
- ALL PRIVATE AND PUBLIC SIDEWALK/TRAIL SEGMENTS SHALL BE CONSTRUCTED OF CONCRETE AND NOT LESS THAN 4' IN WIDTH WITHIN COMMON OPEN SPACE AND 4' FOR PEDESTRIAN CONNECTIONS TO ON-STREET AND GUEST PARKING FACILITIES AND COMMON OPEN SPACE CONSTRUCTED PER CITY STANDARD DETAIL. ALL SEGMENTS SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- THE DENSITY, DESIGN AND DIMENSIONAL CONTROLS ESTABLISHED UNDER CITY CODE CHAPTER 7 SHALL APPLY UNLESS OTHERWISE STATED BY THIS DEVELOPMENT PLAN, OR APPROVED LAND USE PLAN.
- ALL CURB RETURNS WITHIN THE SITE TO BE 15' RADIUS MINIMUM PER CITY STANDARDS.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES' "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- REQUIRED GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA (P.I.A.) ALL LOCATED IN BOTTOM OF THE EXISTING OFF-SITE PRIVATE FULL SPECTRUM DETENTION FACILITY.
- NO VARIANCES WILL BE ALLOWED.
- PUBLIC TRAIL TO BE BUILT BY DEVELOPER AND MAINTAINED BY THE CITY OF COLORADO SPRINGS FOLLOWING STAFF ONSITE INSPECTION.
- IMPROVEMENTS ASSOCIATED WITH THE PROPOSED PUBLIC TRAIL IS EXEMPT FROM IMPERVIOUS SURFACE CALCULATIONS PER UDC ARTICLE 7.2 SECTION 7.2.603.E.2.B(2).
- ALL "STOP SIGNS" AND PAVEMENT MARKINGS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCO STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- A PRIVATE AVIGATION EASEMENT ACKNOWLEDGING THE USAFA AIRMANSHIP PROGRAM WILL BE ESTABLISHED PRIOR TO RECORDING OF THE FINAL SUBDIVISION PLAT(S) FOR THIS DEVELOPMENT OR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY UNIT WITHIN THE DEVELOPMENT.
- TRACT A IS FOR OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS TO BE OWNED AND MAINTAINED BY THE FLYING HORSE METROPOLITAN DISTRICT NO. 1. OWNERSHIP OF SAID TRACT TO BE CONVEYED BY SEPARATE INSTRUMENT.
- THE AREA INCLUDED IN THIS PLAT IS SUBJECT TO THE GOLF-PLAY EASEMENT AGREEMENT RECORDED UNDER RECEPTION NO. 206053073. FUTURE LOT OWNERS SHOULD BECOME FAMILIAR WITH THIS DOCUMENT.
- THE ARTICLES OF INCORPORATION OF FLYING HORSE HOMEOWNERS ASSOCIATION, INC. WERE FILED WITH THE COLORADO SECRETARY OF STATE UNDER IDENTIFICATION NO. 20041265160. THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR FLYING HORSE RESIDENTIAL ARE RECORDED UNDER RECEPTION NO. 205049262.
- ON STREET PARKING SPACES SHALL BE USED FOR VEHICULAR PARKING ONLY. NO SALES, RENTAL, STORAGE, REPAIR, SERVICING OF VEHICLES, EQUIPMENT OR MATERIALS, DISMANTLING, OR OTHER ACTIVITIES SHALL BE CONDUCTED OR LOCATED IN SUCH AREAS. ON STREET SPACES CANNOT BE DESIGNATED AS PRIVATE OR RESERVED FOR ADJACENT USE.
- SCHOOL SITE DEDICATION TO BE MET THROUGH FEES IN LIEU OF LAND, TO BE DUE AT THE TIME OF BUILDING PERMIT.
- THIS DEVELOPMENT PLAN REFLECTS THE PREBLE MEADOW JUMPING MOUSE (PMJM) HABITAT MITIGATION LINE SHOWN FOR REFERENCE AS DETAILED IN THE CORE CONSULTANTS BIOLOGICAL ASSESSMENT AND THE BIOLOGICAL OPINION ISSUED BY US FISH AND WILDLIFE IN CONSULTATION WITH THE US CORPS OF ENGINEERS.
- MAILBOX KIOSK DESIGN: THE DESIGN AND CONSTRUCTION OF THE MAILBOX KIOSK SHALL BE SIMILAR TO THE MAILBOX KIOSK DESIGN AND CONSTRUCTION CURRENTLY BUILT IN FLYING HORSE. SEE DETAIL ON SHEET xx. FINAL APPROVAL OF LOCATION SHOWN WILL BE UNDER USFS.
- WALK CONNECTION LOCATIONS FROM PROPOSED WALKS TO FRONT ACCESS OF RESIDENTIAL BUILDINGS TO BE DETERMINE WITH SELECTION OF BUILDING FOOTPRINT TYPES.
- PRIVATE FENCING WITHIN COURTYARD SHALL NOT EXCEED 3'-4" IN HEIGHT.
- REQUIRED IMPROVEMENTS TO BLACK SQUIRREL CREEK HAVE BEEN INSTALLED DURING THE DEVELOPMENT OF FLYING HORSE HORSE NO. 4 PALERMO FILING NO'S 3,4,&5. BLACK SQUIRREL CREEK CHANNEL IMPROVEMENTS. ASSURANCES HAVE BEEN POSTED AND ARE TIED TO THE FLYING HORSE PALERMO DEVELOPMENT. BLACK SQUIRREL CREEK IS TO BE DEDICATED TO THE CITY OF COLORADO SPRINGS PER THE APPROVED STORMWATER PLANS.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL AVENUE FOR SIGN APPLICATIONS.

CREEKRIDGE AT FLYING HORSE FILING NO. 1

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT PLAN

TITLE SHEET
MAY 2026

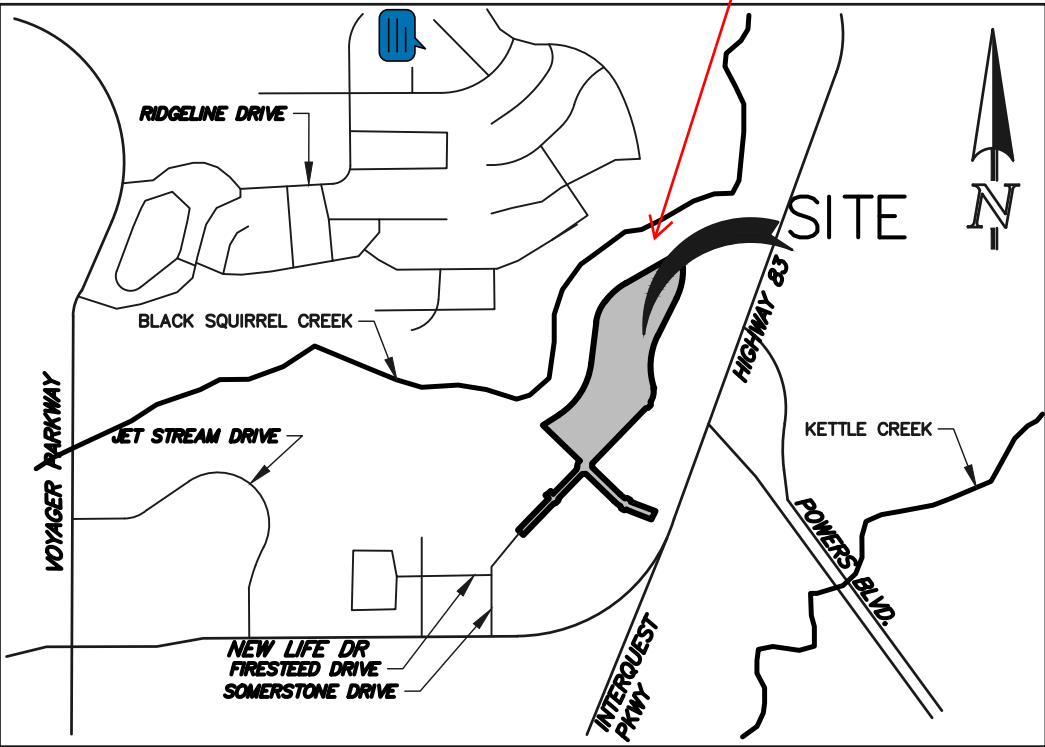
SWENT may have additional comments on this DP once additional information is provided in the FDR and a channel site visit has taken place.

WQ/DETENTION:

WATER QUALITY AND DETENTION IS PROVIDED FOR CREEKRIDGE FILING NO. 1 IN AN EXISTING SUB-REGIONAL FACILITY PERMANENT CONTROL MEASURE CONSTRUCTED WITH THE DOWNTOWN AT FLYING HORSE DEVELOPMENT. SEE THE FINAL DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FILING NO. 1 PRELIMINARY DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FUTURE FILINGS BY CLASSIC CONSULTING APPROVED 01-12-2023 FOR PERMANENT CONTROL MEASURE DETAILS

CITY ENGINEERING

ALL EXISTING CURB AND GUTTER AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977



VICINITY MAP
N.T.S.

PLDO NOTES:

- THE PARKLAND OBLIGATION FOR CREEKRIDGE AT FLYING HORSE FILING 1 IS PER THE APPROVED LAND USE PLAN (LUP-25-0023) AND WILL BE MET THROUGH PARKLAND DEDICATION.
- THE FUTURE 3.5 PARK SITE PER THE APPROVED LAND USE PLAN IS INTENDED TO MEET NEIGHBORHOOD PARK OBLIGATIONS FOR PARCELS 13, 17 AND 28 WITHIN THE PREVIOUS FLYING HORSE MASTER PLAN. COMMUNITY PARK FEES IN LEU MAY BE DUE AT TIME OF BUILDING PERMIT
- ALL NEIGHBORHOOD PARKS IDENTIFIED ON THE CREEKRIDGE AT FLYING HORSE LAND USE PLAN SHALL BE OWNED AND MAINTAINED BY THE FLYING HORSE METROPOLITAN DISTRICT AND AN ALTERNATIVE COMPLIANCE AGREEMENT SIGNED WITH THE PRCS DEPARTMENT PRIOR TO PARK PLAY RECORDATION. ALL PARK SITE DESIGNS ARE SUBJECT TO THE PRCS ADVISORY BOARD REVIEW AND RECOMMENDATIONS PRIOR TO THE CONSTRUCTION, AND THAT THE LAND IS PERMANENTLY DESIGNATED FOR PARK PURPOSES THROUGH EASEMENT, DEED RESTRICTION OR COVENANT. NEIGHBORHOOD PARK CONSTRUCTION SHALL BE COMPLETED AT THE TIME 50% OF THE BUILDING PERMITS THE ADJACENT DEVELOPMENT HAVE BEEN PULLED.

REQUIRED PARKING:

REQUIRED PARKING			
SINGLE FAMILY	2 PER DU		
LOTS (DU)	61	2	122
10% GUEST PARKING	12		
TOTAL			134

PROVIDED PARKING:

PROVIDED PARKING			
SINGLE FAMILY DETACHED	2 PER DU (2 PER GARAGE)		
61	2		122

GUEST PARKING 48
TOTAL PARKING SPACES PROVIDED 170*

30' ACCESS STREET - NO PARKING ALLOWED
*ADDITIONAL PARALLEL PARKING ALLOWED ALONG SOMERSTONE DRIVE (NOT INCLUDED IN COUNT)

GREEN SPACE:

SEE LANDSCAPE ACTIVE GREENSPACE PLAN (SHEET 20 OF 23).

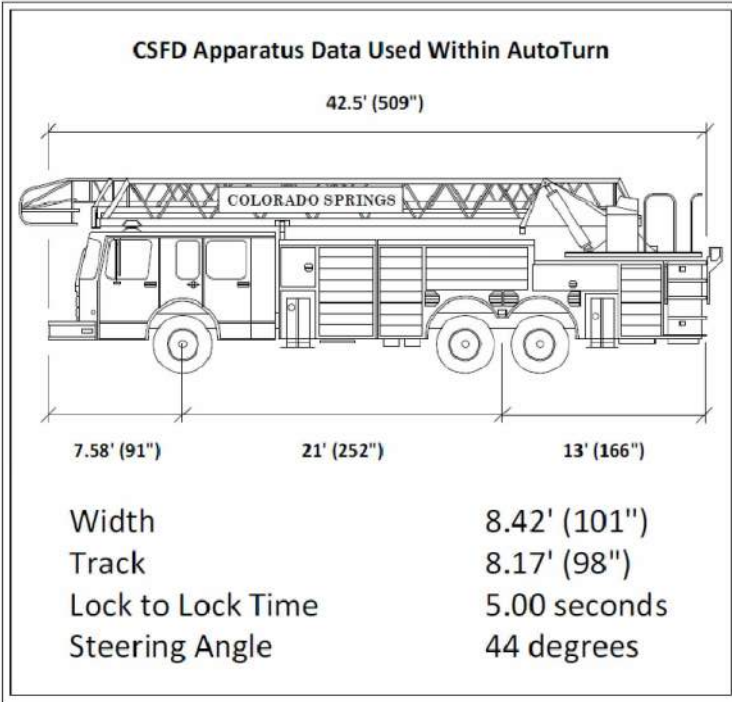
ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

CITY WIDE DEVELOPMENT IMPACT FEES (POLICE AND FIRE):

CITY WIDE DEVELOPMENT IMPACT FEES FOR POLICE AND FIRE APPLY TO THE DEVELOPMENT, TO BE DUE AT TIME OF BUILDING PERMIT.

HOUSING TYPE - SINGLE FAMILY DETACHED RESIDENTIAL STRUCTURE
EXISTING USE - VACANT PROPERTY
PROPOSED USE - 61 LOTS



TRACT TABLE			
TRACT	SIZE	USE	OWNERSHIP & MAINTENANCE
TRACT A	7.14 AC	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1

FOR CITY USE:

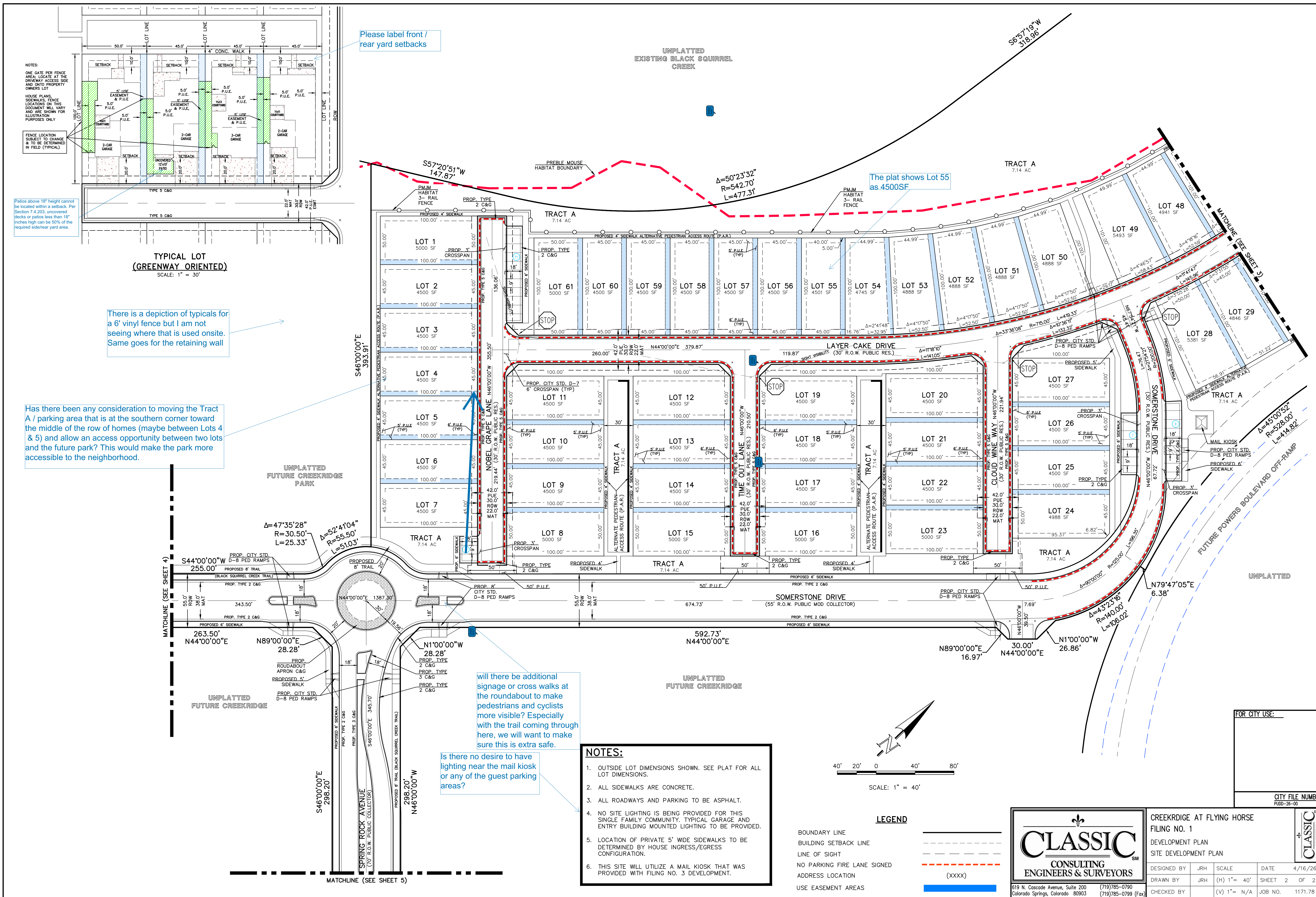
CITY FILE NUMBER
D-26-00



CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
TITLE SHEET

DESIGNED BY	JRH	SCALE	DATE	5/5/26
DRAWN BY	JRH	(H) 1"= N/A	SHEET	1 OF 23
CHECKED BY	DLG	(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (fax)



NOTES:
ONE GATE PER FENCE AREA. LOCATE AT THE DRIVEWAY ACCESS SIDE AND ONTO PROPERTY OWNERS LOT.
HOUSE PLANS, SIDEWALKS, FENCE LOCATIONS ON THIS DOCUMENT WILL VARY AND ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.
FENCE LOCATION SUBJECT TO CHANGE & TO BE DETERMINED IN FIELD (TYPICAL).

Fences above 18" height cannot be located within a setback. Per Section 7.4.203, uncovered decks or patios less than 18" inches high can be 50% of the required side/rear yard area.

TYPICAL LOT
(GREENWAY ORIENTED)
SCALE: 1" = 30'

There is a depiction of typicals for a 6' vinyl fence but I am not seeing where that is used onsite. Same goes for the retaining wall.

Has there been any consideration to moving the Tract A / parking area that is at the southern corner toward the middle of the row of homes (maybe between Lots 4 & 5) and allow an access opportunity between two lots and the future park? This would make the park more accessible to the neighborhood.

will there be additional signage or cross walks at the roundabout to make pedestrians and cyclists more visible? Especially with the trail coming through here, we will want to make sure this is extra safe.

Is there no desire to have lighting near the mail kiosk or any of the guest parking areas?

- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. NO SITE LIGHTING IS BEING PROVIDED FOR THIS SINGLE FAMILY COMMUNITY. TYPICAL GARAGE AND ENTRY BUILDING MOUNTED LIGHTING TO BE PROVIDED.
 5. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.
 6. THIS SITE WILL UTILIZE A MAIL KIOSK THAT WAS PROVIDED WITH FILING NO. 3 DEVELOPMENT.

- LEGEND**
- BOUNDARY LINE
 - BUILDING SETBACK LINE
 - LINE OF SIGHT
 - NO PARKING FIRE LANE SIGNED
 - ADDRESS LOCATION
 - USE EASEMENT AREAS



CREEKRIDGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 2 OF 23
CHECKED BY	(V) 1"= N/A	JOB NO.	1171.78

CITY FILE NUMBER
PUDO-26-00

Are these city approved cross-sections?
these look more like private street
configurations

Why are there no sidewalks along the
main road?

is there any intention to
build sound walls along the
proposed off-ramp?

What is this dashed
line?

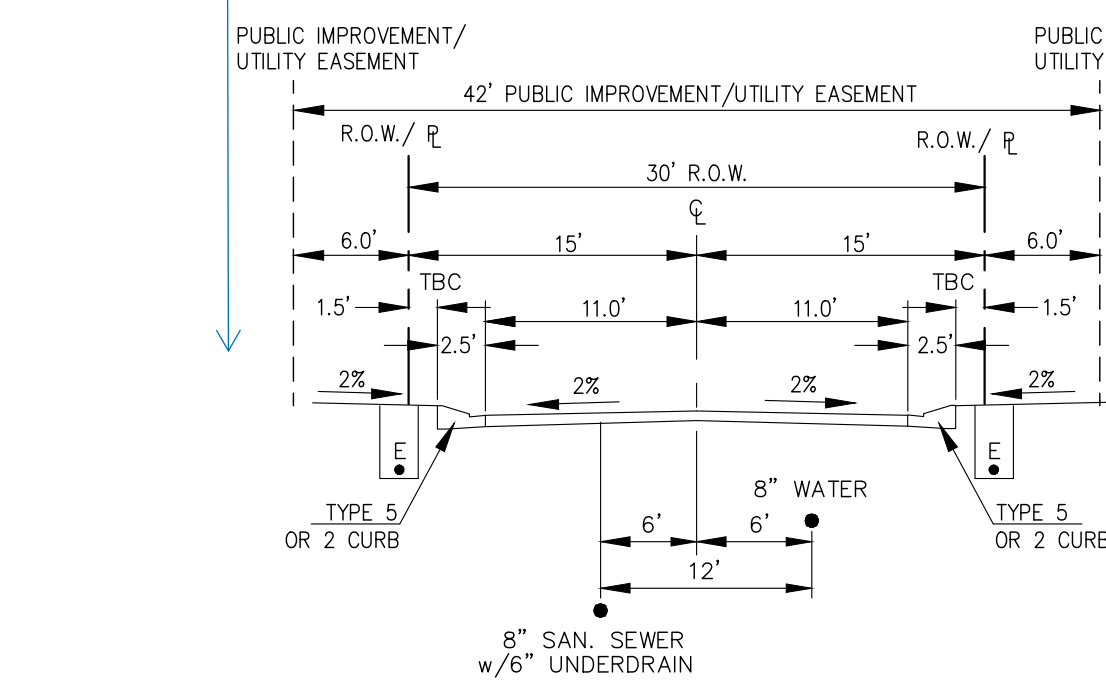
Sound walls?

There is a mail kiosk
already shown on this
plan?

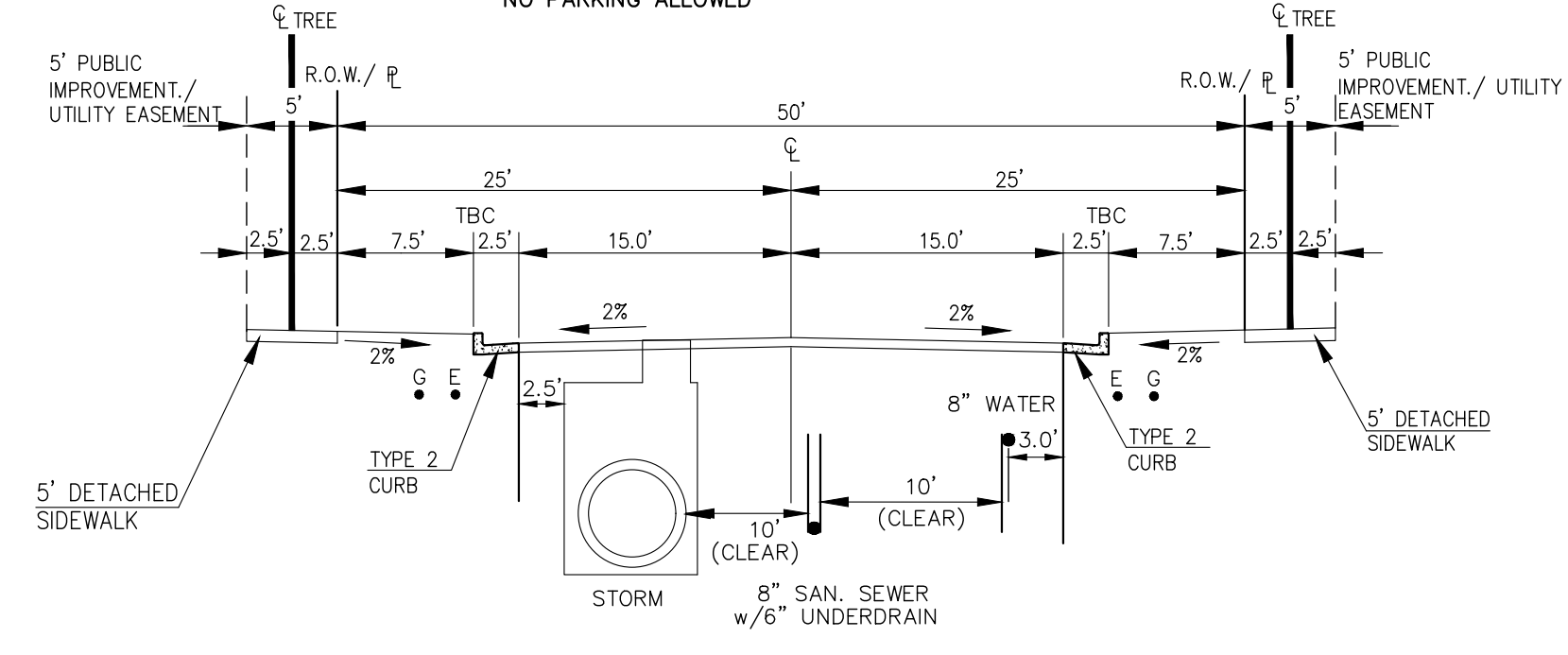
The plat has lot 40 as
4739SF

Plat shows the radius
as 60'

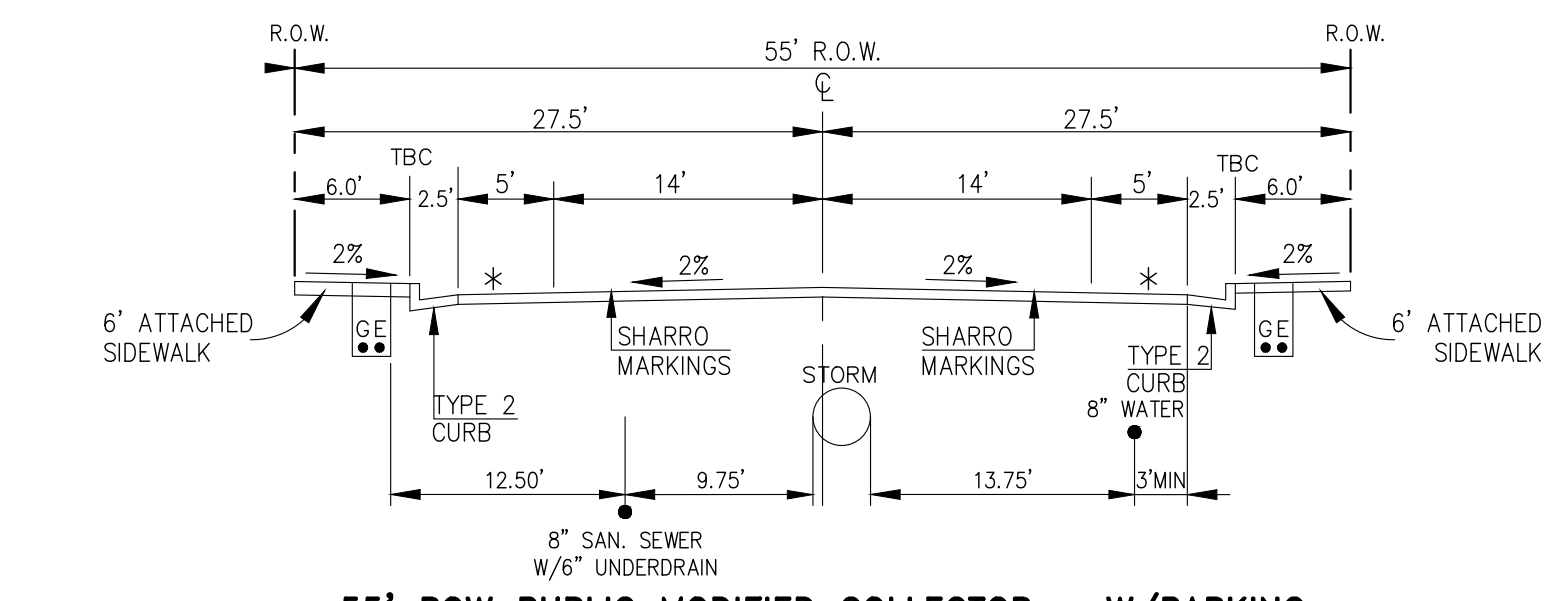
Please confirm that the off-ramp is in alignment with the construction drawings for the
Powers improvements



**30' ROW PUBLIC RESIDENTIAL
TYPICAL SECTION**
SCALE: 1" = 10'
NO PARKING ALLOWED



**50' R.O.W. RESIDENTIAL (LOCAL) PUBLIC STREET
TYPICAL SECTION**
SCALE: 1" = 10'

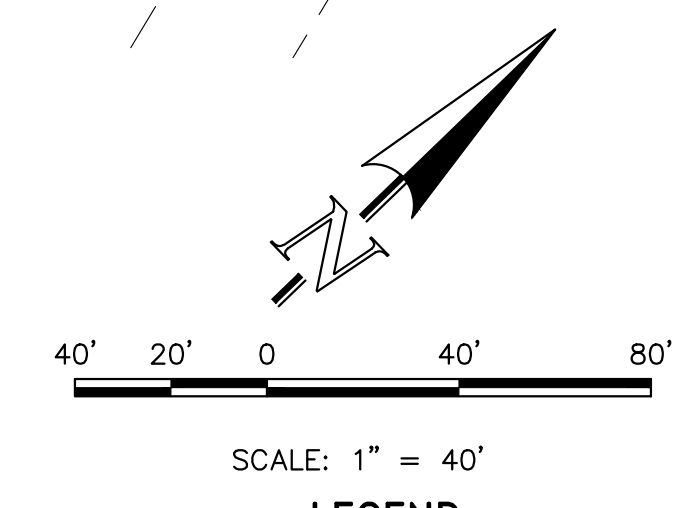


**55' ROW PUBLIC MODIFIED COLLECTOR - W/PARKING
TYPICAL SECTION
SPRING ROCK AVENUE**
SCALE: 1" = 10'
PARKING ALLOWED

- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. NO SITE LIGHTING IS BEING PROVIDED FOR THIS SINGLE FAMILY COMMUNITY. TYPICAL GARAGE AND ENTRY BUILDING MOUNTED LIGHTING TO BE PROVIDED.
 5. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.
 6. THIS SITE WILL UTILIZE A MAIL KIOSK THAT WAS PROVIDED WITH FILING NO. 3 DEVELOPMENT.

BOUNDARY LINE
BUILDING SETBACK LINE
LINE OF SIGHT
NO PARKING FIRE LANE SIGNED
ADDRESS LOCATION
USE EASEMENT AREAS

(XXXX)



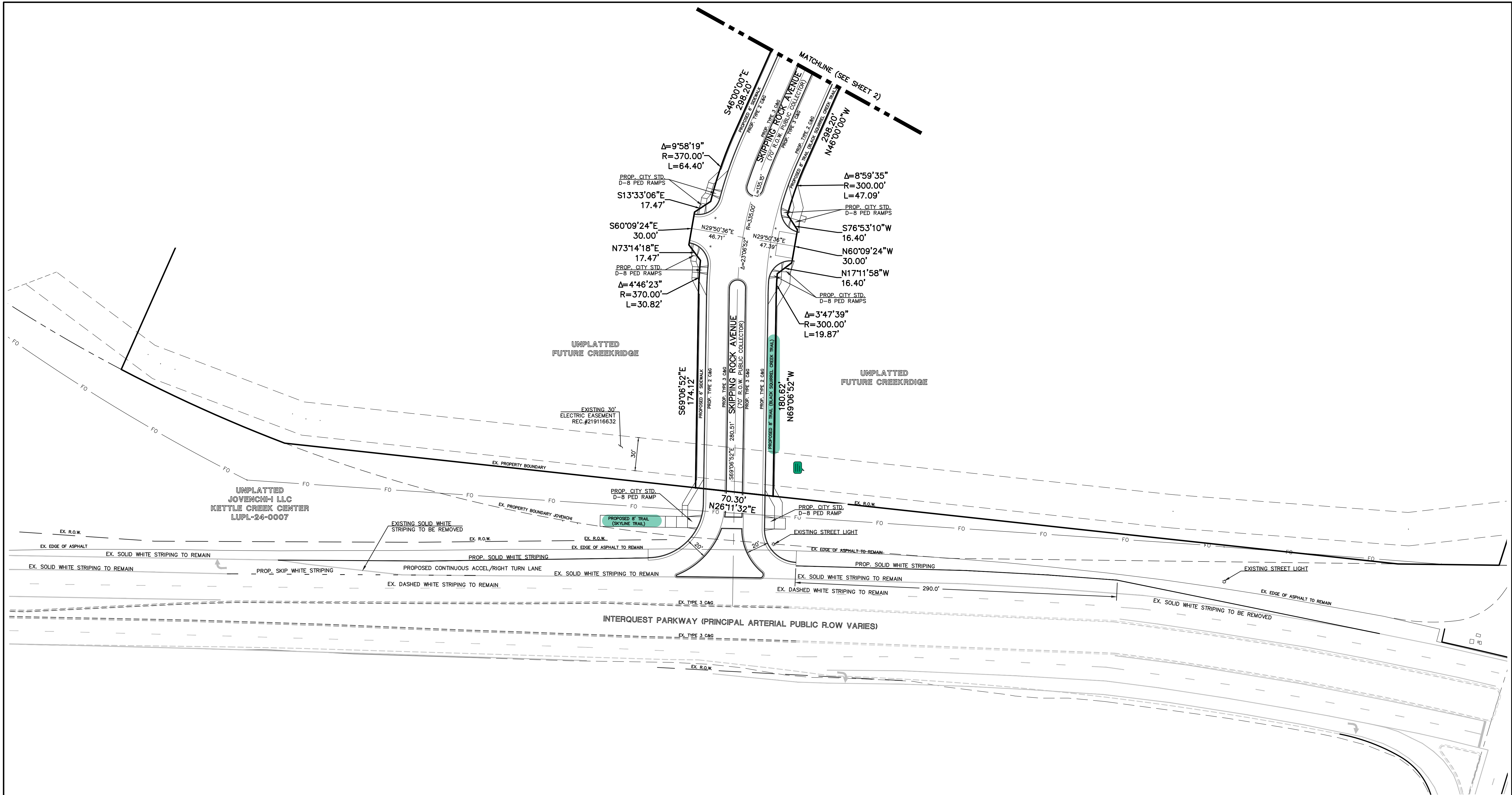
CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

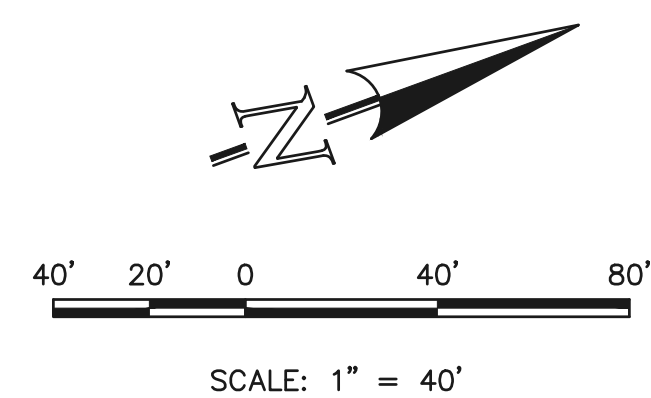
(719)785-0790
(719)785-0799 (Fax)

CREEKRIDGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 3 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

CITY FILE NUMBER
PUDO-26-00



- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. NO SITE LIGHTING IS BEING PROVIDED FOR THIS SINGLE FAMILY COMMUNITY. TYPICAL GARAGE AND ENTRY BUILDING MOUNTED LIGHTING TO BE PROVIDED.
 5. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.
 6. THIS SITE WILL UTILIZE A MAIL KIOSK THAT WAS PROVIDED WITH FILING NO. 3 DEVELOPMENT.



LEGEND	
BOUNDARY LINE	—————
BUILDING SETBACK LINE	-----
LINE OF SIGHT	- - - - -
NO PARKING FIRE LANE SIGNED	-----
ADDRESS LOCATION	(XXXX)
ACCESSIBLE ROUTE	=====

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

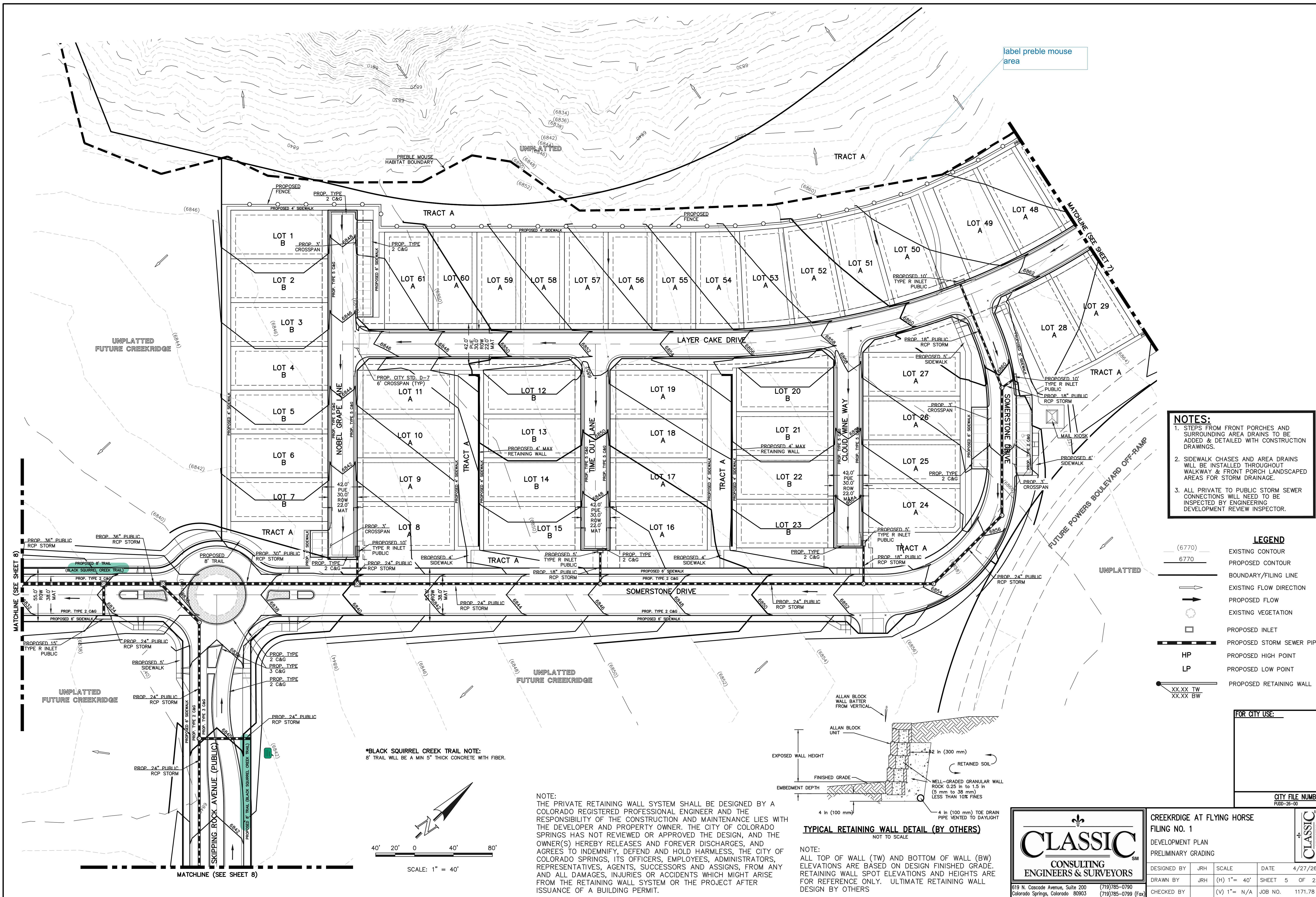
(719)785-0790
(719)785-0799 (Fax)

CREEKRDIGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 5 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

FOR CITY USE:

CITY FILE NUMBER
PUDD-26-00

label preble mouse area



- NOTES:**
1. STEPS FROM FRONT PORCHES AND SURROUNDING AREA DRAINS TO BE ADDED & DETAILED WITH CONSTRUCTION DRAWINGS.
 2. SIDEWALK CHASES AND AREA DRAINS WILL BE INSTALLED THROUGHOUT WALKWAY & FRONT PORCH LANDSCAPED AREAS FOR STORM DRAINAGE.
 3. ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS WILL NEED TO BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

LEGEND

(6770)	EXISTING CONTOUR
6770	PROPOSED CONTOUR
---	BOUNDARY/FILING LINE
→	EXISTING FLOW DIRECTION
→	PROPOSED FLOW
○	EXISTING VEGETATION
□	PROPOSED INLET
---	PROPOSED STORM SEWER PIPE
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
XX.XX TW XX.XX BW	PROPOSED RETAINING WALL

FOR CITY USE:

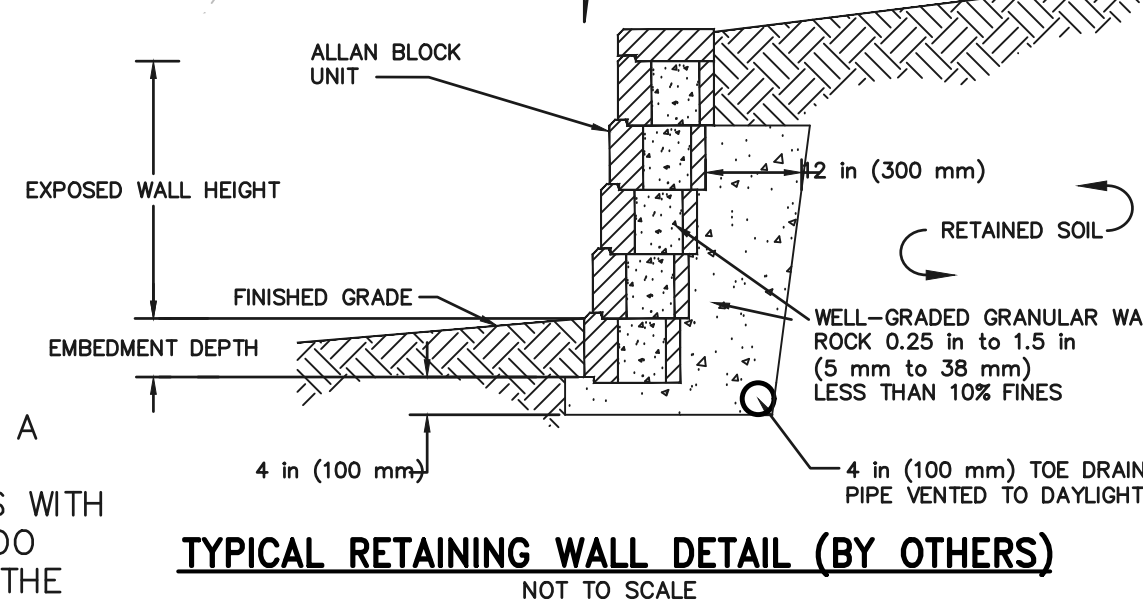
CITY FILE NUMBER
PUD-26-00

***BLACK SQUIRREL CREEK TRAIL NOTE:**
8' TRAIL WILL BE A MIN 5" THICK CONCRETE WITH FIBER.

40' 20' 0 40' 80'

SCALE: 1" = 40'

NOTE:
THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.

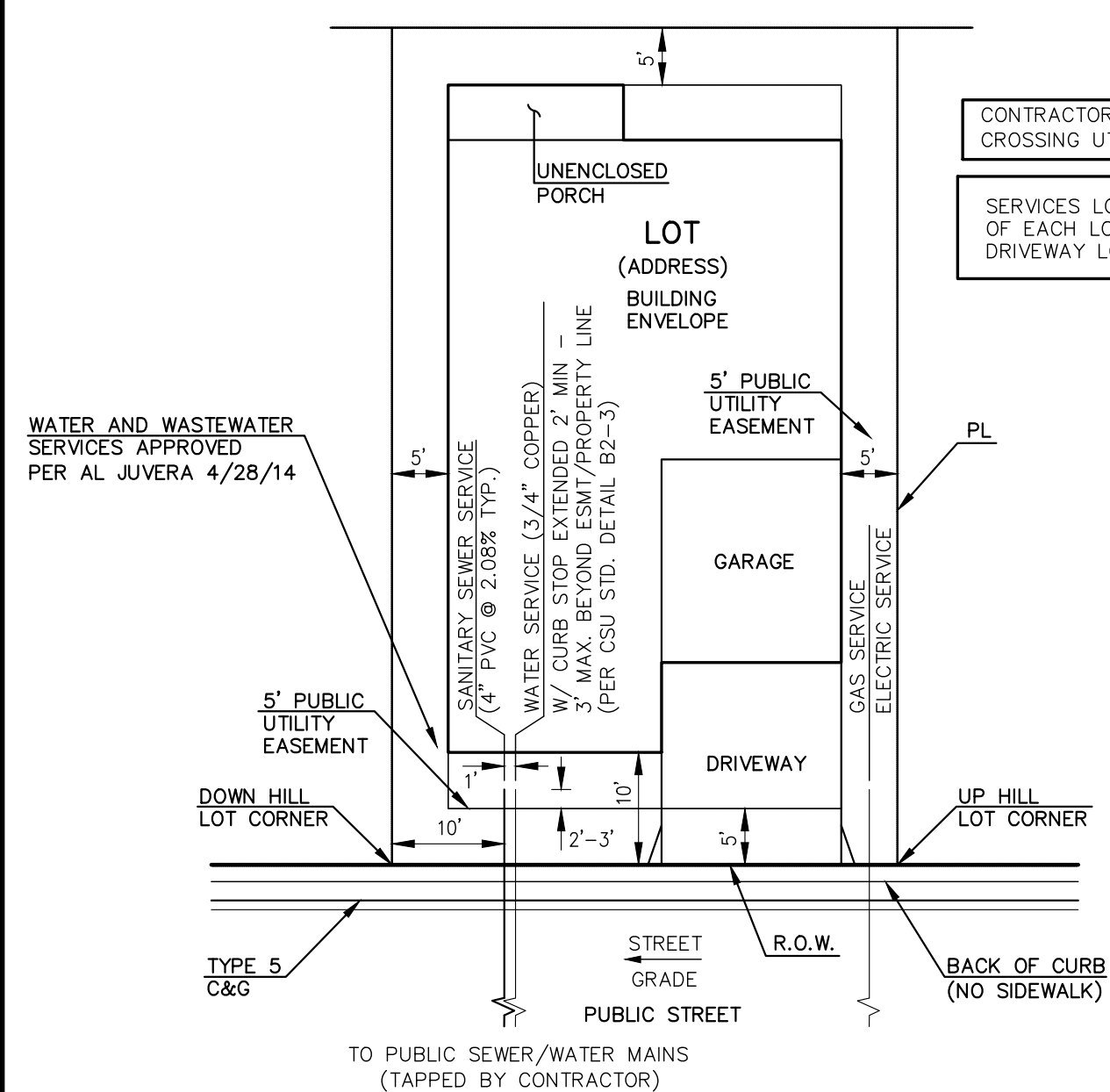


CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

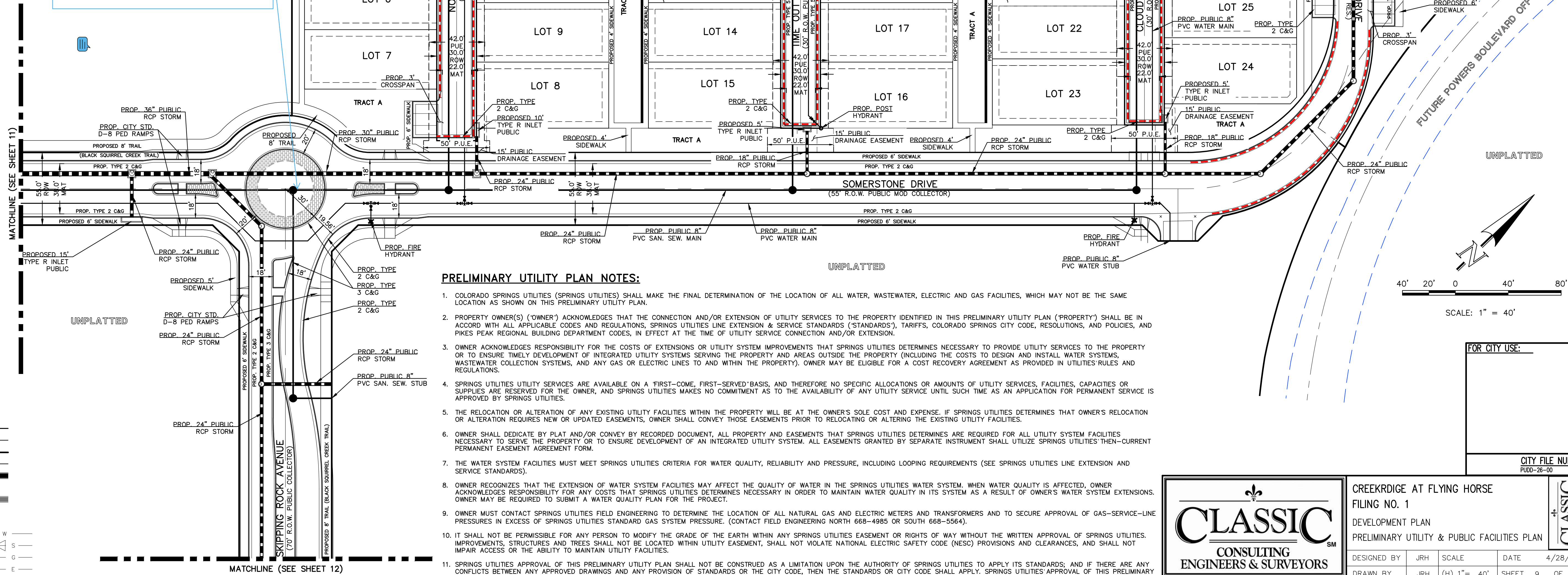
CREEKRDGE AT FLYING HORSE			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY GRADING			
DESIGNED BY	JRH	SCALE	DATE 4/27/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 5 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78



DETAIL: UTILITY SERVICE LOCATIONS
N.T.S.

- UTILITY SERVICE LOCATION NOTES:
- 1) DIMENSIONS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED ON PLANS.
 - 2) SEE PLANS FOR MAINLINE SIZES.
 - 3) ALL WATER SERVICES TO BE 3/4" TYPE "K" COPPER OR 1" HDPE UNLESS OTHERWISE SHOWN ON PLANS. ALL WATER SERVICES ARE 3/4" x 8" TAPS OR 1"x8" TAPS BY DEVELOPER UNLESS OTHERWISE NOTED ON PLANS.
 - 4) ALL CLEANOUTS TO BE INSTALLED PER COLORADO SPRINGS UTILITY STANDARD DETAIL D1-4.
 - 5) SEE DETAIL D1-5 AND SECTION 2.6D FOR JOINT TRENCH SERVICE LOCATIONS.
 - 6) ALL WASTEWATER SERVICES TO BE 4" PVC UNLESS OTHERWISE SHOWN ON PLANS. ALL WASTEWATER SERVICES ARE 4" x 8" TAPS UNLESS OTHERWISE NOTED ON PLANS.
 - 7) WATER CURB STOPS AND SANITARY SEWER CLEANOUTS NOT TO BE WITHIN DRIVEWAYS OR SIDEWALKS.
 - 8) INSTALL WATER CURB STOP LOCATION PER COLORADO SPRINGS UTILITY STANDARD DETAIL B2-3. NO PERMANENT STRUCTURES OR LANDSCAPING SHALL BE LOCATED WITHIN 5' RADIUS OF THE CURB STOP.
 - 9) GAS METERS MUST BE A MINIMUM OF 3'-FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.
 - 10) PER GLESS 4.05.4.3b GAS METER SHALL BE PLACED 5' FROM FRONT CORNER OF SINGLE FAMILY RESIDENTIAL BUILDING.

Per WWLESS 2.5.F.5 Crossing Roundabouts and Medians: Manholes may be located within a roundabout or median but they must be accessible by Colorado Springs Utilities for operation and maintenance of the Wastewater System per Section 2.5.D.5. Please provide a maintenance access road per Detail C2-11.



PRELIMINARY UTILITY PLAN NOTES:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak Regional Building Department Codes, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE THE DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAININGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

SWENT NOTES:

1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
4. ALL INLETS TO BE TYPE R STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25", 22.50", OR 45" CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

LEGEND:

DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED SANITARY SEWER MAIN	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
EXISTING ELECTRIC	
BOUNDARY LINE	

FOR CITY USE:

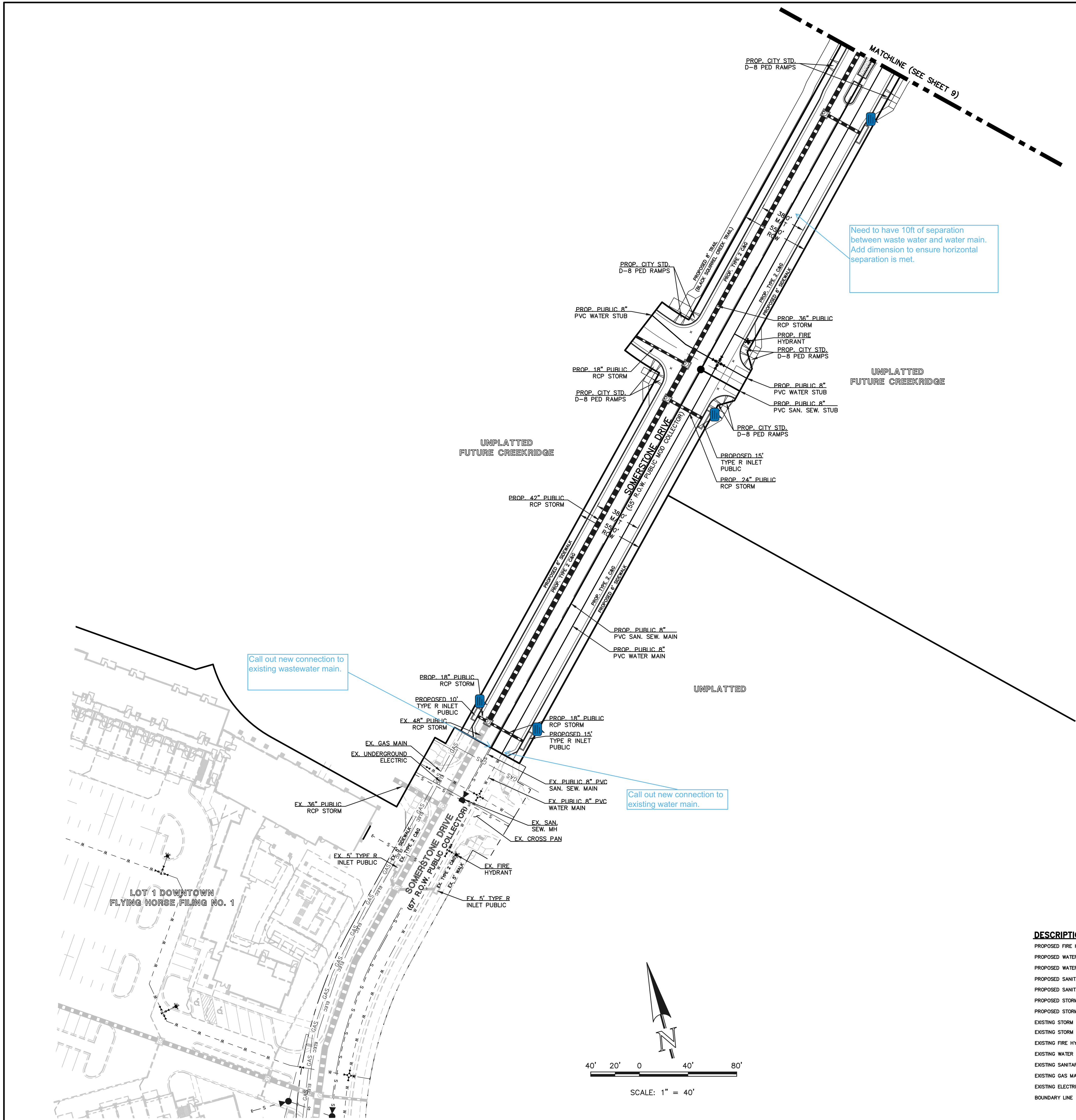
CITY FILE NUMBER
PUDO-26-00



CREEKDRIDGE AT FLYING HORSE
FILING NO. 1

DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY	JRH	SCALE	DATE	4/28/26
DRAWN BY	JRH	(H) 1" = 40'	SHEET	9 OF 23
CHECKED BY	(V) 1" = N/A	JOB NO.	1171.78	



SWENT NOTES:

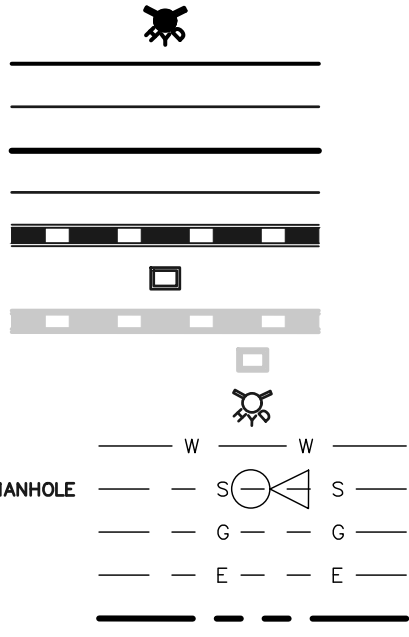
1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DOM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DOM.
4. ALL INLETS TO BE TYPE R STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DOM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

LEGEND:

DESCRIPTION

- PROPOSED FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICES
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- EXISTING ELECTRIC
- BOUNDARY LINE

SYMBOL



TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

FOR CITY USE:

CITY FILE NUMBER
PUD-26-00



CREEKRIDGE AT FLYING HORSE
FILING NO. 1

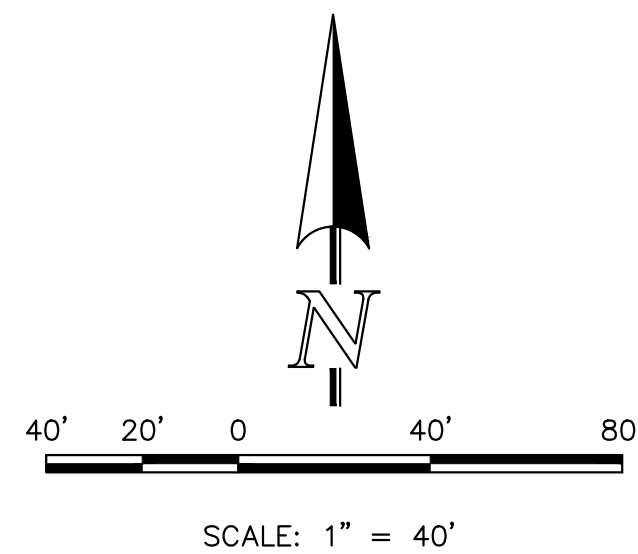
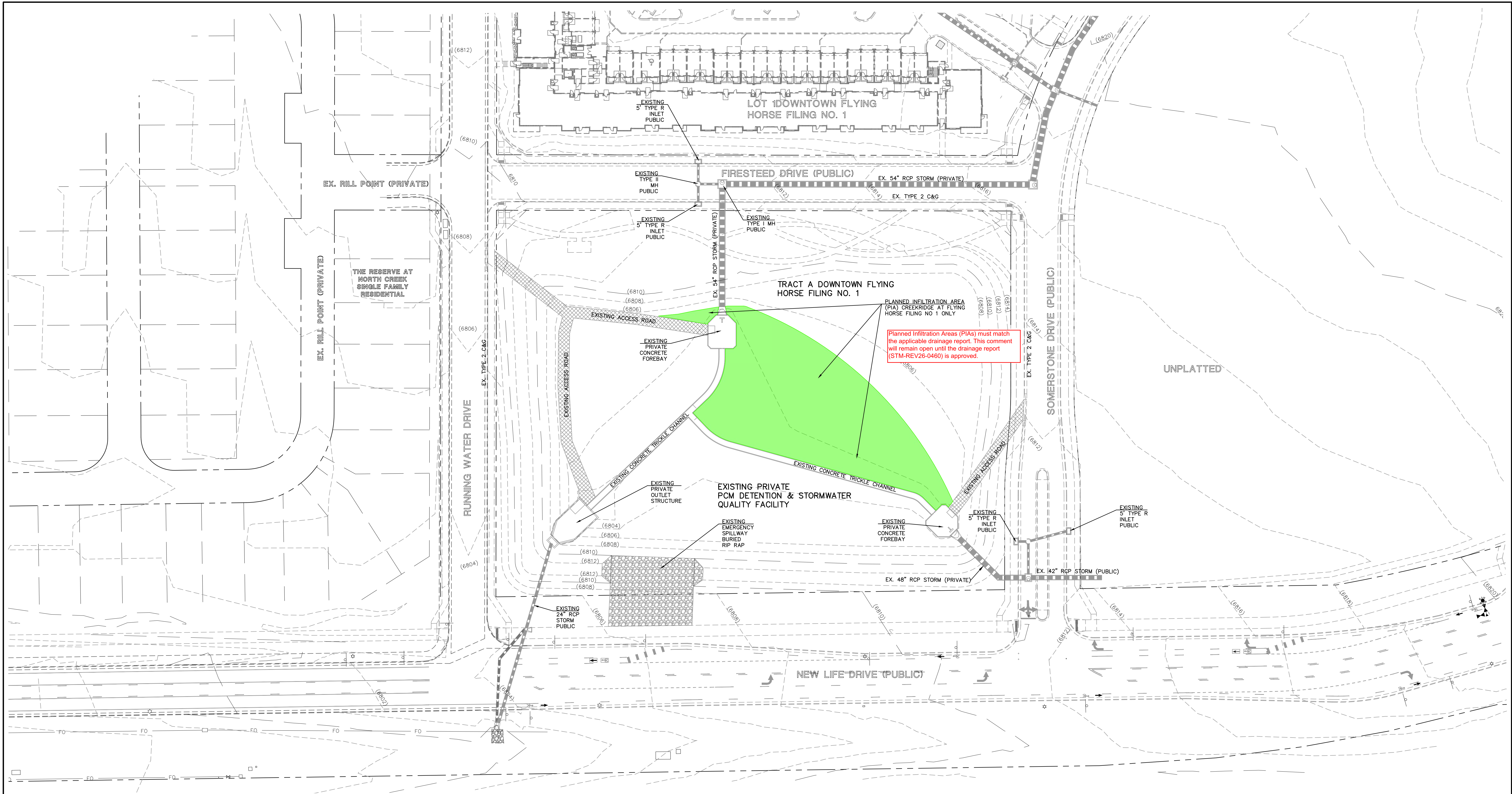
DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY	JRH	SCALE	DATE	4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	11 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BOUNDARY/FILING LINE
	EXISTING FLOW DIRECTION
	PROPOSED FLOW
	EXISTING VEGETATION
	PROPOSED INLET
	PROPOSED STORM SEWER PIPE
	PROPOSED HIGH POINT
	PROPOSED LOW POINT
	PROPOSED RETAINING WALL



619 N. Cascade Avenue, Suite 200 (719) 785-0790
Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

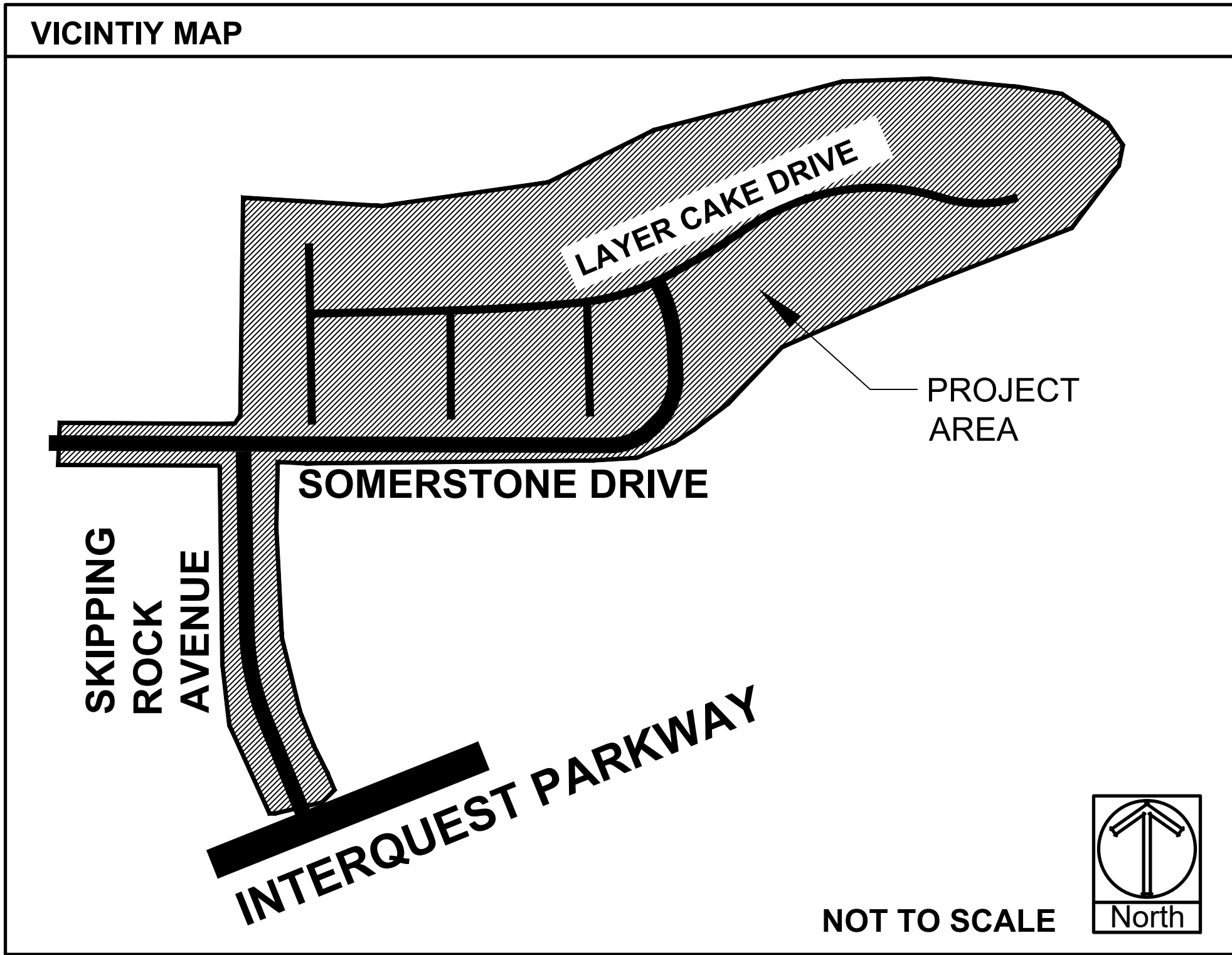
CREEKRDIGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PIA EXHIBIT

DESIGNED BY	JRH	SCALE	DATE	4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	13 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

FOR CITY USE:
CITY FILE NUMBER
PUDO-26-00



PROJECT SITE DATA
ZONING: PDZ-UV (SINGLE FAMILY RESIDENTIAL)
PROPERTY AREA: 818,811 SF
PARKING SPOTS: 49
CLIMATE ZONE: Foothills and Plains
PLANT COMMUNITIES: Foothill shrubland, lower elevation riparian, pinyon-juniper woods, ponderosa pine forest, prairie, upper elevation riparian



Tree and streetscape note:
ALL PROPOSED STREET TREES AND LANDSCAPING LOCATED WITHIN THE ROW INCLUDING ROUNDABOUTS AND MEDIANS TO BE MAINTAINED BY RENAISSANCE AT FLYING HORSE HOMEOWNERS ASSOCIATION OR METROPOLITAN DISTRICT.

IRRIGATION SYSTEM DESCRIPTION
The irrigation system to be an underground system with a spray or rotor system for turf or seeded areas. Shrub areas to be surface drip irrigated to irrigate all plant material. Irrigation system to be drainable for winter freeze protection. Irrigation to run off of a programmable irrigation controller.

- STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES**
- The following landscape notes shall be provided on all Preliminary and Final Landscape plans and be listed in a section called "Standard City of Colorado Springs Landscape Notes".
 - "A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy."
 - "All proposed landscaping shall be watered by an automatic irrigation system which provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas."
 - "The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982)."
 - "Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits."
 - "If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed."
 - "Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas."
 - "Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per city engineering standard drawings and specifications, engineering development review division inspector will have the final authority on accepting the public improvements." (Note this note is only for urban downtown projects within the city)

Internal landscape for compact lots is 10% (7.5% with park proximity reduction)

SITE CATEGORY CALCULATIONS					
LANDSCAPE SETBACKS (LS)					
Street Name / Boundary	Street Classification	Width (ft.) Req. / Prov.	Linear Footage	Tree Req. / Ft.	Tree Req. / Prov.
Somerstone Street	Non Arterial Street	10' / 10'	934'	1/30'	32 / 23
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Pro		
90 / 90	0 / 0	LS	75% / 75%		
Motor Vehicle (MV)					
Number of Parking Spots	Shade Trees (1/15 Spaces) Req. / Prov.	Vehicle Lot Frontage	Linear Footage	2/3 Length Frontage	
49	3.3 / 5	Full interior spots	NA	NA	
Internal Landscaping (IL)					
Gross Site Area (SF)	Percent Min. Internal Area Req. 15%	Internal Area (SF) Req. / Prov.	Internal Trees (1/500 SF) Req. / Prov.		
818,811 SF (VERIFY)		12,282 / 165,548	1 Tree per lot required 61 lots = 61 trees		
Trees not shown on this plan for individual trees on each lot. See Landscape typical for tree locations and type.					
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Prov.		
0 / 0	0 / 0	IL	75%/75%		
Green space required (Yes/No)	Active green space 10% / SF Required / Provided	Non-active green Space 5% / SF req / Provided			
Yes	81,881 SF (-20,470 SF Reduction)	61,411 SF / 39,443 SF			
61,411 SF / 39,443 SF meets active green space by 64%					
*NEW REQUIREMENT WITH 20% REDUCTION					
*A COMMUNITY PARK IS LOCATED WITHIN 660' OF 62% OF THE HOMES (38 OF 61 HOMES) THESE HOMES ARE ACCESSIBLE BY WALKWAYS. SO THIS COMMUNITY QUALIFIES FOR A 25% REDUCTION IN ACTIVE GREEN SPACE. (Per section 7.4.909 B).					

confirm that any high water turf is "active green space" or "functional" areas only. No turf as infill.

PLANTING LEGEND						
			Water Use:		Code Requirements:	
			Xeric - Water twice per month or less, once established. Low - Water about once per week, once established. Medium - Water about twice per week, once established. High - Water three days per week, or more, right-of-way.		SCREEN - Indicates if this tree or shrub is approved to be used to meet screening requirements. WALL/TRASH - Indicates if this tree or shrub is approved to be used to meet screening requirements for trash. ROW/MEDIAN - Indicates if this tree or shrub is approved by City Forestry/Planning for planting in public street rights-of-way. STREAM - Indicates if this tree is allowed to be planted within City Streamside areas. RESTRICTED - Indicates that this tree or shrub can only be planted in certain areas within the City.	
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	ZONE	SIZE (H / W / GROWTH RATE)
WATER USE						
DECIDUOUS TREES						
ACT	6	Acer tataricum	Maple tatarian	2"	Z=3	15'-20' / 18'-20' SLOW MOD LOW-MED ROW / MEDIANS *
ANM	19	Acer platanoides	Maple, Norway	2"	Z=4	30'-40' / 25'-30' MODERATE MED PARK / ROW *
CCH	11	Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless)	2"	Z=4	20'-30' / 20'-30' SLOW LOW-MED ROW - MEDIANS *
GSH	5	Gleditsia triacanthos 'Skyline'	Honeylocust, Skyline	2"	Z=4	30'-50' / 30'-50' MODERATE LOW-MED PARK / ROW / MEDIAN *
MSS	17	Malus 'Spring Snow'	Crabapple, Spring Snow	2"	Z=4	20'-25' / 15'-20' MODERATE MED ROW / MEDIAN / STREAM *
EVERGREEN TREES						
PIE	11	Pinus edulis	Pine, Pinyon	6'	Z=3	10'-20' / 10'-25' SLOW LOW SCREEN / WALL / TRASH *
PON	13	Pinus ponderosa	Pine, Ponderosa	6'	Z=3	50'-60' / 20'-30' MODERATE LOW WALL / SCREEN *
DECIDUOUS SHRUBS						
BRG	68	Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal	Z=4	4'-2' 3'-4' SLOW MED *
CMM	32	Cercocarpus montanus	Mahogany, Mountain	5 Gal	Z=4	6'-10' / 4'-8' SLOW LOW WALL / TRASH / SCREEN *
COP	60	Contoneaster acutifolia	Contoneaster, peking	5 Gal	Z=4	6'-8' / 6'-8' MODERATE LOW WALL / SCREEN / TRASH *
EBB	29	Euonymous alatus	Burning Bush	5 Gal	Z=2	5'-6' / 5'-6' MODERATE MED-HIGH SCREEN
PDG	4	Physocarpus opulifolius 'Darts Gold'	Ninebark, Darts gold	5 Gal	Z=2	3'-4' / 3'-4' MODERATE LOW / MED
PLD	18	Physocarpus opulifolius 'Little Devil'	Ninebark, Little Devil	5 Gal	Z=2	4'-8' / 4'-8' MODERATE LOW / MED SCREEN *
RAC	21	Ribes alpinum	Alpine Currant	5 Gal	Z=2	3'-6' / 3'-6' MODERATE LOW *
RQL	63	Rhus aromatica 'Gro-low'	Sumac, Gro-Low	5 Gal	Z=3	2'-3' / 6'-8' MODERATE XERIC *
RYF	6	Ribes aureum	Currant, Yellow Flowering	5 Gal	Z=2	3'-3' / 6'-8' MODERATE XERIC *
SMK	35	Syringa meyeri patula 'Miss Kim'	Lilac, Miss Kim	5 Gal	Z=3	4'-6' / 4'-6' MODERATE LOW SCREEN *
SPF	26	Spiraea x bumalda 'Froebel'	Spirea, Froebel	5 Gal	Z=4	3'-4' / 3'-4' MODERATE MED *
SPG	33	Spiraea x bumalda 'Goldmound'	Spirea, Goldmound	5 Gal	Z=4	2'-3' / 1'-2' MODERATE MED *
EVERGREEN SHRUBS						
JBC	9	Juniperus horizontalis	Juniper, Blue Chip	5 Gal	Z=3	8'-10' / 5'-6' MODERATE LOW *
JBJ	76	Juniperus Sabina	Juniper, Buffalo	5 Gal	Z=3	12'-18' / 6'-8' MODERATE LOW *
JUA	9	Juniperus chinensis 'Armstrong'	Juniper, Armstrong	5 Gal	Z=3	4'-5' / 4'-5' MODERATE LOW *
PGS	15	Picea pungens 'Glauca globosa'	Spuce, Globe Blue	5 Gal	Z=2	3'-5' / 5'-6' SLOW MED *
ORNAMENTAL GRASSES						
CAA	119	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 Gal	Z=3	3'-4' / 1'-2' MODERATE MED SCREEN *
PSR	81	Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	3 Gal	Z=5	3'-6' / 1'-2' MODERATE LOW *
PERENNIALS						
GAM	119	Gaillardia aristata 'Monarch Mix'	Blanket Flower 'Monarch Mix'	1 Gal	Z=3	
HSD	69	Hemerocallis 'Stella'd oro'	Daylily, Stella d'oro	1 Gal	Z=3	

*96% of plant species listed are from the current selected plants for Colorado Springs

GROUND COVER LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	STEEL EDGING (note use perforated edging if adjacent to areas that need to drain)	1,262 LF
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC	33,099 SF
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC	7,435 SF
	2-4" GRAY ROSE ROCK 3" IN DEPTH WITH WEED FABRIC	9,136 SF
	CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC	1,740 SF
	DECORATIVE BOULDER	46 TOTAL
	KENTUCKY BLUEGRASS SOD (23.8% OF LANDSCAPE AREA)	39,443 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES).	74,695 SF
	TRASH RECEPTACLE, PER DETAIL "B" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	DOG-POT PET STATION (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	BENCH, PER DETAIL "A" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	13 TOTAL

DATE	REVISION DESCRIPTION



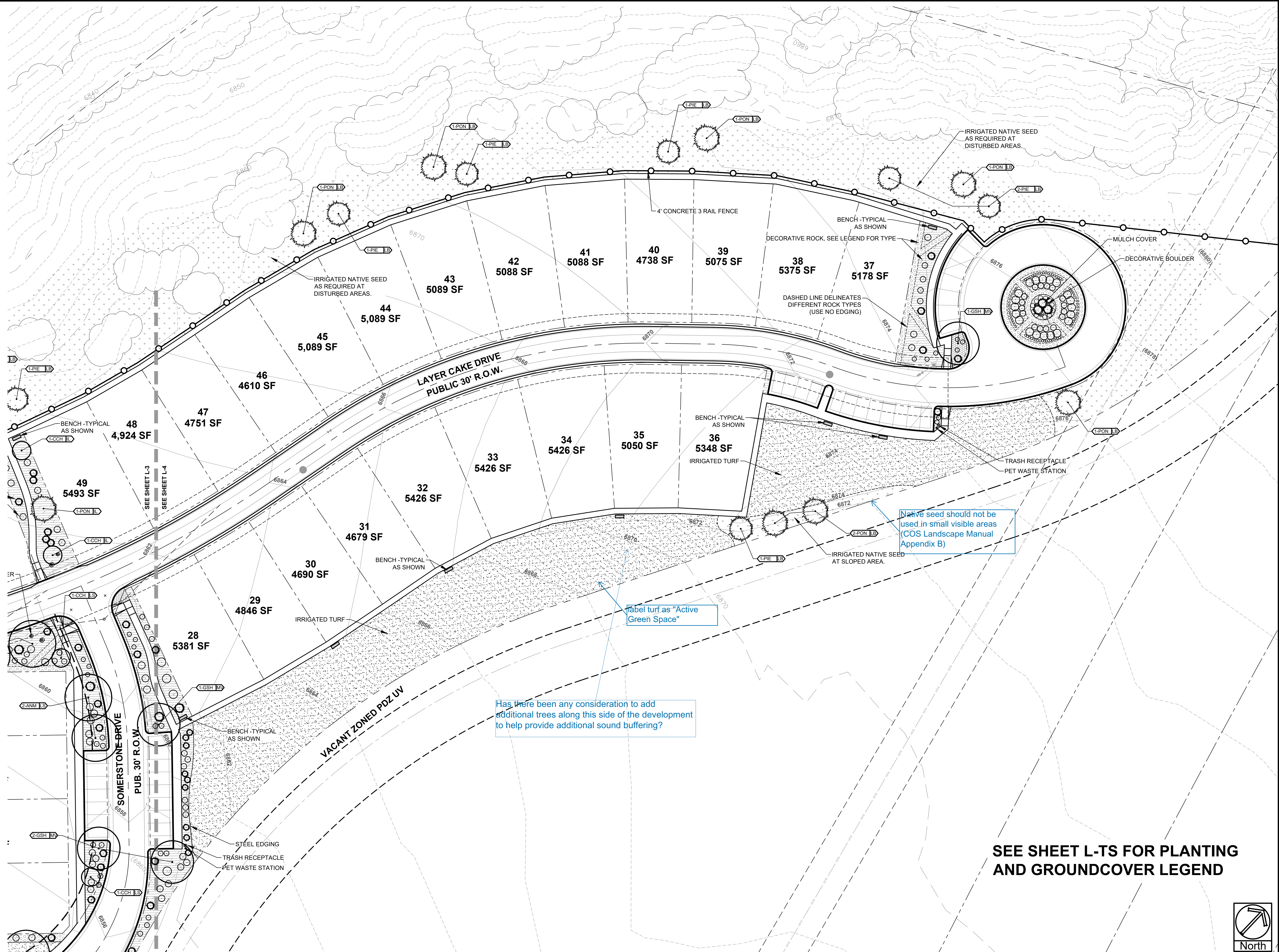
RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET



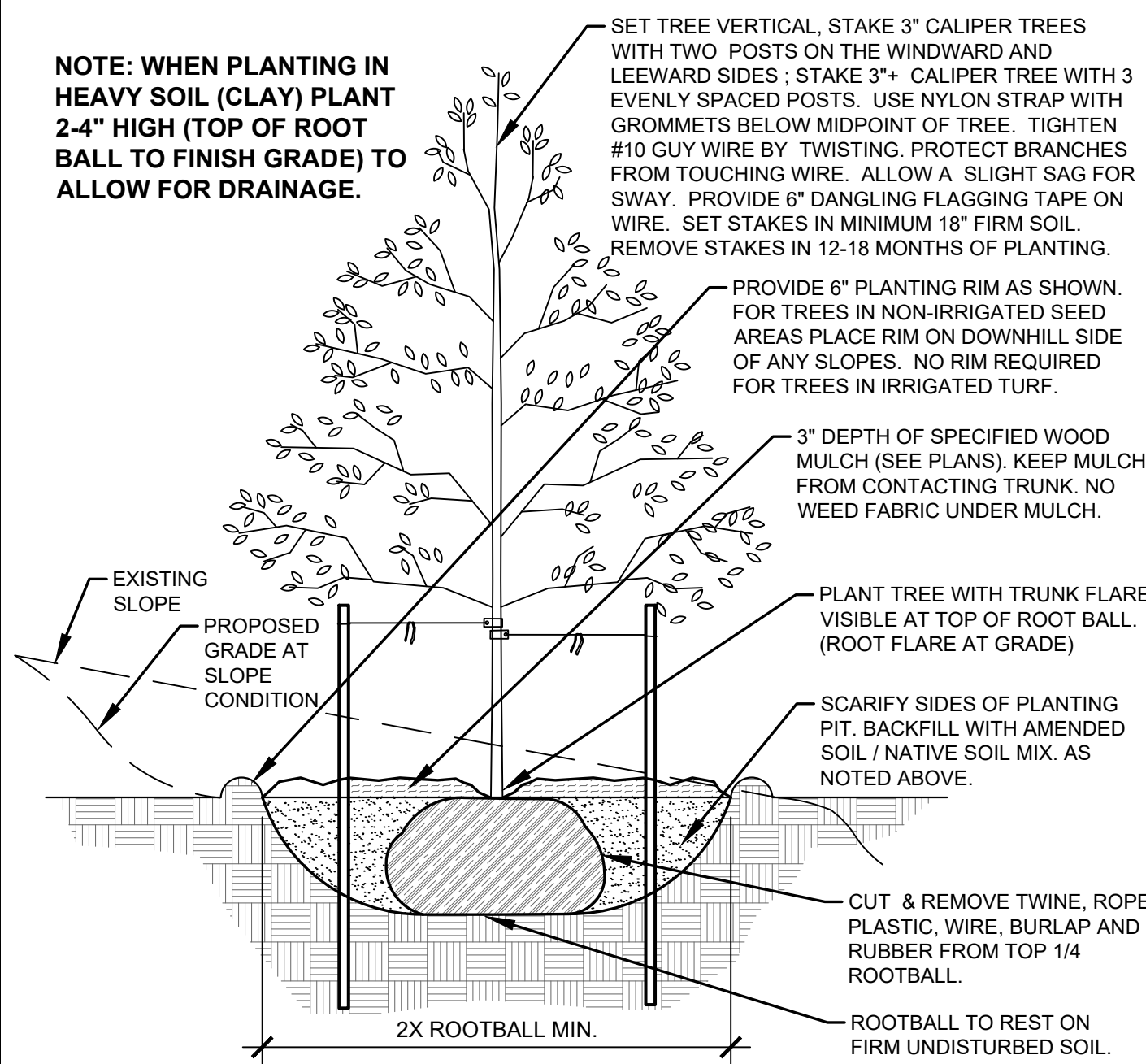
CLASSICSM
COMMUNITIES

FILING 1
SOMERSTONE STREET

JOB NUMBER	
2787-0326	
DATE 5/5/2026	
DRAWN BY MB	
DRAWING DESCRIPTION	
PRELIMINARY LANDSCAPE PLAN	
SHEET #	
L-4	18 of 23
© 2025 BY CIVILSERVICE LANDSCAPE ARCHITECTS, INC. ALL RIGHTS RESERVED	

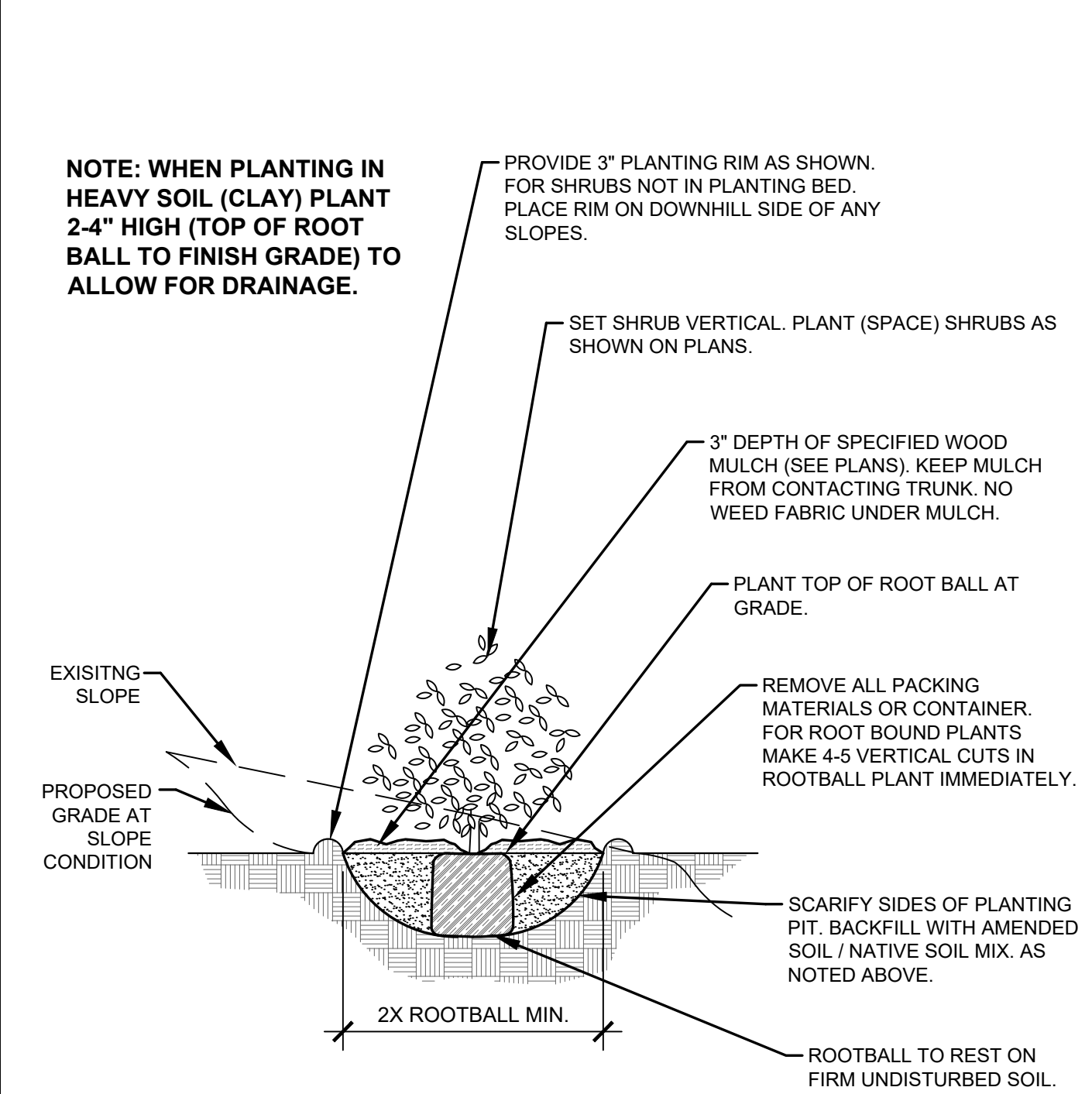


- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
 - DON'T REMOVE OR CUT LEADER.
 - PRUNE DEAD, BROKEN, CROSSING, OR WEAK BRANCHES PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
 - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD OF 2 GROWING SEASONS.
 - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
 - KEEP TREE MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE. WRAP MID OCTOBER AND REMOVE BY END OF MARCH.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



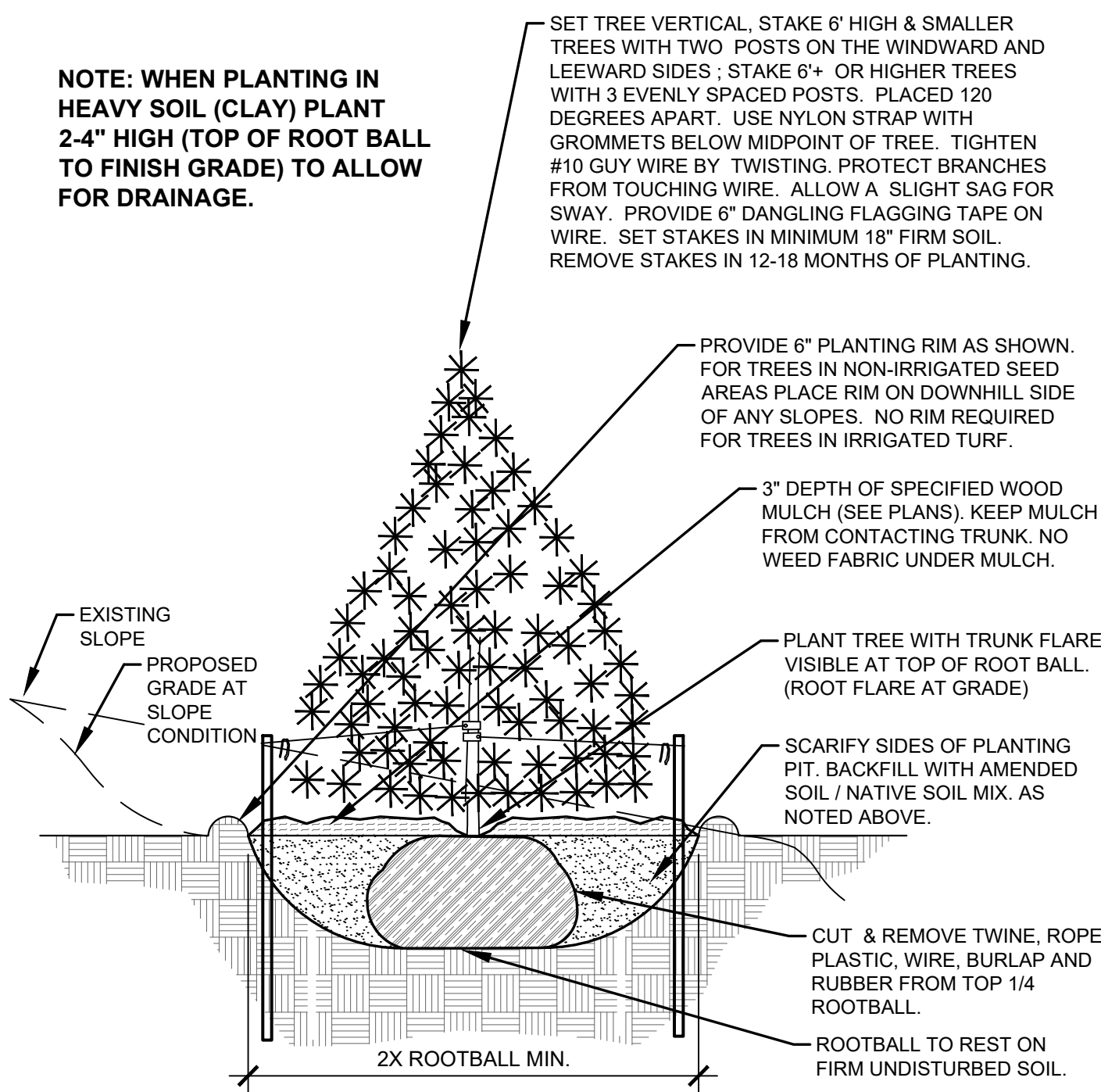
A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE DEAD, OR BROKEN BRANCHES PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - ALL SHRUBS IN ROCK AREAS TO RECEIVE A WOOD MULCH RING.
 - SHRUBS TO BE DEEP WATERED AT TIME OF PLANTING.



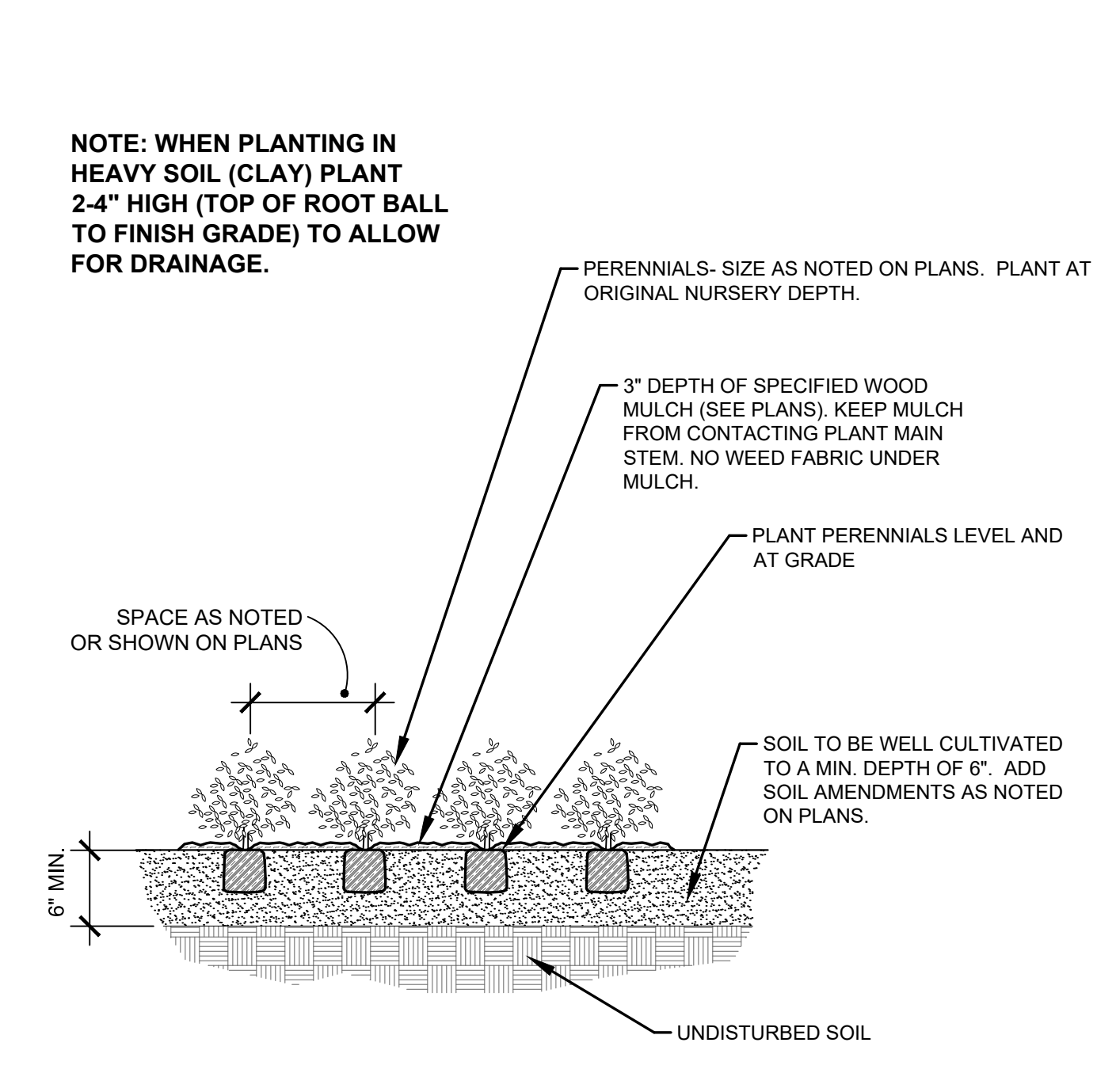
C SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
 - DON'T REMOVE OR CUT LEADER.
 - PRUNE DEAD, OR BROKEN BRANCHES PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
 - KEEP TREE MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - PINE AND SPRUCE SPECIES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING COORDINATE WITH CITY FORESTRY.
 - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



B EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - ALL PERENNIALS PLANTED IN ROCK AREAS TO RECEIVE WOOD MULCH RINGS AROUND THE BASE OF THE PLANTS.
 - DEEP WATER PERENNIALS AT TIME OF PLANTING.



D PERENNIAL PLANTING DETAIL
NOT TO SCALE

LANDSCAPE CONTRACTOR NOTES

- STOCKPILE SOIL (IF APPLICABLE) ON SITE AS SHOWN ON PLANS. STOCKPILED SOIL TO BE USED FOR FILL SOIL FOR LANDSCAPE AREAS AS NEEDED.
- REMOVE WEEDS, DEAD TREES / SHRUBS, DEBRIS FROM SITE PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION.
- PLANT QUANTITIES IN PLANT LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR TO INSTALL ALL PLANT MATERIAL PER PLANS.
- INSTALLATION OF PLANT MATERIALS TO BE IN ACCORDANCE WITH THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 OR CURRENT EDITION FOR ALL LANDSCAPE CONSTRUCTION ON THIS SITE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEFTS OR DAMAGE TO ALL PLANT MATERIAL AFTER PLANT MATERIAL IS DELIVERED TO THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE 48 HOURS MINIMUM NOTICE PRIOR TO SCHEDULE INSPECTIONS. INSPECTIONS TO INCLUDE:
 - PLANT PLACEMENT, PLANT SPECIES, MATERIAL SIZE, AND QUALITY.
 - HARDSCAPE MATERIAL PLACEMENT / PLANTING BED EDGING.
 - IRRIGATION MAIN LINE / HEAD PLACEMENT INSPECTION (AS APPLICABLE).

LANDSCAPE INSTALLATION NOTES

- EDGING FOR TURF, PLANTING BEDS, ROCK, OR MULCH AREAS TO BE ROLL TOP STEEL EDGING WITH PINS OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - SOD TO BE BLUEGRASS SOD. LAY SOD WITH TIGHT STAGGERED EDGES. (IF APPLICABLE)
 - ALL SEEDED TURF / SOD AREAS TO BE AMENDED WITH : 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF TILLED INTO THE TOP 6" OF SOIL. (IF APPLICABLE)
 - LANDSCAPE WEED FABRIC TO BE INSTALLED PRIOR TO INSTALLING ROCK. INSTALL FABRIC STAPLES AT 5' O.C. SEAMS IN FABRIC TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES. (IF APPLICABLE)
 - ROCK OR MULCH COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT THE PROJECT SITE. INSTALL A MULCH RING AROUND ALL PLANT MATERIAL IN ROCK AREAS AS FOLLOWS: TREES = 36" DIAMETER MULCH RING. SHRUBS = 18" DIAMETER MULCH RING. PERENNIALS AND ORNAMENTAL GRASSES = 12" MULCH RING. MULCH RINGS TO BE CASCADE MULCH. 3" IN DEPTH WITH NO WEED FABRIC NOTE: ALL TREES IN TURF AREAS TO RECEIVE A 24" DIAMETER MULCH RING. (IF APPLICABLE)
 - ALL BOULDERS (IF APPLICABLE) TO BE BURIED 1/3 BELOW GRADE TO PROVIDE A NATURAL APPEARANCE.
 - CONTRACTOR TO INSTALL ALL LANDSCAPE AS SHOWN ON THIS PLAN AND MAKE ANY ADJUSTMENTS NECESSARY DUE TO FIELD VARIATIONS OR ANY UTILITY CHANGES OR DEVIATIONS. MAJOR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 - EXISTING SOIL IN ALL PLANTING BED AREAS TO BE AMENDED WITH THE FOLLOWING: 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF TILLED INTO TOP 6" OF SOIL.
 - IF APPLICABLE :ALL PARKING LOT ISLAND PLANTERS SHALL BE TILLED / REMOVED TO A DEPTH OF 30" AND REPLACED WITH GRADE 'B' TOPSOIL OR EQUAL.
 - ALL NURSERY PLANT MATERIAL BOTANICAL NAME TAGS TO REMAIN ATTACHED TO THE PLANT MATERIAL. AFTER FINAL INSPECTION THEY ARE TO BE REMOVED.
 - LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF DOWNSPOUTS OR STORM DRAINAGE FROM ADJACENT LOTS WILL ADVERSELY AFFECT LANDSCAPED AREAS ON THESE PLANS.
 - TREES NOT TO BE PLACED ABOVE OR WITHIN 6' OF GAS, WATER, SEWER, STORM DRAINS OR ELECTRICAL UTILITIES. PLANTS NOT TO BE INSTALLED 3' OF ANY UTILITY BOXES THAT NEED TO BE ACCESSED FOR UTILITY MAINTENANCE.
- EXISTING TREE PROTECTION (IF APPLICABLE)
ANY EXISTING TREES OR PLANT MATERIAL NOTED TO BE PROTECTED ON THESE PLANS ARE TO BE PROTECTED FROM CONSTRUCTION DAMAGE. CONTRACTOR WILL TAKE RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PROTECTED TREES OR LANDSCAPE.
- ANY DAMAGE TO EXISTING TREES OR PLANT MATERIAL CALLED OUT TO BE PROTECTED SHALL BE REPLACED WITH EQUIVALENT PLANT MATERIAL.
- BARK BEETLE PROTECTION NOTE (IF APPLICABLE)
LANDSCAPE CONTRACTOR TO PROVIDE PROTECTION FOR ALL NEW PINE TREES FOR BARK BEETLE PROTECTION. INSPECT ALL PINE TREES PRIOR TO PLANTING AND SPRAY TREES WITH THE FOLLOWING:
 - ASTROBRAND PERMITHRIN
 - APPLY TREATMENT 2 TIMES A YEAR FOR TWO CONSECUTIVE YEARS PER MANUFACTURE'S GUIDELINES
- SLOPE PROTECTION (IF APPLICABLE)
CONTRACTOR TO INSTALL EROSION CONTROL BLANKETS OR EQUAL ON SEEDED SLOPES 3:1 AND STEEPER. SECURE BLANKETS TO SLOPE PER MANUFACTURE'S RECOMMENDATIONS.
- EROSION CONTROL BLANKET TO CONTAIN 100% AGRICULTURAL STRAW BLANKET WITH PHOTO-DEGRADABLE NETTING ON BOTH SIDES.
- CONTRACTOR TO PROVIDE 4-8" DIAMETER COBBLE (WITH LANDSCAPE FABRIC) FOR ALL CURB INLETS INTO DETENTION AREAS IF APPLICABLE. PROVIDE A SWALE FROM INLET TO DETENTION AREA A MINIMUM OF 2' WIDE AND MAXIMUM 3' WIDE. (IF APPLICABLE)

SEEDING NOTES

- IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE LOW GROW MIX 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS. (for use in most flatter and slightly sloped areas).
- | | |
|-----------------------|-----|
| --BUFFALOGRASS | 25% |
| --GRAMA, BLUE | 20% |
| --GRAMA, SIDE OATS | 29% |
| --GREEN NEEDLEGRASS | 5% |
| --WHEATGRASS, WESTERN | 20% |
| --DROPS EED, SAND | 1% |
- SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH : 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE. AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF, ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.
- IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (for use on slopes and ponds) 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS.
- | | | | |
|----------------------|-----|---------------------|-----|
| --BIG BLUE STEM | 20% | --SWITCHGRASS | 10% |
| --GRAMA, BLUE | 10% | --PRAIRIE SANDREED | 10% |
| --GREEN NEEDLEGRASS | 10% | --YELLOW INDANGRASS | 10% |
| --WHEATGRASS WESTERN | 20% | --GRAMA SIDE OATS | 10% |
- SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH : 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE. AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF, ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.
- ANY EXISTING SEEDED AREAS THAT ARE DISTURBED NEAR PROPERTY BOUNDARIES TO BE SEEDED WITH THE ALL PURPOSE MIX USING A ONE STEP HYDRO-MULCH.
- ANY BARE AREAS LARGER THAN A SQUARE FOOT AFTER SEED GERMINATION TO BE SEEDED TO FILL IN SUCH AREAS.

DATE	REVISION DESCRIPTION



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	PLANTING DETAILS & NOTES
SHEET #	L-7 21 of 23
© 2023 BY SUNFLOWER LANDSCAPES • ALL RIGHTS RESERVED	

NOTE: FINAL SELECTION OF BENCHES, TRASH RECEPTACLE AND WALLS AND FENCING SUBJECT TO CHANGE BASED ON DELIVERY TIMES & AVAILABILITY & DEVELOPER CHOICE.



DurMor, Inc. Model 139 series pl (Grey Color)

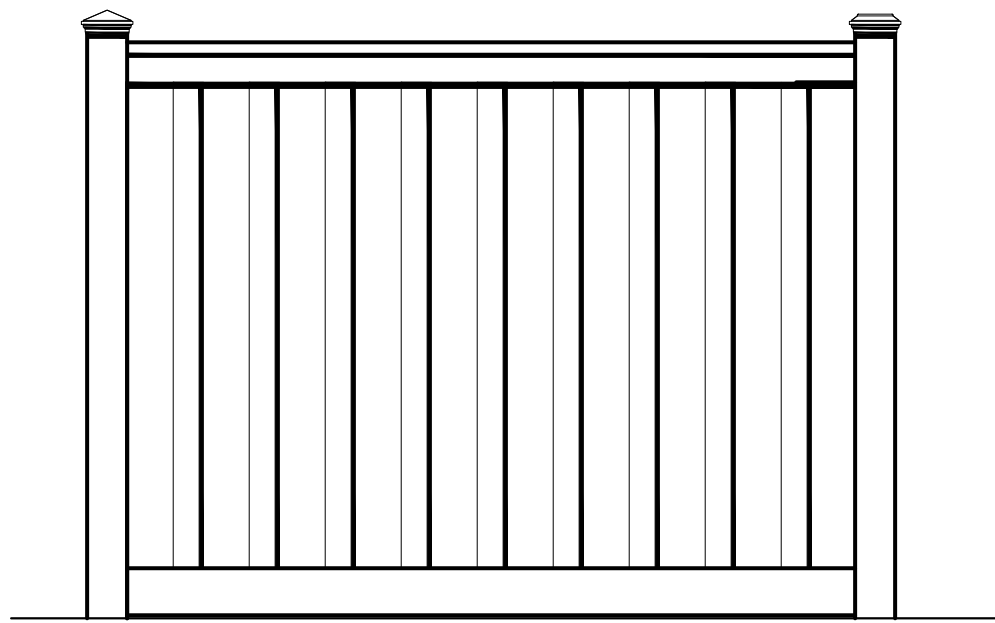
A Bench
NOT TO SCALE



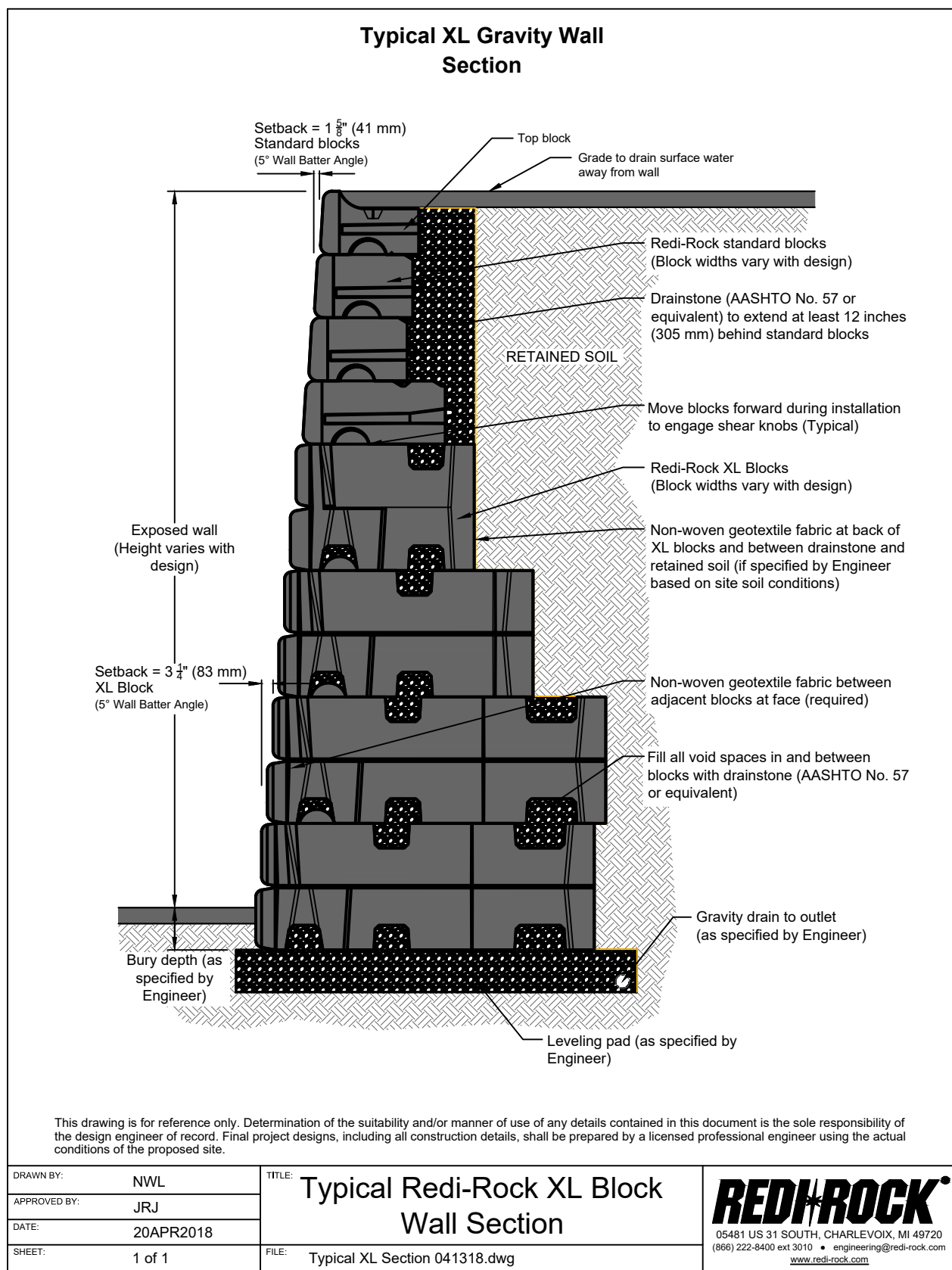
DurMor, Inc. Model 272-32-SO

B Trash Receptacle
NOT TO SCALE

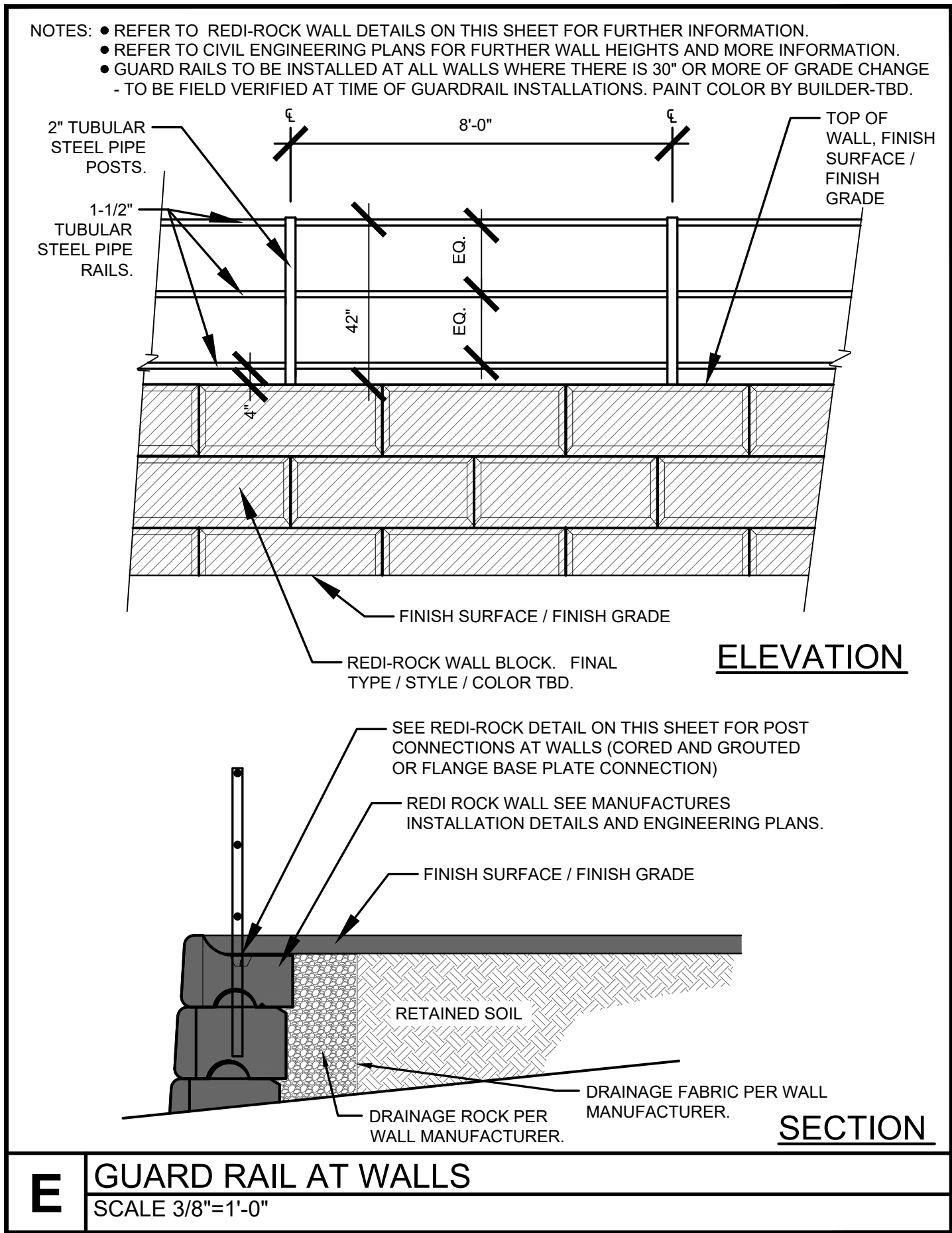
NOTES: • SEE PLANS FOR LOCATIONS
• COLOR TO BE DETERMINED - BY BUILDER



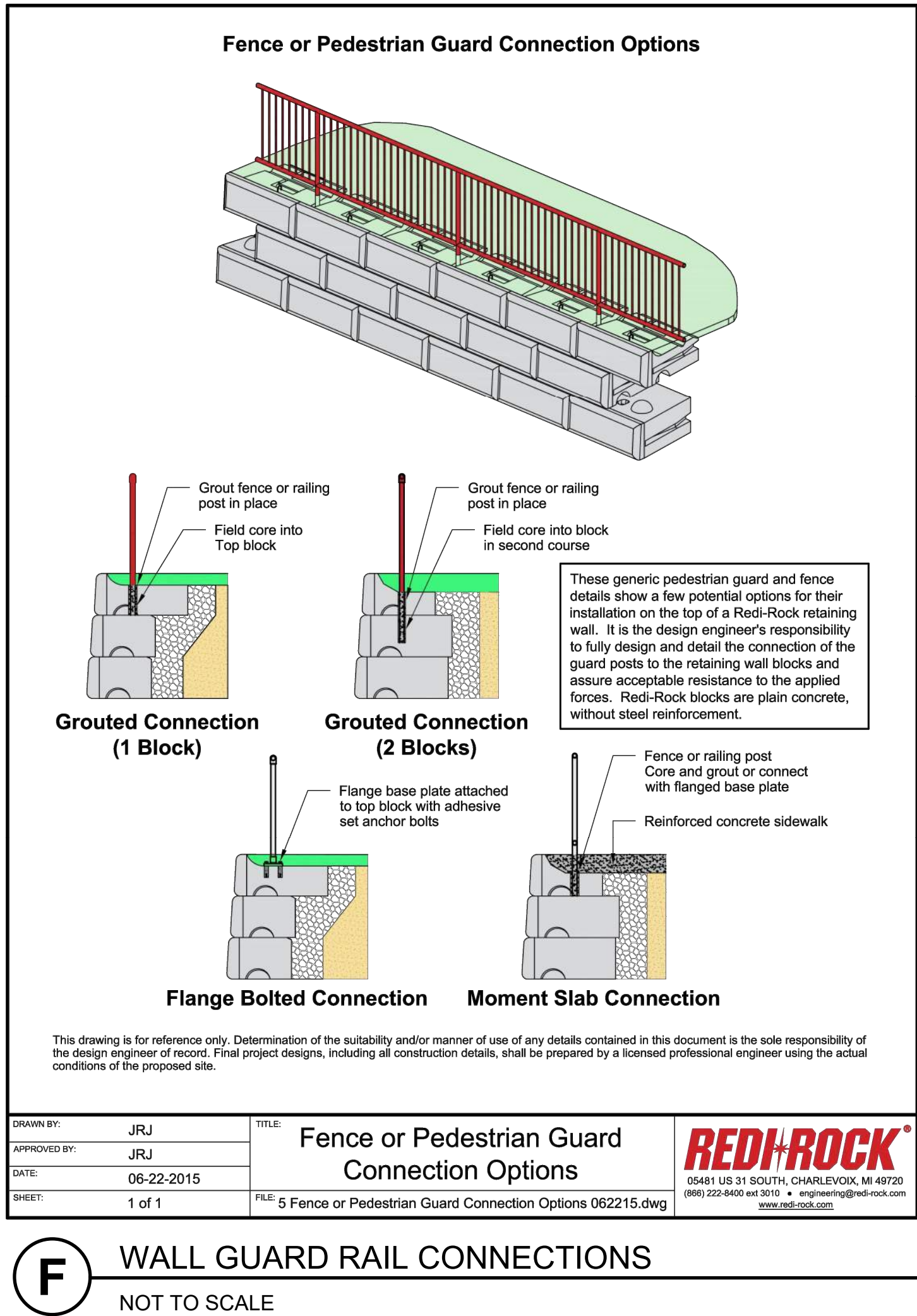
C 6' HIGH VINYL FENCE



D RETAINING WALL DETAIL
NOT TO SCALE



E GUARD RAIL AT WALLS
SCALE 3/8\"=1'-0"



F WALL GUARD RAIL CONNECTIONS
NOT TO SCALE

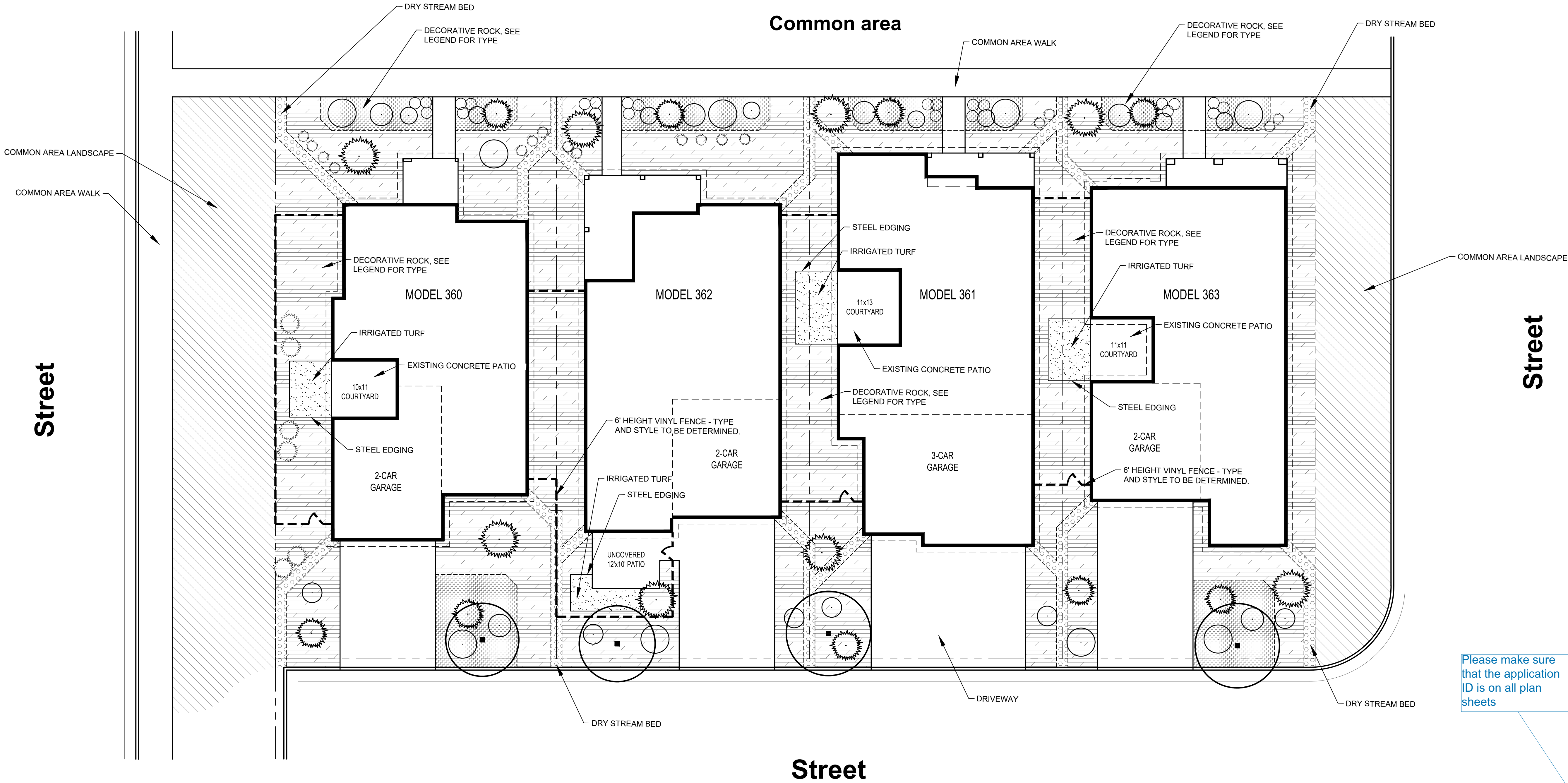
DATE	REVISION DESCRIPTION



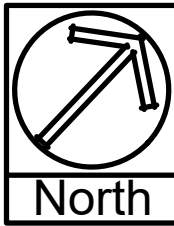
PLANTING LEGEND				
		Notes Key: X=Xeric plant, R=Rabbit Resistant, DE=Deer Resistant, F=Firewise plant Z=Zone, K=Altitude, Water Use inch / year, D=Dry (13-20"), A=Adaptable (18-28") S=Steady (23-38"), W=Wet (36"+) SIG=Signature plant (City of Colorado Springs)		
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE NOTES
DECIDUOUS TREES				
ACT		Acer tataricum	Maple tatarian	1-1/2" Z=3, 8.5K,A,SIG
CCH		Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless)	1-1/2" R,DE,F,Z=4, 8.5K,A,D,SIG
MSS		Malus 'Spring Snow'	Crabapple, Spring Snow	1-1/2" F,Z=4, 8.5K,S,SIG
PCR		Prunus virginiana 'Schubert'	Cherry, Canada Red	1-1/2" R,DE,F,Z=2, 9.5K,A,S,SIG
DECIDUOUS SHRUBS				
BRG		Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal R,DE,Z=4, 7K,A,SIG
PBS		Prunus Besseyi 'Pawnee Buttes'	Western Sandcherry 'Pawnee Buttes'	5 Gal F,Z=3, 9.5K,A,SIG
POG		Potentilla fruticosa 'Gold finger'	Potentilla, Gold finger	5 Gal R,DE,F,Z=2, 10K,S,SIG
SPF		Spiraea x bumalda 'Froebel'	Spiraea, Froebel	5 Gal R,DE, 7.5K,A,S,SIG
SPG		Spiraea x bumalda 'Goldmound'	Spiraea, Goldmound	5 Gal R,DE,Z=3, 7.5K,A,S,SIG
EVERGREEN SHRUBS				
JBU		Juniperus Sabina	Juniper, Buffalo	5 Gal R,DE,Z=3, 8.5K,A,SIG
PGS		Picea pungens 'Glauca Globosa'	Spruce, Globe Blue	5 Gal Z=2, 10K,S,SIG
ORNAMENTAL GRASSES				
CAA		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gal R,DE,Z=3, 6.5K,A,SIG
PSR		Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	1 Gal R,DE,Z=5, 7K,D,SIG
PERENNIALS				
PER		Selected Perennials To Be Determined from this list: Blanket Flower, Coreopsis, Columbine, Gazania, Phlox,Yarrow, Snow-in-sunmer, Coneflower, Hosta, Lavender, Shasta Daisy, Penstemon, Black eyed Susan, Salvia & Sedum.		1 Gal

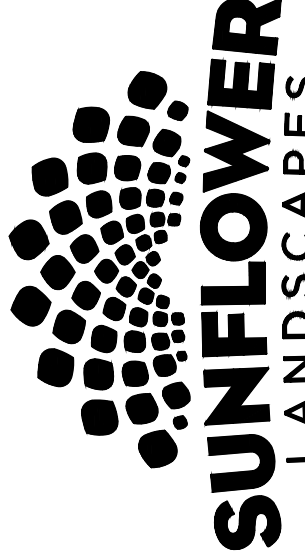
GROUNDCOVER LEGEND	
SYMBOL	DESCRIPTION
	STEEL EDGING (note use perforated edging if adjacent to areas that need to drain)
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC
	3/4" OR 1-1/2" CLEAR CREEK ROCK 3" IN DEPTH WITH WEED FABRIC
	KENTUCKY BLUEGRASS SOD

PLANT SYMBOL KEY	
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	ORNAMENTAL GRASSES
	PERENNIALS



Please make sure that the application ID is on all plan sheets





LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1929 AEROPOLAZA DRIVE
COLORADO 80916
719-537-0313

DATE	REVISION	DESCRIPTION



RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1

SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	PRELIMINARY LANDSCAPE PLAN - BUILDING TYPICALS
SHEET #	L-9 23 of 23