

Colorado Springs, CO

Planning and Development
30 S. Nevada Ave., Suite 701
Colorado Springs, CO 80903



Final Report - Corrections Required **Application No. DEPN-26-0068**

Report Date: 06/18/2026

Description : single family residential development with optional ADU. 41 lots

Address : 0 tbd

Record Type : Development Plans

Document Filename : DP Creekridge at Flying Horse Filing No 2.pdf

Comment Author Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Becky Allen	beckya@pprbd.org	719-799-2707
Allison Stocker	allison.stocker@coloradosprings.gov	-
Caroline Miller	caroline.miller@coloradosprings.gov	719-385-6089
Zaker Alazzeh	zaker.alazzeh@coloradosprings.gov	-
Jason Jacobsen	jason_jacobsen@comcast.com	-
Gregory Stachon	gregory.stachon@coloradosprings.gov	719-385-5613
Brian Corrado	brian.corrado@coloradosprings.gov	719-444-3168
Michelle Lavelle	michelle.lavelle@coloradosprings.gov	-
Don Smith	donald.smith@asd20.org	-
Matthew Alcuran	malcuran@csu.org	-
Hao Vo	hao.vo@coloradosprings.gov	-
Erica Schmitz	erica.schmitz@coloradosprings.gov	-
Teresa Guagliardo	teresa.guagliardo@state.co.us	-
Sabrina Untal	sabrina.untal.ctr@us.af.mil	-

General Comments

Comment ID	Reviewer : Department	Review Comments
4	Teresa Guagliardo : CDOT	Please refer to the planning referral letter emailed to Allison on 5-22-26 for CDOT's comments regarding this development.

Comment ID	Reviewer : Department	Review Comments
34	Sabrina Untal : Military Installations	The United States Air Force Academy (USAFA) has received the Creek Ridge at Flying Horse Filing No. 2 (DEPN-26-0068) development review. Per the AF-O overlay requirements (UDC section 7.2.602), USAFA requests an avigation easement be filed for this development if it has not already been completed. The avigation easement instructions can be provided by the Colorado Springs planner Allison Stocker at allison.stocker@coloradosprings.gov. Once the avigation easement has been filed with the El Paso County Clerks and Records Office, please provide the official avigation easement, with the reception number, to Sabrina Untal at sabrina.untal.ctr@us.af.mil and 10ces.cenp.usafadevreviewgrp@us.af.mil.
35	Sabrina Untal : Military Installations	As this property is located in the AF-O Overlay, we request a noise notice is added to the final plat. The official noise notice document has been provided to the Colorado Springs planner, Allison Stocker. If you wish to have this document for your records, you can reach her at Allison.Stocker@coloradosprings.gov. Below you will find the updated noise notice verbiage to copy and paste onto the plat. o "This property may be impacted by noise and/or similar sensory effects caused by, but not limited to, the normal daily activities from the United States Air Force Academy's Airmanship Program, combat training, and special events. These activities include, but are not limited to, fixed and rotary wing aircraft, live weapons fire training at the firing range, simulated explosives, controlled hunting during hunting seasons, and other activities that may produce noise, vibrations, dust, smoke and all other effects that may be produced by such activities and experienced beyond the Installation's boundaries. This notice shall remain in effect until the Air Force Academy shall cease to be used for flight, and military training purposes and special events, or until all airfields on the Air Force Academy shall cease to be actively used and special events are permanently discontinued. This notice shall run in perpetuity with the land."
36	Sabrina Untal : Military Installations	The USAFA acknowledges SWENT's comment on the Development Plan, and our team would appreciate the opportunity to review the Preliminary Drainage Report once the corrections have been finalized. Over the past few decades USAFA has commented extensively on development-related stormwater impacts to the installation's infrastructure, natural habitat, and mission. As this development is located near Black Squirrel Creek, we would like the City to note that the Installation has recently completed a large repair/restoration project to repair damage on the portion of Black Squirrel Creek that flows through USAFA property through the Intergovernmental Support Agreement (IGSA) with the SWENT team. Please provide the finalized Preliminary Drainage Report at your earliest convenience to Sabrina Untal at sabrina.untal.ctr@us.af.mil and 10ces.cenp.usafadevreviewgrp@us.af.mil.
5	Brian Corrado : Planning	• Recommend landscaping trimmed between 4' and 6' to provide natural surveillance of exterior, and 4' from foundation/walls • Recommend landscaping material not consist of large river rock or other large items that could be used to force entry • Recommend increased lighting at all pedestrian walkways, outlying parking areas, and dumpster areas • Construction Signage -Installation of temporary signage indicating No Trespassing or Video Surveillance in Progress during construction to deter unwanted persons on the property. • Construction Fencing -Temporary installation of construction barrier fencing around proposed location during any phase of demolition or area prep to deter unwanted foot traffic. • Trespassing Signage -Installation of signage on premises to indicate that the property is for shopping customers only & that trespassing, soliciting, and unauthorized parking is prohibited per City Ordinance 9.6.102. • Parking Signage -Installation of permanent signage on premises to indicate that unauthorized/long-term parking, unauthorized soliciting, & trespassing are prohibited • Bicycle -Bicycle storage options (racks) that provide adequate safeguards against theft; installation of signage near racks encouraging properly securing a bicycle even for short durations • Trespass Letter -File an official City of Colorado Springs Trespass Letter with Crime Prevention Officer • Utility Box Covers -Installation of lockable covers/boxes on all exterior utilities to prevent unauthorized access of utilities (i.e., electrical outlets & water faucets) • Trash Cans -Selection of pedestrian trash receptacles that encourage proper disposal/separation of recyclables but prevents dumping & rummaging, and that it cannot be easily removed • Benches should be designed to discourage unwanted use such as camping, skateboarding by having a divider in the middle Ofc. B.P.Corrado; Falcon Division Crime Prevention Officer; brian.corrado@coloradosprings.gov
27	Becky Allen : Regional Building-Enumerations	1. ADU addresses will also be added to the final plat along with main home address.

Comment ID	Reviewer : Department	Review Comments
		2. Street names have been reserved and approved and are correctly shown on the plans. 3. Homes appear to all be rear loaded. Standard Development Plan comments apply: 1. For assignment of addressing for lots and tracts, place addressing marker (xxx) where they are intended to be utilized. Addressing marker for lots should be front door, and should be placed as close to the edge of the lot as possible, running parallel to the street it is being addressed from. 2. Rear Loaded homes will have unique address assignment and placement. A plat note will be required showing address placement. 3. Provide a 100 scale copy or larger of the entire APPROVED development plan (d.p.) to this department so that addressing can be assigned. Once received, the development plan will be placed on a list to be addressed. Development plans that are not yet approved may be addressed, however additional plan review fees will accrue if changes are made to the D.P. after initial addressing. 4. If underground service is needed prior to plat, submit a Utilities Addressing Plan (UAP), to Colorado Springs Utilities via the related link at Link For more information contact: Jade Swan jswan@csu.org

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Reviewer : Department	Review Comments
3	1	Zaker Alazzeh : City Eng - Traffic Engineering	Please add the following to note the cover sheet general notes: " THE DEVELOPER WILL BE RESPONSIBLE FOR APPLICABLE TRAFFIC IMPACT STUDY RECOMMENDED ROADWAY IMPROVEMENTS SHOWN ON FIGURE 10 AND FIGURE 11 OF THE TIS BY LSC TRANSPORTATION CONSULTANTS."
28	1	Erica Schmitz : City Engineering - SWENT	Info Only: Please contact the Lead Reviewer, Erica Schmitz (erica.schmitz@coloradosprings.gov) with any questions related to SWENT comments. Please reference the Planning review number in all communications.
29	1	Erica Schmitz : City Engineering - SWENT	The Preliminary Drainage Report (STM-REV26-0502) was reviewed and returned to the engineer. Stormwater Enterprise (SWENT) requests that the DP not be approved prior to all major comments on the drainage report being resolved.
30	1	Erica Schmitz : City Engineering - SWENT	The Four Step Process and detention requirements must be met for this site, as disturbance is greater than 1 acre. Show provisions for WQ/Detention or provide a note on the cover sheet stating the name and location of the existing facility that provides water quality and detention for the site. The note must include the full FDR name that designed the PCM, who prepared that report, and the approval date of the report. If this Site is a redevelopment, detention may not be required if the downstream drainage system is shown to have capacity for the proposed developed flow.
31	1	Erica Schmitz : City Engineering - SWENT	Info Only: The Stormwater Enterprise (SWENT) has recently updated Criteria regarding required submittals. For all Development Plans (DPs) which previously required a Final Drainage Report (FDR) submittal (generally, all DPs with 1 acre or more of earth disturbance proposed), a Preliminary Drainage Report (PDR) submittal is now acceptable instead of an FDR submittal. This change in Criteria allows for such DPs to be approved without requiring detailed, final drainage design calculations at the planning stage of the project. For DPs with less than 1 acre of earth disturbance proposed, a Final Drainage Letter (FDL) submittal is required. A PDR submittal is now acceptable instead of an FDR submittal in support of a Final Plat (FP). The PDR must be approved before the FP can be recorded. An FDR may still be submitted in support of DP or FP approval if final design information is available at the time of the DP or FP submittal. FDR Addendums are no longer accepted. All required final calculations must be included in the FDR prior to FDR approval. FDR approval is still a prerequisite for Construction Drawing (CD) approval (e.g., GEC Plan, Drainage Plan/Profile, PCM Plan,

Comment ID	Page Reference	Reviewer : Department	Review Comments
			etc.). Master Development Drainage Plans (MDDPs) are no longer required for DPs with 10 or more acres of land. Only the proposed project areas greater than one acre and will therefore require a separate Grading and Erosion Control Plan (GEC) and the City's Stormwater Management Plan (CSWMP). These plans will need to meet the requirements listed in the City's Stormwater Construction Manual (SCM) and should be submitted via ProjectDox to the Stormwater Enterprise for review and approval. Construction details for Planned Infiltration Areas must be included in the final phase of the GEC Plan. Assurances in the amount of the total cost of the temporary construction control measures (CCMs) will be required prior to the approval of the GEC. Once the GEC & CSWMP are approved, then the applicant must apply for a City GEC Permit by completing and submitting the GEC Permit application and paying the associated fee in Accela.
32	1	Erica Schmitz : City Engineering - SWENT	
33	5	Erica Schmitz : City Engineering - SWENT	Planned Infiltration Areas (PIAs) must match the applicable drainage report. This comment will remain open until the drainage report (STM-REV26-0502) is approved.
14	1	Hao Vo : City Engineering Dev Review	EDRD has determined minimal geological hazards exist in this area and will accept a Geologic Hazard Not Applicable Form, exempting this site from a full report or waiver, to be submitted for this subdivision. Please fill out the form and submit it to EDRD through our electronic review system called ProjectDox. Below is a link to ProjectDox and a user manual. Link Form link: geologic_hazard_not_applicable_application_20230822.pdf Once it has been approved, please upload the signed form with this submission.
17	1	Hao Vo : City Engineering Dev Review	Please contact USPS at coloradospringsgrowthmanagement@usps365.onmicrosoft.com directly to review this development for mail service. To establish mail delivery and kiosk locations an appointment will be required with USPS to determine final locations. Information required for this establishment include proposed locations, type of mail receptacle, final plat with addresses, type of development (residential/commercial) and date of first occupancy
16	3	Hao Vo : City Engineering Dev Review	Please call out curb and gutter on InterQuest Pkwy.
18	2	Matthew Alcuran : Col Springs Utilities	Show gas main in center per GLESS A3-14 detail.
19	4	Matthew Alcuran : Col Springs Utilities	Add "and service lines" per WLESS and WWLESS
20	4	Matthew Alcuran : Col Springs Utilities	Show gas main in center of road per detail GLESS A3-14
21	4	Matthew Alcuran : Col Springs Utilities	Show conceptual location of transformers for CSU Electric Field Engineering to review for clearances.
22	4	Matthew Alcuran : Col Springs Utilities	Add note " Gas meters must be a minimum of 3-feet from doors, operable windows, or any vents or openings in walls."
23	4	Matthew Alcuran : Col Springs Utilities	Add note "CSU Field Engineer to determine final gas/electric meter, transformer, and service line locations. Contact Field Engineering at 719-668-4985 (Gas) or 719-668-5564 (Electric) with any questions."
24	4	Matthew Alcuran : Col Springs Utilities	Please acknowledge the following: Information Items: 1.Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development. oIn instances where metered water and/or wastewater connections existed on the property, please contact

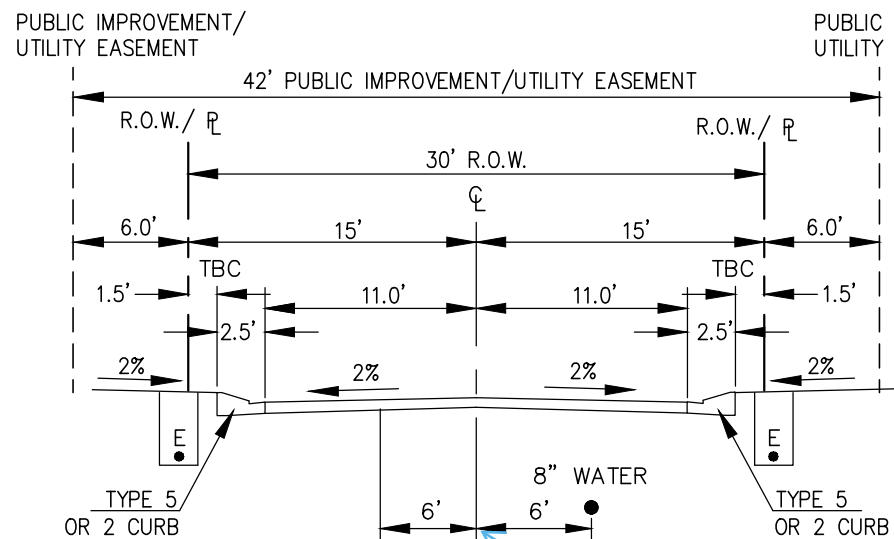
Comment ID	Page Reference	Reviewer : Department	Review Comments
			UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots. 2.When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing Form will be required to be submitted to CSU prior to Service Contract issuance and plan set approval. 3.CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985. 4.CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. With regard to natural gas extensions, CSU may require an extension contract and advance payment for the estimated costs to construct the necessary gas extensions. 5.Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or CSU' policies. 6.Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities. 7.Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities. 8.CSU requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to UDS via www.csu.org.
25	7	Matthew Alcuran : Col Springs Utilities	Utility plan shows a proposed fire hydrant south of Lot 11. Clarify to ensure horizontal separation from trees.
26	7	Matthew Alcuran : Col Springs Utilities	Utility plan shows a proposed fire hydrant south of Lot 24. Clarify to ensure horizontal separation from trees.
1	1	Jason Jacobsen : Comcast	Comcast has no issues.
37	1	Caroline Miller : Planning	Please see Staff Note 00045 and remove Note 19 - the sidewalks within CreekrIDGE at Flying Horse No. 2 will be internal pedestrian connections, rather than Urban Trails.
38	1	Caroline Miller : Planning	CDI: Citywide Development Impact Fees for Police and Fire apply to all new and redeveloped residential and nonresidential development, per City Code 7.5.532. This development is applicable to CDI, and a School and CDI Fee estimate has been uploaded to this file for applicant review, with fees due at the time of building permit. This Fee estimate does not include integrated ADU Fee estimates. If there are questions or additional prior history that is applicable to this site for fee determinations, please reach out to reviewer. Fees are subject to change by time of payment.
39	1	Caroline Miller : Planning	CDI information can be removed from the DP - a fee estimate will be uploaded with this Accela file and will be reflected with the Approval Letter.
40	1	Caroline Miller : Planning	Regarding PLDO Note 1: As detailed with LUPL-25-0023, the PLDO Calculations and Analysis report, Staff sees a surplus of 0.95 acres of Flying Horse Master Plan park dedications, which could be used following the Analysis - within Flying Horse Master Plan Parcels 13 & 17. This is the second development application since that updated analysis, following DEPN-26-0063. Please schedule a meeting with PLDO Reviewer to discuss the application of the 0.95 acres surplus, the adjacent Neighborhood Park site, and future Alternative Compliance Agreement which will be needed for the metro district ownership and maintenance of the neighborhood park under current 7.4.307 code. Depending on direction, community park fees may be due for this development.
41	1	Caroline Miller : Planning	Please add a note under ADU notes that: 'Accessory Dwelling Units will be applicable to Park, School, and Citywide Development Impact (Police & Fire) Fees, due at time of building permit.'

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42	1	Caroline Miller : Planning	PLDO Note 3 can be removed from this DP, as the Park Site is not included with this plan set.
43	1	Caroline Miller : Planning	Additional PLDO Notes may be added upon second review.
46	1	Allison Stocker : Planning	remove
47	1	Allison Stocker : Planning	fill in
48	1	Allison Stocker : Planning	Parking amounts should always be rounded up. There should be 9 stalls
49	1	Allison Stocker : Planning	Include ordinance no
50	1	Allison Stocker : Planning	Fill on all sheets
57	1	Allison Stocker : Planning	Please add parking information pertaining to the optional ADU's. ADU"s are required to have 1 off-street parking stall
58	1	Allison Stocker : Planning	Please include a general note speaking to the optional nature of the integrated ADU. Speak to location, integrated status, parking, and other standards.
62	1	Allison Stocker : Planning	Staff reserves the right to provide additional comments with new or updated information provided in subsequent submittals.
63	1	Allison Stocker : Planning	Please include your signed copy of the public notice affidavit with the resubmittal package. The project will not be approved until this document has been provided back to your Planner.
6	2	Michelle Lavelle : Planning	Street Names are spelled correctly and appropriate suffixes used for public streets
44	2	Caroline Miller : Planning	What is the plan for this sidewalk? It seems to run into CDOT ROW off ramp. Is a future connection proposed?
45	2	Caroline Miller : Planning	After internal staff review with PRCS, the proposed Black Forest Trail connection and Skyline Trail connections are not planned connections within the Park System Master Plan. The 'Trail' qualifier can be removed, as Parks is not able to take this connection into Parks maintenance. Staff acknowledges this impacts the routing shown on LUPL-25-0023, which as detailed on Note 13 as subject to change. Staff highly recommends keeping the pedestrian sidewalks to connect to Skyline Trail, which routes east/west at the New Life Drive intersection, as this connection will support the residents of this development.
51	2	Allison Stocker : Planning	Consider sidewalk connection here
52	2	Allison Stocker : Planning	Consider connections from internal sidewalks to the Skyline Trail
53	2	Allison Stocker : Planning	Similar to Filing No 1, please make sure adequate sidewlk connections are being made along the roadways
54	2	Allison Stocker : Planning	Please include front yard setbacks
55	2	Allison Stocker : Planning	note that corner side yard setbacks are 15ft
59	2	Allison Stocker : Planning	Will there be any sound walls or fencing along Interquest/Powers?
60	2	Allison Stocker : Planning	Provide a note or other explanation on what a "use easement" is
64	2	Allison Stocker : Planning	Will there be a sidewalk along the southerly portion of Somerstone Dr connecting to Filing No 1
11	6	Gregory Stachon : Planning	suggest removing the zone and growth rate so that other info can be made into larger text
12	7	Gregory Stachon : Planning	label any proposed walls and fences on landscape plan with general heights and materials.
7	11	Gregory Stachon : Planning	please note details for active green space. such as "turf area" or "site amenities".
8	11	Gregory Stachon : Planning	note the percentage of active and non-active green space in this chart next to the SF quantity
9	14	Gregory Stachon : Planning	Check the residential lot typical standards in COS Landscape Manual Appendix C. These lots look good but add a note that less than 25% of the lot is high water turf.

Comment ID	Page Reference	Reviewer : Department	Review Comments
10	14	Gregory Stachon : Planning	The following notes shall be included with the landscape typical(s): "All Trees located within City ROW are to be chosen from the current Forestry City Approved Street Tree List." "All required Compact Lot trees shall be installed by the developer/builder. Long term maintenance responsibility and irrigation for trees will be provided by _____ " (applicant to provide) "All required Compact Lot trees shall have an automatic irrigation system (drip/sod irrigation/etc.) which provides watering at time of planting."
2	1	Don Smith : School Districts	Academy District 20 is in receipt of File #DEPN-26-0068 for approval of the Creekridge at Flying Horse Filing No. 2 . The District is requesting fees in lieu of land dedication per the existing City Code for all residential units within this development. The District is experiencing ongoing residential development. The District gained approximately 13,650 new residential units between 2018 and 2025 which included 5,650 Single Family, 1,225 Single Family Attached, and 6,800 Apartments as reported to the District by local developers. During that same timeframe, the District only experienced a total membership increase of 23 students. This information is updated annually in October. A drop in the birth rate plus the significant increase in the cost of housing has contributed to the slowed student growth in the District. The District is able to serve each student who is a resident of District 20. If you need additional information, please contact me. Don Smith Planning Consultant

NOTES:

1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
2. ALL SIDEWALKS ARE CONCRETE.
3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
4. NO SITE LIGHTING IS BEING PROVIDED FOR THIS SINGLE FAMILY COMMUNITY. TYPICAL GARAGE AND ENTRY BUILDING MOUNTED LIGHTING TO BE PROVIDED.
5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.



30' ROW PUBLIC RESIDENTIAL
TYPICAL SECTION
SCALE: 1" = 10'
NO PARKING ALLOWED

Show gas main in center
per GLESS A3-14 detail.

Similar to Filing No 1, please
make sure adequate sidewalk
connections are being made
along the roadways

note that corner side
yard setbacks are 15ft

Please include front
yard setbacks

Consider sidewalk
connection here

Will there be a sidewalk
along the southerly
portion of Somerstone Dr
connecting to Filing No 1

Provide a note or other
explanation on what a "use
easement" is

Consider connections
from internal sidewalks to
the Skyline Trail

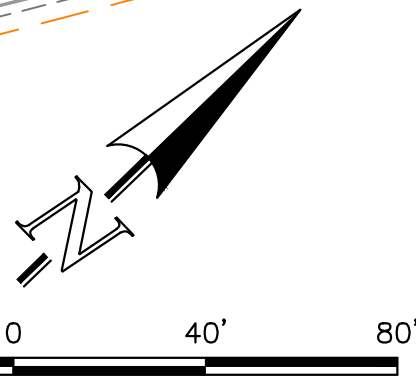
INTERQUEST PARKWAY (PRINCIPAL ARTERIAL PUBLIC ROW VARIES)

LEGEND

- BOUNDARY LINE
- BUILDING SETBACK LINE
- LINE OF SIGHT
- NO PARKING FIRE LANE SIGNED
- ADDRESS LOCATION
- USE EASEMENT AREAS



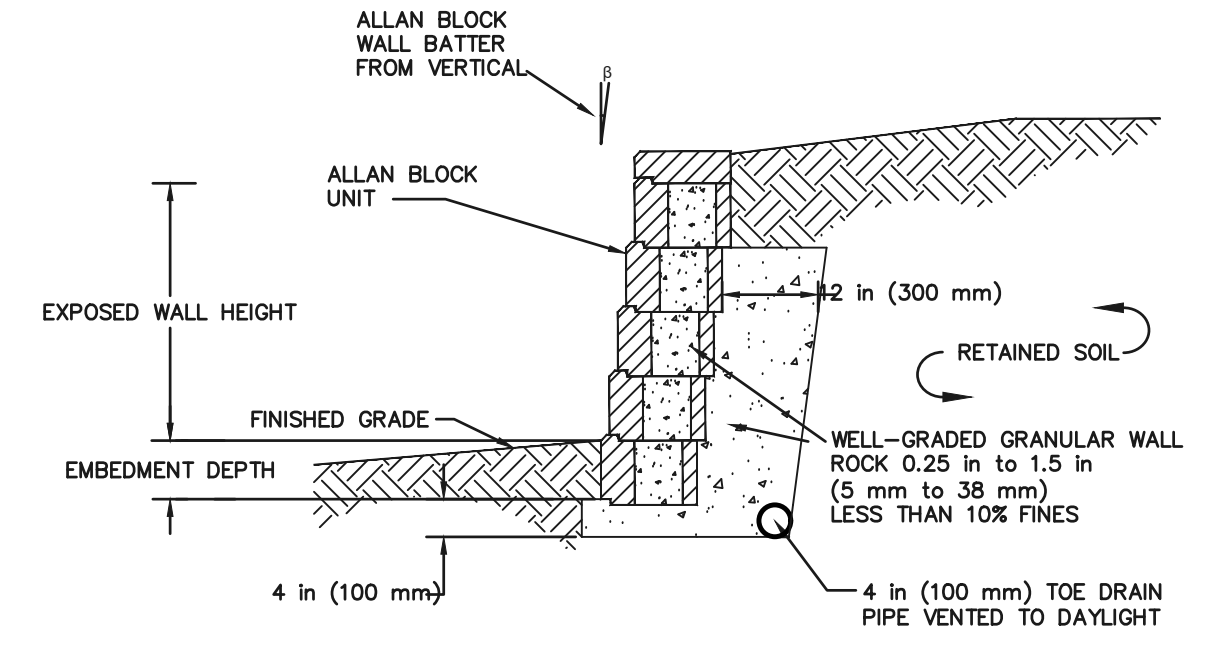
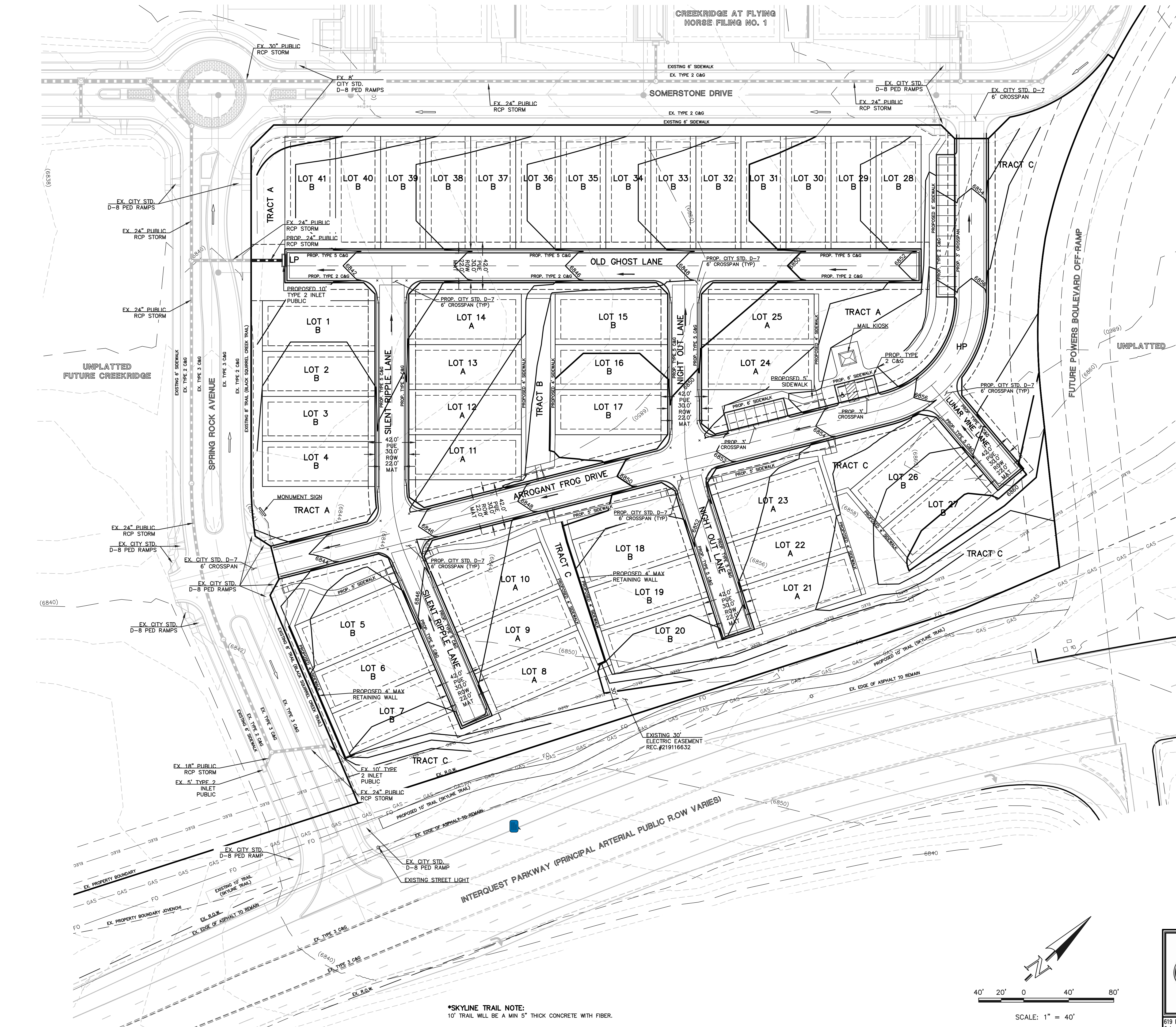
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903



SCALE: 1" = 40'

FOR CITY USE:			
CITY FILE NUMBER PUDO-26-00			

CREEKRDGE AT FLYING HORSE FILING NO. 2 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 5/13/26
DRAWN BY	JRH	(H) 1" = 40'	SHEET 2 OF 14
CHECKED BY	(V) 1" = N/A	JOB NO.	1171.79



TYPICAL RETAINING WALL DETAIL (BY OTHERS)
NOT TO SCALE

NOTE:
ALL TOP OF WALL (TW) AND BOTTOM OF WALL (BW) ELEVATIONS ARE BASED ON DESIGN FINISHED GRADE. RETAINING WALL SPOT ELEVATIONS AND HEIGHTS ARE FOR REFERENCE ONLY. ULTIMATE RETAINING WALL DESIGN BY OTHERS

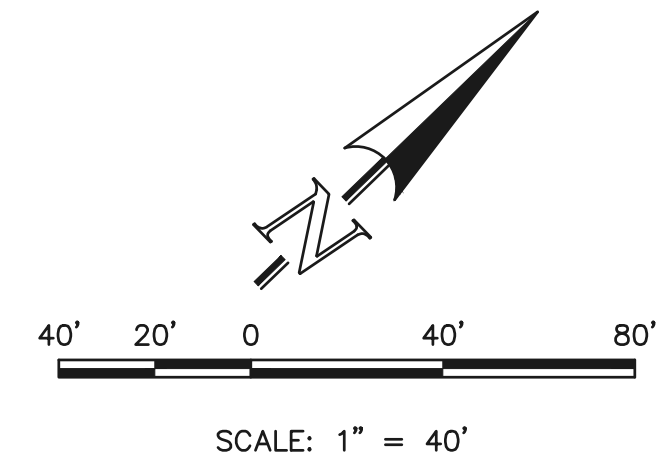
NOTE:
THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.

- NOTES:**
- STEPS FROM FRONT PORCHES AND SURROUNDING AREA DRAINS TO BE ADDED & DETAILED WITH CONSTRUCTION DRAWINGS.
 - SIDEWALK CHASES AND AREA DRAINS WILL BE INSTALLED THROUGHOUT WALKWAY & FRONT PORCH LANDSCAPED AREAS FOR STORM DRAINAGE.
 - ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS WILL NEED TO BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

- LEGEND**
- (6770) EXISTING CONTOUR
 - 6770 PROPOSED CONTOUR
 - BOUNDARY/FILING LINE
 - EXISTING FLOW DIRECTION
 - PROPOSED FLOW
 - EXISTING VEGETATION
 - PROPOSED INLET
 - PROPOSED STORM SEWER PIPE
 - HP PROPOSED HIGH POINT
 - LP PROPOSED LOW POINT
 - XX.XX TW
XX.XX BW PROPOSED RETAINING WALL

FOR CITY USE:

CITY FILE NUMBER	
PUD-26-00	



CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

CREEKRIDGE AT FLYING HORSE FILING NO. 2 DEVELOPMENT PLAN PRELIMINARY GRADING			
DESIGNED BY	JRH	SCALE	DATE 5/14/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 3 OF 14
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.79

*SKYLINE TRAIL NOTE:
10' TRAIL WILL BE A MIN 5" THICK CONCRETE WITH FIBER.

PRELIMINARY UTILITY PLAN NOTES:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN, INCLUDING ALL APPLICABLE ORDINANCES, RULES, REGULATIONS, POLICIES, AND PIK EXTENSION.
- OWNER ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN, INCLUDING ALL APPLICABLE ORDINANCES, RULES, REGULATIONS, POLICIES, AND PIK EXTENSION.
- SPRINGS UTILITIES OR AMOUNTS OF NO COMMITMENT APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION EXPENSE, IF SPRINGS UTILITIES SHALL CONVEY THE PROPERTY TO THE CITY OF COLORADO SPRINGS, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- OWNER SHALL DETERMINE THE NECESSITY FOR AN INTEGRATED UTILITY PERMANENT EASEMENT.
- THE WATER SYSTEM LOOPING REQUIREMENT.
- OWNER SHALL DETERMINE THE NECESSITY FOR AN INTEGRATED UTILITY PERMANENT EASEMENT.
- OWNER MUST CONVEY THE PROPERTY TO THE CITY OF COLORADO SPRINGS, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT SHALL NOT BE A VIOLATION OF THE CITY OF COLORADO SPRINGS, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.

SWENT NOTES:

- PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
- ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DOM.
- ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DOM.
- ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DOM.
- ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
- ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
- ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

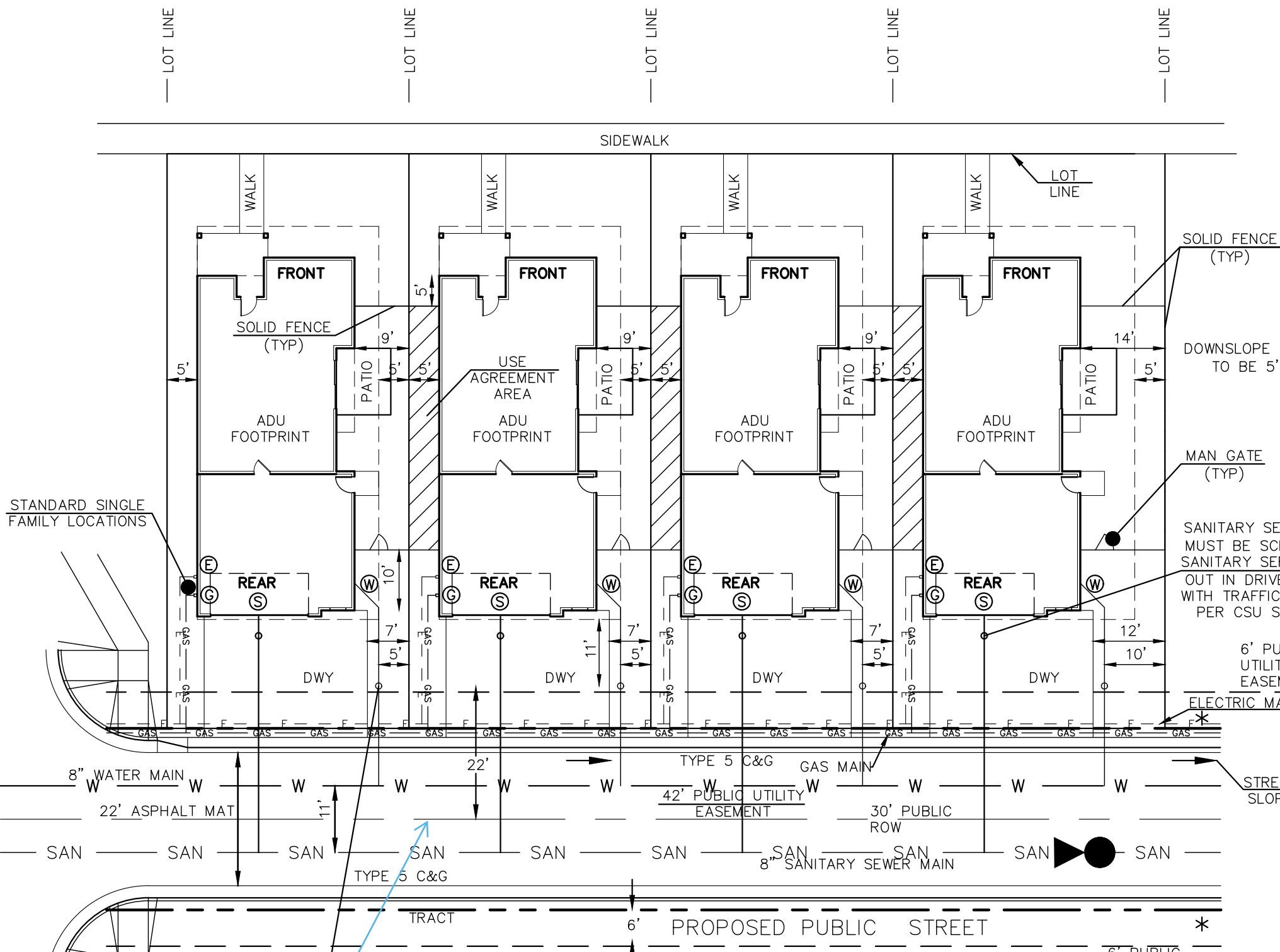
Show conceptual location of transformers for CSU

Add note "Gas meters must be a minimum of

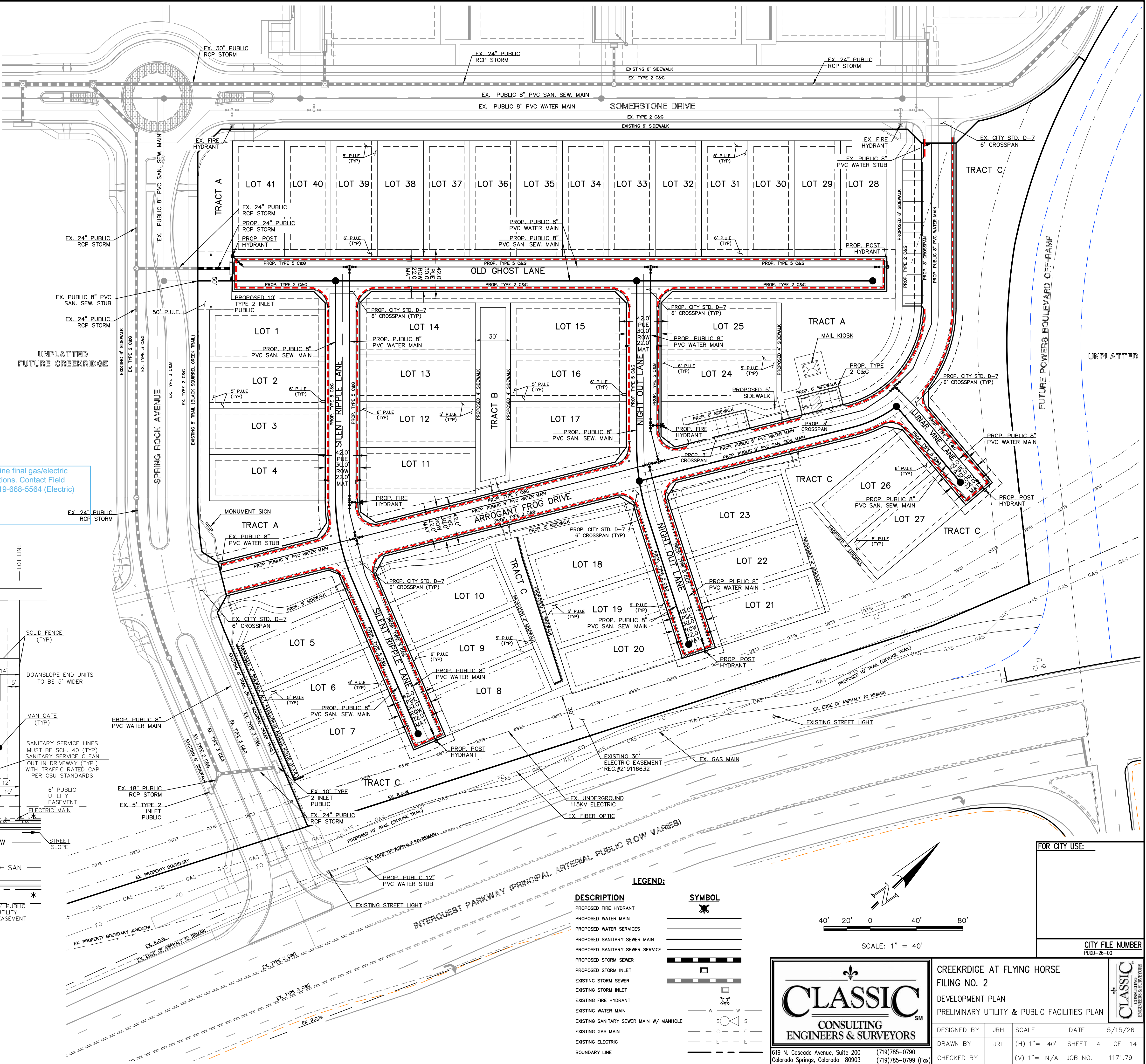
Add "and service lines" per WLESS and VWLESS

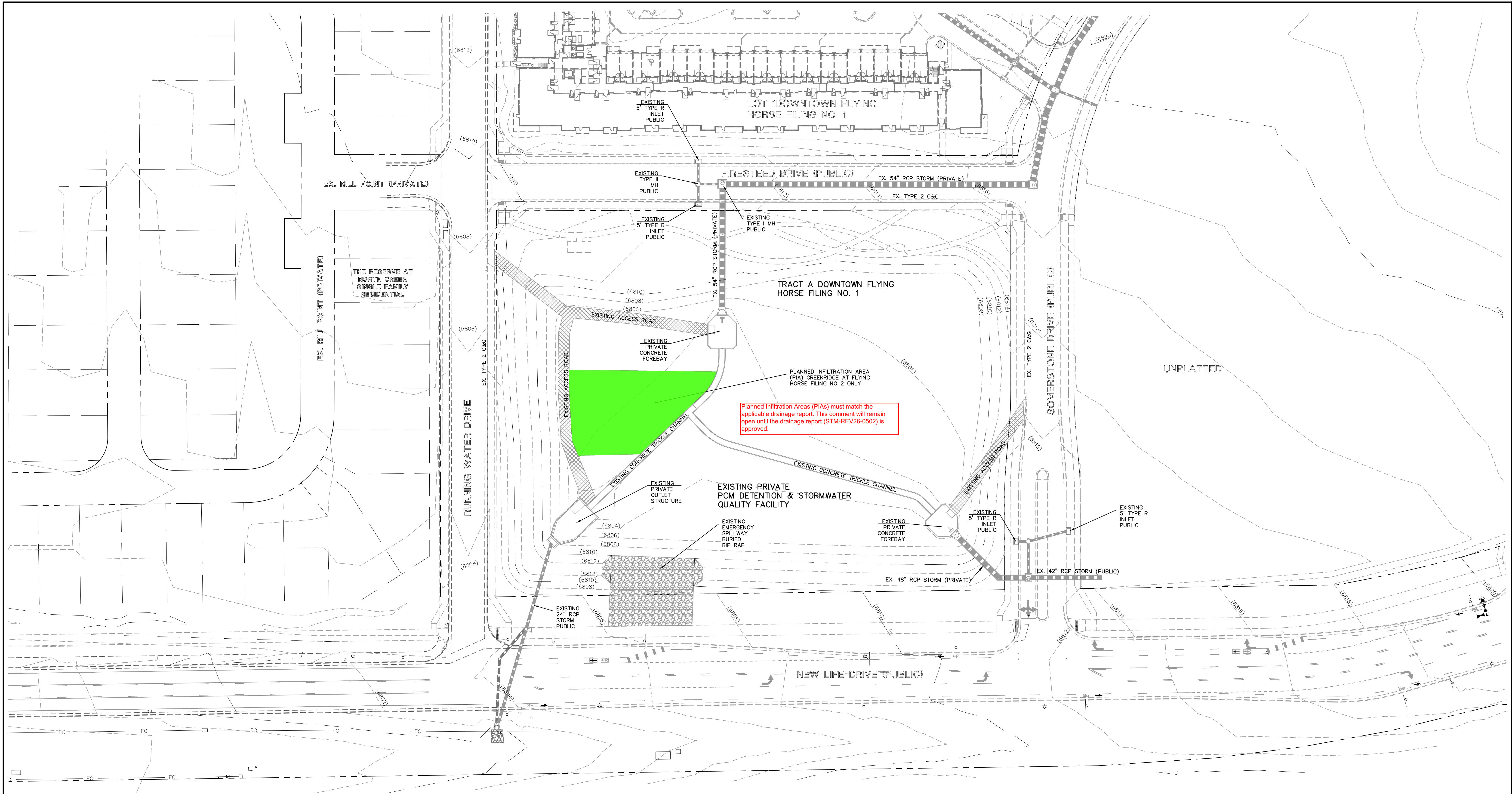
Add note "CSU Field Engineer to determine final gas/electric meter, transformer, and service line locations. Contact Field Engineering at 719-668-4985 (Gas) or 719-668-5564 (Electric) with any questions."

TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

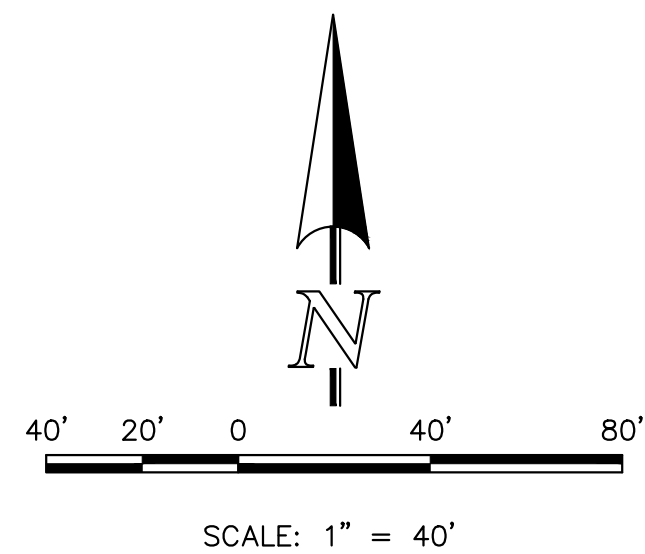


Show gas main in center of road per detail GLESS A3-14





Planned Infiltration Areas (PIAs) must match the applicable drainage report. This comment will remain open until the drainage report (STM-REV26-0502) is approved.



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BOUNDARY/FILING LINE
	EXISTING FLOW DIRECTION
	PROPOSED FLOW
	EXISTING VEGETATION
	PROPOSED INLET
	PROPOSED STORM SEWER PIPE
	PROPOSED HIGH POINT
	PROPOSED LOW POINT
	PROPOSED RETAINING WALL



619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

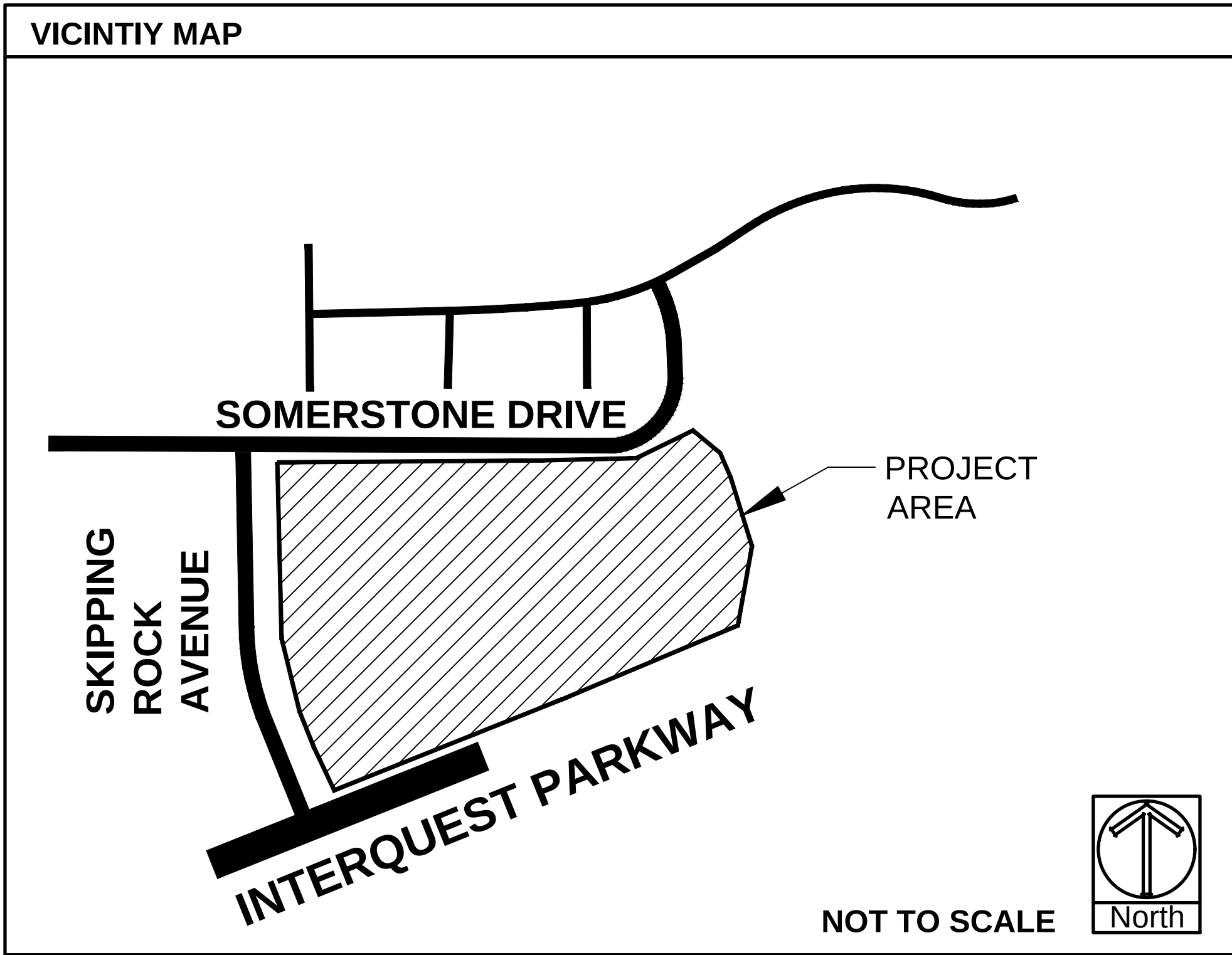
CREEKRDIGE AT FLYING HORSE
FILING NO. 2
DEVELOPMENT PLAN
PIA EXHIBIT

DESIGNED BY	JRH	SCALE	DATE	4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	5 OF 14
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.79

FOR CITY USE:

CITY FILE NUMBER
PUDD-26-00





Tree and streetscape note:
ALL PROPOSED STREET TREES AND LANDSCAPING LOCATED WITHIN THE ROW INCLUDING ROUNDABOUTS AND MEDIANS TO BE MAINTAINED BY RENAISSANCE AT FLYING HORSE HOMEOWNERS ASSOCIATION OR METROPOLITAN DISTRICT.

IRRIGATION SYSTEM DESCRIPTION
The irrigation system to be an underground system with a spray or rotor system for turf or seeded areas. Shrub areas to be surface drip irrigated to irrigate all plant material. Irrigation system to be drainable for winter freeze protection. Irrigation to run off of a programmable irrigation controller.

PROJECT SITE DATA
ZONING: PDZ-UV (SINGLE FAMILY RESIDENTIAL)
PROPERTY AREA: 355,668 SF
PARKING SPOTS: 21
CLIMATE ZONE: Foothills and Plains
PLANT COMMUNITIES: Foothill shrubland, lower elevation riparian, pinyon-juniper woods, ponderosa pine forest, prairie, upper elevation riparian.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- The following landscape notes shall be provided on all Preliminary and Final Landscape plans and be listed in a section called "Standard City of Colorado Springs Landscape Notes".
 - "A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy."
 - "All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas."
 - "The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982)."
 - "Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits."
 - "If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed."
 - "Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas."
 - "Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per city engineering standard drawings and specifications. engineering development review division inspector will have the final authority on accepting the public improvements." (Note this note is only for urban downtown projects within the city)

SITE CATEGORY CALCULATIONS					
LANDSCAPE SETBACKS (LS)					
Street Name / Boundary	Street Classification	Width (ft.) Req. / Prov.	Linear Footage	Tree Req. / Ft.	Tree Req. / Prov.
Interquest Parkway	Expressway	25' / 25'	665'	1/20'	33.3 / 34
Somerstone Street	Non Arterial Street	10' / 10'	712'	1/30'	24 / 19
Skipping Rock Drive	Non Arterial Street	10' / 10'	545'	1/30'	18.2 / 14
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Pro		
0 / 0	0 / 0	LS	75% / 75%		
50 / 50	0 / 0	LS	75% / 75%		
50 / 50	0 / 0	LS	75% / 75%		
Motor Vehicle (MV)					
Number of Parking Spots	Shade Trees (1/15 Spaces) Req. / Prov.	Vehicle Lot Frontage	Linear Footage	2/3 Length Frontage	
21	2 / 4	Full interior spots	NA	NA	
Internal Landscaping (IL)					
Gross Site Area (SF)	Percent Min. Internal Area Req. 15%	Internal Area (SF) Req. / Prov.	Internal Trees (1/500 SF) Req. / Prov.		
355,667 SF		53,350 / 127,469	1 Tree per lot required 41 lots =41 trees		
Trees not shown on this plan for individual trees on each lot. See Landscape typical for tree locations and type.					
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Prov.		
0 / 0	0 / 0	IL	75%/75%		
Green space required (Yes/No)	Active green space 10% / SF Required / Provided	Non-active green Space 5% / SF req / Provided			
Yes	35,567 SF (-8,892 SF Reduction)	17,783 SF / 95,670 SF			
*NEW REQUIREMENT WITH 25% REDUCTION 26,675 SF / 31,694 SF meets active green space by 119%					
*A COMMUNITY PARK IS LOCATED WITHIN 660' OF 93% OF THE HOMES (38 OF 41 HOMES) THESE HOMES ARE ACCESSIBLE BY WALKWAYS. SO THIS COMMUNITY QUALIFIES FOR A 25% REDUCTION IN ACTIVE GREEN SPACE. (Per section 7.4.909 B).					

suggest removing the zone and growth rate so that other info can be made into larger text

PLANTING LEGEND						
			Water Use: Xeric - Water twice per month or less, once established. Low - Water about once per week, once established. Medium - Water about twice per week, once established. High - Water three days per week, or more, right-of-way.		Code Requirements: SCREEN - Indicates if this tree or shrub is approved to be used to meet screening requirements. WALL/TRASH - Indicates if this tree or shrub is approved to be used to meet screening requirements for trash. ROW/MEDIAN - Indicates if this tree or shrub is approved by City Forestry/Planning for planting in public street rights-of-way. STREAM - Indicates if this tree is allowed to be planted within City Streamside areas. RESTRICTED - Indicates that this tree or shrub can only be planted in certain areas within the City.	
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	ZONE	SIZE (H / W / GROWTH RATE)
DECIDUOUS TREES						
ACT	11	Acer tataricum	Maple tatarian	1-1/2"	Z=3	15'-20' / 15'-20' SLOW-MOD LOW-MED ROW / MEDIANS *
ANM	13	Acer platanoides	Maple, Norway	1-1/2"	Z=4	30'-40' / 25'-30' MODERATE MED PARK / ROW *
GSH	4	Gleditsia triacanthos 'Skyline'	Honeylocust, Skyline	1-1/2"	Z=4	30'-50' / 30'-50' MODERATE LOW-MED PARK / ROW / MEDIAN *
MSS	16	Malus 'Spring Snow'	Crabapple, Spring Snow	1-1/2"	Z=4	20'-25' / 15'-20' MODERATE MED ROW / MEDIAN / STREAM *
TAL	12	Tilia americana	Linden, American	1-1/2"	Z=4	30'-50' / 15'-20' MODERATE MED ROW *
TAR	10	Tilia americana 'Redmond'	Linden, Redmond	1-1/2"	Z=4	30'-50' / 15'-20' MODERATE MED ROW *
EVERGREEN TREES						
PIB	2	Picea pungens 'Bakeri'	Spruce, Bakeri	6'	Z=2	20'-30' / 10'-12' SLOW MED SCREEN / WALL / TRASH *
PIP	4	Picea pungens	Spruce, Colorado Blue	6'	Z=3	50'-60' / 20'-30' SLOW MED SCREEN / WALL / TRASH *
PON	16	Pinus ponderosa	Pine, Ponderosa	6'	Z=3	50'-60' / 20'-30' MODERATE LOW WALL / SCREEN *
DECIDUOUS SHRUBS						
ARB	14	Aronia melanocarpa	Chokeberry, Black	5 Gal	Z=2	6' / 4'-6' SLOW / MODERATE LOW SCREEN *
ASB	13	Amelanchier alnifolia 'Saskatoon'	Serviceberry, Saskatoon	5 Gal	Z=3	15'-20' / 8'-15' SLOW MED SCREEN *
BCR	15	Berberis thunbergii 'Crimson pygmy'	Barberry, Crimson pygmy	5 Gal	Z=4	1'-2' / 2'-3' SLOW MED *
BRG	26	Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal	Z=4	4'-5' / 3'-4' SLOW MED *
CMM	15	Cercocarpus montanus	Mahogany, Mountain	5 Gal	Z=4	6'-10' / 4'-6' SLOW LOW WALL / TRASH / SCREEN *
COP	26	Contoneaster acutifolia	Contoneaster, peking	5 Gal	Z=4	6'-8' / 6'-8' MODERATE LOW WALL / SCREEN / TRASH *
PBS	28	Prunus Besseyi 'Pawnee Buttes'	Western Sandcherry 'Pawnee Buttes'	5 Gal	Z=3	15'-18' / 4'-5' SLOW XERIC *
PDN	5	Physocarpus opulifolius 'Diablo'	Ninebark, Diablo	5 Gal	Z=2	6'-8' / 6'-8' MODERATE LOW-MED SCREEN *
POA	42	Potentilla fruticosa 'Abbotswood'	Potentilla, Abbotswood	5 Gal	Z=2	2'-3' / 2'-3' MODERATE LOW-MED
RGL	33	Rhus aromatica 'Gro-low'	Sumac, Gro-Low	5 Gal	Z=3	2'-3' / 6'-8' MODERATE XERIC *
SPF	47	Spiraea x bumalda 'Froebel'	Spirea, Froebel	5 Gal	Z=4	3'-4' / 3'-4' MODERATE MED *
SPG	11	Spiraea x bumalda 'Goldmound'	Spirea, Goldmound	5 Gal	Z=4	2'-3' / 1'-2' MODERATE MED *
SPV	6	Spiraea x 'Vanhouttei'	Spirea, Vanhoutte	5 Gal	Z=4	3'-4' / 4'-5' MODERATE MED *
EVERGREEN SHRUBS						
JBC	2	Juniperus horizontalis	Juniper, Blue Chip	5 Gal	Z=3	8'-10' / 5'-6' MODERATE LOW *
JBJ	79	Juniperus Sabina	Juniper, Buffalo	5 Gal	Z=3	12'-18' / 6'-8' MODERATE LOW *
JUA	6	Juniperus chinensis 'Armstrong'	Juniper, Armstrong	5 Gal	Z=3	4'-5' / 4'-5' MODERATE LOW *
PGS	23	Picea pungens 'Glaucia globosa'	Spruce, Globe Blue	5 Gal	Z=2	3'-5' / 1'-5' SLOW MED *
ORNAMENTAL GRASSES						
CAA	155	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 Gal	Z=3	3'-4' / 1'-2' MODERATE MED SCREEN *
PSR	48	Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	3 Gal	Z=5	3'-5' / 1'-2' MODERATE LOW *
PERENNIALS						
H50	58	Hemerocallis 'Stella'd oro'	Daylily, Stella d'oro	1 Gal	Z=3	

*100% of plant species listed are from the current selected plants for Colorado Springs

GROUNDCOVER LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	STEEL EDGING (note use perforated edging if adjacent to areas that need to drain)	TBD LF
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC	35,433 SF
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC	8,804 SF
	2-4" GRAY ROSE ROCK 3" IN DEPTH WITH WEED FABRIC	411 SF
	CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC	227 SF
	DECORATIVE BOULDER	40 TOTAL
	KENTUCKY BLUEGRASS SOD (23.8% OF LANDSCAPE AREA)	31,694 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES).	50,192 SF
	TRASH RECEPTACLE, PER DETAIL "B" ON SHEET L-7 (TYPE AND MODEL TBD / PER DEVELOPER)	4 TOTAL
	DOGI-POT PET STATION (TYPE AND MODEL TBD / PER DEVELOPER)	4 TOTAL
	BENCH, PER DETAIL "A" ON SHEET L-7 (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL

DATE	REVISION DESCRIPTION



PORTRAIT AT CREEKRIDGE - FLYING HORSE
FILING 2
SOMERSTONE STREET

CALLOUT KEY

- PLANT ABBREVIATION
- SITE CATEGORY ABBREVIATION
- TREE CALLOUT
- SHRUB & ORN. GRASS CALLOUT
- PERENNIAL CALLOUT
- PLANT QUANTITY

PLANT SYMBOL KEY

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS

PLANT AND TREE WARRANTY NOTE

ALL STOCK IS WARRANTED TO BE TRUE TO NAME. IF ANY STOCK PROVES TO BE OTHERWISE, SELLER WILL NOT BE LIABLE FOR ANY AMOUNT GREATER THAN ORIGINAL PURCHASE PRICE. THIS WARRANTY IS MADE EXPRESSLY IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESSED OR IMPLIED, FOR ANY PARTICULAR PURPOSE EXCEPT EXPRESSLY PROVIDED FOR. LIABILITY OF SELLER IS LIMITED TO REPLACEMENT OF ANY GOODS WHICH DO NOT CONFIRM TO WARRANTIES.

WINTER WATERING IS TO BE DONE AFTER MOISTURE CHECKS HAVE BEEN COMPLETED OF ALL PLANTS AND TREES. WARRANTY DOES NOT COVER PLANTS AND TREES DUE TO LACK OF WATER.

WARRANTY IS GOOD FOR ONE GROWING SEASON (APPROXIMATELY SIX MONTHS). PLANTS PURCHASED AFTER JULY 1ST ARE WARRANTED UNTIL MAY 1ST. PLANTS PURCHASED JANUARY 1ST THROUGH JULY 2ND ARE WARRANTED UNTIL NOVEMBER 30TH. SOME PLANTS CARRY NO WARRANTY, (TURF INCLUDED) SUCH AS ANNUALS, PERENNIALS, ROSES, ARBORVITAE, AND A FEW OTHER VARIETIES. INSTALLATION IS NOT COVERED UNDER WARRANTY.

ALL NON-IRRIGATED SEED CARRIES NO WARRANTY.

EXISTING SOILS

SOIL AS CLASSIFIED BY USDA WEB SITE IS AS FOLLOWS: PRING COARSE SANDY LOAM & STAPLETON SANDY LOAM.

UTILITY NOTE

CALL 1-800-922-1987 FOR UTILITY LOCATIONS TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.

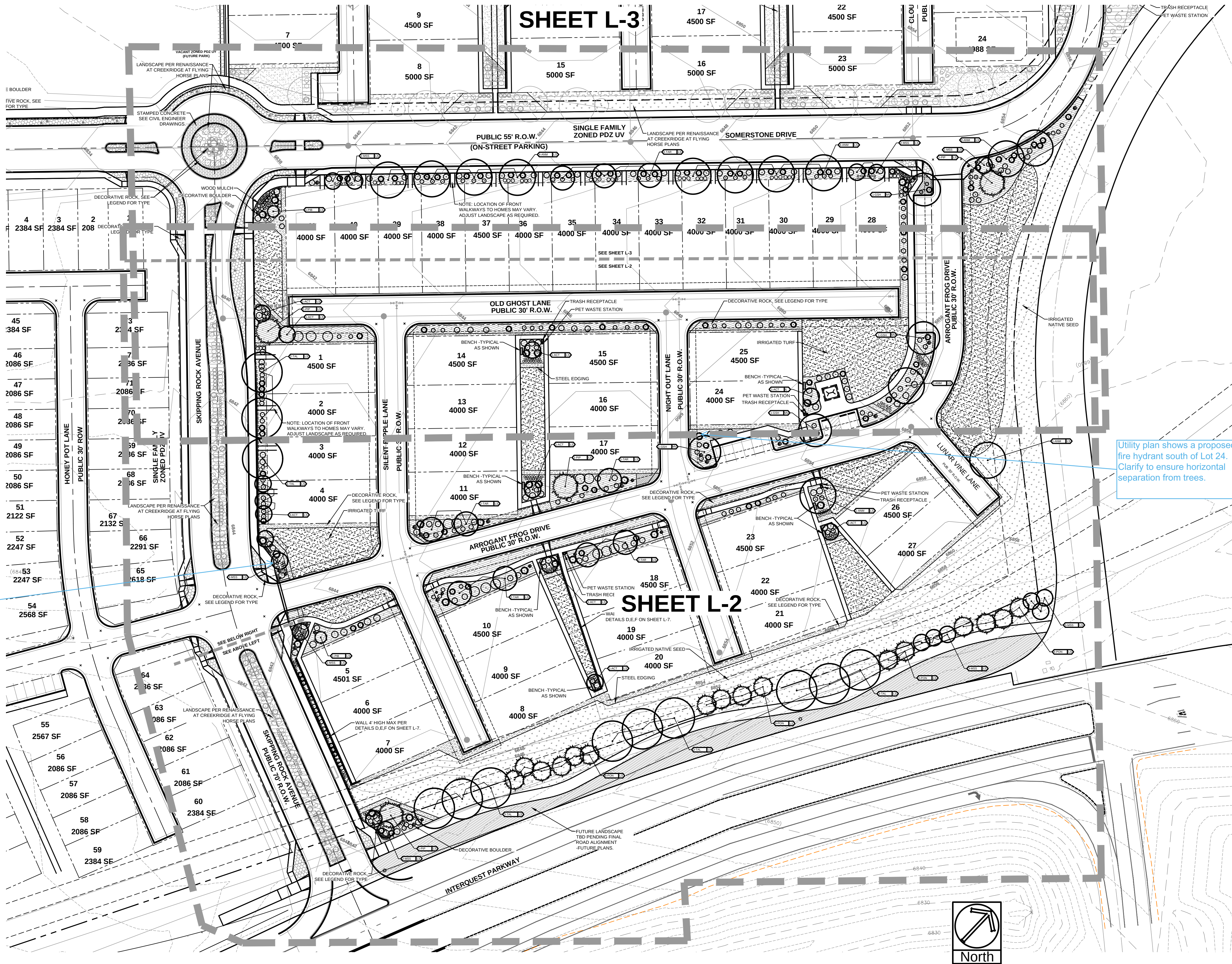
KEEP TREES 10' FROM GAS MAINS & 15' FROM SEWER AND WATER MAIN LINES. KEEP TREES 6' MINIMUM DISTANCE FROM ANY OTHER UTILITIES. RESOLVE ANY TREE/UTILITY CONFLICTS SHOWN ON PLANS IN THE FIELD. CONTACT LANDSCAPE ARCHITECT FOR RECOMMENDATIONS IF NEEDED.

PROVIDE CLEARANCE OF ALL PLANT MATERIALS AT ELECTRIC VAULTS AND TRANSFORMERS (REFER TO COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWING 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS).

KEEP ALL SHRUBS 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

SITE CONDITIONS NOTE

THE LANDSCAPE IS SUBJECT TO CHANGE BASED ON SITE GRADING, DRAINAGE, CONFIGURATION, AND SIZE. ANY ADJUSTMENTS WILL BE MADE DURING LANDSCAPE CONSTRUCTION. PLANT MATERIAL SYMBOLS ARE SHOWN AT MATURE WIDTH.



DATE	REVISION DESCRIPTION



PORTRAIT AT CREEKRIDGE - FLYING HORSE

FILING 2
SOMERSTONE STREET

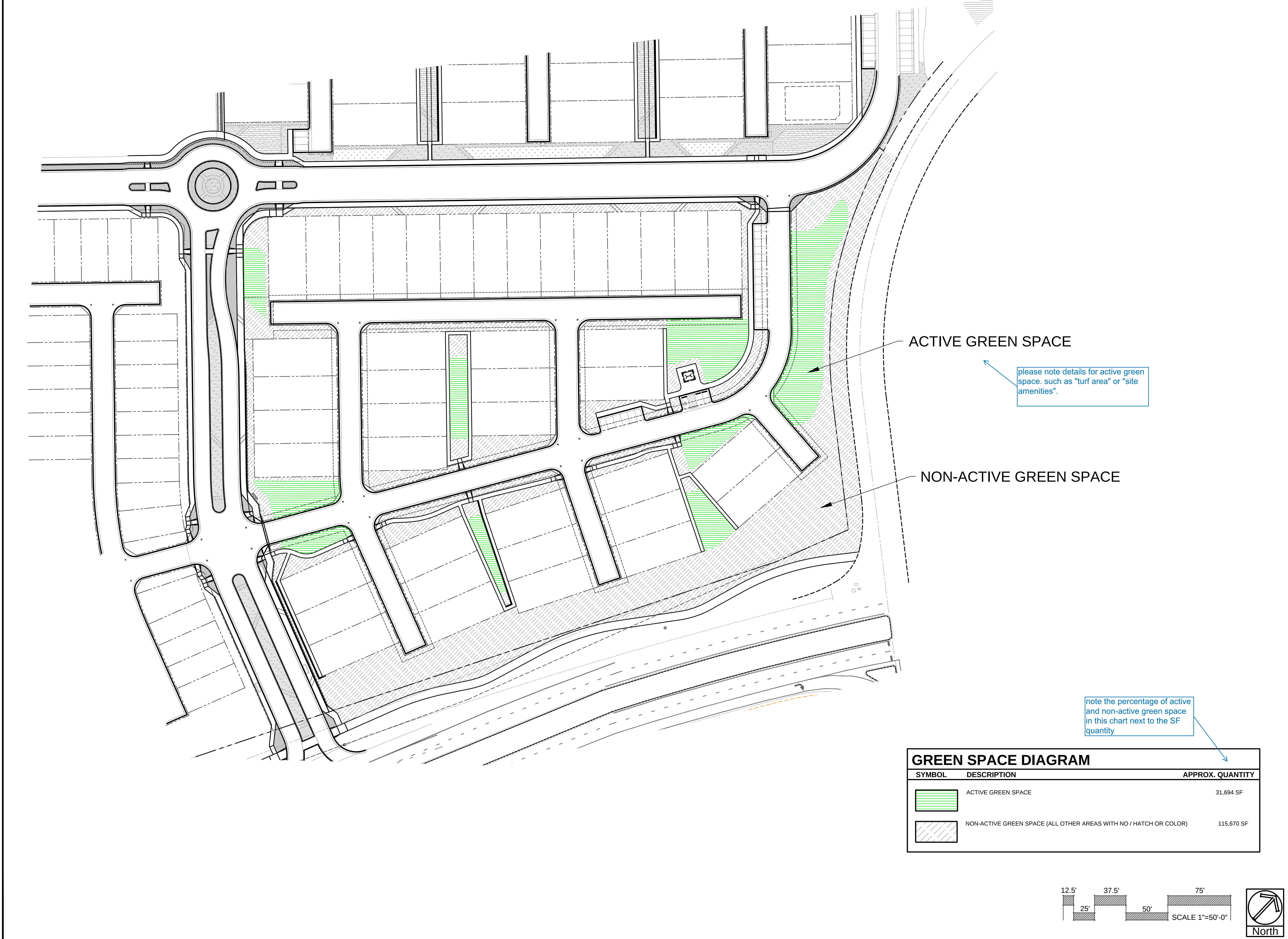
JOB NUMBER
2786-0326

DATE 5/19/2026

DRAWN BY MB

DRAWING DESCRIPTION
PRELIMINARY
LANDSCAPE PLAN
-OVERALL

SHEET #
L-1 7 of 14
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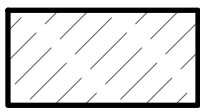


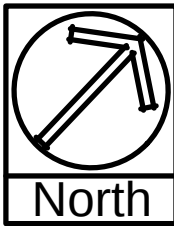
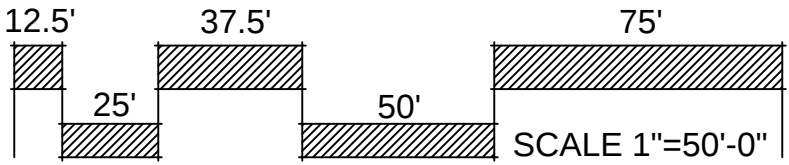
ACTIVE GREEN SPACE

please note details for active green space, such as "turf area" or "site amenities".

NON-ACTIVE GREEN SPACE

note the percentage of active and non-active green space in this chart next to the SF quantity

GREEN SPACE DIAGRAM		
SYMBOL	DESCRIPTION	APPROX. QUANTITY
	ACTIVE GREEN SPACE	31,694 SF
	NON-ACTIVE GREEN SPACE (ALL OTHER AREAS WITH NO / HATCH OR COLOR)	115,670 SF



DATE	REVISION DESCRIPTION

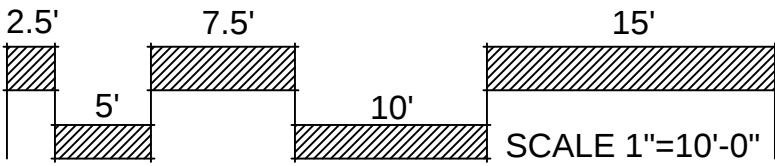
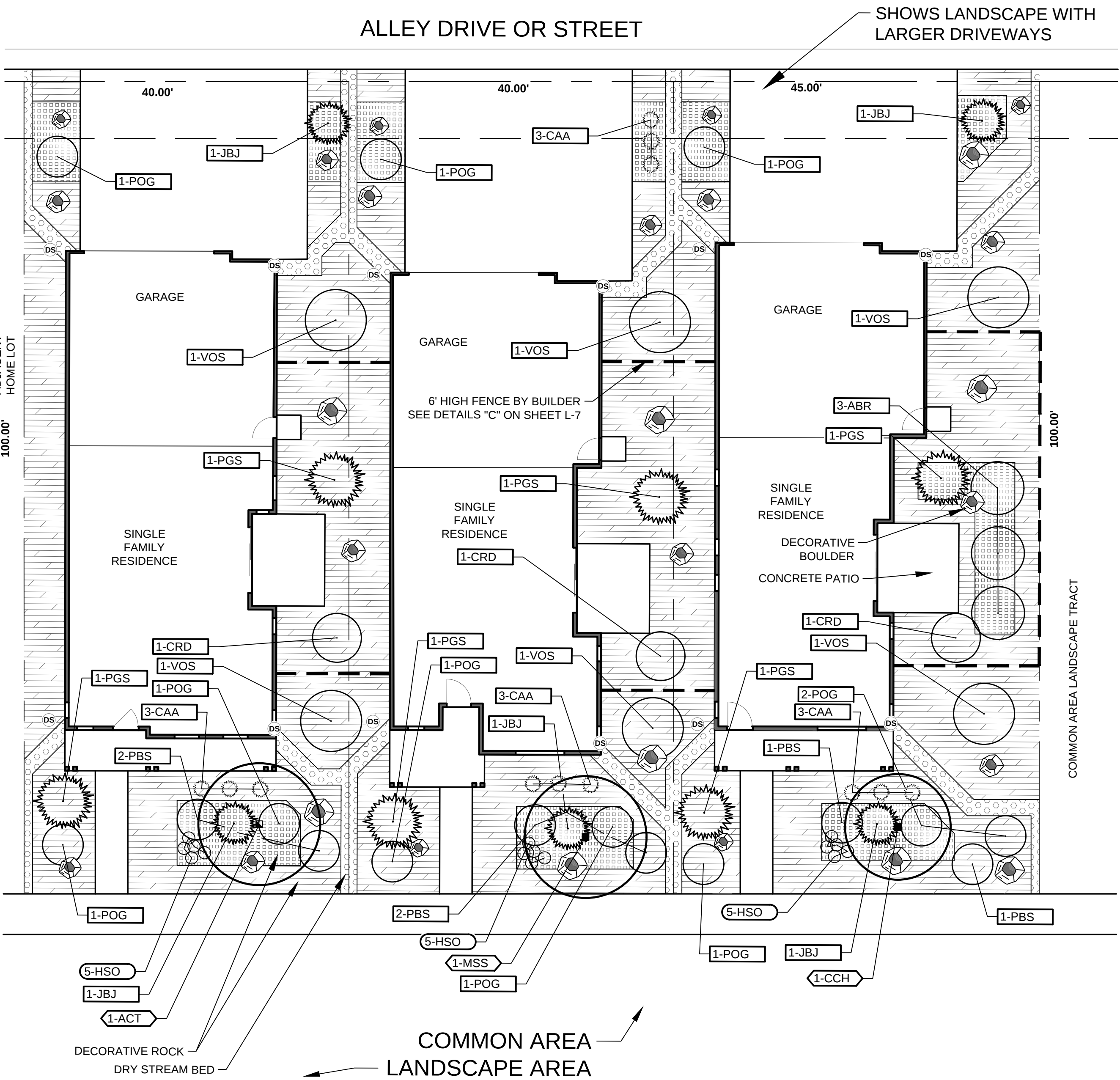
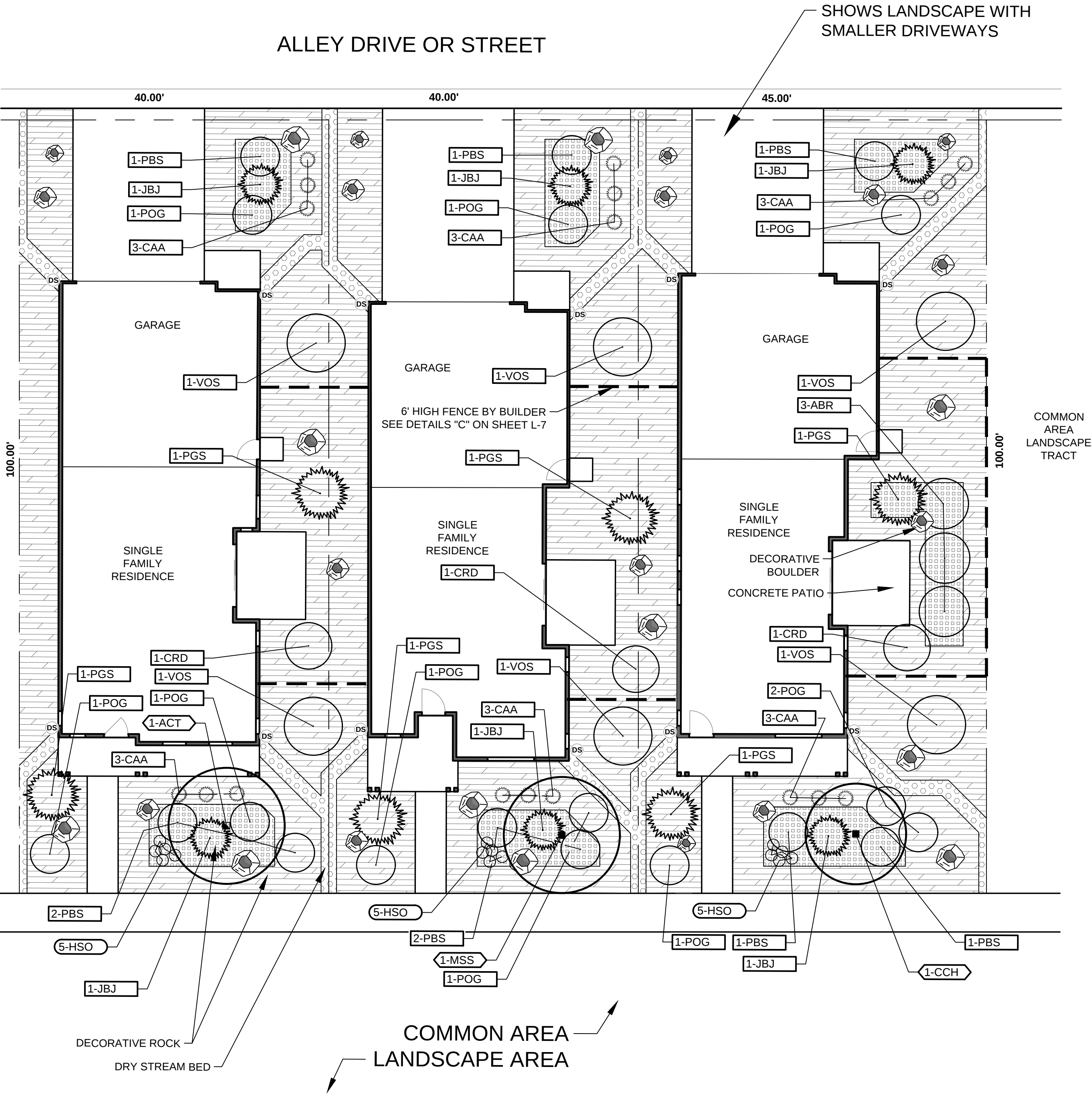


PORTRAIT AT CREEKRIDGE - FLYING HORSE
FILING 2
SOMERSTONE STREET

PLANTING LEGEND				
Notes Key: X=Xeric plant, R=Rabbit Resistant, D=Deer Resistant, F=Firewise plant Z=Zone, K=Altitude, Water Use L=Low, M= Moderate H=High, S= Signature plant				
ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES				
ACT	Acer tataricum	Maple tatarian	1-1/2"	Z=3, 8.5K, L,M,S
CCH	Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless)	1-1/2"	R,D,F,Z=4,8.5K, L,M,S
MSS	Malus 'Spring Snow'	Crabapple, Spring Snow	1-1/2"	F,Z=4, 8.5K, M,S
DECIDUOUS SHRUBS				
ABR	Aronia arbutifolia 'Brilliantissima'	Chokeberry, Brilliant Red	5 Gal	R,D,Z=5, 7.5K,S
CRD	Cornus stolonifera 'colorodensis'	Dogwood, Red Twig	5 Gal	R,D,Z=2,F, 8K, M,S
PBS	Prunus Besseyi 'Pawnee Buttes'	Western Sandcherry 'Pawnee Buttes'	5 Gal	F,Z=3, 9.5K, L,M,S
POG	Potentilla fruticosa 'Gold finger'	Potentilla, Gold finger	5 Gal	R,D,F,Z=2, 10K,S
VOS	Viburnum opulus 'Roseum'	Viburnum Snowball	5 Gal	R,D, 7.5K,S
EVERGREEN SHRUBS				
JBj	Juniperus Sabina	Juniper, Buffalo	5 Gal	R,D,Z=3,8.5K, L,S
PGS	Picea pungens 'Glauca Globosa'	Spruce, Globe Blue	5 Gal	Z=2, 10K, M,S
ORNAMENTAL GRASSES				
CAA	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gal	R,D,Z=3, 6.5K, M,S
PERENNIALS				
HSO	Hemerocallis 'Stella'd oro'	Daylily, Stella d'oro	1 Gal	R,D,Z=3, 10K, M,S

GROUNDCOVER LEGEND	
SYMBOL	DESCRIPTION
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC
	3/4" CLEAR CREEK ROCK 3" IN DEPTH WITH WEED FABRIC
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC

PLANT SYMBOL KEY	
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	ORNAMENTAL GRASSES
	PERENNIALS



DATE	REVISION DESCRIPTION



PORTRAIT AT CREEKRIDGE - FLYING HORSE
FILING 2
SOMERSTONE STREET

JOB NUMBER	2786-0326
DATE	5/19/2026
DRAWN BY	MB
DRAWING DESCRIPTION	PRELIMINARY LANDSCAPE PLAN - BUILDING TYPICALS
SHEET #	L-8 14 of 14