

CREEKRIDGE AT FLYING HORSE FILING NO. 1

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT PLAN

TITLE SHEET

JUNE 2026

LEGAL DESCRIPTION:

TO BE PLATTED AS CREEKRIDGE AT FLYING HORSE FILING NO. 1.

A PARCEL OF LAND LOCATED IN THE NORTH HALF (N1/2) OF SECTION 21, AND THE SOUTH HALF (S1/2) OF SECTION 16, ALL IN TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, WITHIN A PORTION OF WARRANTY DEED RECORDED NOVEMBER 10, 1999 IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDED UNDER RECEPTION NUMBER 090173481; SAID PARCEL MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH BEARINGS REFERENCED TO THE WEST LINE OF DOWNTOWN FLYING HORSE FILING NO. 1, RECORDED AUGUST 29, 2025 UNDER RECEPTION NO. 225715578, MONUMENTED AT THE SOUTH END BY A NO. 5 REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED "CCS LLC PLS 20116", FOUND 0.2 FEET ABOVE GROUND, AND AT THE NORTH END WITH A NO. 5 REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED "CCS LLC PLS 20116", FOUND 0.2 FEET ABOVE GROUND, AND DETERMINED BY GPS OBSERVATION TO BEAR NORTH 00°45'57" EAST, A DISTANCE OF 725.95 FEET.

COMMENCING AT THE SOUTHWEST CORNER OF SAID DOWNTOWN FLYING HORSE FILING NO. 1:

THENCE NORTH 00°45'57" EAST ON SAID WEST LINE, A DISTANCE OF 398.34 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF FIRESTEED DRIVE AS DEDICATED TO THE PUBLIC ON SAID PLAT OF DOWNTOWN FLYING HORSE FILING NO. 1;

THENCE SOUTH 89°55'03" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 469.44 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 363.50 FEET, WHOSE CENTER BEARS SOUTH 79°27'25" EAST, SAID POINT BEING THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF FIRESTEED DRIVE AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SOMERSTONE DRIVE, AS DEDICATED TO THE PUBLIC ON SAID DOWNTOWN FLYING HORSE FILING NO. 1;

THENCE NORTHEASTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 33°27'25", AN ARC DISTANCE OF 212.28 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 104.61 FEET;

THENCE NORTH 46°00'00" WEST A DISTANCE OF 15.00 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 65.00 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 10.00 FEET;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 15.00 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 6.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 44°00'00" EAST A DISTANCE OF 336.38 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 225.00 FEET, WHOSE CENTER BEARS NORTH 44°00'00" EAST;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°36'47", AN ARC DISTANCE OF 33.82 FEET;

THENCE NORTH 52°36'47" EAST, A DISTANCE OF 50.00 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 175.00 FEET, WHOSE CENTER BEARS NORTH 52°36'47" EAST;

THENCE SOUTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°36'47", AN ARC DISTANCE OF 26.31 FEET;

THENCE NORTH 44°00'00" EAST, A DISTANCE OF 255.00 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 30.50 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE NORTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°32'28", AN ARC DISTANCE OF 25.33 FEET TO A 55.50 FEET FOOT REVERSE CURVE;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°41'04", AN ARC DISTANCE OF 51.03 FEET;

THENCE NORTH 46°00'00" WEST, A DISTANCE OF 393.91 FEET;

THENCE NORTH 57°22'02" EAST, A DISTANCE OF 147.87 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 542.70 FEET, WHOSE CENTER BEARS NORTHWESTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 50°23'32", AN ARC DISTANCE OF 477.31 FEET;

THENCE NORTH 06°57'19" EAST A DISTANCE OF 316.98 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 313.30 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 32°02'28", AN ARC DISTANCE OF 175.84 FEET;

THENCE NORTH 39°06'44" EAST A DISTANCE OF 24.03 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 513.30 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 21°08'38", AN ARC DISTANCE OF 189.42 FEET;

THENCE NORTH 60°15'21" EAST A DISTANCE OF 480.85 FEET;

THENCE SOUTH 15°48'12" EAST A DISTANCE OF 14.15 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 472.00 FEET, WHOSE CENTER BEARS SOUTHWESTERLY;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 42°18'12", AN ARC DISTANCE OF 348.49 FEET;

THENCE SOUTH 26°50'00" WEST A DISTANCE OF 321.60 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 528.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 45°00'52", AN ARC DISTANCE OF 414.82 FEET;

THENCE SOUTH 79°47'05" WEST, A DISTANCE OF 6.38 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 140.00 FEET, WHOSE CENTER BEARS SOUTH 79°47'05" WEST;

THENCE SOUTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 43°23'16", AN ARC DISTANCE OF 106.02 FEET;

THENCE SOUTH 01°00'00" EAST, A DISTANCE OF 26.86 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 16.97 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 592.73 FEET;

THENCE SOUTH 01°00'00" EAST A DISTANCE OF 28.28 FEET;

THENCE SOUTH 46°00'00" EAST A DISTANCE OF 298.20 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 300.00 FEET, WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°59'35", AN ARC DISTANCE OF 47.09 FEET;

THENCE NORTH 76°53'10" EAST, A DISTANCE OF 16.40 FEET;

THENCE SOUTH 60°09'24" EAST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 17°11'58" EAST A DISTANCE OF 16.40 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 300.00 FEET, WHOSE CENTER BEARS NORTH 24°40'47" EAST;

THENCE SOUTHEASTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°47'39", AN ARC DISTANCE OF 19.87 FEET;

THENCE SOUTH 60°09'24" EAST A DISTANCE OF 180.62 FEET TO A POINT ON THE NORTHWESTERLY LINE OF STATE HIGHWAY NO. 83 AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED APRIL 12, 2004 UNDER RECEPTION NO. 204057832;

THENCE SOUTH 26°13'32" WEST ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 70.30 FEET;

THENCE NORTH 68°06'52" WEST A DISTANCE OF 174.12 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 370.00 FEET, WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 04°46'23", AN ARC DISTANCE OF 30.82 FEET;

THENCE NORTH 73°14'16" WEST, A DISTANCE OF 17.47 FEET;

THENCE NORTH 60°09'24" WEST A DISTANCE OF 30.00 FEET;

THENCE NORTH 13°33'08" WEST A DISTANCE OF 17.47 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 370.00 FEET, WHOSE CENTER BEARS NORTH 34°01'41" EAST;

THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 09°58'19", AN ARC DISTANCE OF 64.40 FEET;

THENCE NORTH 46°00'00" WEST A DISTANCE OF 298.20 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 28.28 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 283.50 FEET;

THENCE SOUTH 01°00'00" EAST A DISTANCE OF 14.14 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 30.00 FEET;

THENCE SOUTH 89°00'00" WEST A DISTANCE OF 14.14 FEET;

THENCE SOUTH 44°00'00" WEST A DISTANCE OF 336.38 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SAID SOMERSTONE DRIVE;

THENCE NORTH 46°00'00" WEST ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIPTION PRODUCES A CALCULATED AREA OF 818.81 SQUARE FEET (18.79732 ACRES).

GENERAL NOTES:

- NO PORTION OF THIS SITE IS LOCATED WITHIN F.E.M.A. DESIGNATED FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBERS 08041C002956 & 08041C005066 EFFECTIVE DECEMBER 7, 2018.
- THE SUBJECT PROPERTY IS INCLUDED IN THE FLYING HORSE METROPOLITAN DISTRICT NO. 2. THE FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 2 IS RECORDED UNDER RECEPTION NO. 204189318 AND AS AMENDED.
- FINDINGS AND DECREE FOR FLYING HORSE METROPOLITAN DISTRICT NO. 1 ARE RECORDED UNDER RECEPTION NO. 204189317 AND AS AMENDED.
- SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND INSTALLED PER CITY STANDARDS. SIDEWALKS WITHIN THE PRIVATE TRACTS NOT IN A PUBLIC IMPROVEMENT EASEMENT SHALL BE INSTALLED 4' OR 5' WIDE, UNLESS ATTACHED TO CURB WHERE SIDEWALK WILL BE 6' WIDE. ALL SIDEWALKS SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- THERE SHALL BE NO DIRECT VEHICULAR ACCESS FROM ANY LOT OR TRACT TO SOMERSTONE DRIVE OR SKIPPING ROCK AVENUE.
- SPEED LINE OF SIGHT ANALYSIS IS REQUIRED FOR ALL FENCING AND VEGETATION OTHER THAN DECIDUOUS TREES, AT STREET INTERSECTIONS.
- ALL LANDSCAPING NOT WITHIN PRIVATE PROPERTY, SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- ALL STREET TREES AND STREETSCAPE LOCATED IN THE R.O.W. INCLUDING MEDIANS, SITE LANDSCAPING IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF FLYING HORSE METROPOLITAN DISTRICT NO. 2 AND/OR ITS ASSIGNS.
- NO ON STREET PARKING ALLOWED ON 30' R.O.W. PUBLIC STREETS. NO PARKING SIGNS WILL BE INSTALLED.
- ALL DRIVEWAYS SHALL MAINTAIN A MINIMUM WIDTH OF 18' WIDE AND NOT EXCEED 24' WIDE.
- ALL PRIVATE AND PUBLIC SIDEWALK/TRAIL SEGMENTS SHALL BE CONSTRUCTED OF CONCRETE AND NOT LESS THAN 4" IN WIDTH WITHIN COMMON OPEN SPACE AND 4" FOR PEDESTRIAN CONNECTIONS TO ON-STREET AND GUEST PARKING FACILITIES AND COMMON OPEN SPACE CONSTRUCTED PER CITY STANDARD DETAIL. ALL SEGMENTS SHALL BE INSTALLED CONCURRENT WITH DEVELOPMENT.
- THE DENSITY, DESIGN AND DIMENSIONAL CONTROLS ESTABLISHED UNDER CITY CODE CHAPTER 7 SHALL APPLY UNLESS OTHERWISE STATED BY THIS DEVELOPMENT PLAN, OR APPROVED LAND USE PLAN.
- ALL CURB RETURNS WITHIN THE SITE TO BE 15' RADIUS MINIMUM PER CITY STANDARDS.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- SIDEWALKS SHALL BE FREE OF OBSTRUCTIONS (E.G. VAULTS, RISERS), AND SHALL MEANDER AROUND OBSTACLES.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 1001 AND COMPLETE THE COLORADO SPRINGS UTILITIES' ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- REQUIRED GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA (P.I.A.) ALL LOCATED IN BOTTOM OF THE EXISTING OFF-SITE PRIVATE FULL SPECTRUM DETENTION FACILITY.
- NO VARIANCES WILL BE ALLOWED.
- ALL "STOP SIGNS" AND PAVEMENT MARKINGS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- A PRIVATE AVIATION EASEMENT ACKNOWLEDGING THE USFA AIRMANSHIP PROGRAM WILL BE ESTABLISHED PRIOR TO RECORDING OF THE FINAL SUBDIVISION PLAT(S) FOR THIS DEVELOPMENT OR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY UNIT WITHIN THE DEVELOPMENT.
- THE AREA INCLUDED IN THIS PLAT IS SUBJECT TO THE GOLF-PLAY EASEMENT AGREEMENT RECORDED UNDER RECEPTION NO. 206053073. FUTURE LOT OWNERS SHOULD BECOME FAMILIAR WITH THIS DOCUMENT.
- THE ARTICLES OF INCORPORATION OF FLYING HORSE HOMEOWNERS ASSOCIATION, INC. WERE FILED WITH THE COLORADO SECRETARY OF STATE UNDER IDENTIFICATION NO. 20041265160. THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR FLYING HORSE RESIDENTIAL ARE RECORDED UNDER RECEPTION NO. 205049282.
- ON STREET PARKING SPACES SHALL BE USED FOR VEHICULAR PARKING ONLY. NO SALES, RENTAL, STORAGE, REPAIR, SERVICING OF VEHICLES, EQUIPMENT OR MATERIALS, DISMANTLING, OR OTHER ACTIVITIES SHALL BE CONDUCTED OR LOCATED IN SUCH AREAS. ON STREET SPACES CANNOT BE DESIGNATED AS PRIVATE OR RESERVED FOR ADJACENT USE.
- SCHOOL SITE DEDICATION TO BE MET THROUGH FEES IN LIEU OF LAND, TO BE DUE AT THE TIME OF BUILDING PERMIT.
- THIS DEVELOPMENT PLAN REFLECTS THE PREBLES MEADOW JUMPING MOUSE (PMJM) HABITAT MITIGATION LINE SHOWN FOR REFERENCE AS DETAILED IN THE CORE CONSULTANTS BIOLOGICAL ASSESSMENT AND THE BIOLOGICAL OPINION ISSUED BY US FISH AND WILDLIFE IN CONSULTATION WITH THE US CORPS OF ENGINEERS.
- MAILBOX KIOSK DESIGN: THE DESIGN AND CONSTRUCTION OF THE MAILBOX KIOSK SHALL BE SIMILAR TO THE MAILBOX KIOSK DESIGN AND CONSTRUCTION CURRENTLY BUILT IN FLYING HORSE. SEE DETAIL ON SHEET xx. FINAL APPROVAL OF LOCATION SHOWN WILL BE UNDER USFS.
- WALK CONNECTION LOCATIONS FROM PROPOSED WALKS TO FRONT ACCESS OF RESIDENTIAL BUILDINGS TO BE DETERMINE WITH SELECTION OF BUILDING FOOTPRINT TYPES.
- THE DEVELOPER WILL BE RESPONSIBLE FOR APPLICABLE TRAFFIC IMPACT STUDY RECOMMENDED ROADWAY IMPROVEMENTS SHOWN ON FIGURE 10 AND FIGURE 11 OF THE ITS BY LSC TRANSPORTATION CONSULTANTS.
- REQUIRED IMPROVEMENTS TO BLACK SQUIRREL CREEK HAVE BEEN INSTALLED DURING THE DEVELOPMENT OF FLYING HORSE HORSE NO. 4 PALERMO FILING NO'S 3,4,85 BLACK SQUIRREL CREEK CHANNEL IMPROVEMENTS. ASSURANCES HAVE BEEN TO THE FLYING HORSE PALERMO DEVELOPMENT. BLACK SQUIRREL CREEK IS TO BE DEDICATED TO THE CITY OF COLORADO SPRINGS PER THE APPROVED STORMWATER PLANS.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN APPLICATIONS.

WQ/DETENTION:

WATER QUALITY AND DETENTION IS PROVIDED FOR CREEKRIDGE FILING NO. 1 IN AN EXISTING SUB-REGIONAL FACILITY PERMANENT CONTROL MEASURE CONSTRUCTED WITH THE DOWNTOWN AT FLYING HORSE DEVELOPMENT. SEE THE FINAL DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FILING NO. 1 PRELIMINARY DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FUTURE FILINGS BY CLASSIC CONSULTING APPROVED 01-12-2023 FOR PERMANENT CONTROL MEASURE DETAILS

CITY ENGINEERING

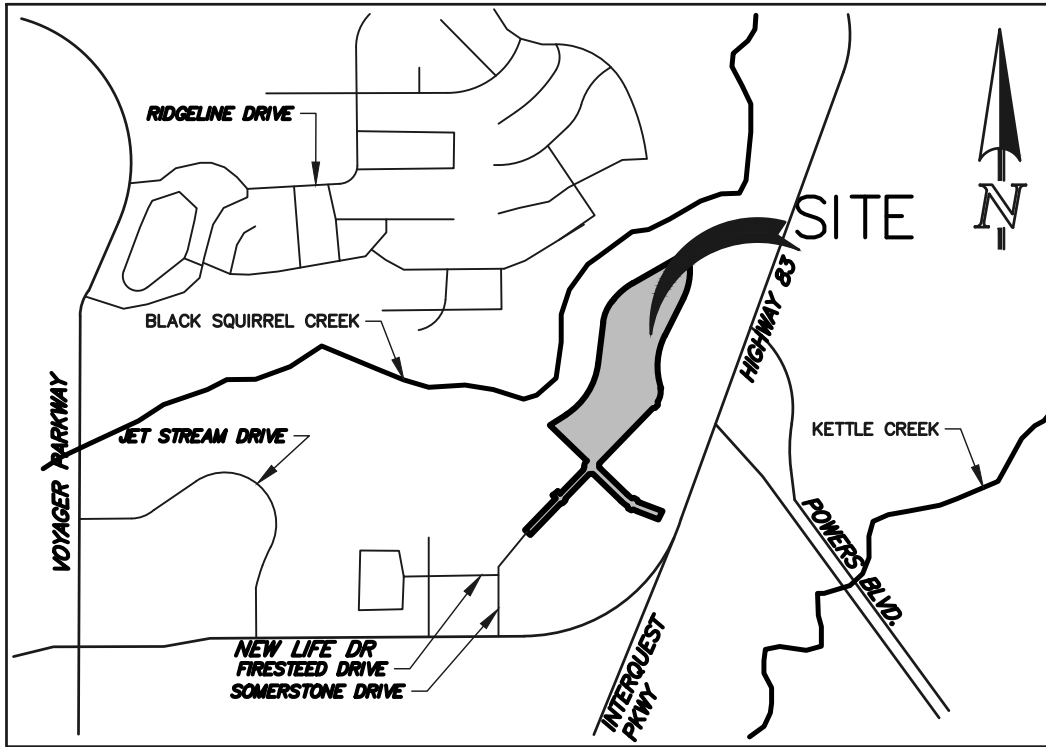
ALL EXISTING CURB AND GUTTER AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977

VICINITY MAP

N.T.S.

PLDO NOTES:

- THE PARKLAND OBLIGATION FOR CREEKRIDGE AT FLYING HORSE FILING 1 IS PER THE APPROVED LAND USE PLAN (LUPL-25-0023) AND WILL BE MET THROUGH PARKLAND DEDICATION.



DEVELOPMENT PLAN SHEET INDEX

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SITE DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN
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PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN
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PRELIMINARY LANDSCAPE PLAN
LANDSCAPE HYDROZONE PLAN
LANDSCAPE ACTIVE GREENSPACE PLAN
PLANTING DETAILS & NOTES
SITE DETAILS
PRELIMINARY LANDSCAPE PLAN-BUILDING TYPICALS

SITE DATA:

PROPOSED LAND USE:	SINGLE FAMILY DETACHED (COMPACT LOT)
TOTAL AREA:	18.797 ACRES
GROSS AREA:	11.417 ACRES (EXCLUDING PREBLES MOUSE HABITAT, SOMERSTONE DRIVE ROW & SKIPPING ROCK AVENUE ROW)
DENSITY:	5.34 DU/AC (CALCULATED USING GROSS SITE AREA)
TOTAL LOTS:	61 LOTS

Table 7.2.2.1 R-Flex Medium: Lot and Building Standards	
Table 7.2.2.4 R-Flex Medium: Lot and Building Standards	
Density and Lot Standards	
Residential density range of area included in Land Use Plan	5 - 16 du/ac
Lot area (minimum)	Residential uses: 1,500 sq ft per du Non-residential uses: N/A
Lot width (minimum)	Residential structures: 20 ft per du Non-residential uses: N/A
Setbacks (minimum)	
A Front	All residential structures except garages: 10 ft Street loaded garage (1): 20 ft (see Table 7.4.2.B) Non-residential structures, frontage: Min. 5 ft, Max. 20 ft
B Side	Interior, residential use: 1 ft minimum with 6 ft combined both sides, or 0 ft if attached Corner lot side street, residential use: 10 ft Interior, non-residential use: 10 ft Corner lot side street, non-residential use: 20 ft
C Rear	All residential structures: 10 ft Detached Garage or Carport: 5 ft from property line adjacent to the lot or 5 ft from the edge of any access easement Non-residential use: 15 ft
Height (maximum)	
D Building height	45 ft
Notes	(1) If no sidewalk exists, the distance is measured from 5 ft behind the curb line.

TAX SCHEDULE NO.:	62000-00-640, 62000-00-737
MASTER PLAN:	FLYING HORSE CPC MP 06-00219 AS AMENDED
LAND USE PLAN:	CREEKRIDGE AT FLYING HORSE CREEK (LUPL-25-0023)
EXISTING ZONING:	R-FLEX MEDIUM/AF-O ORDINANCE NO. 26-14
DEVELOPMENT SCHEDULE:	2026/2027 FULL BUILD OUT (NO PHASING)

PROVIDED PARKING:

REQUIRED PARKING	
SINGLE FAMILY	2 PER DU
LOTS (DU)	61 2 122
10% GUEST PARKING	12
TOTAL	134

PROVIDED PARKING	
SINGLE FAMILY DETACHED	2 PER DU (2 PER GARAGE)
61 2 122	

GUEST PARKING	48
TOTAL PARKING SPACES PROVIDED	170*
30' ACCESS STREET - NO PARKING ALLOWED *ADDITIONAL PARALLEL PARKING ALLOWED ALONG SOMERSTONE DRIVE (NOT INCLUDED IN COUNT)	

REQUIRED PARKING:

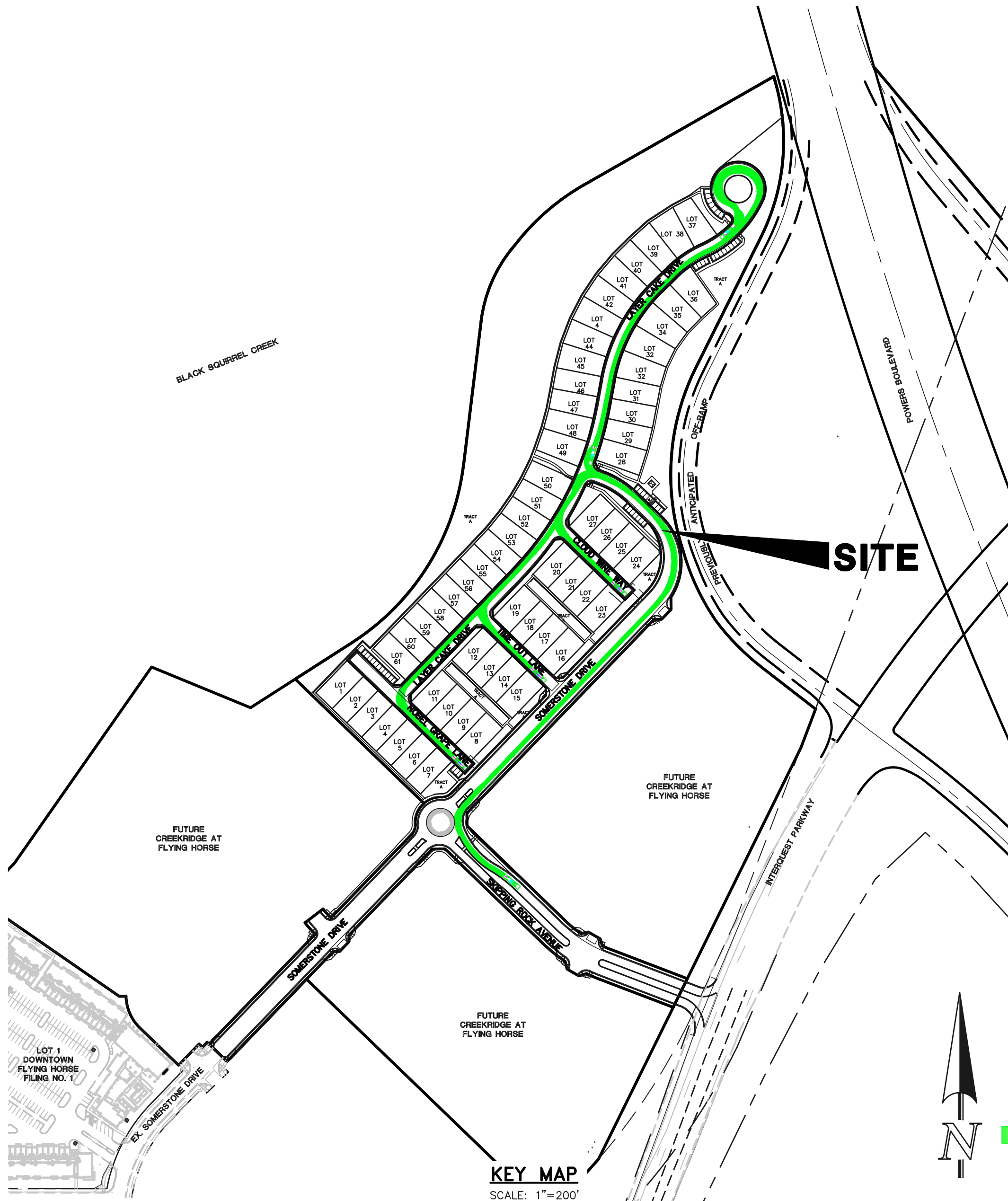
REQUIRED PARKING	
SINGLE FAMILY	2 PER DU
LOTS (DU)	61 2 122
10% GUEST PARKING	12
TOTAL	134

GREEN SPACE:

SEE LANDSCAPE ACTIVE GREENSPACE PLAN (SHEET 20 OF 23).

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

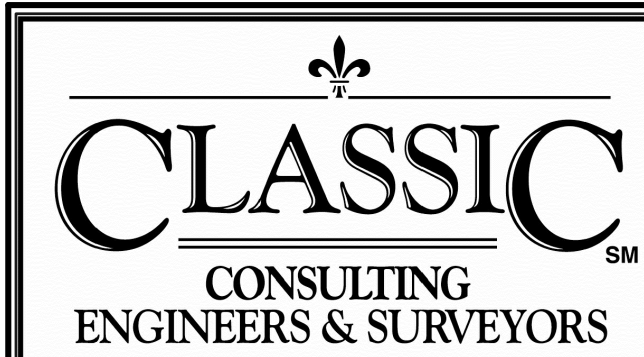


CSFD Apparatus Data Used Within AutoTurn	
42.5' (509")	
7.58' (91")	
21' (252")	
13' (166")	
Width	8.42' (101")
Track	8.17' (98")
Lock to Lock Time	5.00 seconds
Steering Angle	44 degrees

TRACT TABLE			OWNERSHIP & MAINTENANCE
TRACT	SIZE	USE	
TRACT A	0.533 AC	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT B	2.14 AC	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT C	4.46 AC	OPEN SPACE, AND PREBLES JUMPING MOUSE HABITAT	FLYING HORSE METROPOLITAN DISTRICT NO. 1

FOR CITY USE:

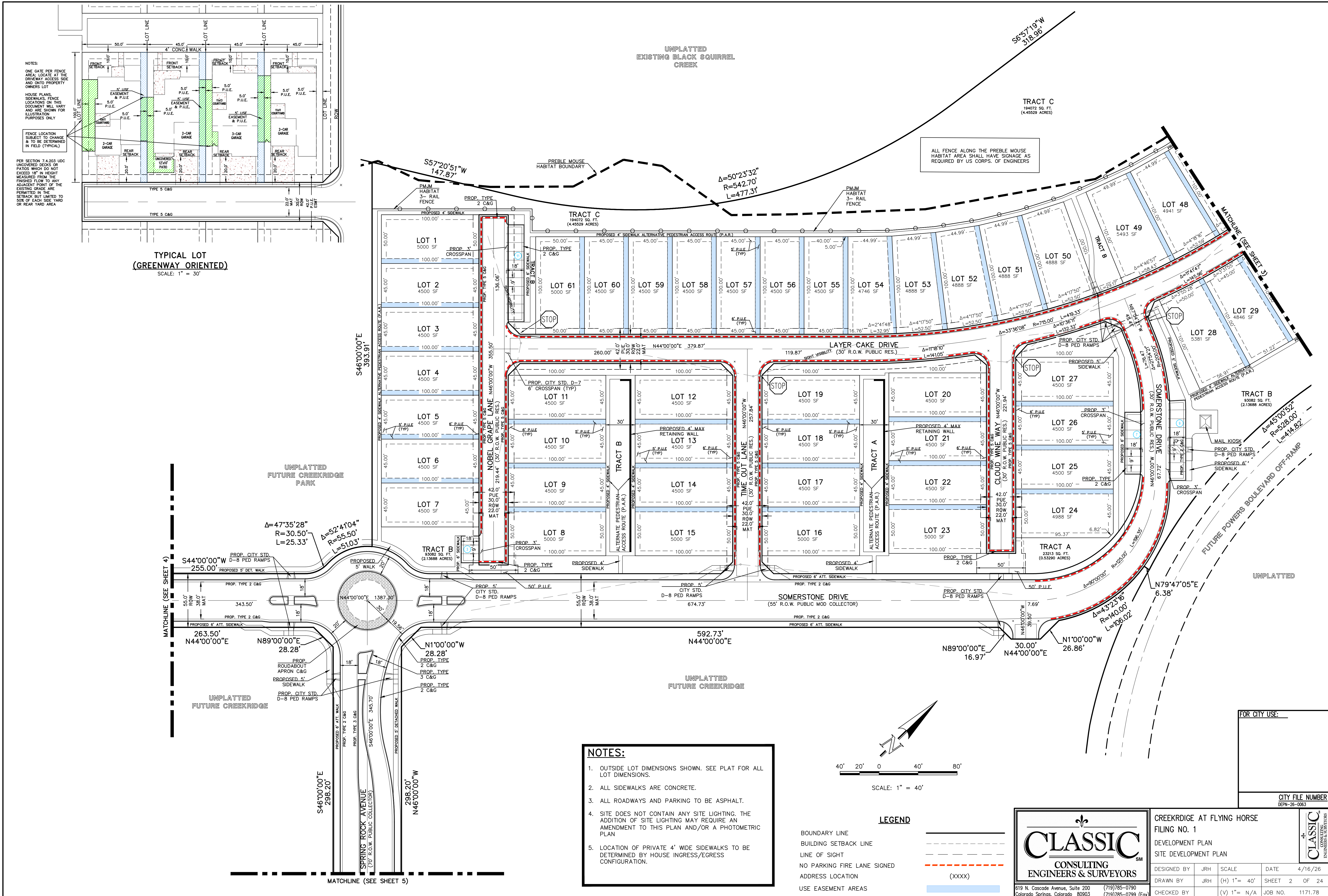
CITY FILE NUMBER
DEPN-26-0063

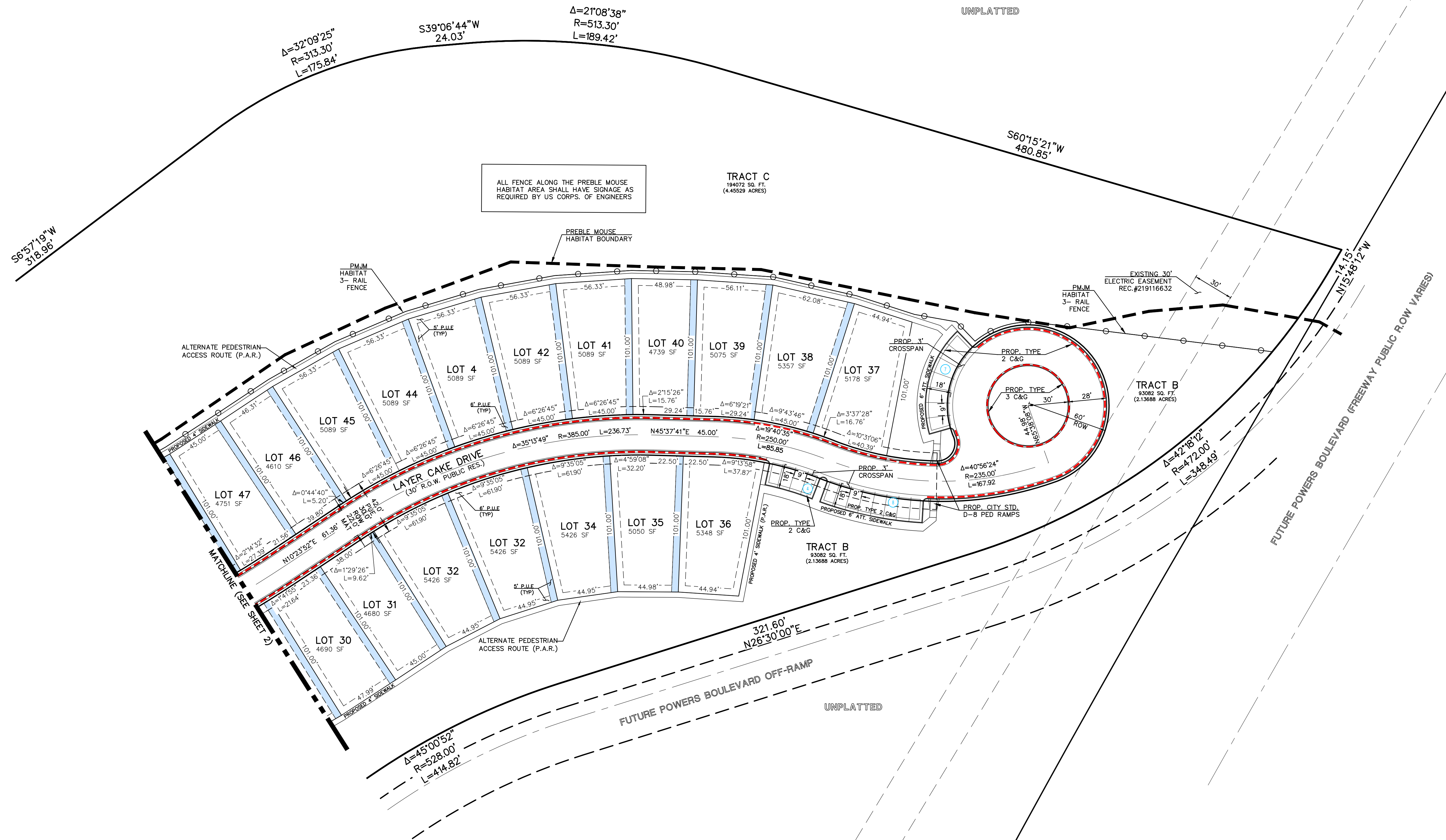


619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
TITLE SHEET

DESIGNED BY	JRH	SCALE	DATE	6/23/26
DRAWN BY	JRH	(H) 1"= N/A	SHEET	1 OF 24
CHECKED BY	DLG	(V) 1"= N/A	JOB NO.	1171.78





- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN
 5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.

BOUNDARY LINE
BUILDING SETBACK LINE
LINE OF SIGHT
NO PARKING FIRE LANE SIGNED
ADDRESS LOCATION
USE EASEMENT AREAS

(XXXX)



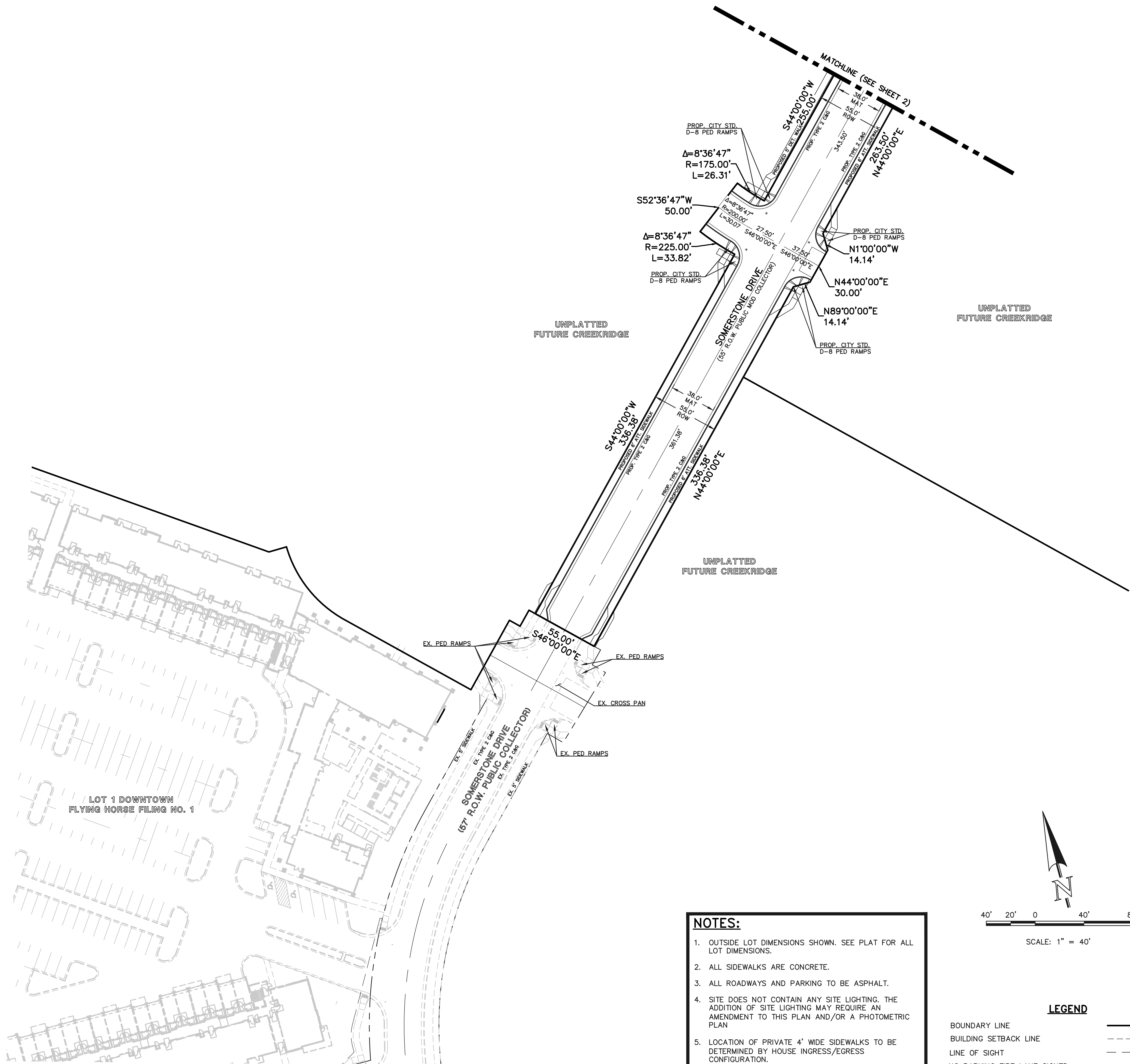
CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN

DESIGNED BY	JRH	SCALE	DATE	4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	3 OF 24
CHECKED BY	(V) 1"= N/A	JOB NO.	1171.78	

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063

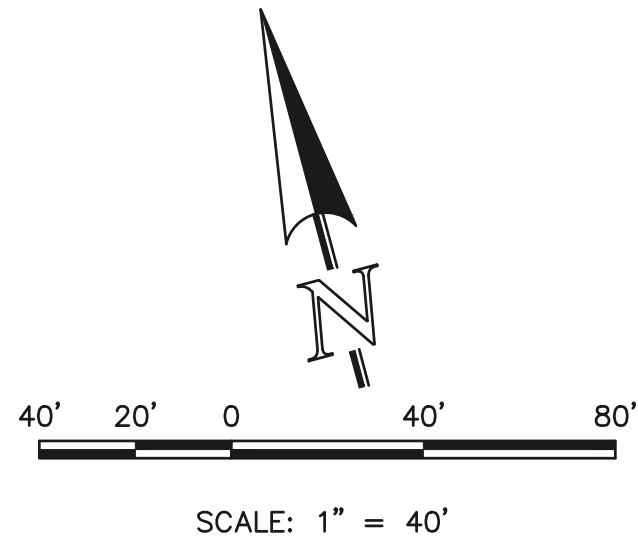


NOTES:

1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
2. ALL SIDEWALKS ARE CONCRETE.
3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN
5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.

LEGEND

BOUNDARY LINE	—————
BUILDING SETBACK LINE	-----
LINE OF SIGHT	- - - - -
NO PARKING FIRE LANE SIGNED	- - - - -
ADDRESS LOCATION	(XXXX)



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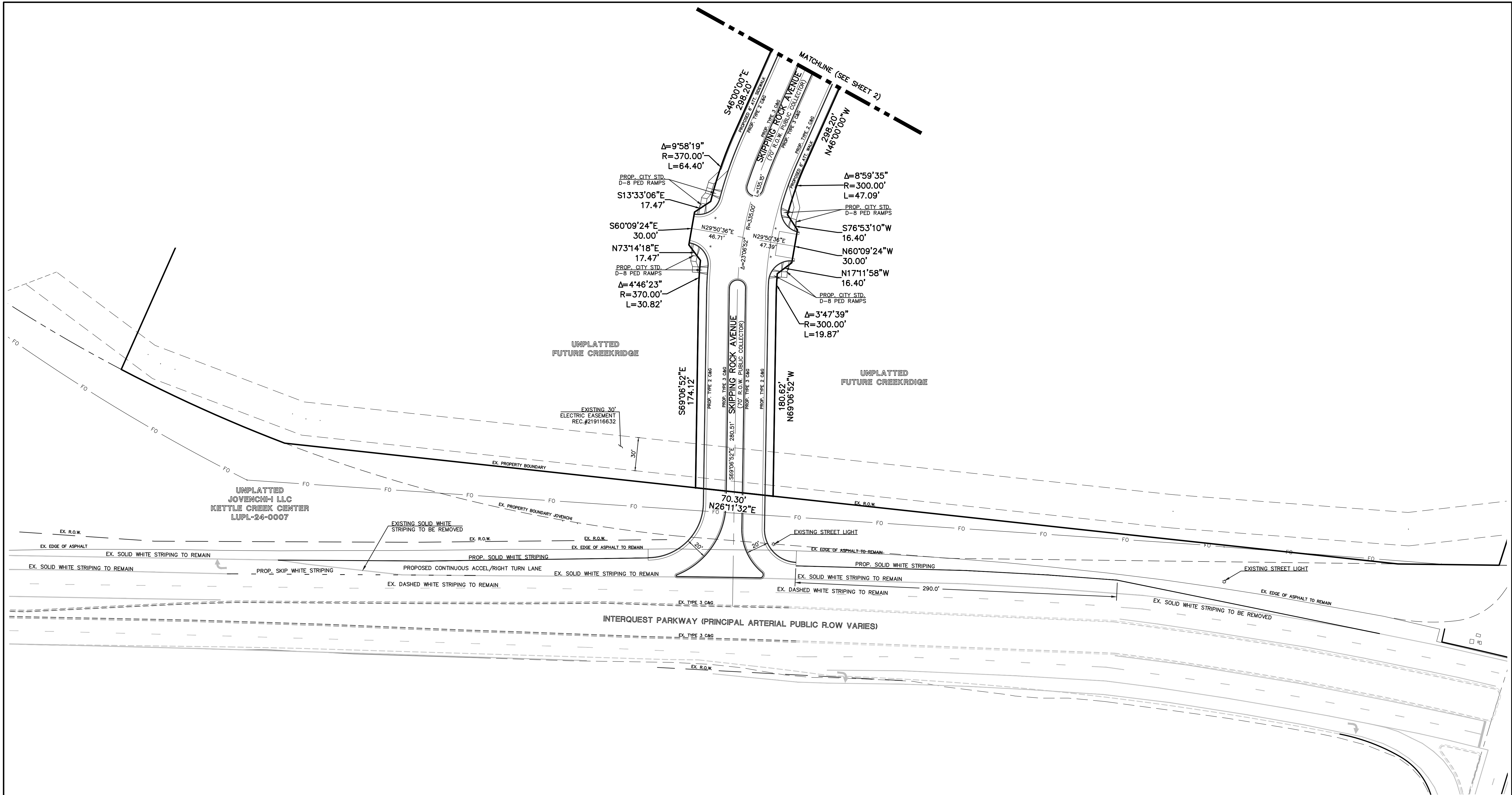
CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
SITE DEVELOPMENT PLAN

DESIGNED BY	JRH	SCALE	DATE	4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	4 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

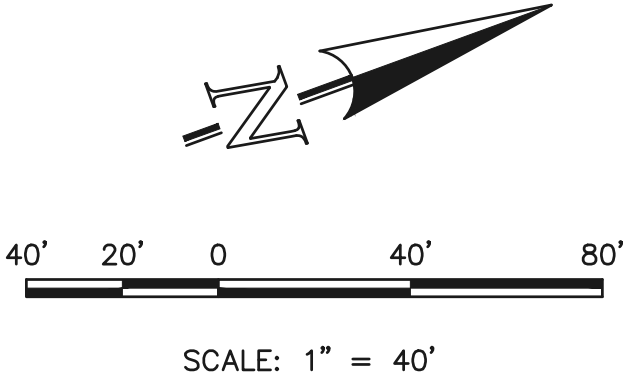
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- NOTES:**
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LEGEND	
BOUNDARY LINE	—————
BUILDING SETBACK LINE	-----
LINE OF SIGHT	-----
NO PARKING FIRE LANE SIGNED	-----
ADDRESS LOCATION	(XXXX)
ACCESSIBLE ROUTE	-----

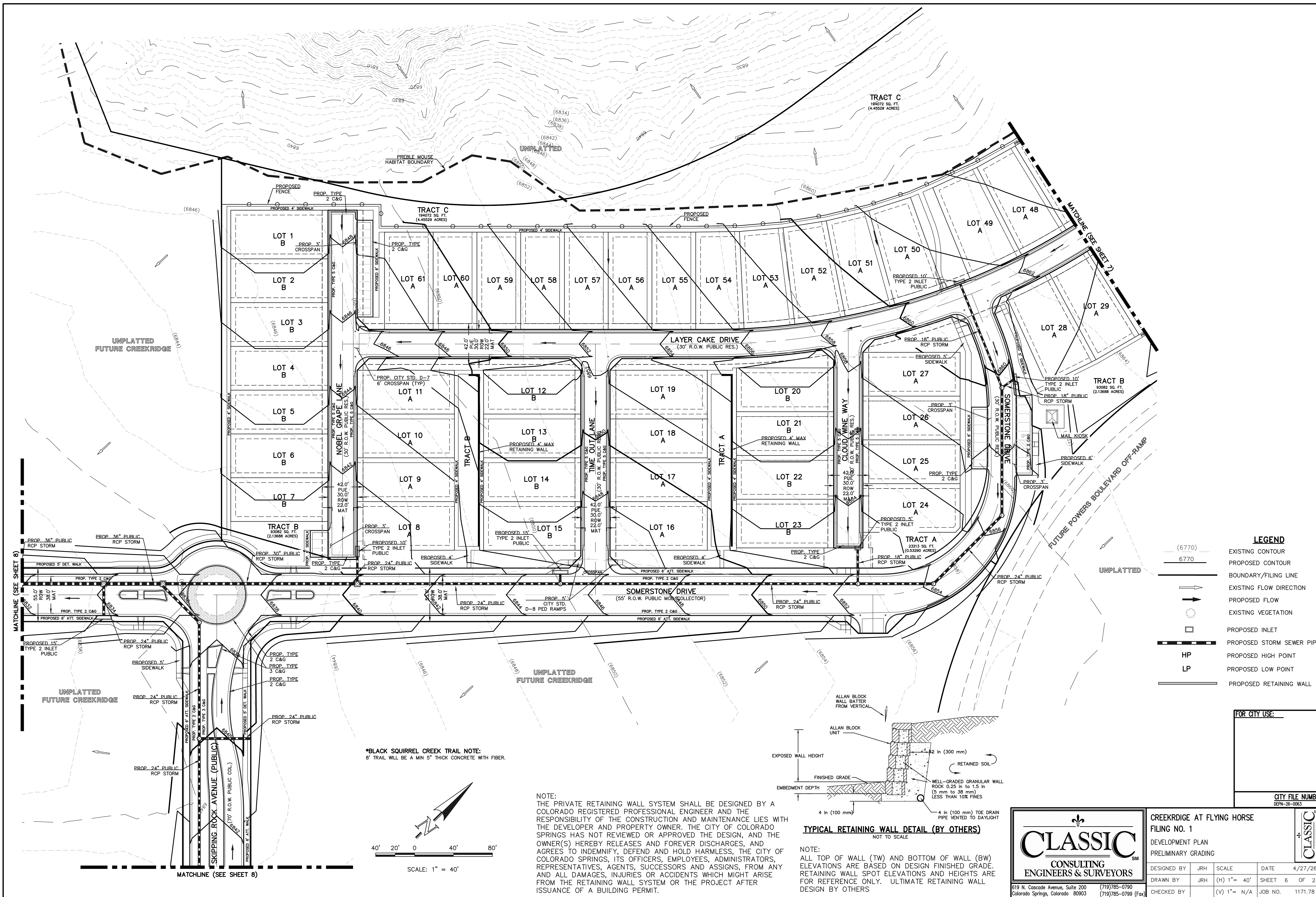


CREEKRDIGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 5 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

FOR CITY USE:

CITY FILE NUMBER

DEPN-26-0063



LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- BOUNDARY/FILING LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- EXISTING VEGETATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PROPOSED RETAINING WALL

FOR CITY USE:

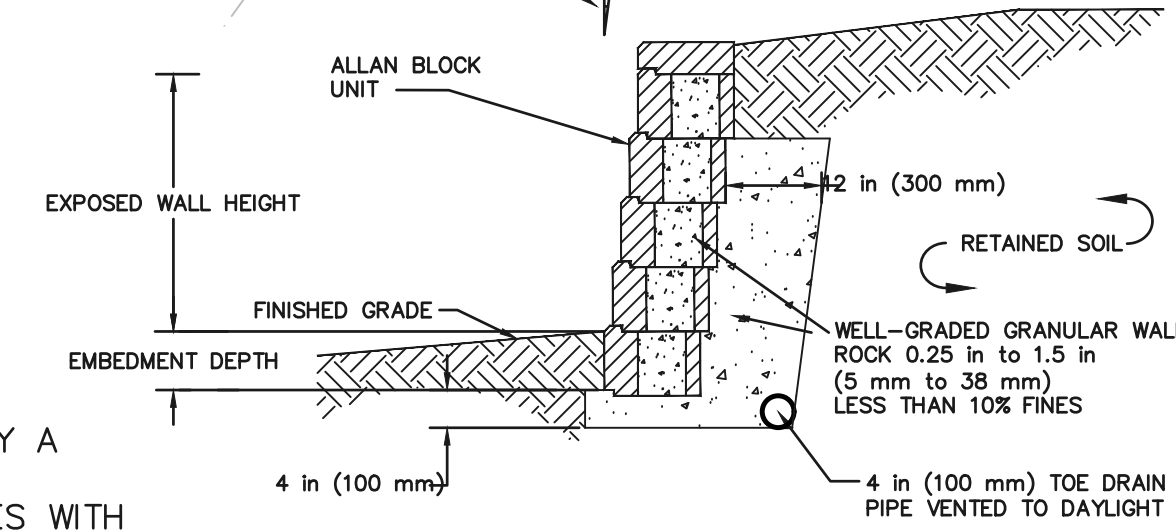
CITY FILE NUMBER
DEPN-26-0063

***BLACK SQUIRREL CREEK TRAIL NOTE:**
8" TRAIL WILL BE A MIN 5" THICK CONCRETE WITH FIBER.

40' 20' 0 40' 80'

SCALE: 1" = 40'

NOTE:
THE PRIVATE RETAINING WALL SYSTEM SHALL BE DESIGNED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER AND THE RESPONSIBILITY OF THE CONSTRUCTION AND MAINTENANCE LIES WITH THE DEVELOPER AND PROPERTY OWNER. THE CITY OF COLORADO SPRINGS HAS NOT REVIEWED OR APPROVED THE DESIGN, AND THE OWNER(S) HEREBY RELEASES AND FOREVER DISCHARGES, AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS, THE CITY OF COLORADO SPRINGS, ITS OFFICERS, EMPLOYEES, ADMINISTRATORS, REPRESENTATIVES, AGENTS, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL DAMAGES, INJURIES OR ACCIDENTS WHICH MIGHT ARISE FROM THE RETAINING WALL SYSTEM OR THE PROJECT AFTER ISSUANCE OF A BUILDING PERMIT.



TYPICAL RETAINING WALL DETAIL (BY OTHERS)
NOT TO SCALE

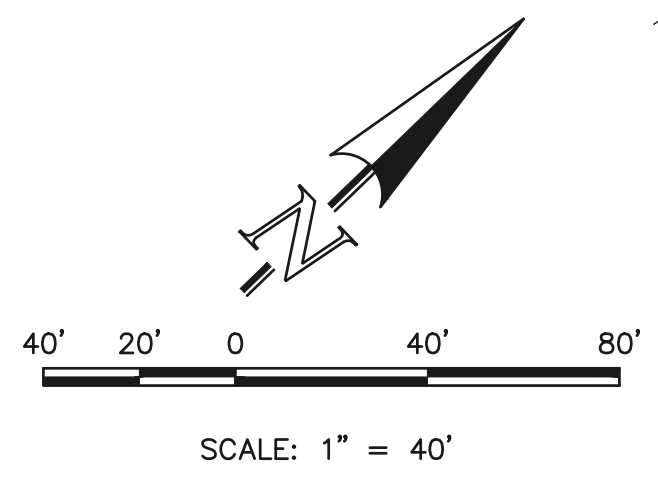
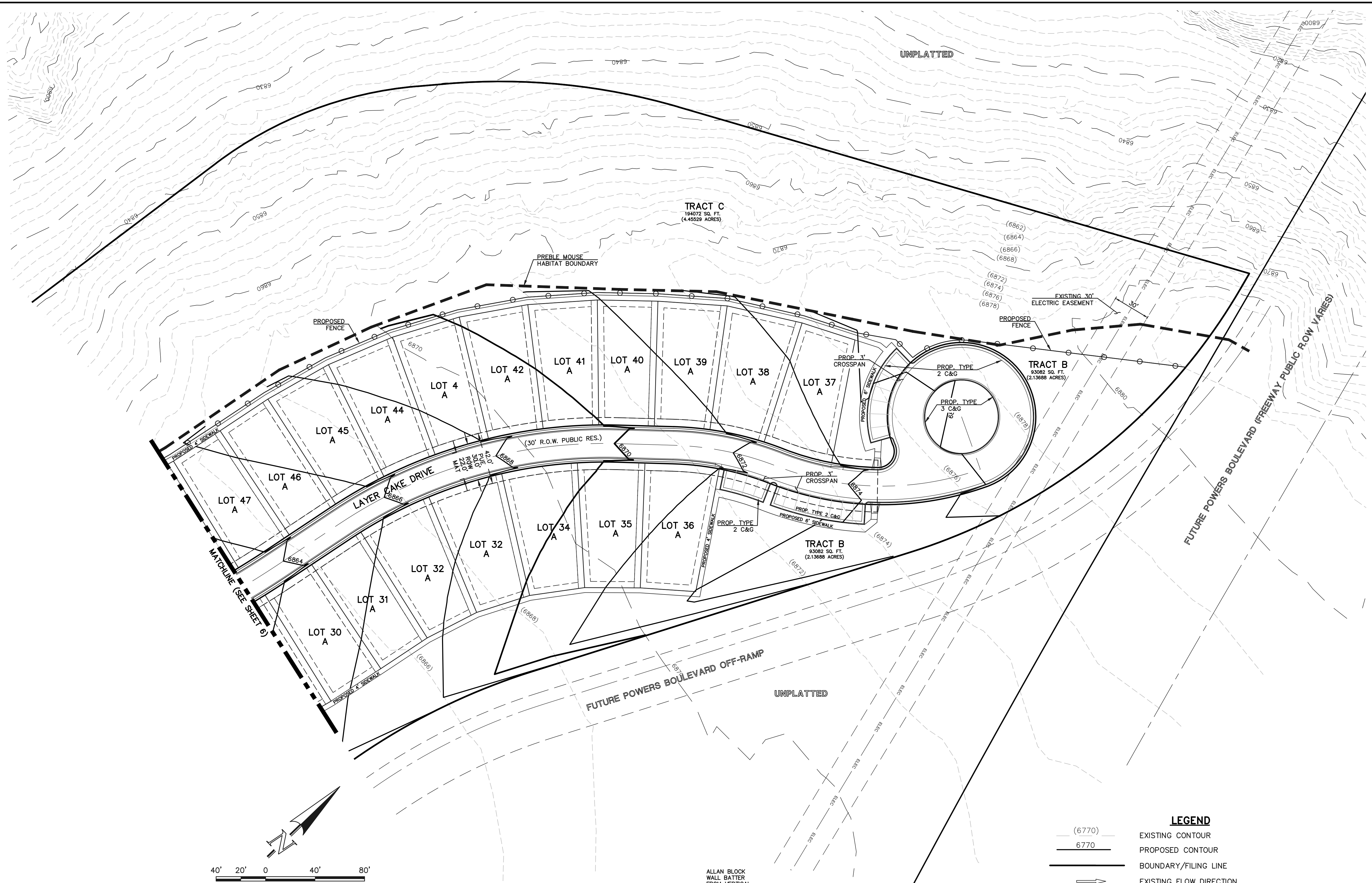
NOTE:
ALL TOP OF WALL (TW) AND BOTTOM OF WALL (BW) ELEVATIONS ARE BASED ON DESIGN FINISHED GRADE. RETAINING WALL SPOT ELEVATIONS AND HEIGHTS ARE FOR REFERENCE ONLY. ULTIMATE RETAINING WALL DESIGN BY OTHERS

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

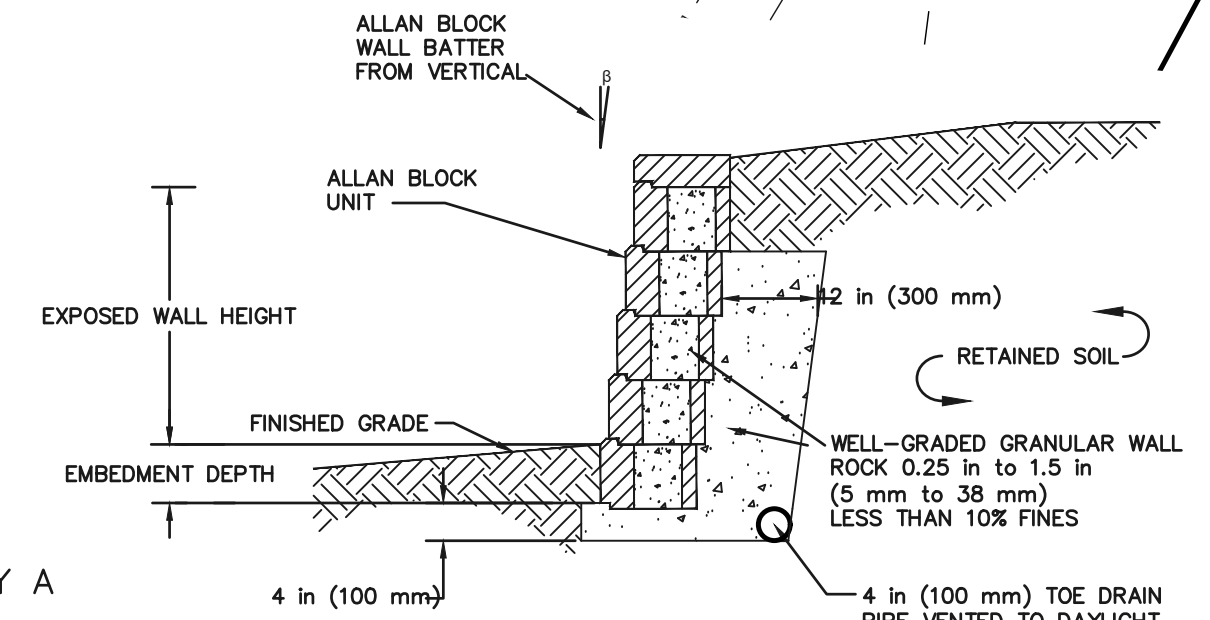
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(719)785-0790
(719)785-0799 (Fax)

CREEKRDIGE AT FLYING HORSE					
FILING NO. 1					
DEVELOPMENT PLAN					
PRELIMINARY GRADING					
DESIGNED BY	JRH	SCALE	DATE	4/27/26	
DRAWN BY	JRH	(H) 1"= 40'	SHEET	6	OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78	



NOTE:
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TYPICAL RETAINING WALL DETAIL (BY OTHERS)
NOT TO SCALE

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- LEGEND**
- (6770) EXISTING CONTOUR
 - 6770 PROPOSED CONTOUR
 - BOUNDARY/FILING LINE
 - EXISTING FLOW DIRECTION
 - PROPOSED FLOW
 - EXISTING VEGETATION
 - PROPOSED INLET
 - PROPOSED STORM SEWER PIPE
 - HP PROPOSED HIGH POINT
 - LP PROPOSED LOW POINT
 - PROPOSED RETAINING WALL

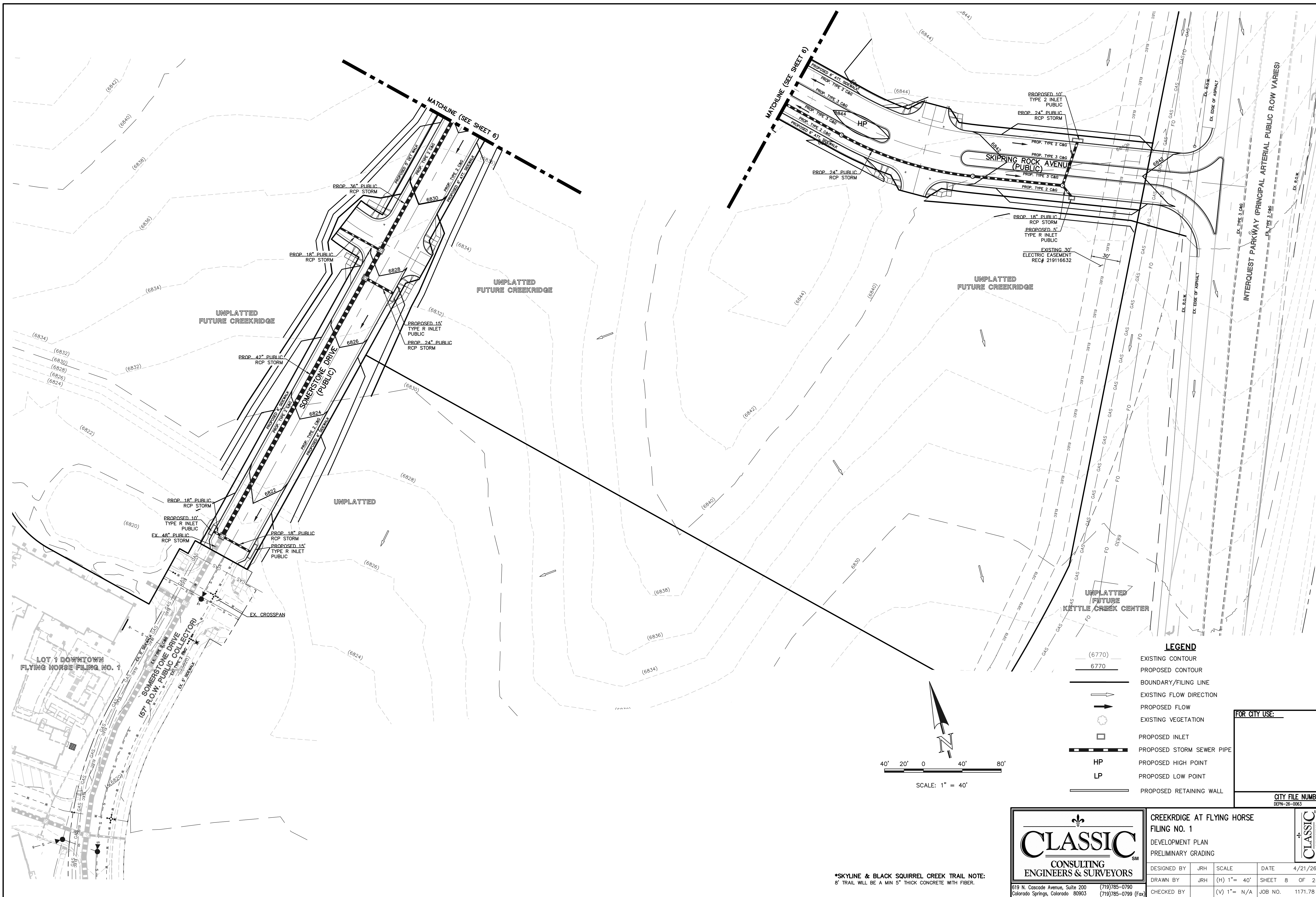
FOR CITY USE:

CITY FILE NUMBER	
DEPN-26-0063	

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CREEKRDIGE AT FLYING HORSE			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY GRADING			
DESIGNED BY	JRH	SCALE	DATE 4/21/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 7 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78



LEGEND

(6770)	EXISTING CONTOUR
6770	PROPOSED CONTOUR
---	BOUNDARY/FILING LINE
→	EXISTING FLOW DIRECTION
→	PROPOSED FLOW
○	EXISTING VEGETATION
□	PROPOSED INLET
---	PROPOSED STORM SEWER PIPE
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
---	PROPOSED RETAINING WALL

FOR CITY USE:

CITY FILE NUMBER	
DEPN-26-0063	

***SKYLINE & BLACK SQUIRREL CREEK TRAIL NOTE:**
8" TRAIL WILL BE A MIN 5" THICK CONCRETE WITH FIBER.

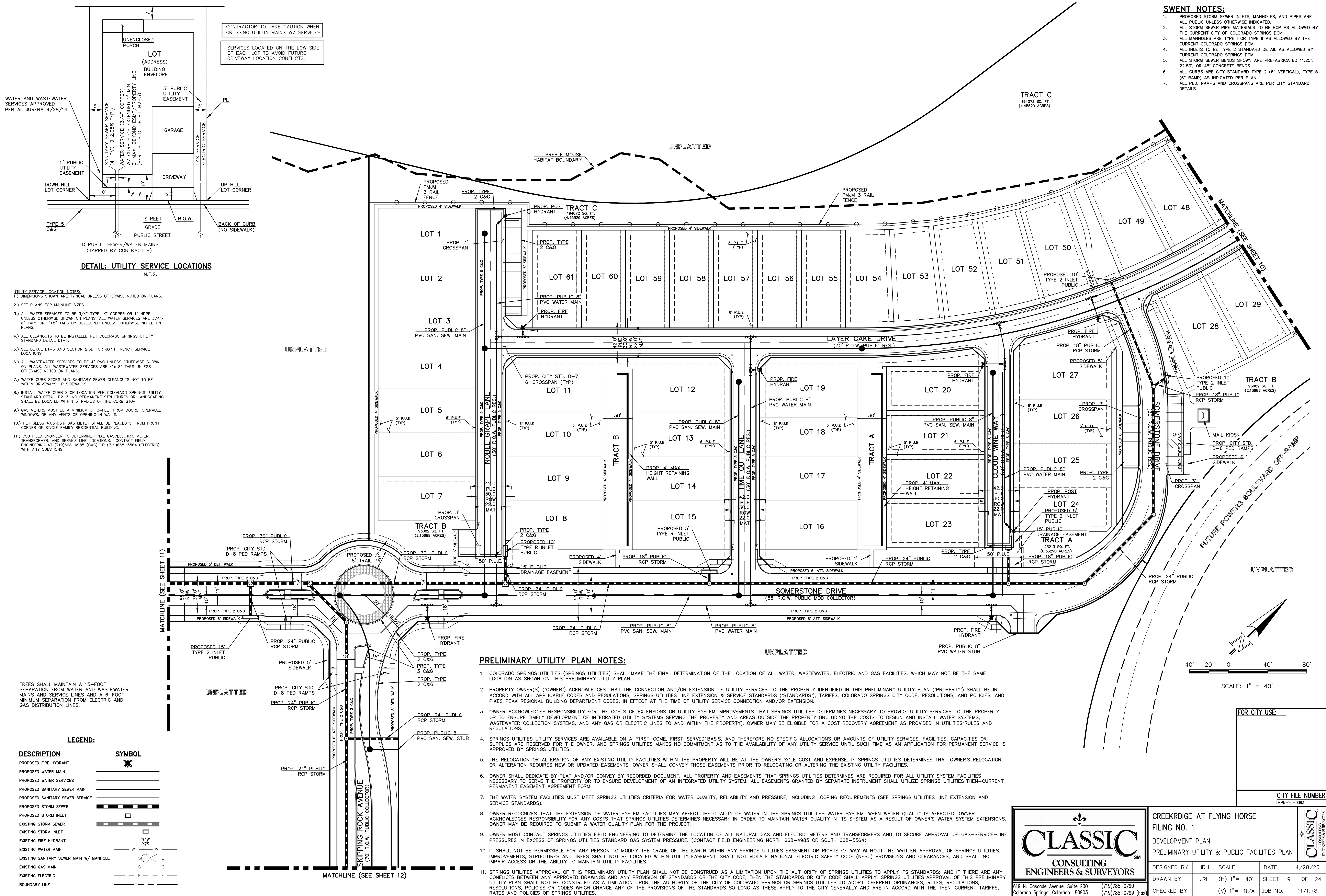
CLASSIC
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CREEKRDIGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING

DESIGNED BY	JRH	SCALE	DATE	4/21/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	8 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

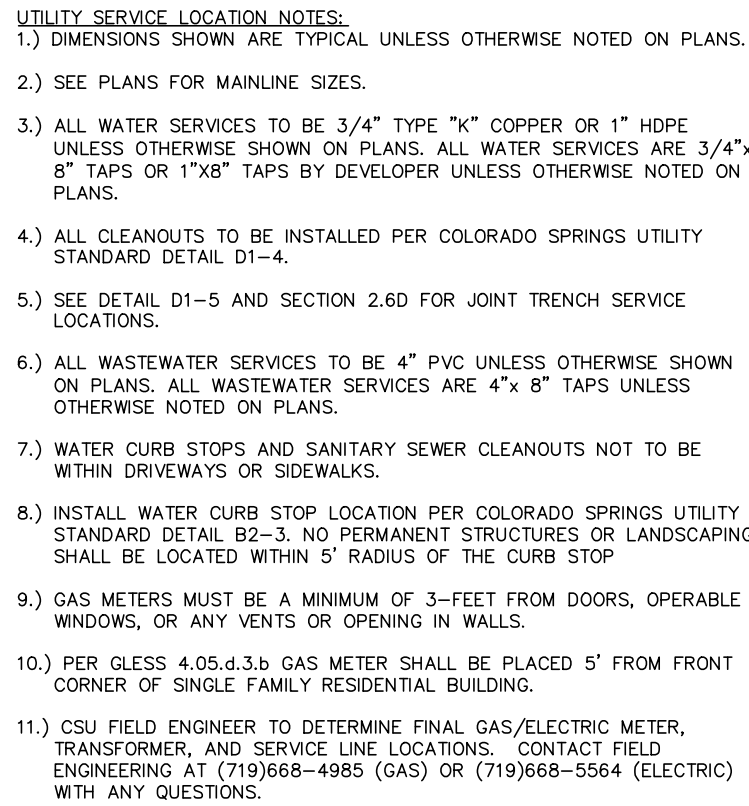
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

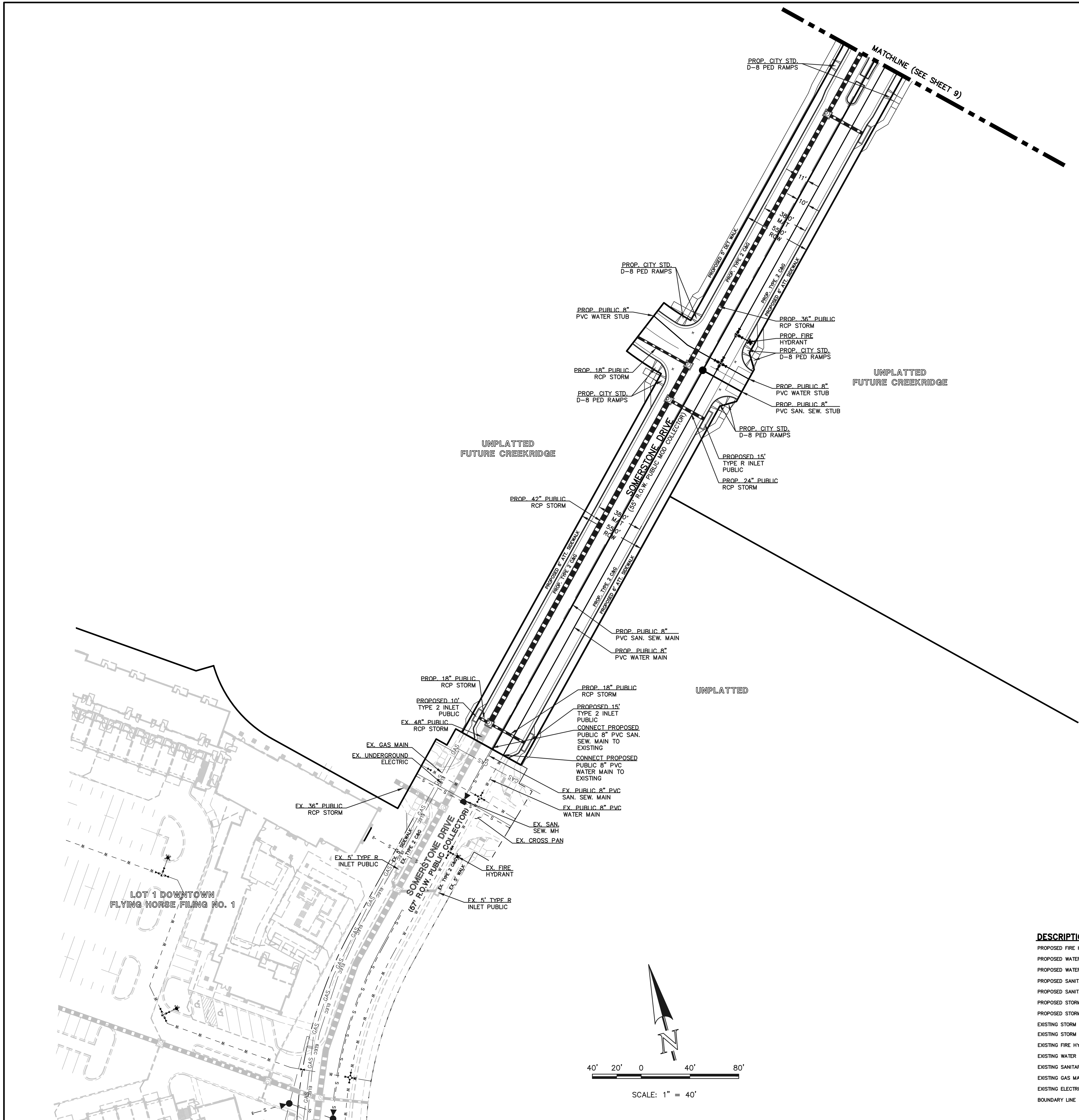
(719)785-0790
(719)785-0799 (Fax)



SWENT NOTES:

1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
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5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25", 22.50", OR 45" CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.





SWENT NOTES:

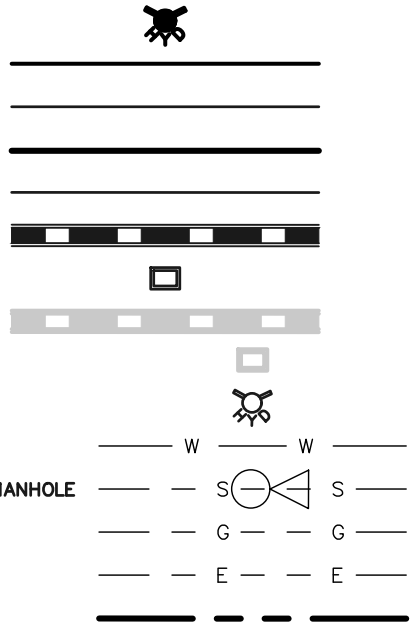
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7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

LEGEND:

DESCRIPTION

- PROPOSED FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICES
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- EXISTING ELECTRIC
- BOUNDARY LINE

SYMBOL



TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND SERVICE LINES AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063

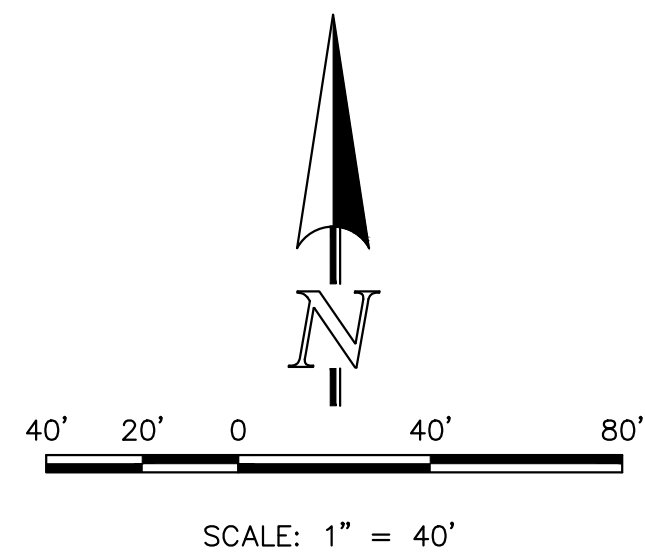
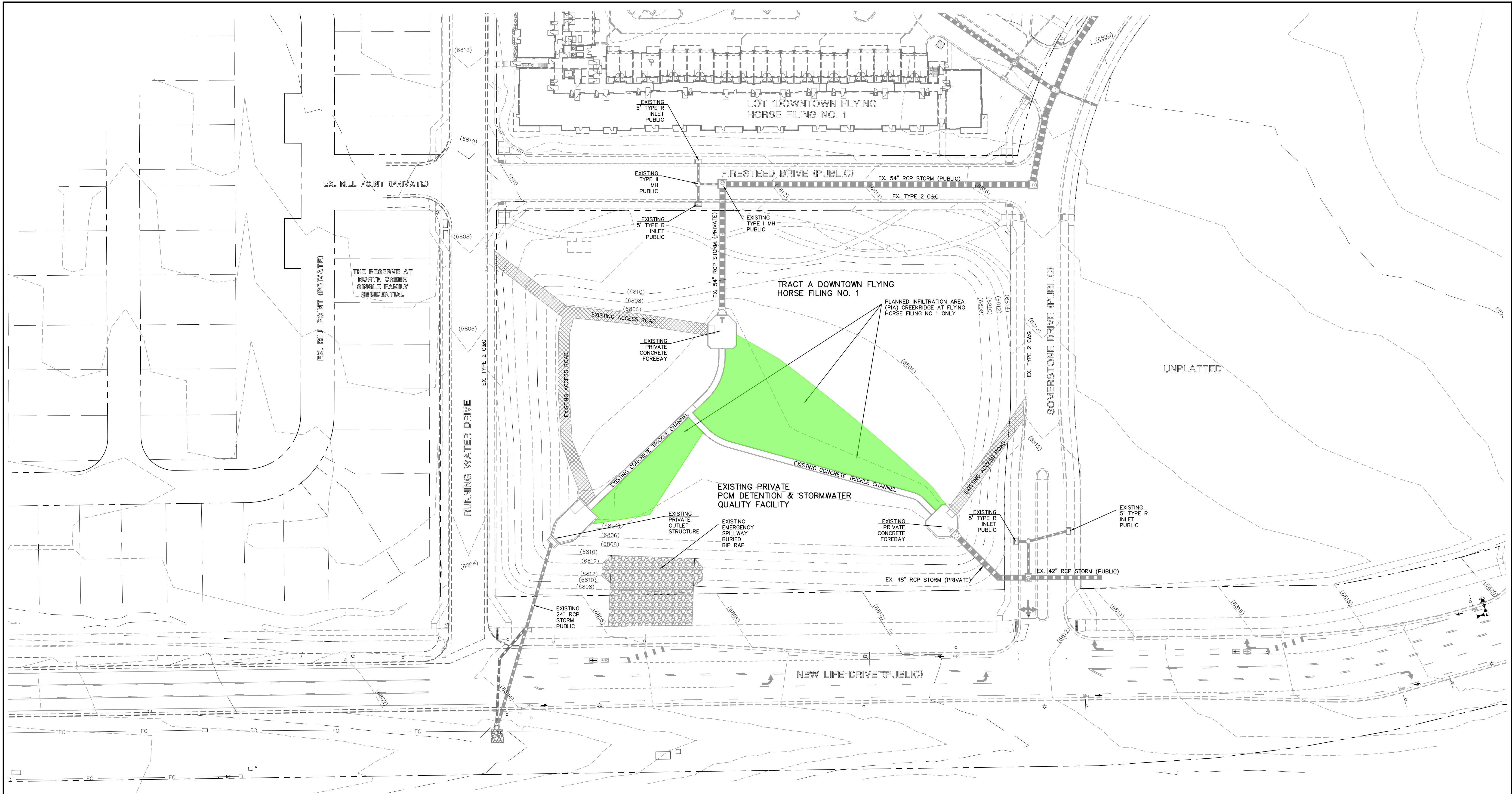


CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

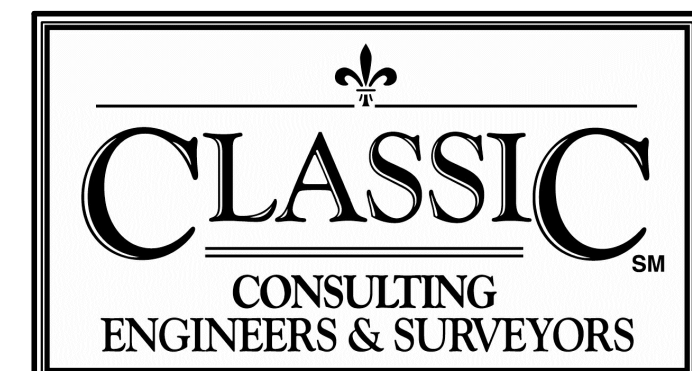
DESIGNED BY	JRH	SCALE	DATE	4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	11 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

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LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BOUNDARY/FILING LINE
	EXISTING FLOW DIRECTION
	PROPOSED FLOW
	EXISTING VEGETATION
	PROPOSED INLET
	PROPOSED STORM SEWER PIPE
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
	PROPOSED RETAINING WALL



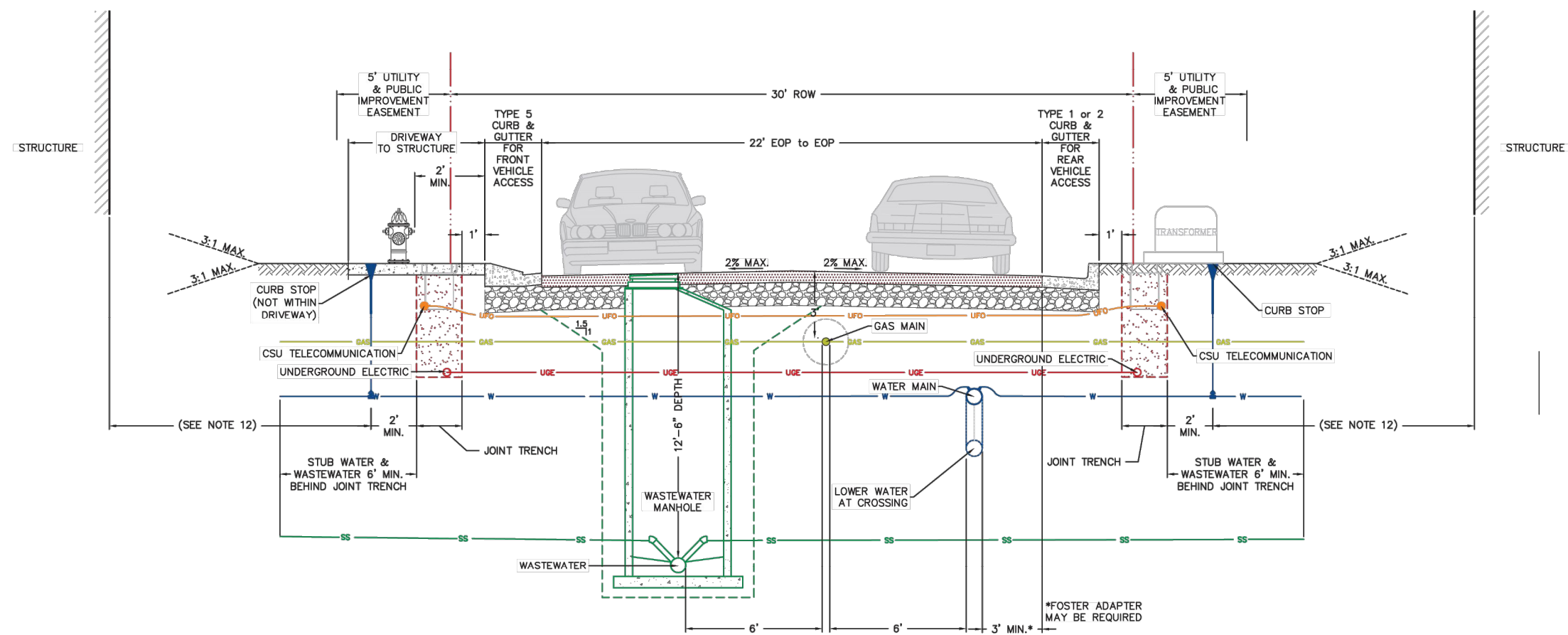
CREEKRDIGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PIA EXHIBIT

DESIGNED BY	JRH	SCALE	DATE	4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	13 OF 23
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

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CITY FILE NUMBER
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NOTES:

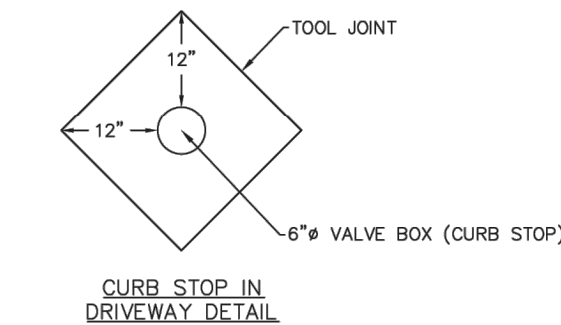
- THIS CROSS SECTION MAY ONLY BE USED IF THE FOLLOWING REQUIREMENTS ARE MET:
- PAVEMENT SECTION SHALL BE PER APPROVED PAVEMENT DESIGN REPORT.
- COLORADO SPRINGS FIRE DEPARTMENT MUST APPROVE TURN-AROUND PROVIDED (E.G. TURN AROUND, TURNING RADI AND CUL-DE-SAC).
- ON-STREET PARKING IS NOT PERMITTED. ACCOMMODATIONS MUST BE PROVIDED FOR VISITOR PARKING.
- STREET LIGHTS ARE NOT PERMITTED.
- STORMWATER INFRASTRUCTURE IS NOT PERMITTED IN THE RIGHT-OF-WAY. FINAL DRAINAGE REPORT IS REQUIRED WHEN STREET SECTIONS ARE DETERMINED.
- MANHOLE LIDS SHALL BE CENTERED IN THE LANE, WHEN IN A TRAVEL LANE.
- ALL VALVES AND MANHOLES SHALL BE FLUSH TO FINISHED ASPHALT SURFACE. WATER STOP BOXES SHALL NOT BE IN THE ROADWAY.
- CURB STOP LOCATED WITHIN THE DRIVEWAY SHALL BE APPROVED BY CSJ. VALVE COVER SHALL BE TRAFFIC RATED AND INSTALLED PER DETAIL (SEE RIGHT).
- CURB STOP MUST HAVE A MINIMUM OF 8'-FEET HORIZONTAL SEPARATION FROM STRUCTURE RECEIVING SERVICE. IF THE 8'-FOOT SEPARATION CAN NOT BE MET, A 6'-FOOT MINIMUM IS ALLOWED IF THE STRUCTURE HAS A MINIMUM 3'-FOOT BELOW FINISHED GRADE FOUNDATION WALL.
- TREES ARE NOT PERMITTED IN STREET SECTION. AN ALTERNATE LOCATION SHALL BE PROVIDED FOR THE LANDSCAPE MANUAL AND PLANNING APPROVAL.
- SIDEWALK IS NOT PERMITTED. AN ALTERNATE PEDESTRIAN ACCESS ROUTE (P.A.R.) SHALL BE PROVIDED, AND APPROVED BY THE CITY ENGINEER.
- VAULTS, PEDESTALS, FLOWER POTS, ETC. SHALL NOT BE WITHIN THE SIGHT DISTANCE OF A CORNER. REFER TO THE "NO DRY UTILITIES" DETAIL.

HIGH DENSITY SINGLE-FAMILY
RESIDENTIAL CROSS SECTION



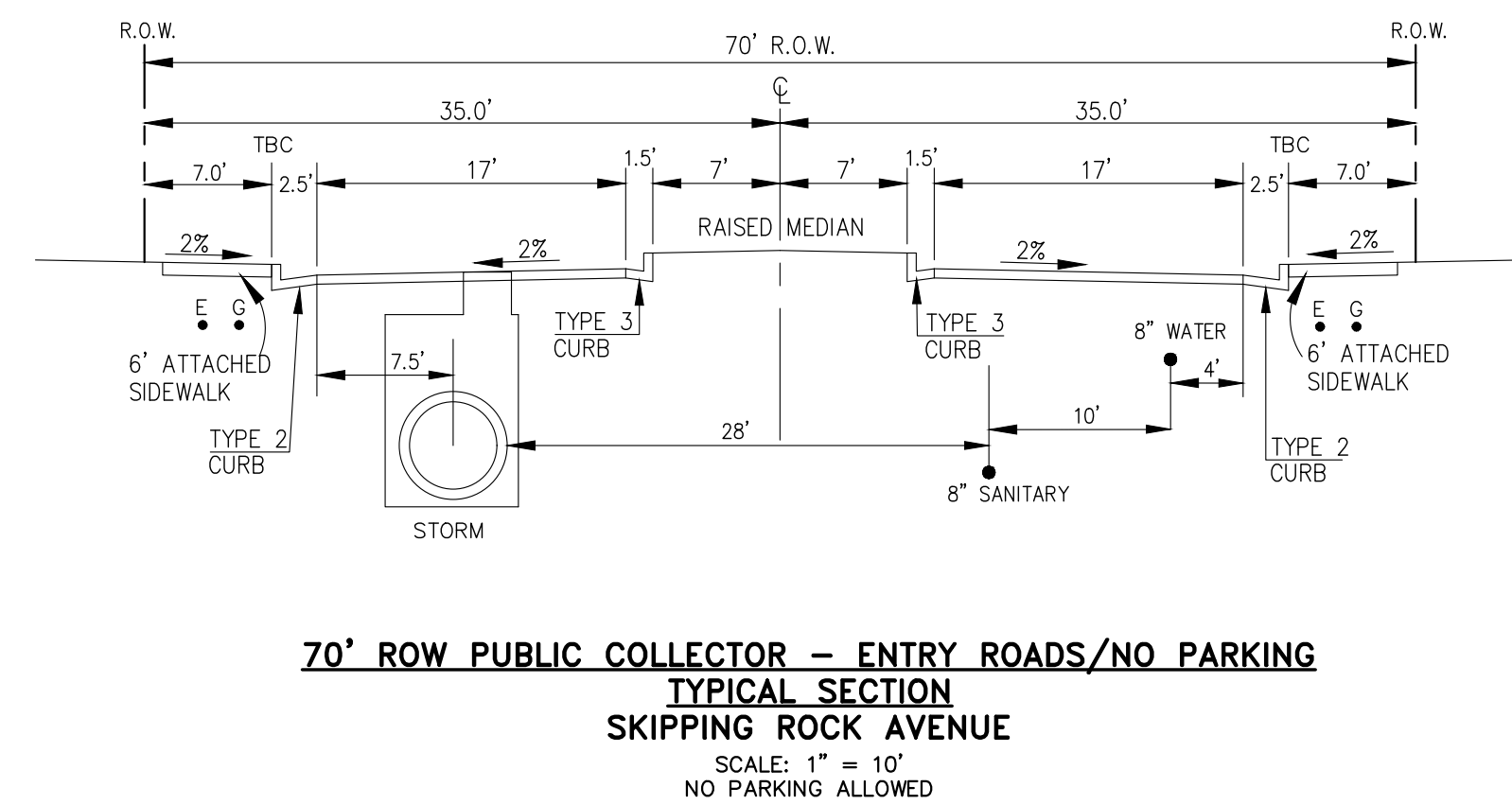
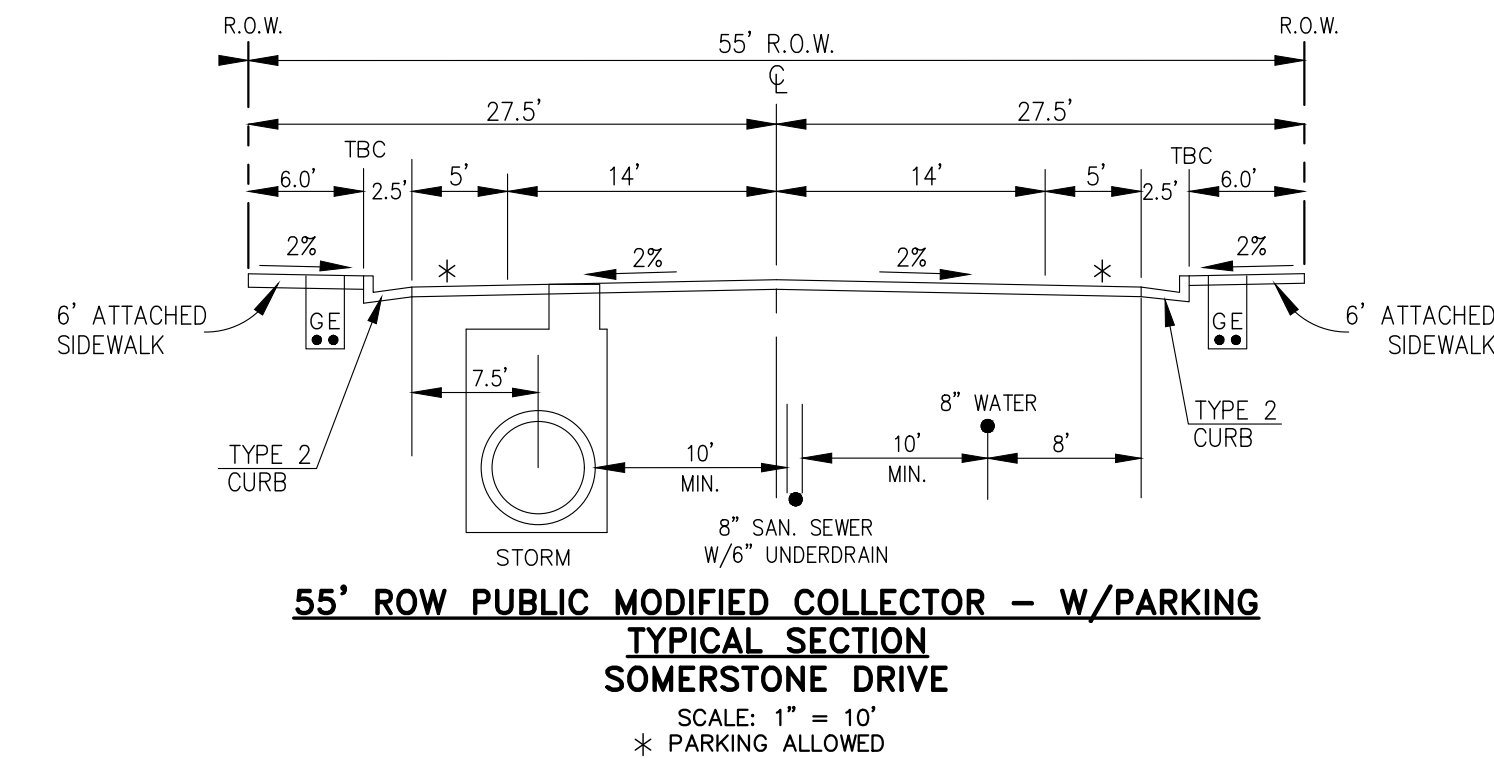
APPROVED:
CITY ENGINEER
ISSUED: 10/22/25
REVISED:
DRAWING NO. 1L

UTILITY LAYOUT IS INFORMATIONAL ONLY. DESIGN ENGINEER IS RESPONSIBLE FOR REFERRING TO COLORADO SPRINGS UTILITIES LINE EXTENSION STANDARDS AND OTHER SERVICE STANDARDS.



LINE LEGEND*		MIN. DEPTH TO TOP OF PIPE
UTILITY	SYMBOL	
TELECOMMUNICATIONS	UFG	24" IN STREET 18" IN DRIVEWAY
GAS	UGS	30"
UNDERGROUND ELECTRIC	USE	36" ONE DIAMETER 44"
WATER	W	60"
WASTEWATER	WE	60"
STORM SEWER/STRUCTURES	STW	12"

*INFORMATIONAL ONLY. REFER TO CITY CODE AND CSJ LINE EXTENSION SERVICE STANDARDS.



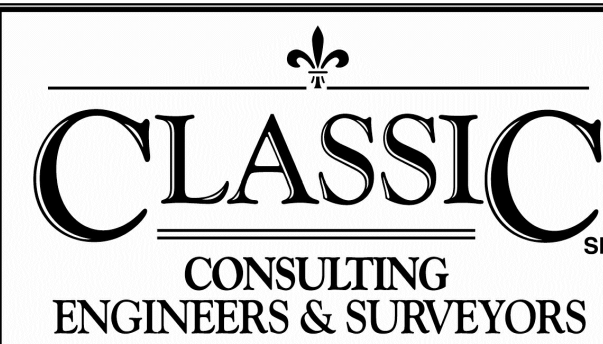
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TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND SERVICES AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

FOR CITY USE:

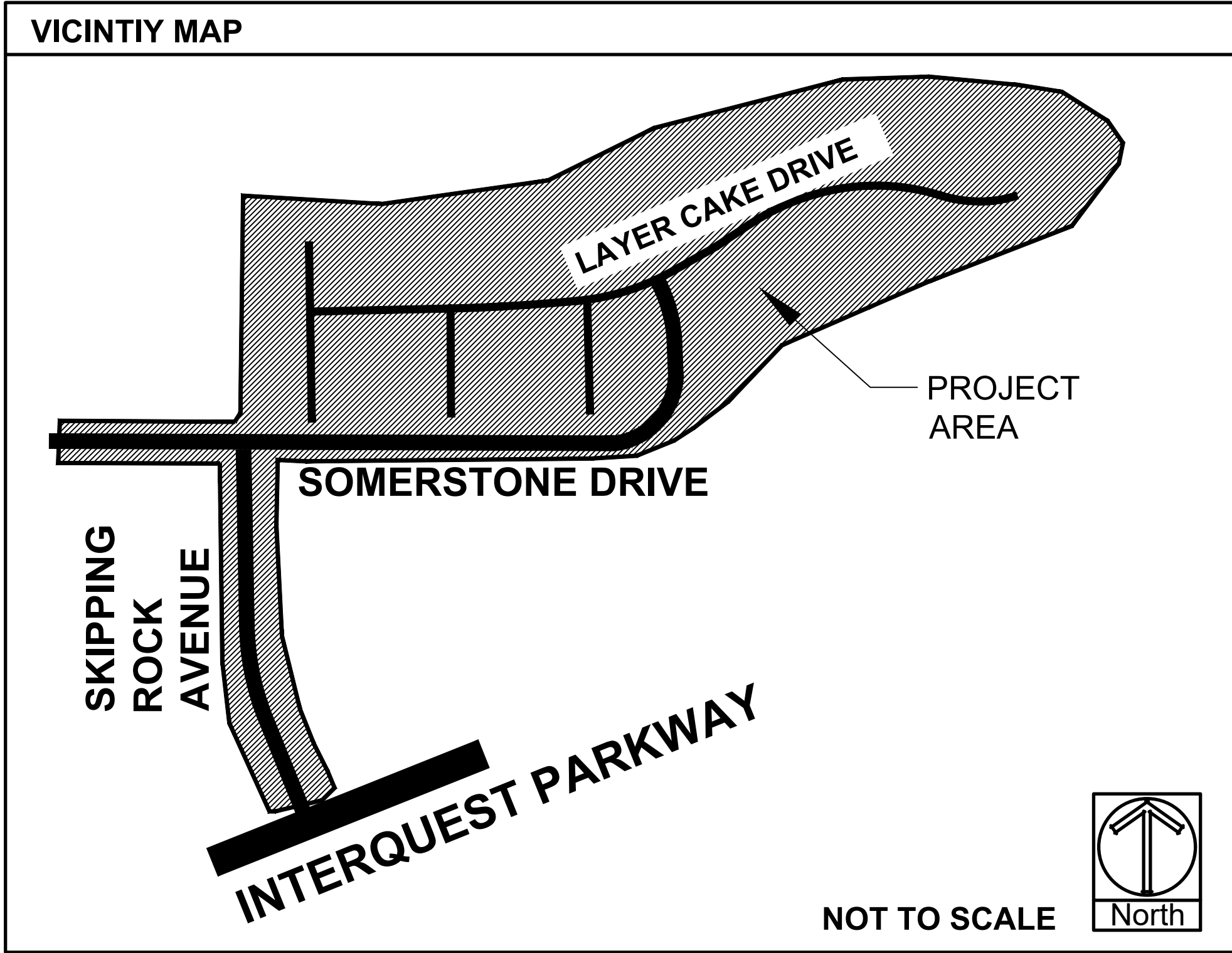
CITY FILE NUMBER
DEPN-26-0063



CREEKDRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
STREET SECTIONS

DESIGNED BY	JRH	SCALE	DATE	4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 14	OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200
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PROJECT SITE DATA

ZONING: PDZ-UV (SINGLE FAMILY RESIDENTIAL)
PROPERTY AREA: 818,811 SF
PARKING SPOTS: 49
CLIMATE ZONE: Foothills and Plains
PLANT COMMUNITIES: Foothill shrubland, lower elevation riparian, pinyon-juniper woods, ponderosa pine forest, prairie, upper elevation riparian

Tree and streetscape note:

ALL PROPOSED STREET TREES AND LANDSCAPING LOCATED WITHIN THE ROW INCLUDING ROUNDABOUTS AND MEDIANS TO BE MAINTAINED BY RENAISSANCE AT FLYING HORSE METROPOLITAN DISTRICT.

IRRIGATION SYSTEM DESCRIPTION

The irrigation system to be an underground system with a spray or rotor system for turf or seeded areas. Shrub areas to be surface drip irrigated to irrigate all plant material. Irrigation system to be drainable for winter freeze protection. Irrigation to run off of a programmable irrigation controller.

SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACKS (LS)

Street Name / Boundary	Street Classification	Width (ft.) Req. / Prov.	Linear Footage	Tree Req. / Ft.	Tree Req. / Prov.
Somerstone Street	Non Arterial Street	10' / 10'	934'	1/30'	32 / 23
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Pro		
90 / 90	0 / 0	LS		75% / 75%	

Motor Vehicle (MV)

Number of Parking Spots	Shade Trees (1/15 Spaces) Req. / Prov.	Vehicle Lot Frontage	Linear Footage	2/3 Length Frontage
49	3.3 / 5	Full interior spots	NA	NA

Compact Lot Landscaping (IL)

Gross Site Area (SF)	Percent Min. Internal Area Req. 10% (7.5% with park reduction)	Internal Area 61,411 / 165,548	Internal Trees (1/500 SF) Req. / Prov.
818,811 SF (VERIFY)			Note: 61 trees (one tree per each home lot are shown on the lot typical plan on sheet L-9. An additional 18 trees are shown on the landscape plans on sheets L-1 through L-4. Shrub and ornamental grasses are substituted for the remainder of trees required (see below).
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov. Req./Prov.
400 / 400	80 / 80	IL	75%/75%
Green space required (Yes/No)	Active green space 5% / SF Required / Provided	Non-active green Space 5% / SF req / Provided	
Yes	3,071 SF / 30,424	3,071 SF / 135,419 SF	

*A COMMUNITY PARK IS LOCATED WITHIN 660' OF 62% OF THE HOMES (38 OF 61 HOMES) THESE HOMES ARE ACCESSIBLE BY WALKWAYS. SO THIS COMMUNITY QUALIFIES FOR A 25% REDUCTION IN ACTIVE GREEN SPACE. (Per section 7.4.909 B).

PLANTING LEGEND

ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	ZONE	SIZE (H / W / GROWTH RATE)	WATER USE	CODE REQ.
DECIDUOUS TREES								
ABM	3	Acer x freemanii 'Autumn Blaze'	Maple, Autumn Blaze	2"	Z=5,	50-60' / 30-40' MOD/FAST	MED	PARK / ROW *
ACT	6	Acer tataricum	Maple tatarian	2"	Z=3,	15-20' / 15-20' SLOW-MOD	LOW-MED	ROW / MEDIANS *
ANM	19	Acer platanoides	Maple, Norway	2"	Z=4,	30'-45' / 25-30' MODERATE	MED	PARK / ROW *
CCH	11	Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless)	2"	Z=4,	20-30' / 20-30' SLOW	LOW-MED	ROW / MEDIANS *
GSH	5	Gleditsia triacanthos 'Skyline'	Honeylocust, Skyline	2"	Z=4,	30-50' / 30-50' MODERATE	LOW-MED	PARK / ROW / MEDIAN *
MSS	18	Malus 'Spring Snow'	Crabapple, Spring Snow	2"	Z=4,	20-25' / 15-20' MODERATE	MED	ROW / MEDIAN / STREAM *
TAL	3	Tilia americana	Linden- American	2"	Z=4,	30-50' / 15-20' MODERATE	MED	ROW *
EVERGREEN TREES								
PIE	11	Pinus edulis	Pine, Pinyon	6"	Z=3,	10-25' / 10-25' SLOW	LOW	SCREEN / WALL / TRASH *
PIP	1	Picea pungens	Spruce, Colorado Blue	6"	Z=3,	50-60' / 20-30' SLOW	MED	SCREEN / WALL / TRASH *
PON	13	Pinus ponderosa	Pine, Ponderosa	6"	Z=3	90-60' / 20-30' MODERATE	LOW	WALL / SCREEN *
DECIDUOUS SHRUBS								
BRG	68	Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal	Z=4,	4'-3' 3'-4' SLOW	MED *	
CMM	42	Cercocarpus montanus	Mahogany, Mountain	5 Gal	Z=4,	6-10' / 4'-6' SLOW	LOW	WALL / TRASH / SCREEN *
COP	60	Contoneaster acutifolia	Contoneaster, peking	5 Gal	Z=4,	6'-8' / 6'-8' MODERATE	LOW	WALL / SCREEN / TRASH *
EBB	33	Euonymous alatus	Burning Bush	5 Gal	Z=2	5'-6' / 5'-6' MODERATE	MED-HIGH	SCREEN
PDG	4	Physocarpus opulifolius 'Darts Gold'	Ninebark, Darts gold	5 Gal	Z=2	3'-4' / 3'-4' MODERATE	LOW / MED	
PLD	18	Physocarpus opulifolius 'Little Devil'	Ninebark, Little Devil	5 Gal	Z=2	4'-6' / 4'-6' MODERATE	LOW / MED	SCREEN *
RAC	21	Ribes alpinum	Alpine Currant	5 Gal	Z=2	3'-6' / 3'-6' MODERATE	LOW *	
RCL	69	Rhus aromatica 'Gro-low'	Sumac, Gro-Low	5 Gal	Z=3	2'-3' / 6'-8' MODERATE	XERIC *	
RYF	6	Ribes aureum	Currant, Yellow Flowering	5 Gal	Z=2	2'-3' / 6'-8' MODERATE	XERIC *	
SMK	49	Syringa meyeri patula 'Miss Kim'	Lilac, Miss Kim	5 Gal	Z=3	4'-6' / 4'-6' MODERATE	LOW	SCREEN *
SPF	26	Spiraea x bumalda 'Froebel'	Spiraea, Froebel	5 Gal	Z=4,	3'-4' / 3'-4' MODERATE	MED *	
SPG	33	Spiraea x bumalda 'Goldmound'	Spiraea, Goldmound	5 Gal	Z=4,	2'-3' / 1'-2' MODERATE	MED *	
EVERGREEN SHRUBS								
JBC	9	Juniperus horizontalis	Juniper, Blue Chip	5 Gal	Z=3	8'-10' / 5'-6' MODERATE	LOW *	
JBJ	80	Juniperus Sabina	Juniper, Buffalo	5 Gal	Z=3	12'-18' / 6'-8' MODERATE	LOW *	
JUA	4	Juniperus chinensis 'Armstrong'	Juniper, Armstrong	5 Gal	Z=3	4'-8' / 4'-5' MODERATE	LOW *	
PGS	17	Picea pungens 'Glauca globosa'	Spuce, Globe Blue	5 Gal	Z=2	3'-5' / 5'-6' SLOW	MED *	
ORNAMENTAL GRASSES								
CAA	119	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 Gal	Z=3	3'-4' / 1'-2' MODERATE	MED	SCREEN *
PSR	81	Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	3 Gal	Z=5	3'-6' / 1'-2' MODERATE	LOW *	
PERENNIALS								
GAM	119	Gaillardia aristata 'Monarch Mix'	Blanket Flower 'Monarch Mix'	1 Gal	Z=3			
HSD	69	Hemerocallis 'Stella d'oro'	Daylily, Stella d'oro	1 Gal	Z=3			

*96% of plant species listed are from the current selected plants for Colorado Springs

GROUNDCOVER LEGEND

SYMBOL	DESCRIPTION	QUANTITY
	STEEL EDGING (note use perforated edging if adjacent to areas that need to drain)	1,168 LF
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC	36,370 SF
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC	8,858 SF
	2-4" GRAY ROSE ROCK 3" IN DEPTH WITH WEED FABRIC	9,733 SF
	CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC	1,740 SF
	DECORATIVE BOULDER	46 TOTAL
	KENTUCKY BLUEGRASS SOD (18.3% OF LANDSCAPE AREA)	30,424 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES).	78,718 SF
	TRASH RECEPTACLE, PER DETAIL "B" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	DOGI-POT PET STATION (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	BENCH, PER DETAIL "A" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	13 TOTAL

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- The following landscape notes shall be provided on all Preliminary and Final Landscape plans and be listed in a section called "Standard City of Colorado Springs Landscape Notes".
 - "A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy."
 - "All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas."
 - "The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982)."
 - "Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits."
 - "If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed."
 - "Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas."
 - "Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per city engineering standard drawings and specifications. engineering development review division inspector will have the final authority on accepting the public improvements." (Note this note is only for urban downtown projects within the city)



LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1929 ABERCROMBIE DRIVE
COLORADO SPRINGS, CO 80916
719-537-0313

DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER
2787-0326

DATE 5/5/2026

DRAWN BY MB

DRAWING DESCRIPTION

TITLE SHEET

SHEET #
L-TS 15 of 24

DEPN-26-0063

CALLOUT KEY

- PLANT ABBREVIATION
SITE CATEGORY ABBREVIATION
TREE CALLOUT
SHRUB & ORN. GRASS CALLOUT
PERENNIAL CALLOUT
PLANT QUANTITY

PLANT SYMBOL KEY

- DECIDUOUS TREE
ORNAMENTAL TREE
EVERGREEN TREE
DECIDUOUS SHRUBS
EVERGREEN SHRUBS
ORNAMENTAL GRASSES
PERENNIALS

PLANT AND TREE WARRANTY NOTE

ALL STOCK IS WARRANTED TO BE TRUE TO NAME. IF ANY STOCK PROVES TO BE OTHERWISE, SELLER WILL NOT BE LIABLE FOR ANY AMOUNT GREATER THAN ORIGINAL PURCHASE PRICE. THIS WARRANTY IS MADE EXPRESSLY IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESSED OR IMPLIED, FOR ANY PARTICULAR PURPOSE EXCEPT EXPRESSLY PROVIDED FOR. LIABILITY OF SELLER IS LIMITED TO REPLACEMENT OF ANY GOODS WHICH DO NOT CONFIRM TO WARRANTIES.

WINTER WATERING IS TO BE DONE AFTER MOISTURE CHECKS HAVE BEEN COMPLETED OF ALL PLANTS AND TREES. WARRANTY DOES NOT COVER PLANTS AND TREES DUE TO LACK OF WATER.

WARRANTY IS GOOD FOR ONE GROWING SEASON (APPROXIMATELY SIX MONTHS). PLANTS PURCHASED AFTER JULY 1ST ARE WARRANTED UNTIL MAY 1ST. PLANTS PURCHASED JANUARY 1ST THROUGH JULY 2ND ARE WARRANTED UNTIL NOVEMBER 30TH. SOME PLANTS CARRY NO WARRANTY. (TURF INCLUDED) SUCH AS ANNUALS, PERENNIALS, ROSES, ARBORVITAE, AND A FEW OTHER VARIETIES. INSTALLATION IS NOT COVERED UNDER WARRANTY.

ALL NON-IRRIGATED SEED CARRIES NO WARRANTY.

EXISTING SOILS / SOIL ANALYSIS

SOIL AS CLASSIFIED BY USDA WEB SITE IS AS FOLLOWS: PRING COARSE SANDY LOAM & STAPLETON SANDY LOAM.

UTILITY NOTE

CALL 1-800-922-1987 FOR UTILITY LOCATIONS TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.

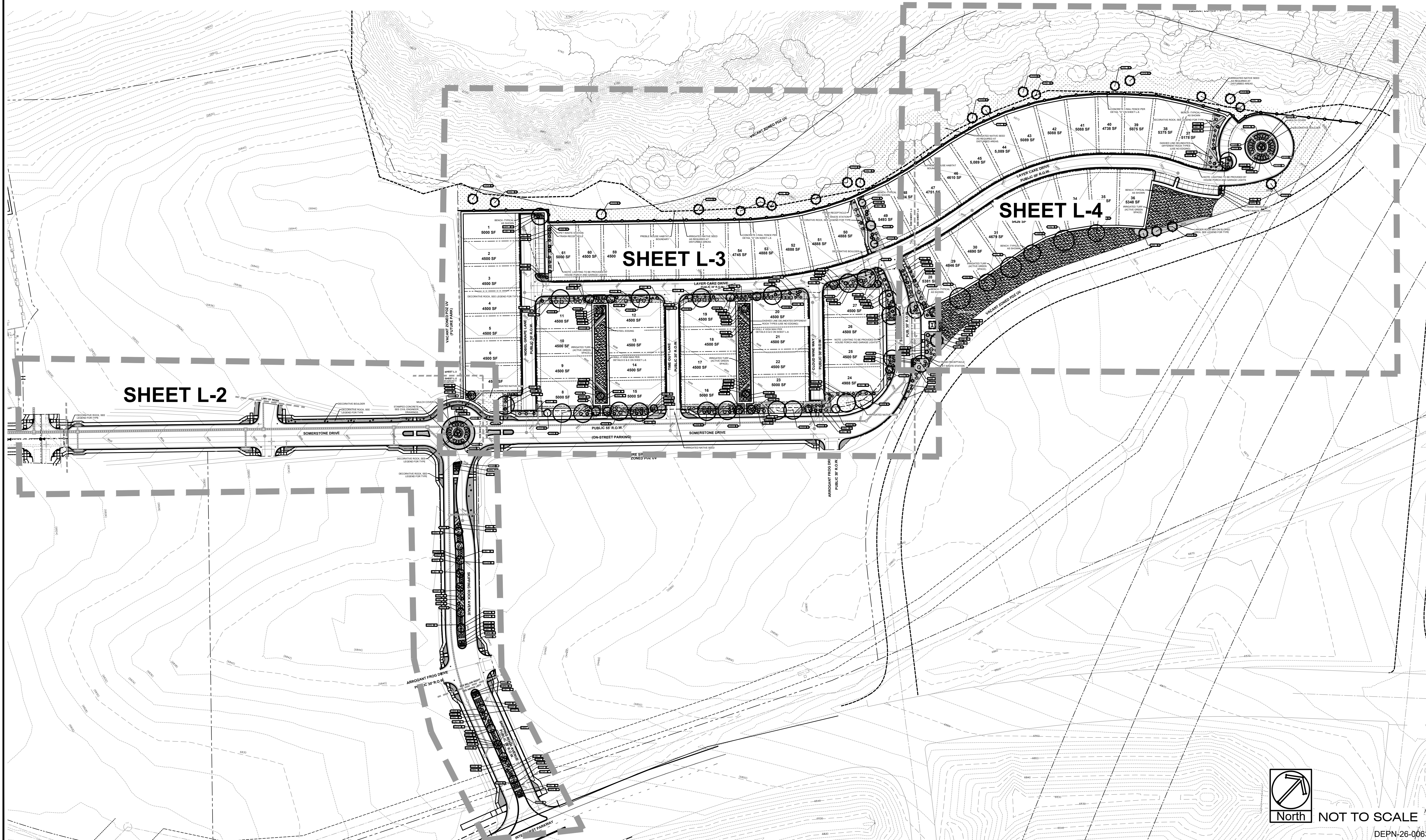
KEEP TREES 10' FROM GAS MAINS & 15' FROM SEWER AND WATER MAIN LINES. KEEP TREES 6' MINIMUM DISTANCE FROM ANY OTHER UTILITIES. RESOLVE ANY TREE / UTILITY CONFLICTS SHOWN ON PLANS IN THE FIELD. CONTACT LANDSCAPE ARCHITECT FOR RECOMMENDATIONS IF NEEDED.

PROVIDE CLEARANCE OF ALL PLANT MATERIALS AT ELECTRIC VAULTS AND TRANSFORMERS (REFER TO COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWING 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS).

KEEP ALL SHRUBS 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

SITE CONDITIONS NOTE

THE LANDSCAPE IS SUBJECT TO CHANGE BASED ON SITE GRADING, DRAINAGE, CONFIGURATION, AND SIZE. ANY ADJUSTMENTS WILL BE MADE DURING LANDSCAPE CONSTRUCTION. PLANT MATERIAL SYMBOLS ARE SHOWN AT MATURE WIDTH.



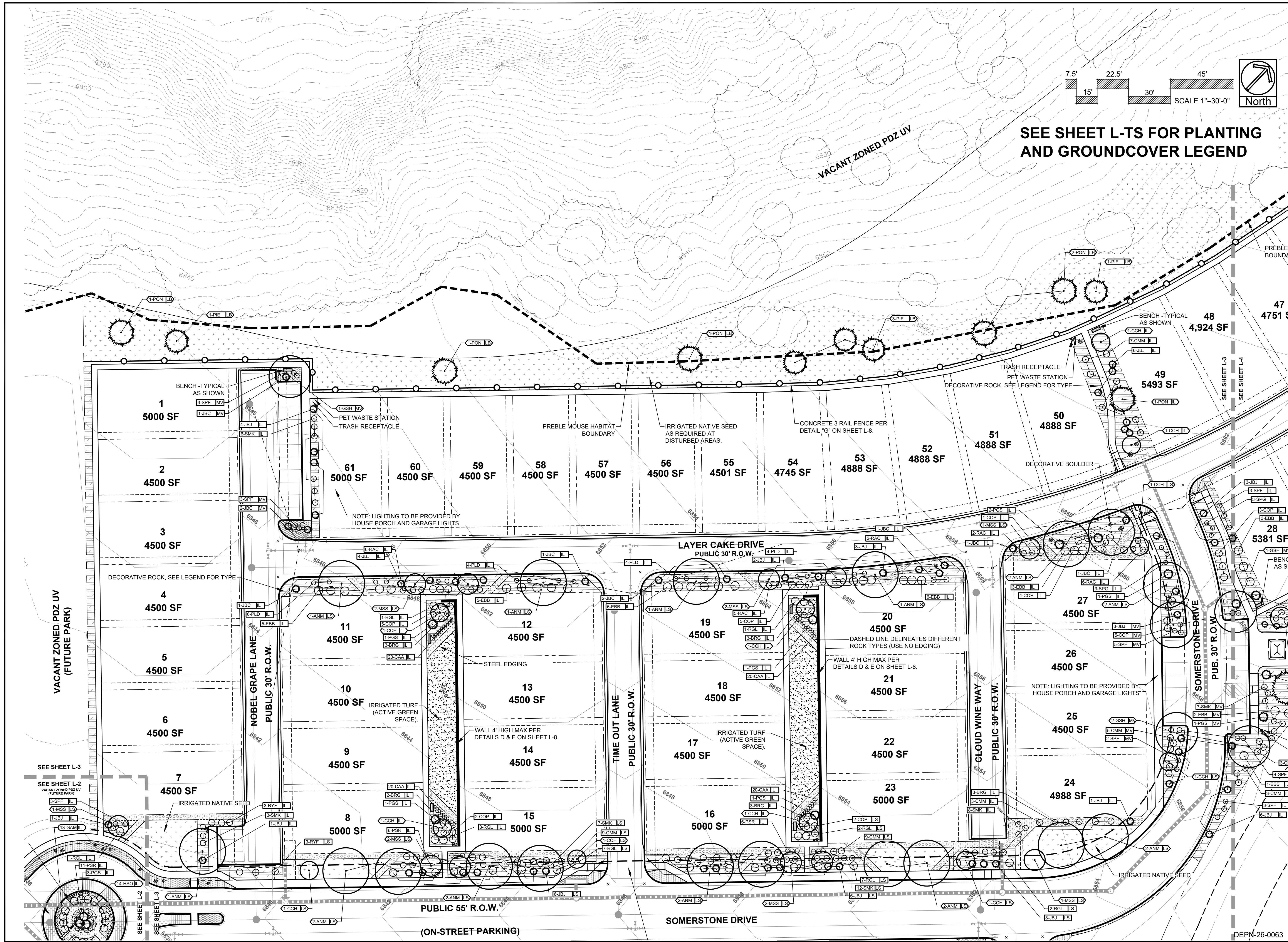
DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	FINAL LANDSCAPE PLAN -OVERALL
SHEET #	L-1 16 of 24



SUNFLOWER LANDSCAPES

LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1022 AEROPOLIS DRIVE
COLORADO 80916
719.637.0313

DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions

CLASSIC COMMUNITIES

RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	FINAL LANDSCAPE PLAN
SHEET #	L-3 18 of 24

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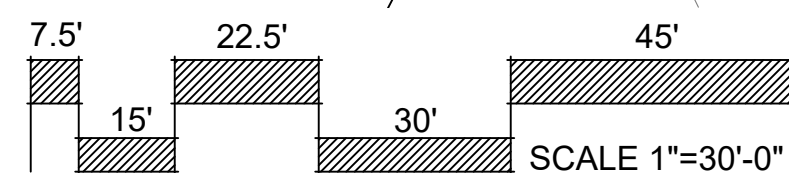
CLASSICSM
COMMUNITIES

FILING 1

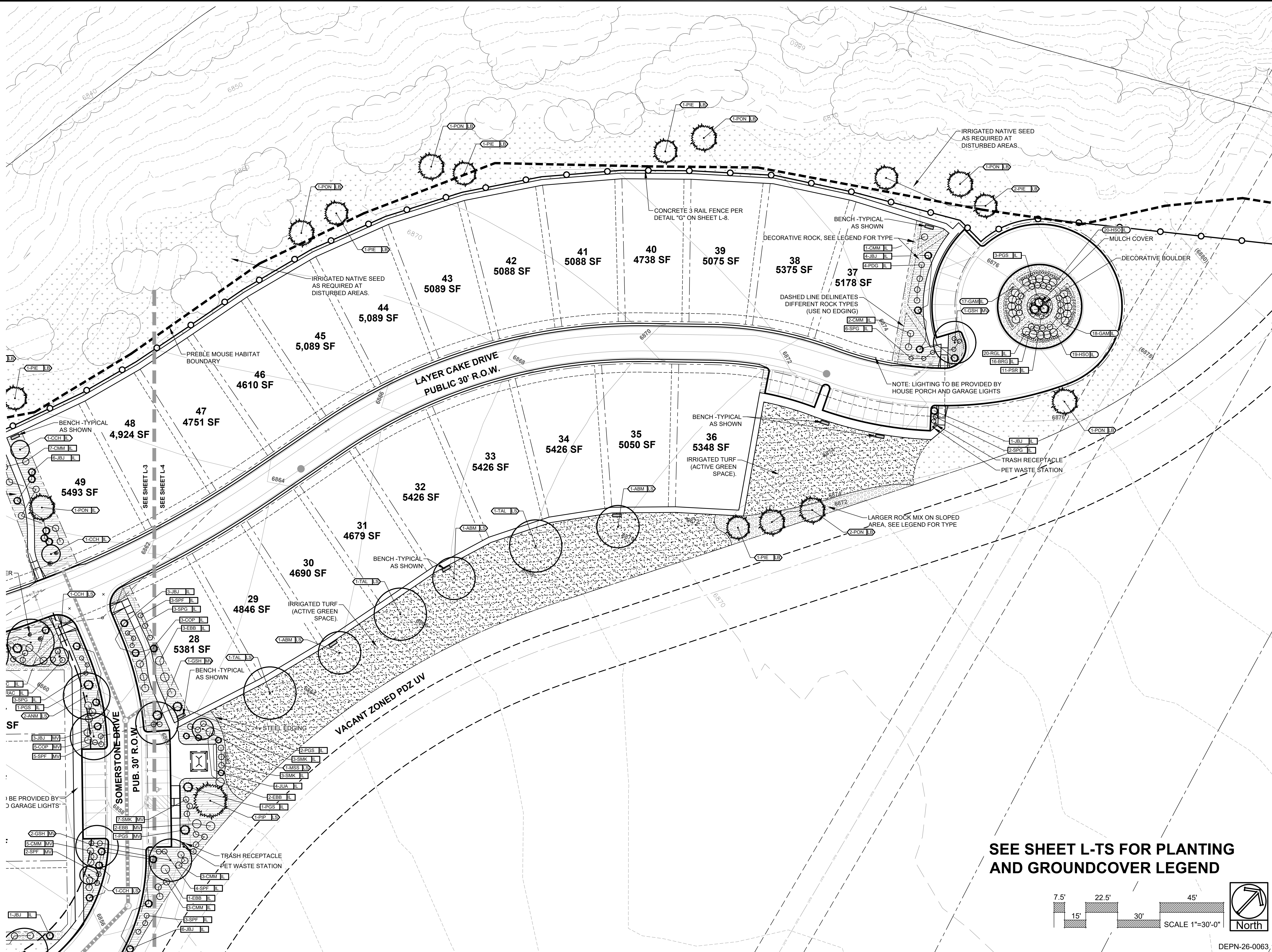
SOMERSONE SIREET

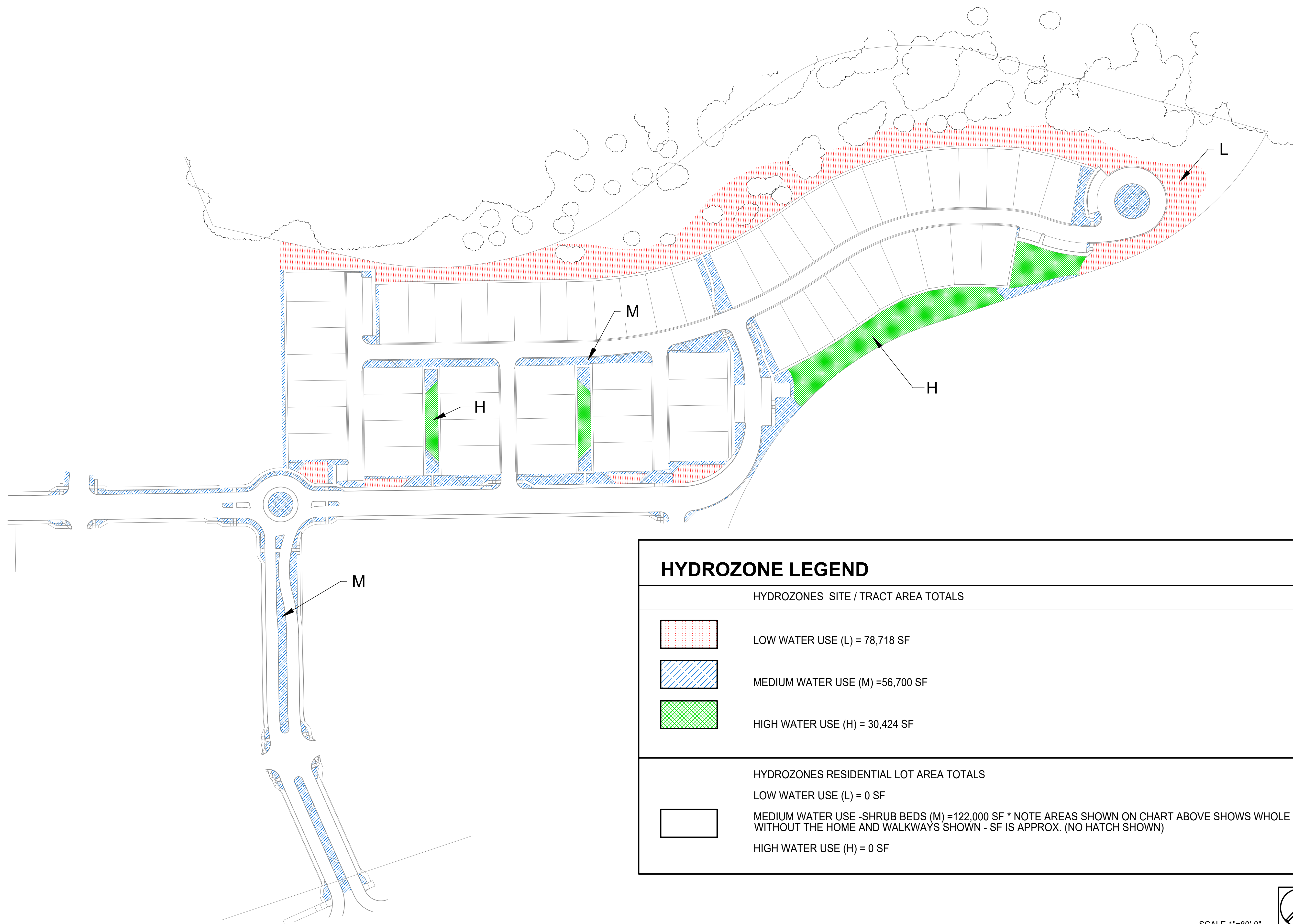
JOB NUMBER	
2787-0326	
DATE 5/5/2026	
DRAWN BY MB	
DRAWING DESCRIPTION	
FINAL LANDSCAPE PLAN	
SHEET #	
L-4 19 of 24	
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DEPN-26-0063,



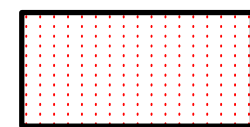
**SEE SHEET L-TS FOR PLANTING
AND GROUND COVER LEGEND**



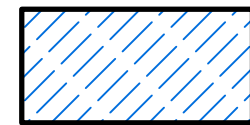


HYDROZONE LEGEND

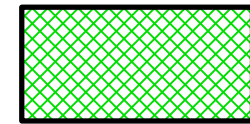
HYDROZONES SITE / TRACT AREA TOTALS



LOW WATER USE (L) = 78,718 SF



MEDIUM WATER USE (M) =56,700 SF



HIGH WATER USE (H) = 30,424 SF

HYDROZONES RESIDENTIAL LOT AREA TOTALS

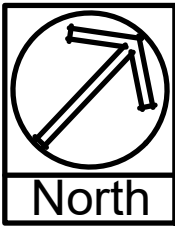


LOW WATER USE (L) = 0 SF

MEDIUM WATER USE -SHRUB BEDS (M) =122,000 SF * NOTE AREAS SHOWN ON CHART ABOVE SHOWS WHOLE LOT, WITHOUT THE HOME AND WALKWAYS SHOWN - SF IS APPROX. (NO HATCH SHOWN)

HIGH WATER USE (H) = 0 SF

SCALE 1"=80'-0"

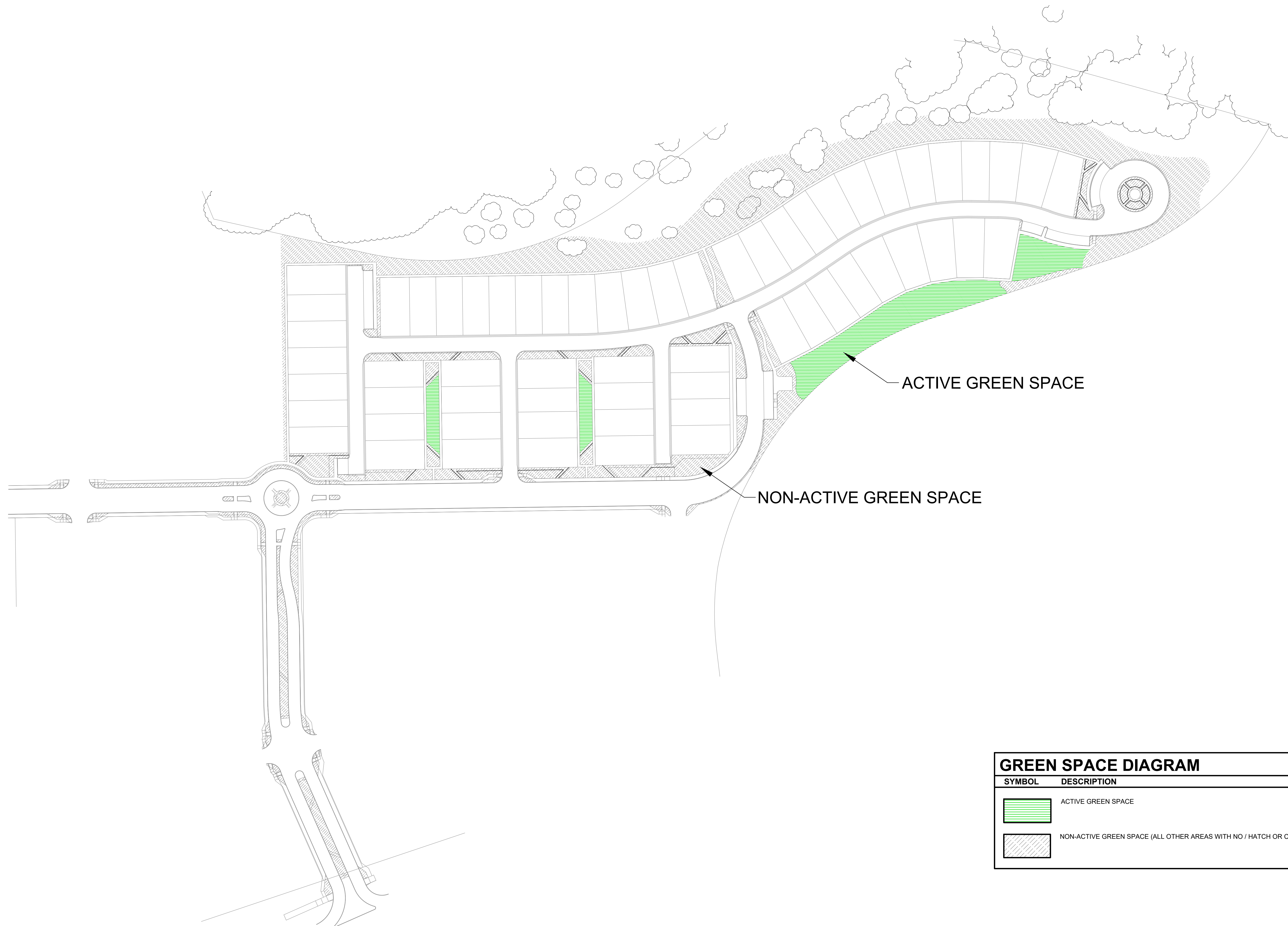


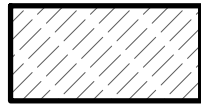
DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



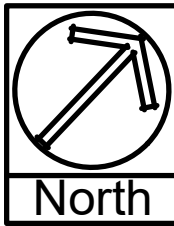
RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	LANDSCAPE HYDROZONE PLAN
SHEET #	L-5 20 of 24



GREEN SPACE DIAGRAM		
SYMBOL	DESCRIPTION	APPROX. QUANTITY
	ACTIVE GREEN SPACE	30,424 SF
	NON-ACTIVE GREEN SPACE (ALL OTHER AREAS WITH NO / HATCH OR COLOR)	135,419 SF

SCALE 1"=80'-0"



DEPN-26-0063



SUNFLOWER
LANDSCAPES

LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1922 AEROPOLAZA DRIVE
COLLEGE SPRING, TX 77840
719-637-0313

DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEKRIDGE FLYING HORSE

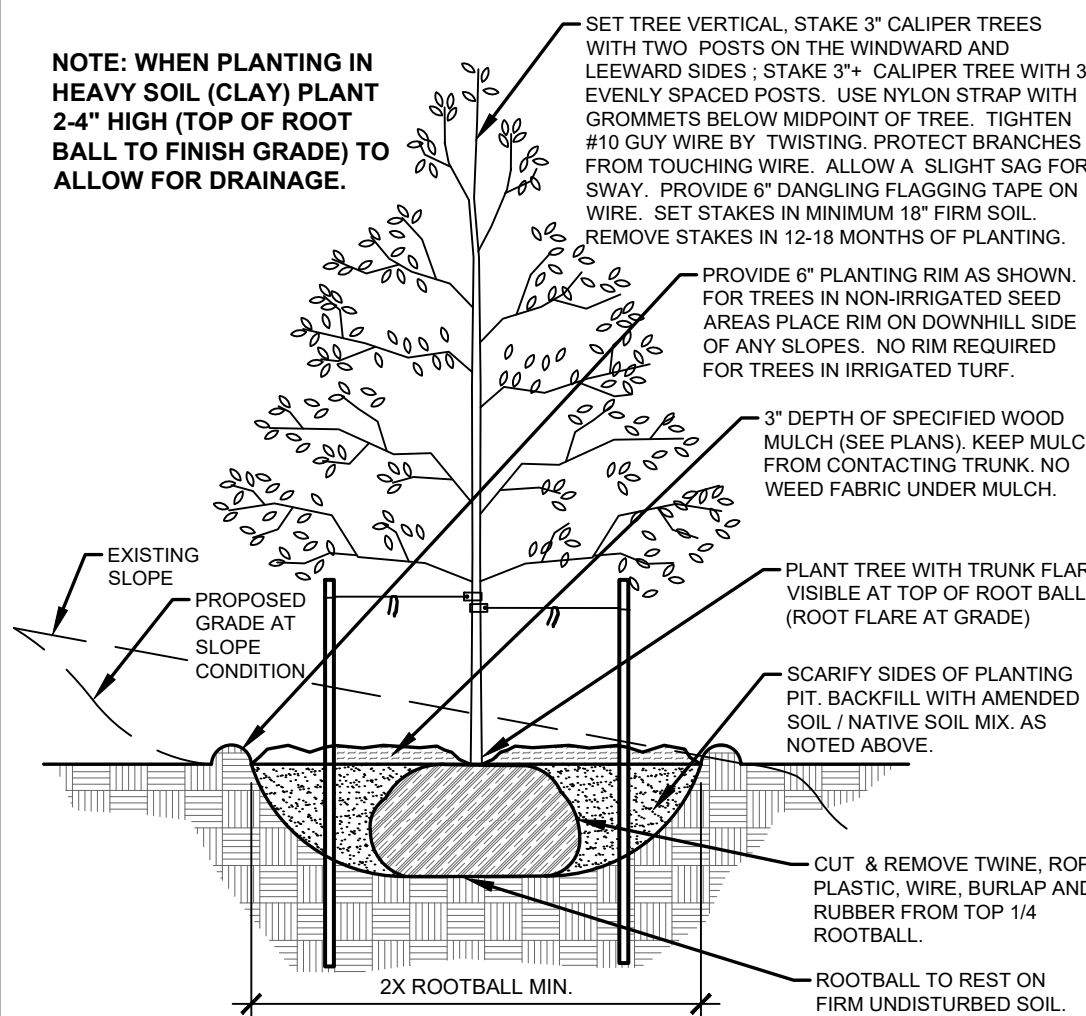
FILING 1

SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	LANDSCAPE ACTIVE GREENSPACE PLAN
SHEET #	L-6 21 of 24

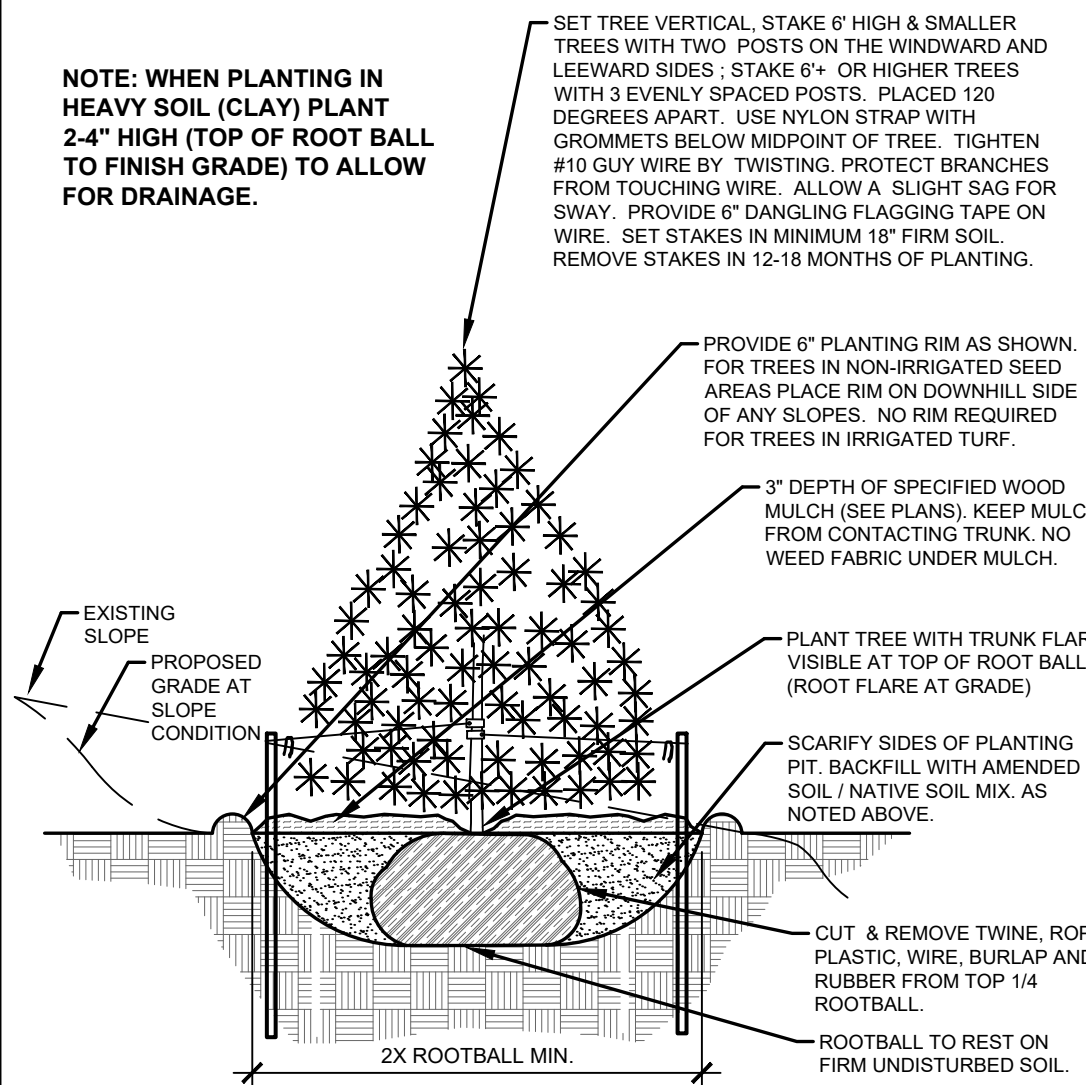
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- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
 - DON'T REMOVE OR CUT LEADER.
 - PRUNE DEAD, BROKEN, CROSSING, OR WEAK BRANCHES PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
 - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD OF 2 GROWING SEASONS.
 - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
 - KEEP TREE MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE.
 - WRAP MID OCTOBER AND REMOVE BY END OF MARCH.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



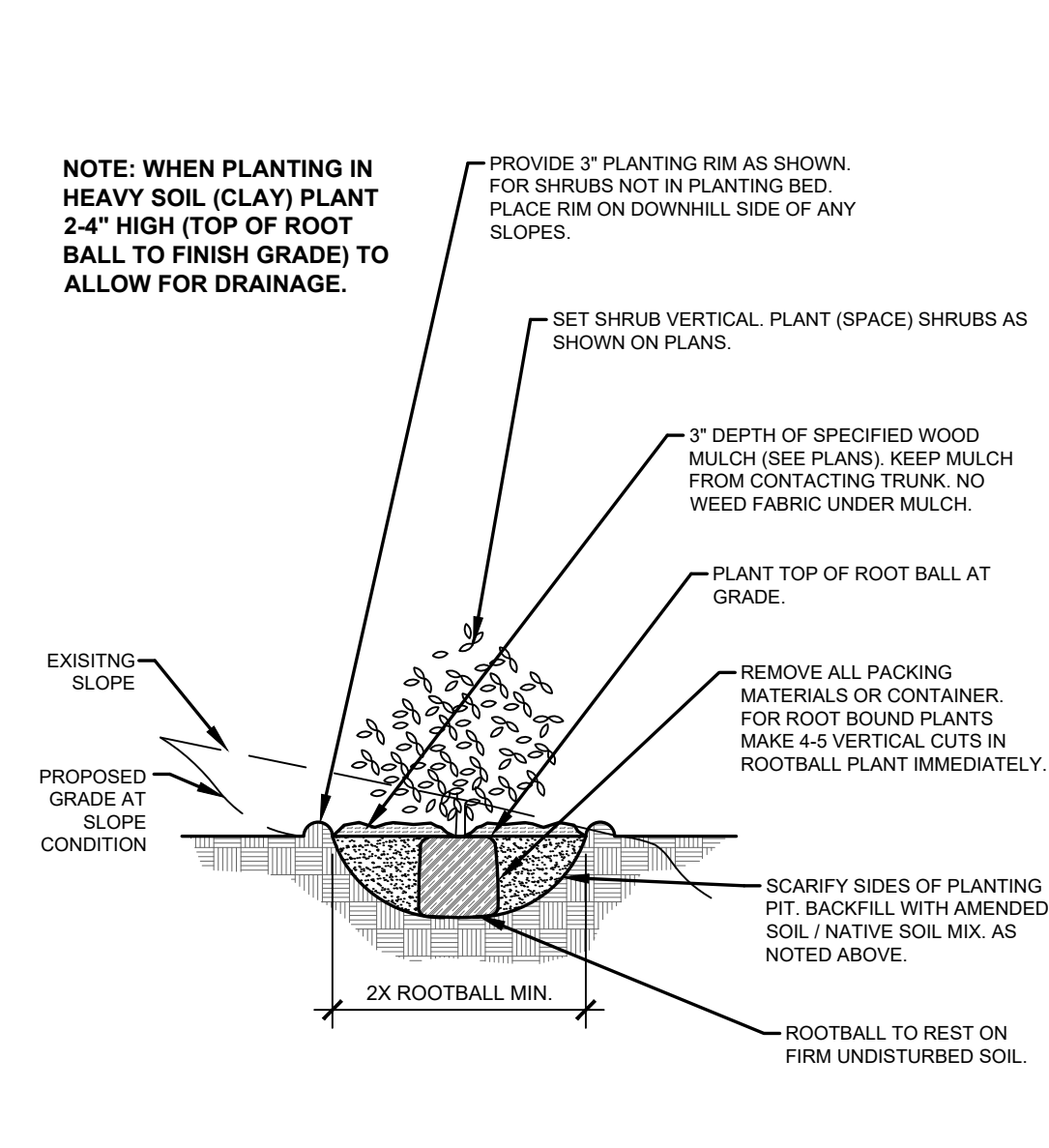
A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND PLANT TREE IN THE SAME ORIENTATION.
 - DON'T REMOVE OR CUT LEADER.
 - PRUNE DEAD, OR BROKEN BRANCHES PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADERS UNLESS OTHERWISE NOTED.
 - KEEP TREE MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - PINE AND SPRUCE SPECIES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY.
 - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



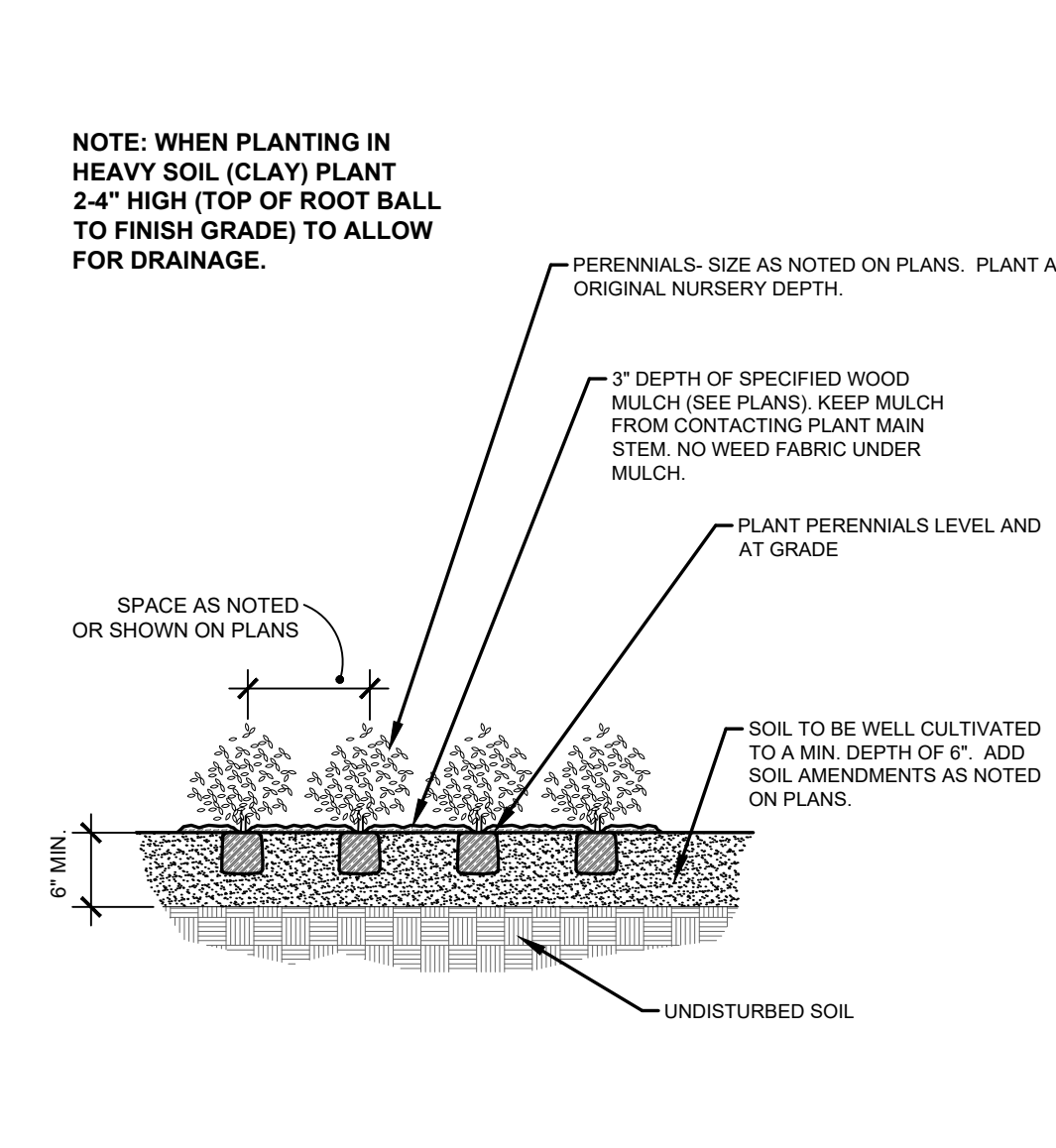
B EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE DEAD, OR BROKEN PARTS PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - SHRUBS IN ROCK AREAS TO RECEIVE A WOOD MULCH RING.
 - SHRUBS TO BE DEEP WATERED AT TIME OF PLANTING.



C SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - ALL PERENNIALS PLANTED IN ROCK AREAS TO RECEIVE WOOD MULCH RINGS AROUND THE BASE OF THE PLANTS.
 - DEEP WATER PERENNIALS AT TIME OF PLANTING.



D PERENNIAL PLANTING DETAIL
NOT TO SCALE



Sunflower Landscapes
7920 National Road
Colorado Springs, CO 80908

Lab ID: 202603299
Sample ID: 30
Collection Date: 05/04/2026

Soil Analysis	Units	Results	Test Rating*						
			Strongly Acid	Moderately Acid	Slightly Acid	Neutral	Slightly Alkaline	Moderately Alkaline	Strongly Alkaline
1:1 Soil pH		6.5	<5.4	5.4-5.7	5.8-6.4	6.5-7.2	7.3-7.8	7.9-7.9	>7.9
1:1 Soluble Salts (EC)	mmhos/cm	0.0	<0.2	0.2-0.7	0.8-1.2	1.3-3.5	2.6-5.0	>5.0	
Access Time		LOW							
Organic Matter (OM)	%	1.9	Very Low <0.3	Low 0.3-1.5	Medium 1.6-3.0	High 3.1-5.0	Very High >5.0		
EC (Microhm/cm)	µm	22.5	Very Low <5	Low 5-10	Medium 11-25	High 26-50	Very High >50	Recommendation 0/1000 µmhos	0
Other Bicarbonate Phosphorus (P)	µm	22.0	Very Low <0.3	Low 0.4-6	Medium 7-10	High 11-15	Very High 16-20	Recommendation 0/1000 µmhos	0
Ammonium Acetate									
Potassium (K)	µm	204	Very Low <40	Low 40-120	Medium 121-160	High 161-220	Very High >221	Recommendation 0/1000 µmhos	0
Calcium (Ca)	µm	799	Very Low <100	Low 100-200	Medium 201-300	High 301-2500	Very High >2500	Recommendation 0/1000 µmhos	0
Magnesium (Mg)	µm	95	Very Low <25	Low 25-50	Medium 51-75	High 76-100	Very High >100	Recommendation 0/1000 µmhos	0
Sodium (Na)	µm	13							
Cation Exchange Capacity (CEC) at Sum of Cations	meq/100g	9	Sand <5	Loam 5-10	Silt Loam 10-15	Clay & Clay Loam 15-25	Organic Silt >25		
Base Saturation	%	100	H <0	L 0-10	X 10-14	Ca 14-21	Mg 21-33	Na >33	
Sulfate-S	µm	4	Very Low <2	Low 2-5	Medium 6-10	High 11-15	Very High >15	Recommendation 0/1000 µg/L	1

*Test ratings are provided for general crop production. The ratings may be different for individual crops or for specific situations.

Comments: This soil is suitable for turf. Apply 1.7 lb of nitrogen per 1,000 sq. ft. three times during the growing season—once in mid-March to April, again in May to mid-June, and a final application in late September to early October. Apply 1 lb of sulfur per 1,000 sq. ft. at the beginning of the growing season. This schedule supports strong plant development, promotes healthy green canopy, and helps turf recover from seasonal stress. There have been no confirmed deficiencies of zinc, manganese, and copper in Colorado. Turf growth may not improve if these nutrients are applied.

This soil is well suited for growing annual and perennial flowers and trees. To support healthy plant growth throughout the season, apply 1/2 lb of nitrogen per 1,000 sq. ft. three times during the growing season: once in mid-March, once in May to mid-June, and once in late September. This helps ensure the trees receive a steady supply of nitrogen when they need it most. In addition, apply 1 lb of sulfur (S) and 0.5 lb of copper (Cu) per 1,000 sq. ft. at planting or at the beginning of the growing season. This small amount will help correct the low nutrient levels indicated in your soil test. All other nutrient levels are adequate for trees and flowers, so no further fertilizer applications are needed at this time.



Sunflower Landscapes
7920 National Road
Colorado Springs, CO 80908

Lab ID: 202603299
Sample ID: 30
Collection Date: 05/04/2026

Soil Analysis	Units	Results	Test Rating*						
			Very Low	Low	Medium	Optimum	High	Very High	Recommendation
DTPA									
Zinc (Zn)	ppm	8.2	Very Low <0.3	Low 0.3-0.5	Medium 0.6-0.8	Optimum 0.9-1.2	High 1.3-2.0	Very High >2.0	Recommendation 0/1000 µg/L
Iron (Fe)	ppm	36.4	Very Low <1.0	Low 1.0-2.5	Medium 2.6-5.0	Optimum 5.1-15.0	High 15.1-50	Very High >50	Recommendation 0/1000 µg/L
Manganese (Mn)	ppm	7.4	Very Low <0.5	Low 0.5-1.0	Medium 1.1-3.0	Optimum 3.1-4.0	High 4.1-10.0	Very High >10	Recommendation 0/1000 µg/L
Copper (Cu)	ppm	0.2	Very Low <0.1	Low 0.1-0.2	Medium 0.3-0.4	Optimum 0.5-0.8	High 0.9-1.5	Very High >1.5	Recommendation 0/1000 µg/L
Hot Water Extraction									
Boron (B)	ppm		Very Low <0.2	Low 0.2-0.5	Medium 0.6-0.8	Optimum 0.9-1.5	High 1.6-2.5	Very High >2.5	Recommendation 0/1000 µg/L
Calcium Nitrate									
Chloride (Cl)	ppm								
Soil Texture									
% Sand	%								
% Silt	%								
% Clay	%								
Texture by Hydrometer									
Heavy Metals									
Arsenic (As)	ppm								
Cadmium (Cd)	ppm								
Chromium (Cr)	ppm								
Copper (Cu)	ppm								
Molybdenum (Mo)	ppm								
Selenium (Se)	ppm								
Sulfur (S)	ppm								
Sulfur Absorption Ratio									
UAA									

*Test ratings are provided for general crop production. The ratings may be different for individual crops or for specific situations.

Comments: This soil is suitable for turf. Apply 1.7 lb of nitrogen per 1,000 sq. ft. three times during the growing season—once in mid-March to April, again in May to mid-June, and a final application in late September to early October. Apply 1 lb of sulfur per 1,000 sq. ft. at the beginning of the growing season. This schedule supports strong plant development, promotes healthy green canopy, and helps turf recover from seasonal stress. There have been no confirmed deficiencies of zinc, manganese, and copper in Colorado. Turf growth may not improve if these nutrients are applied.

This soil is well suited for growing annual and perennial flowers and trees. To support healthy plant growth throughout the season, apply 1/2 lb of nitrogen per 1,000 sq. ft. three times during the growing season: once in mid-March, once in May to mid-June, and once in late September. This helps ensure the trees receive a steady supply of nitrogen when they need it most. In addition, apply 1 lb of sulfur (S) and 0.5 lb of copper (Cu) per 1,000 sq. ft. at planting or at the beginning of the growing season. This small amount will help correct the low nutrient levels indicated in your soil test. All other nutrient levels are adequate for trees and flowers, so no further fertilizer applications are needed at this time.

LANDSCAPE CONTRACTOR NOTES

- STOCKPILE SOIL (IF APPLICABLE) ON SITE AS SHOWN ON PLANS. STOCKPILED SOIL TO BE USED FOR FILL SOIL FOR LANDSCAPE AREAS AS NEEDED.
- REMOVE WEEDS, DEAD TREES / SHRUBS, DEBRIS FROM SITE PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION.
- PLANT QUANTITIES IN PLANT LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR TO INSTALL ALL PLANT MATERIAL PER PLANS.
- INSTALLATION OF PLANT MATERIALS TO BE IN ACCORDANCE WITH THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 OR CURRENT EDITION FOR ALL LANDSCAPE CONSTRUCTION ON THIS SITE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEFTS OR DAMAGE TO ALL PLANT MATERIAL AFTER PLANT MATERIAL IS DELIVERED TO THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE 48 HOURS MINIMUM NOTICE PRIOR TO SCHEDULE INSPECTIONS. INSPECTIONS TO INCLUDE:
 - PLANT PLACEMENT, PLANT SPECIES, MATERIAL SIZE, AND QUALITY.
 - HARDSCAPE MATERIAL PLACEMENT / PLANTING BED EDGING.
 - IRRIGATION MAIN LINE / HEAD PLANTING INSPECTION (IF APPLICABLE).

LANDSCAPE INSTALLATION NOTES

- EDGING FOR TURF, PLANTING BEDS, ROCK, OR MULCH AREAS TO BE ROLL TOP STEEL EDGING WITH PINS OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- SOD TO BE BLUEGRASS SOD. LAY SOD WITH TIGHT STAGGERED EDGES. (IF APPLICABLE)
- ALL SEEDED TURF / SOD AREAS TO BE AMENDED WITH: 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF TILLED INTO THE TOP 6" OF SOIL. (IF APPLICABLE)
- LANDSCAPE WEED FABRIC TO BE INSTALLED PRIOR TO INSTALLING ROCK. INSTALL FABRIC STAPLES AT 5' O.C. SEAMS IN FABRIC TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES. (IF APPLICABLE)
- ROCK OR MULCH COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT THE PROJECT SITE. INSTALL A MULCH RING AROUND ALL PLANT MATERIAL IN ROCK AREAS AS FOLLOWS: TREES < 30" DIAMETER MULCH RING, SHRUBS < 18" DIAMETER MULCH RING, PERENNIALS AND ORNAMENTAL GRASSES < 12" MULCH RING. MULCH RINGS TO BE CASCADE MULCH 3" IN DEPTH WITH NO WEED FABRIC NOTE: ALL TREES IN TURF AREAS TO RECEIVE A 24" DIAMETER MULCH RING. (IF APPLICABLE)
- ALL Boulders (IF APPLICABLE) TO BE BURIED 1/3 BELOW GRADE TO PROVIDE A NATURAL APPEARANCE.
- CONTRACTOR TO INSTALL ALL LANDSCAPE AS SHOWN ON THIS PLAN AND MAKE ANY ADJUSTMENTS NECESSARY DUE TO FIELD VARIATIONS OR ANY UTILITY CHANGES OR DEVIATIONS. MAJOR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- EXISTING SOIL IN ALL PLANTING BED AREAS TO BE AMENDED WITH THE FOLLOWING: 4 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER 1,000 SF TILLED INTO TOP 6" OF SOIL.
- IF APPLICABLE ALL PARKING LOT ISLAND PLANTERS SHALL BE TILLED / REMOVED TO A DEPTH OF 30" AND REPLACED WITH GRADE 'B' TOPSOIL OR EQUAL.
- ALL NURSERY PLANT MATERIAL BOTANICAL NAME TAGS TO REMAIN ATTACHED TO THE PLANT MATERIAL. AFTER FINAL INSPECTION THEY ARE TO BE REMOVED.
- LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF DOWNSPOUTS OR STORM DRAINAGE FROM ADJACENT LOTS WILL ADVERSELY AFFECT LANDSCAPED AREAS ON THESE PLANS.
- TREES NOT TO BE PLACED ABOVE OR WITHIN 6' OF GAS, WATER, SEWER, STORM DRAINS OR ELECTRICAL UTILITIES. PLANTS NOT TO BE INSTALLED 3' OF ANY UTILITY BOXES THAT NEED TO BE ACCESSED FOR UTILITY MAINTENANCE.

EXISTING TREE PROTECTION (IF APPLICABLE)

ANY EXISTING TREES OR PLANT MATERIAL NOTED TO BE PROTECTED ON THESE PLANS ARE TO BE PROTECTED FROM CONSTRUCTION DAMAGE. CONTRACTOR WILL TAKE RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PROTECTED TREES OR LANDSCAPE.

ANY DAMAGE TO EXISTING TREES OR PLANT MATERIAL CALLED OUT TO BE PROTECTED SHALL BE REPLACED WITH EQUIVALENT PLANT MATERIAL.

BARK BEETLE PROTECTION NOTE (IF APPLICABLE)

LANDSCAPE CONTRACTOR TO PROVIDE PROTECTION FOR ALL NEW PINE TREES FOR BARK BEETLE PROTECTION. INSPECT ALL PINE TREES PRIOR TO PLANTING AND SPRAY TREES WITH THE FOLLOWING:

- ASTROBRAND PERMITHRIN
- APPLY TREATMENT 2 TIMES A YEAR FOR TWO CONSECUTIVE YEARS PER MANUFACTURER'S GUIDELINES

SLOPE PROTECTION (IF APPLICABLE)

CONTRACTOR TO INSTALL EROSION CONTROL BLANKETS OR EQUAL ON SEEDED SLOPES 3:1 AND STEEPER. SECURE BLANKETS TO SLOPE PER MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL BLANKET TO CONTAIN 100% AGRICULTURAL STRAW BLANKET WITH PHOTO-DEGRADABLE NETTING ON BOTH SIDES.

CONTRACTOR TO PROVIDE 4-8" DIAMETER COBBLE (WITH LANDSCAPE FABRIC) FOR ALL CURB INLETS INTO DETENTION AREAS IF APPLICABLE. PROVIDE A SWALE FROM INLET TO DETENTION AREA A MINIMUM OF 2' WIDE AND MAXIMUM 3' WIDE. (IF APPLICABLE)

SEEDING NOTES

IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE LOW GROW MIX 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS. (for use in most flatter and slightly sloped areas).

- BUFFALOGRASS 25%
- GRAMMA BLUE 20%
- GRAMMA, SIDECATS 20%
- GREEN NEEDLEGRASS 5%
- WHEATGRASS, WESTERN 20%
- DROPSSEED, SAND 1%

SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH: 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE, AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF. ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.

IRRIGATED NATIVE SEED TO BE EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (for use on slopes and ponds) 42 LBS/ACRE USING A ONE STEP HYDRO-SEED PROCESS. SEE BELOW FOR WHAT THE MIX CONTAINS.

- BIG BLUESTEM 20%
- GRAMMA BLUE 10%
- GREEN NEEDLEGRASS 10%
- WHEATGRASS, WESTERN 20%
- GRAMMA SIDECATS 10%

SOIL IN IRRIGATED SEED AREAS TO BE AMENDED WITH: 1/3 HIGH QUALITY TOP SOIL, 2/3 COW MANURE, AND 1/3 NATIVE SOIL AT 4 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. 2-3 WEEKS AFTER EMERGENCE ADD SUPER CROP FERTILIZER 20-20-10 AT 4 LBS PER 1,000 SF. ADD 1 LB. NITROGEN PER 1000 SF IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND LATE SEPTEMBER.

ANY EXISTING SEEDED AREAS THAT ARE DISTURBED NEAR PROPERTY BOUNDARIES TO BE SEEDDED WITH THE ALL PURPOSE MIX USING A ONE STEP HYDRO-MULCH.

ANY BARE AREAS LARGER THAN A SQUARE FOOT AFTER SEED GERMINATION TO BE SEEDDED TO FILL IN SUCH AREAS.



DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1
SOMERSTONE STREET

JOB NUMBER
2787-0326

DATE
5/5/2026

DRAWN BY
MB

DRAWING DESCRIPTION

**PLANTING DETAILS
& NOTES**

SHEET #

L-7 22 of 24

NOTE: FINAL SELECTION OF BENCHES, TRASH RECEPTACLE AND WALLS AND FENCING SUBJECT TO CHANGE BASED ON DELIVERY TIMES, AVAILABILITY & DEVELOPER CHOICE.



DurMor, Inc. Model 139 series pl (Grey Color)

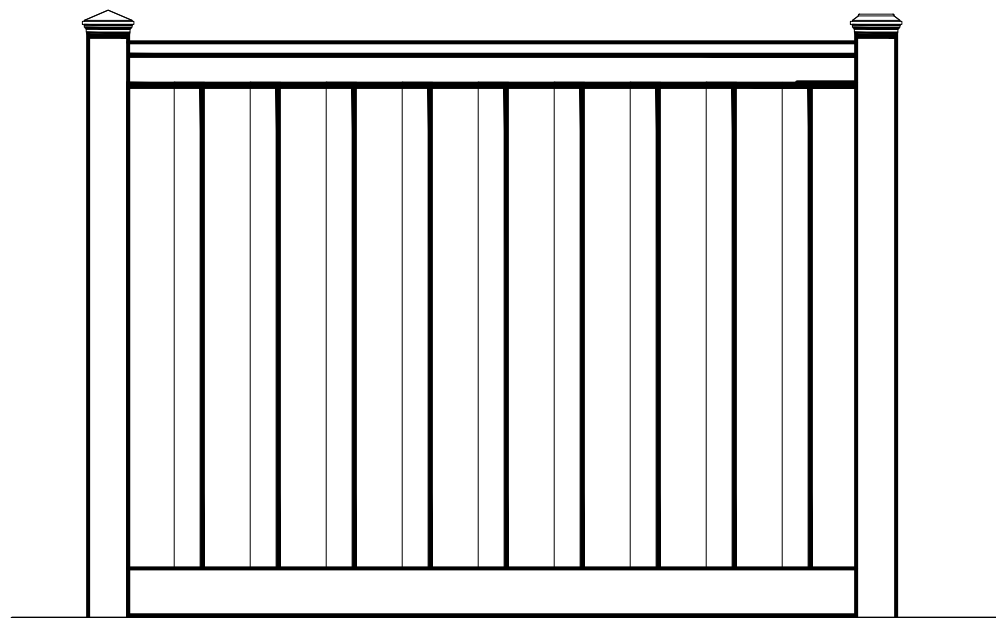
A Bench
NOT TO SCALE



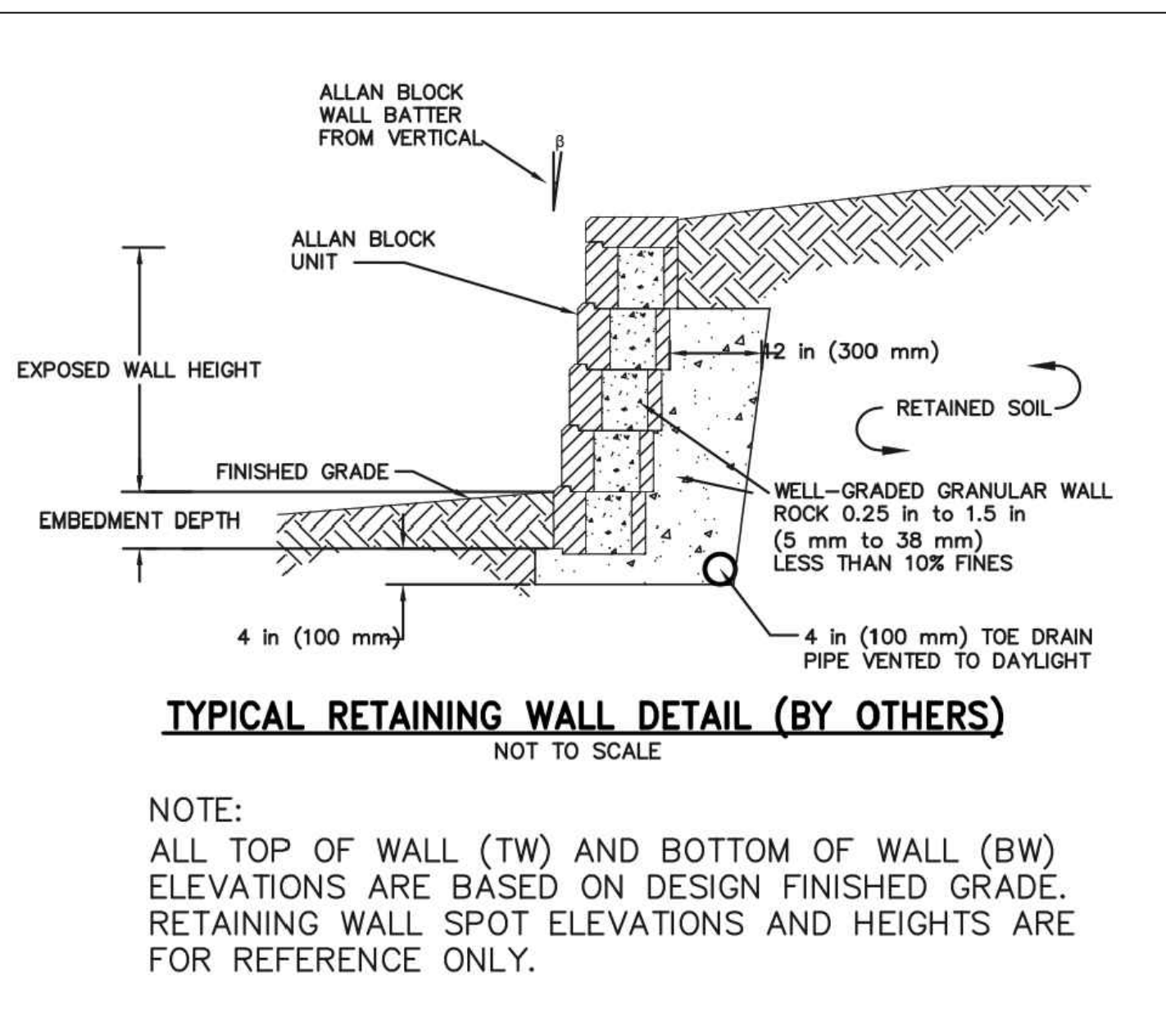
DurMor, Inc. Model 272-32-SO

B Trash Receptacle
NOT TO SCALE

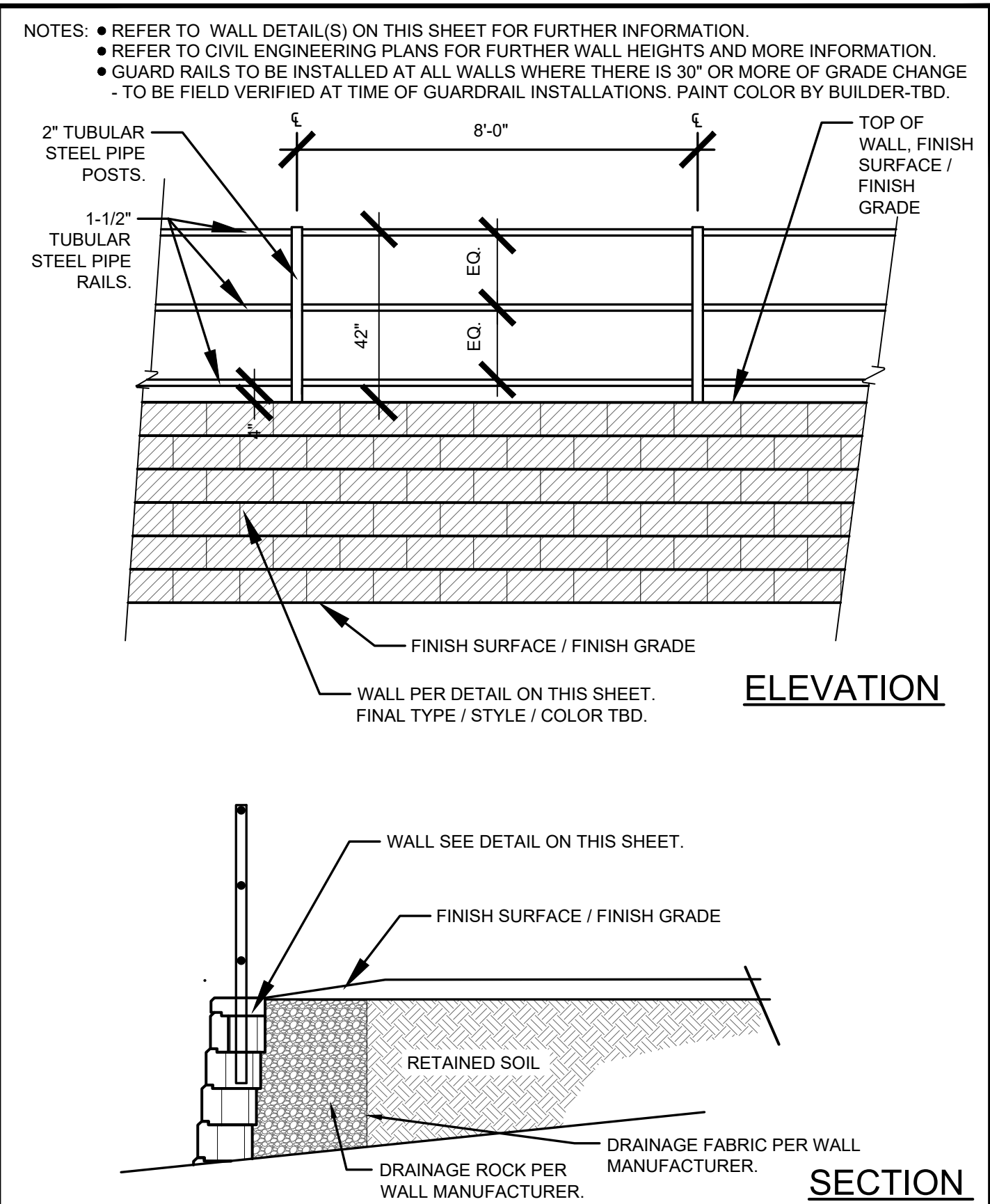
NOTES: • SEE PLANS FOR LOCATIONS
• FINAL COLOR, TYPE, AND STYLE TO BE DETERMINED - BY BUILDER



C 6' HIGH VINYL FENCE

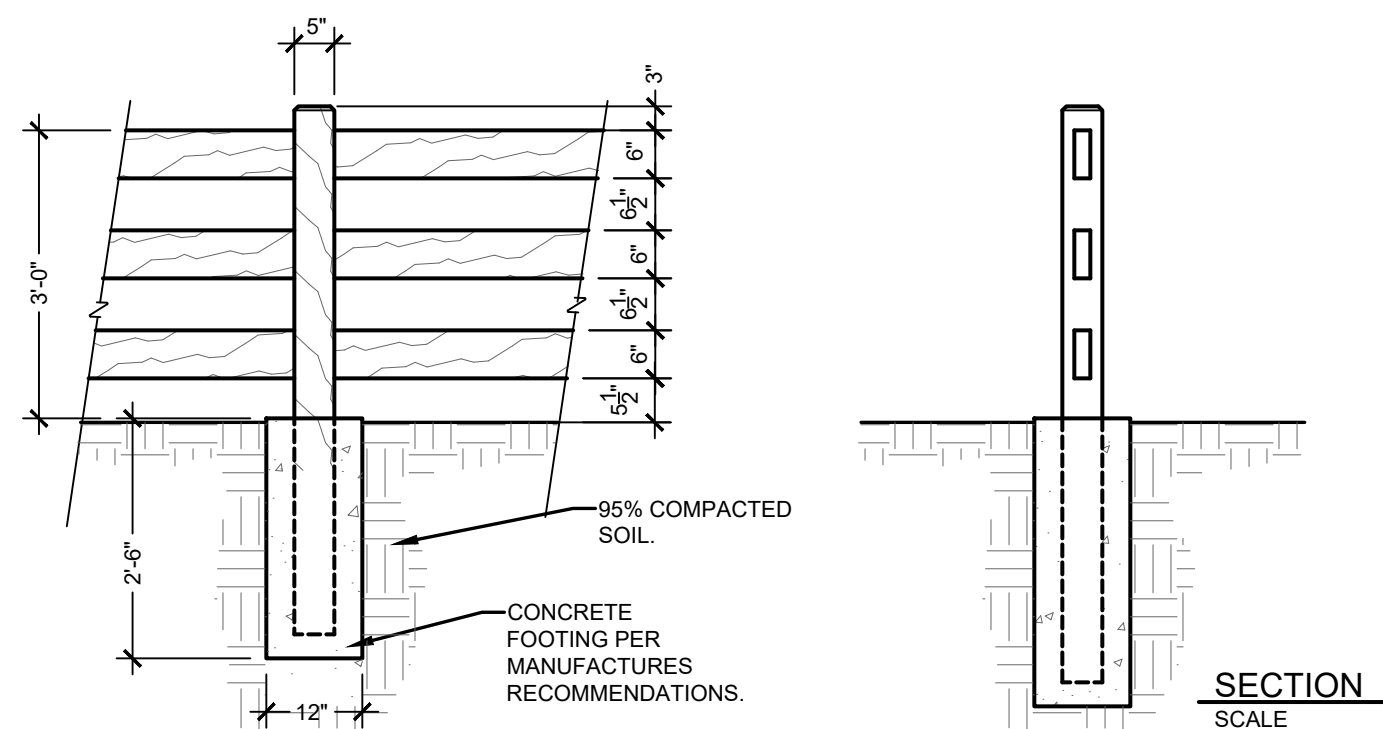


D RETAINING WALL DETAIL
NOT TO SCALE



E GUARD RAIL AT WALLS
SCALE 3/8"=1'-0"

NOTES: • SEE PLANS FOR LOCATIONS
• COLOR NUMBER 338 BUCKSKIN 3% LOADING.
• INSTALL PER MANUFACTURER RECOMMENDATIONS



G 3' CONCRETE 3 RAIL FENCE

DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEK RIDGE FLYING HORSE

FILING 1
SOMERSTONE STREET

JOB NUMBER
2787-0326

DATE
5/5/2026

DRAWN BY
MB

DRAWING DESCRIPTION
SITE DETAILS

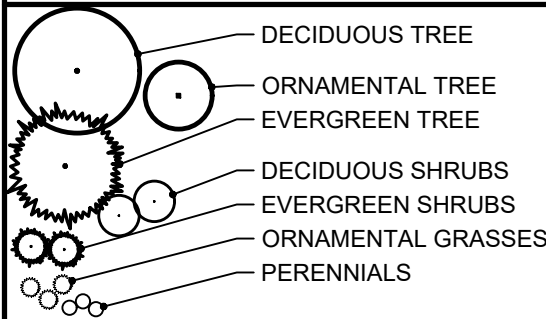
SHEET #
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PLANTING LEGEND			
Notes Key: X=Xeric plant, R=Rabbit Resistant, DE=Deer Resistant, F=Firewise plant Z=Zone, K=Altitude, Water Use inch / year, D=Dry (13-20"), A=Adaptable (18-28") S=Steady (23-38"), W=Wet (36"+) SIG=Signature plant (City of Colorado Springs)			
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME SIZE NOTES
DECIDUOUS TREES			
ACT		Acer tataricum	Maple tatarian 1-1/2" Z=3, 8.5K,A,SIG
CCH		Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless) 1-1/2" R,DE,F,Z=4,8.5K,A,D,SIG
MSS		Malus 'Spring Snow'	Crabapple, Spring Snow 1-1/2" F,Z=4, 8.5K,S,SIG
PCR		Prunus virginiana 'Schubert'	Cherry, Canada Red 1-1/2" R,DE,F,Z=2, 9.5K,A,S,SIG
DECIDUOUS SHRUBS			
BRG		Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow 5 Gal R,DE,Z=4, 7K,A,SIG
PBS		Prunus Besseyi 'Pawnee Buttes'	Western Sandcherry 'Pawnee Buttes' 5 Gal F,Z=3, 9.5K,A,SIG
POG		Potentilla fruticosa 'Gold finger'	Potentilla, Gold finger 5 Gal R,DE,F,Z=2, 10K,S,SIG
SPF		Spiraea x bumalda 'Froebel'	Spirea, Froebel 5 Gal R,DE, 7.5K,A,S,SIG
SPG		Spiraea x bumalda 'Goldmound'	Spirea, Goldmound 5 Gal R,DE,Z=3,7.5K,A,S,SIG
EVERGREEN SHRUBS			
JBU		Juniperus Sabina	Juniper, Buffalo 5 Gal R,DE,Z=3,8.5K,A,SIG
PGS		Picea pungens 'Glauca Globosa'	Spruce, Globe Blue 5 Gal Z=2, 10K,S,SIG
ORNAMENTAL GRASSES			
CAA		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass 1 Gal R,DE,Z=3, 6.5K,A,SIG
PSR		Panicum virgatum 'Rebraun'	Switch grass 'Rebraun' 1 Gal R,DE,Z=5, 7K,D,SIG
PERENNIALS			
PER		Selected Perennials To Be Determined from this list: Blanket Flower, Coreopsis, Columbine, Gazania, Phlox,Yarrow, Snow-in-sunmer, Coneflower, Hosta, Lavender, Shasta Daisy, Penstemon, Black eyed Susan, Salvia & Sedum.	

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC
	3/4" CLEAR CREEK ROCK 3" IN DEPTH WITH WEED FABRIC
	KENTUCKY BLUEGRASS SOD

PLANT SYMBOL KEY



DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	PRELIMINARY LANDSCAPE PLAN - BUILDING TYPICALS
SHEET #	L-9 24 of 24

DEPN-26-0063