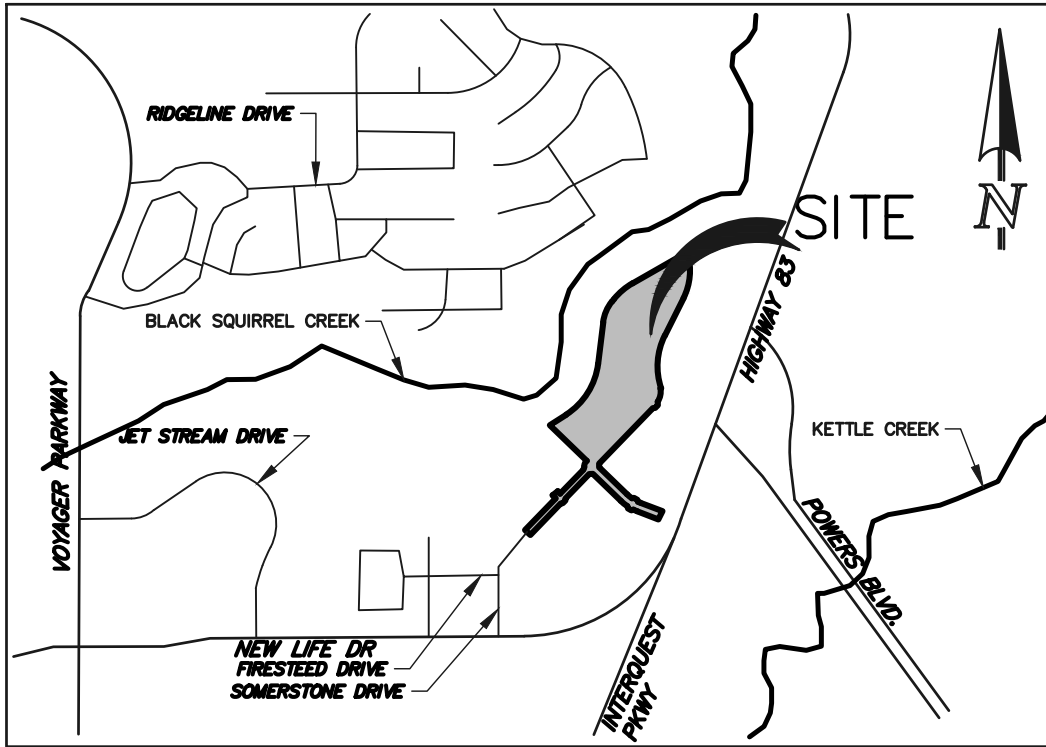


CREEKRIDGE AT FLYING HORSE FILING NO. 1

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT PLAN

TITLE SHEET
SEPTEMBER 2026



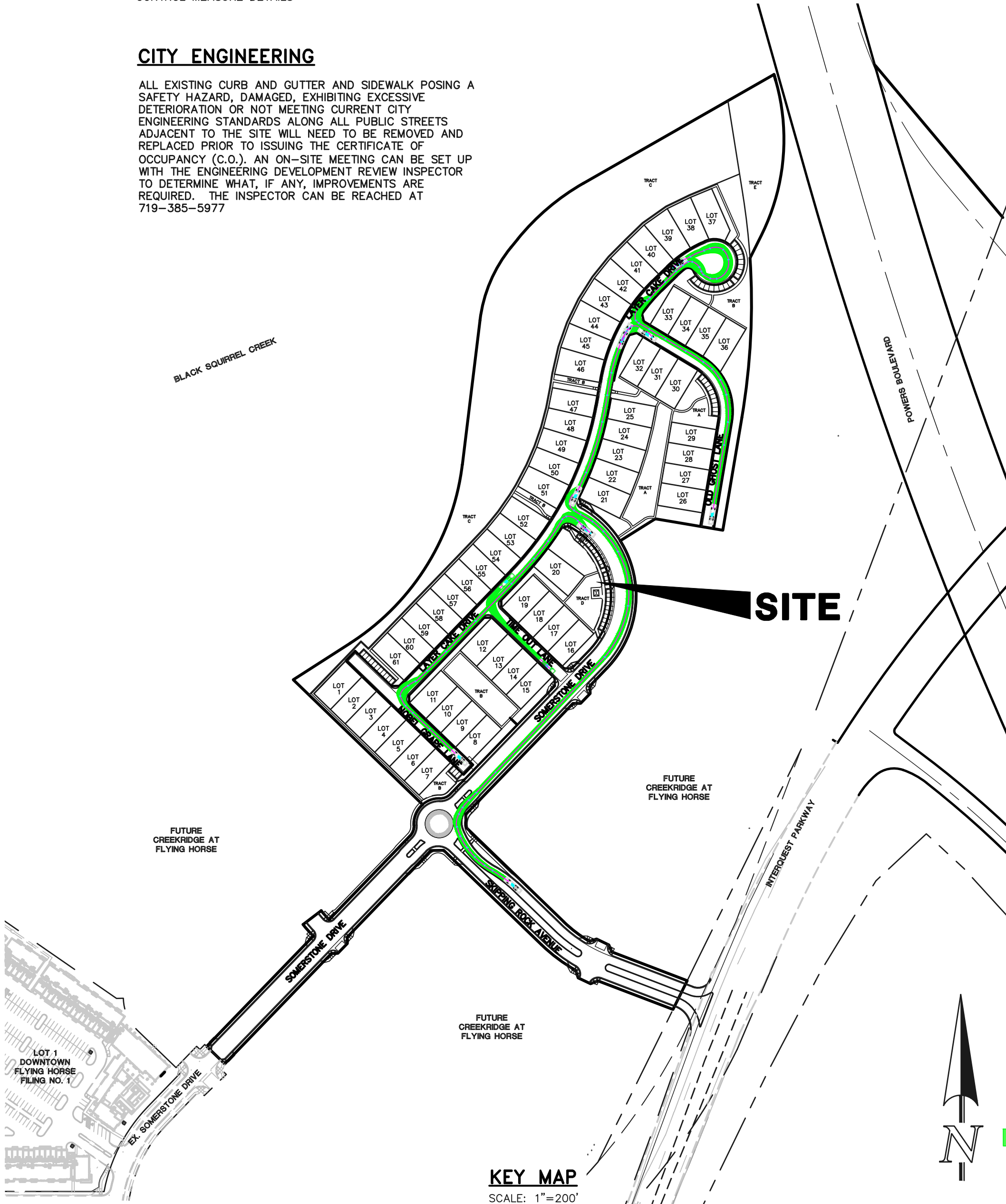
VICINITY MAP
N.T.S.

WQ/DETENTION:

WATER QUALITY AND DETENTION IS PROVIDED FOR CREEKRIDGE FILING NO. 1 IN AN EXISTING SUB-REGIONAL FACILITY PERMANENT CONTROL MEASURE CONSTRUCTED WITH THE DOWNTOWN AT FLYING HORSE DEVELOPMENT. SEE THE FINAL DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FILING NO. 1 PRELIMINARY DRAINAGE REPORT FOR DOWNTOWN FLYING HORSE FUTURE FILINGS BY CLASSIC CONSULTING APPROVED 01-12-2023 FOR PERMANENT CONTROL MEASURE DETAILS

CITY ENGINEERING

ALL EXISTING CURB AND GUTTER AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977



KEY MAP
SCALE: 1"=200'

FIRE TRUCK TRAVEL PATH

PROJECT TEAM: CIVIL ENGINEER

CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC
619 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, COLORADO 80903
MR. KYLE CAMPBELL, P.E.
(719) 785-0790

OWNER / APPLICANT / DEVELOPER

PULPIT ROCK INVESTMENTS LLC
2138 FLYING HORSE CLUB DRIVE
COLORADO SPRINGS, CO 80921
MR. JIM BOULTON
(719) 785-3259

LANDSCAPE ARCHITECT

SUNFLOWER LANDSCAPES
1925 AEROPAZA DRIVE
COLORADO SPRINGS, CO 80916
MR. MIKE BERTA
(719) 637-0313

SITE DATA:

PROPOSED LAND USE:	SINGLE FAMILY DETACHED (COMPACT LOT)
TOTAL AREA:	19.686 ACRES
GROSS AREA:	11.656 ACRES (EXCLUDING PREBLES MOUSE HABITAT, SOMERSTONE DRIVE ROW & SKIPPING ROCK AVENUE ROW)
DENSITY:	5.23 DU/AC (CALCULATED USING GROSS SITE AREA)
TOTAL LOTS:	61 LOTS

Table 7.2.2.1 R-Flex Medium: Lot and Building Standards	
Table 7.2.2.2 R-Flex Medium: Lot and Building Standards	
Density and Lot Standards	
Plan	5 - 16 du/ac
Lot area (minimum)	Residential uses: 1,500 sq ft per du Non-residential uses: N/A
Lot width (minimum)	Residential structures: 20 ft per du Non-residential uses: N/A
Setbacks (minimum)	
A Front	All residential structures except garages: 10 ft Street loaded garage (1): 20 ft (see Table 7.4.2.B) Non-residential structures, frontage: Min. 5 ft, Max. 20 ft
B Side	Interior, residential use: 1 ft minimum with 6 ft combined both sides, or 0 ft if attached Corner lot side street, residential use: 10 ft Interior, non-residential use: 10 ft Corner lot side street, non-residential use: 20 ft
C Rear	All residential structures: 10 ft Detached Garage or Carport: 5 ft from property line adjacent to the alley and 5 ft from the edge of any access easement Non-residential use: 15 ft
Height (maximum)	
D Building height	45 ft

TAX SCHEDULE NO.:	62000-00-640, 62000-00-737
MASTER PLAN:	FLYING HORSE CPC MP 06-00219 AS AMENDED
LAND USE PLAN:	CREEKRIDGE AT FLYING HORSE CREEK (LUPL-25-0023)
EXISTING ZONING:	R-FLEX MEDIUM/AF-O ORDINANCE NO. 26-14
DEVELOPMENT SCHEDULE:	2026/2027 FULL BUILD OUT (NO PHASING)

PROVIDED PARKING:

PROVIDED PARKING		
SINGLE FAMILY DETACHED	2 PER DU (2 PER GARAGE)	
61	2	122

ADA PARKING	2
GUEST PARKING	61
TOTAL PARKING SPACES PROVIDED	185 *

30' ACCESS STREET - NO PARKING ALLOWED
* ADDITIONAL PARALLEL PARKING ALLOWED ALONG SOMERSTONE DRIVE (NOT INCLUDED IN COUNT)

REQUIRED PARKING:

REQUIRED PARKING			
SINGLE FAMILY		2 PER DU	
LOTS (DU)	61	2	122
10% GUEST PARKING			12
TOTAL			134

GREEN SPACE:

SEE LANDSCAPE ACTIVE GREENSPACE PLAN (SHEET 20 OF 23).

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

TRACT TABLE			
TRACT	SIZE	USE	OWNERSHIP& MAINTENANCE
TRACT A	0.793 AC	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT B	1.84 AC	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT C	4.25 AC	OPEN SPACE, AND PREBLES JUMPING MOUSE HABITAT	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT D	0.496	OPEN SPACE, LANDSCAPE, SIGNAGE, PUBLIC IMPROVEMENTS, PUBLIC ACCESS	FLYING HORSE METROPOLITAN DISTRICT NO. 1
TRACT E	0.684	FUTURE PUBLIC RIGHT-OF-WAY	FLYING HORSE METROPOLITAN DISTRICT NO. 1 UNTIL OWNERSHIP TRANSFER, THEN CITY OF COS

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063

CLASSICSM
CONSULTING
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (fax)

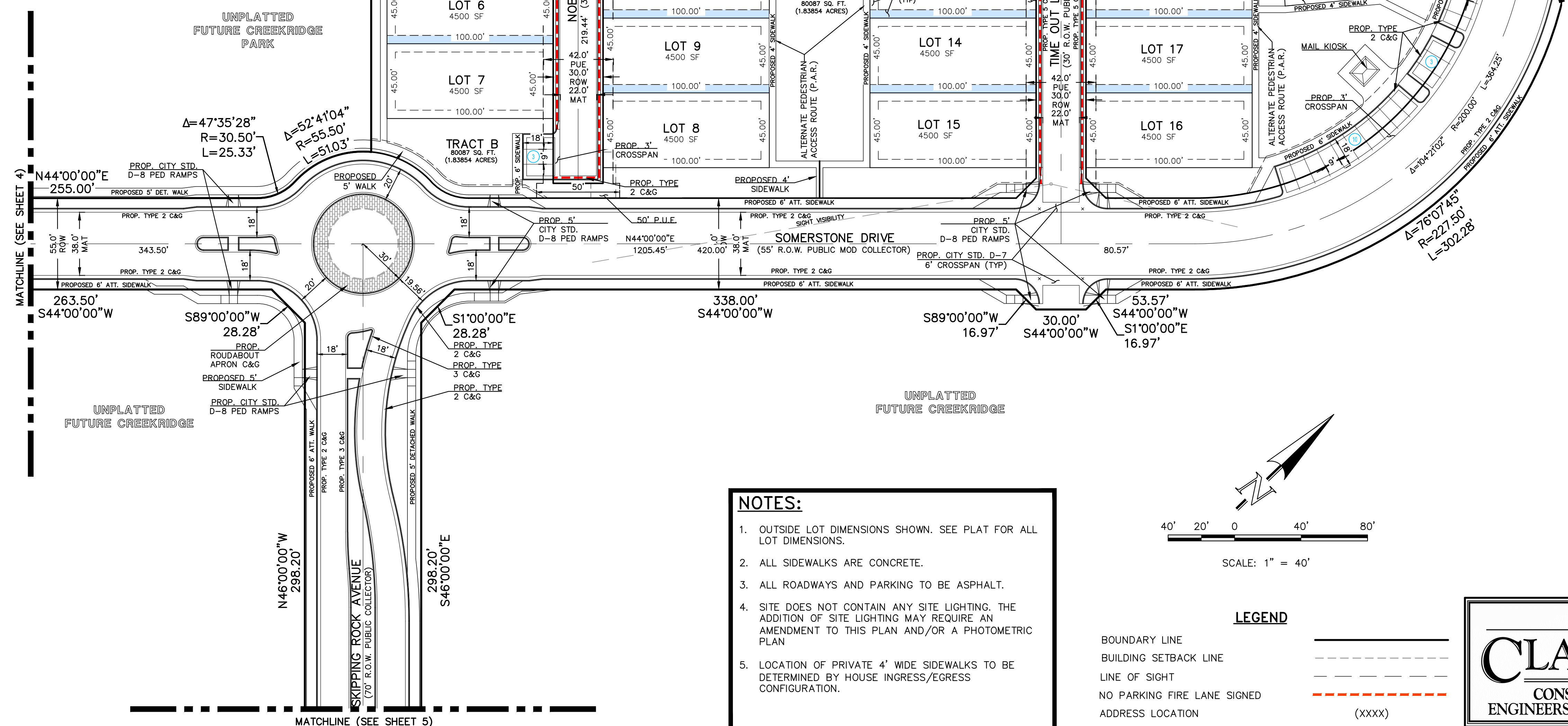
CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
TITLE SHEET

DESIGNED BY	JRH	SCALE	DATE	9/23/26
DRAWN BY	JRH	(H) 1"= N/A	SHEET	1 OF 24
CHECKED BY	DLG	(V) 1"= N/A	JOB NO.	1171.78

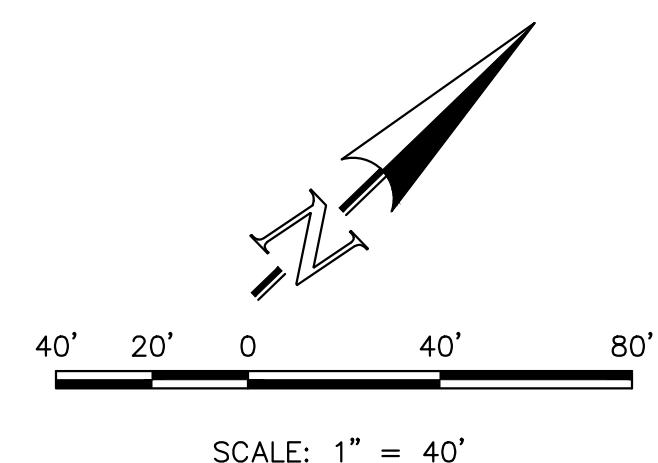
NOTES:
ONE GATE PER FENCE AREA LOCATE AT THE DRIVEWAY ACCESS SIDE AND ONTO PROPERTY OWNERS LOT.
HOUSE PLANS, SIDEWALKS, FENCE LOCATIONS ON THIS DOCUMENT WILL VARY AND ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.
FENCE LOCATION SUBJECT TO CHANGE & TO BE DETERMINED IN FIELD (TYPICAL).

PER SECTION 7.4.203 UDC UNCOVERED DECKS OR PATIOS WHICH DO NOT EXCEED 18" IN HEIGHT MEASURED FROM THE FINISHED FLOOR TO ANY ADJACENT POINT OF THE EXISTING GRADE ARE PERMITTED IN THE SETBACK BUT LIMITED TO 50% OF EACH SIDE YARD OR REAR YARD AREA.

TYPICAL LOT
(GREENWAY ORIENTED)
SCALE: 1" = 30'



NOTES:
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
2. ALL SIDEWALKS ARE CONCRETE.
3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN.
5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.



LEGEND

BOUNDARY LINE	---
BUILDING SETBACK LINE	---
LINE OF SIGHT	---
NO PARKING FIRE LANE SIGNED	---
ADDRESS LOCATION	(XXXX)
USE EASEMENT AREAS	---

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

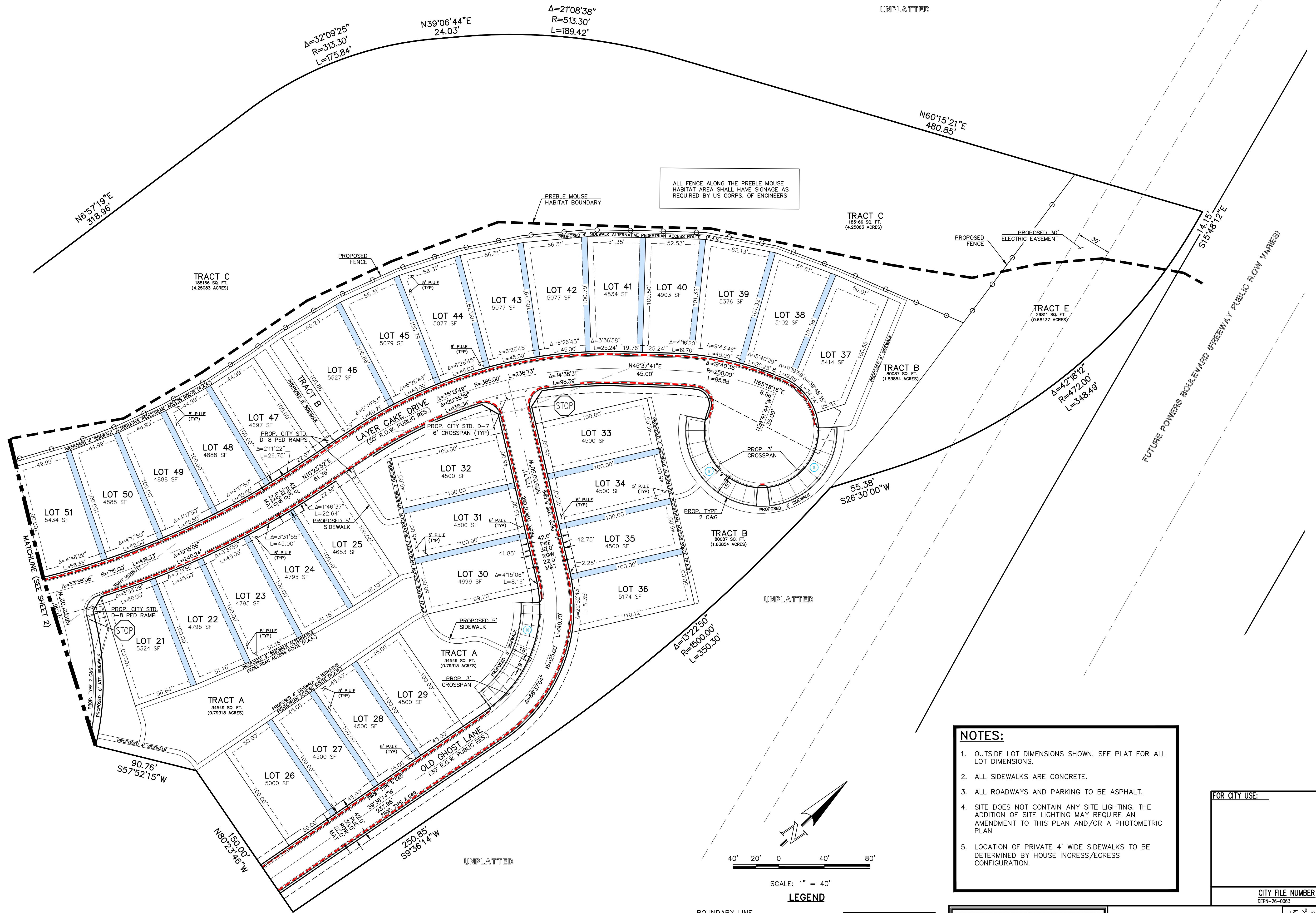
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

CREEKRDIGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 2 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063



- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN
 5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.

FOR CITY USE:			
CITY FILE NUMBER DEPN-26-0063			

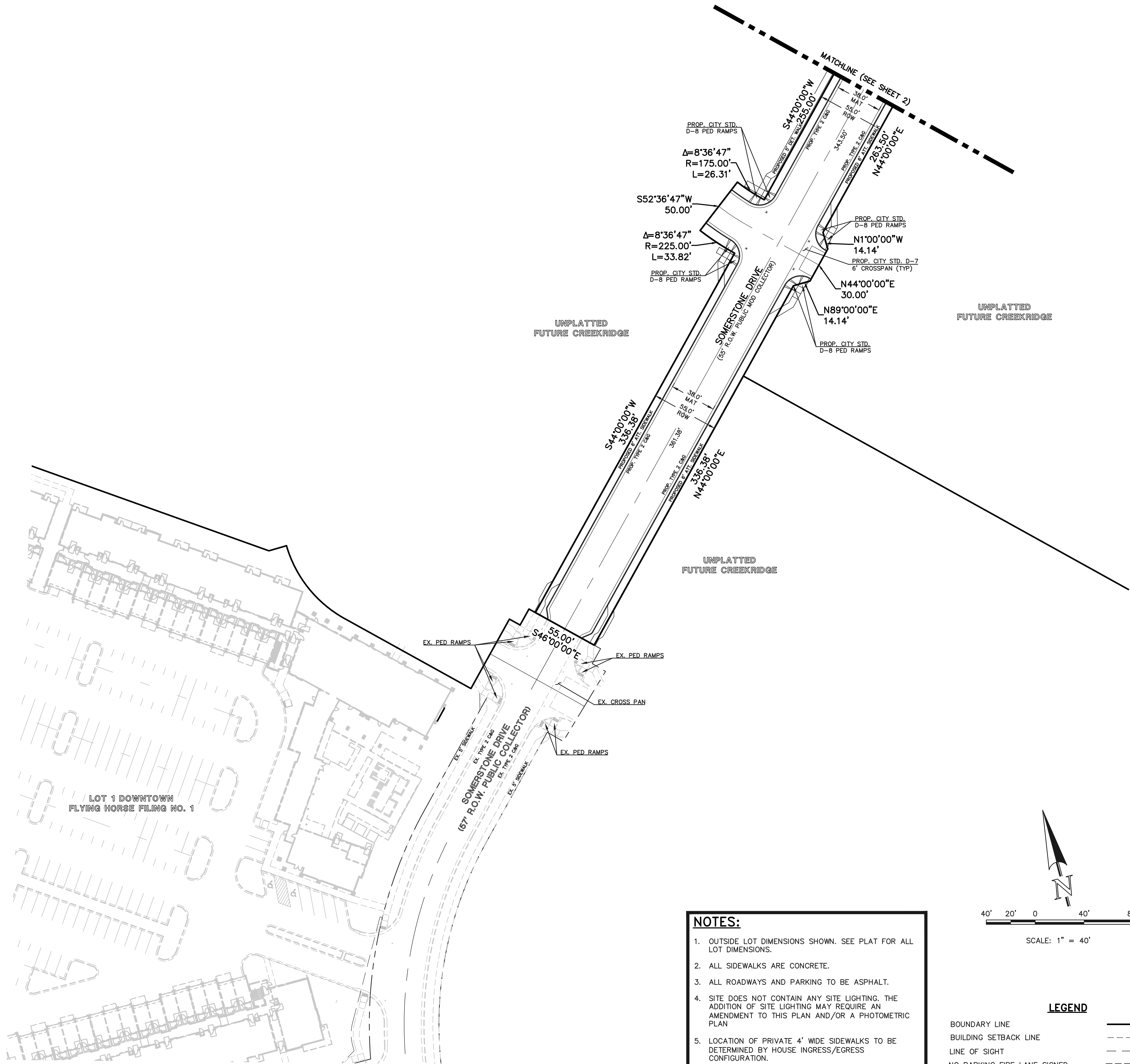
LEGEND			
BOUNDARY LINE	---		
BUILDING SETBACK LINE	---		
LINE OF SIGHT	---		
NO PARKING FIRE LANE SIGNED	---		
ADDRESS LOCATION	---		
USE EASEMENT AREAS	---	(XXXX)	

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

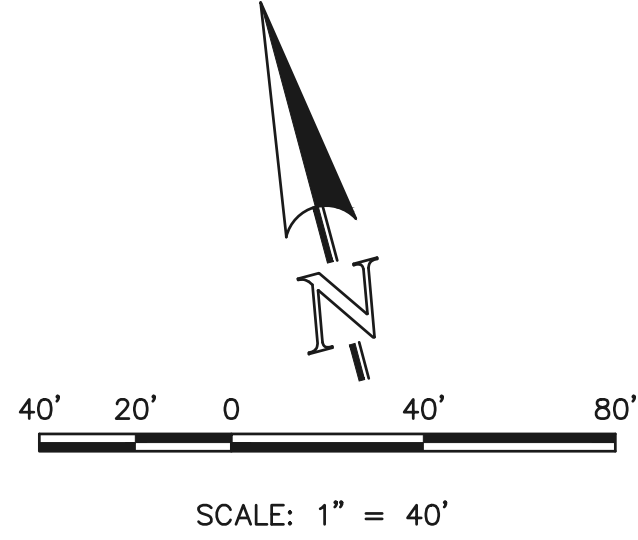
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

CREEKRDIGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 3 OF 24
CHECKED BY	(V)	1"= N/A	JOB NO. 1171.78



- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN
 5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.



LEGEND	
BOUNDARY LINE	—————
BUILDING SETBACK LINE	-----
LINE OF SIGHT	- - - - -
NO PARKING FIRE LANE SIGNED	—————
ADDRESS LOCATION	(XXXX)



CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

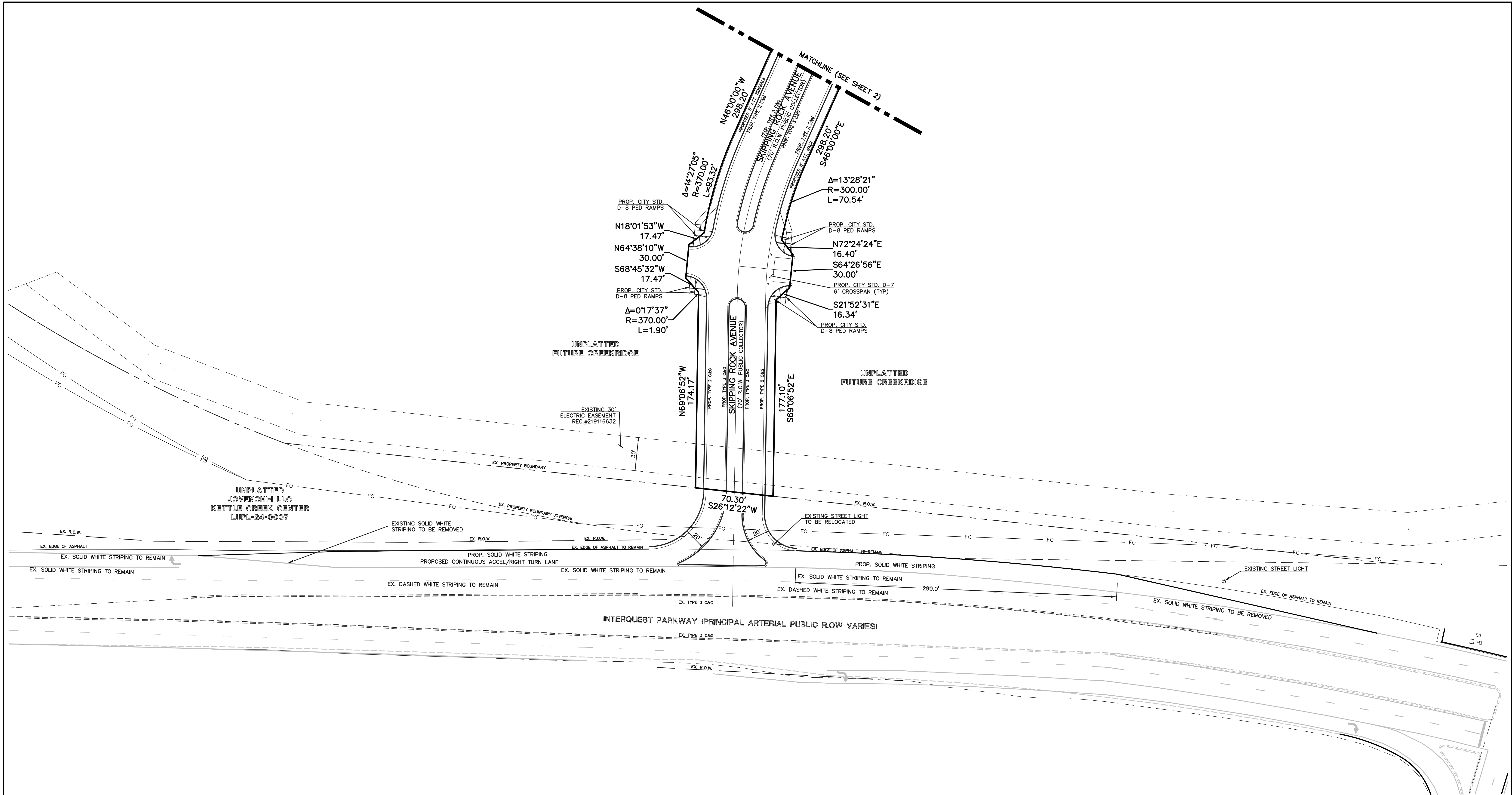
619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

CREEKRIDGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 4 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

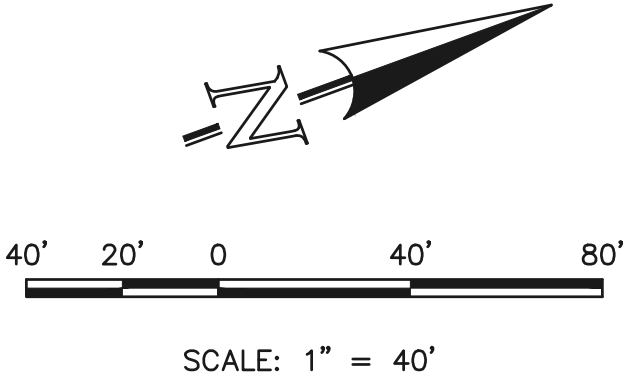
FOR CITY USE:

CITY FILE NUMBER

DEPN-26-0063



- NOTES:**
1. OUTSIDE LOT DIMENSIONS SHOWN. SEE PLAT FOR ALL LOT DIMENSIONS.
 2. ALL SIDEWALKS ARE CONCRETE.
 3. ALL ROADWAYS AND PARKING TO BE ASPHALT.
 4. SITE DOES NOT CONTAIN ANY SITE LIGHTING. THE ADDITION OF SITE LIGHTING MAY REQUIRE AN AMENDMENT TO THIS PLAN AND/OR A PHOTOMETRIC PLAN
 5. LOCATION OF PRIVATE 4' WIDE SIDEWALKS TO BE DETERMINED BY HOUSE INGRESS/EGRESS CONFIGURATION.



LEGEND

BOUNDARY LINE	—————
BUILDING SETBACK LINE	-----
LINE OF SIGHT	- - - - -
NO PARKING FIRE LANE SIGNED	—————
ADDRESS LOCATION	(XXXX)
ACCESSIBLE ROUTE	=====

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

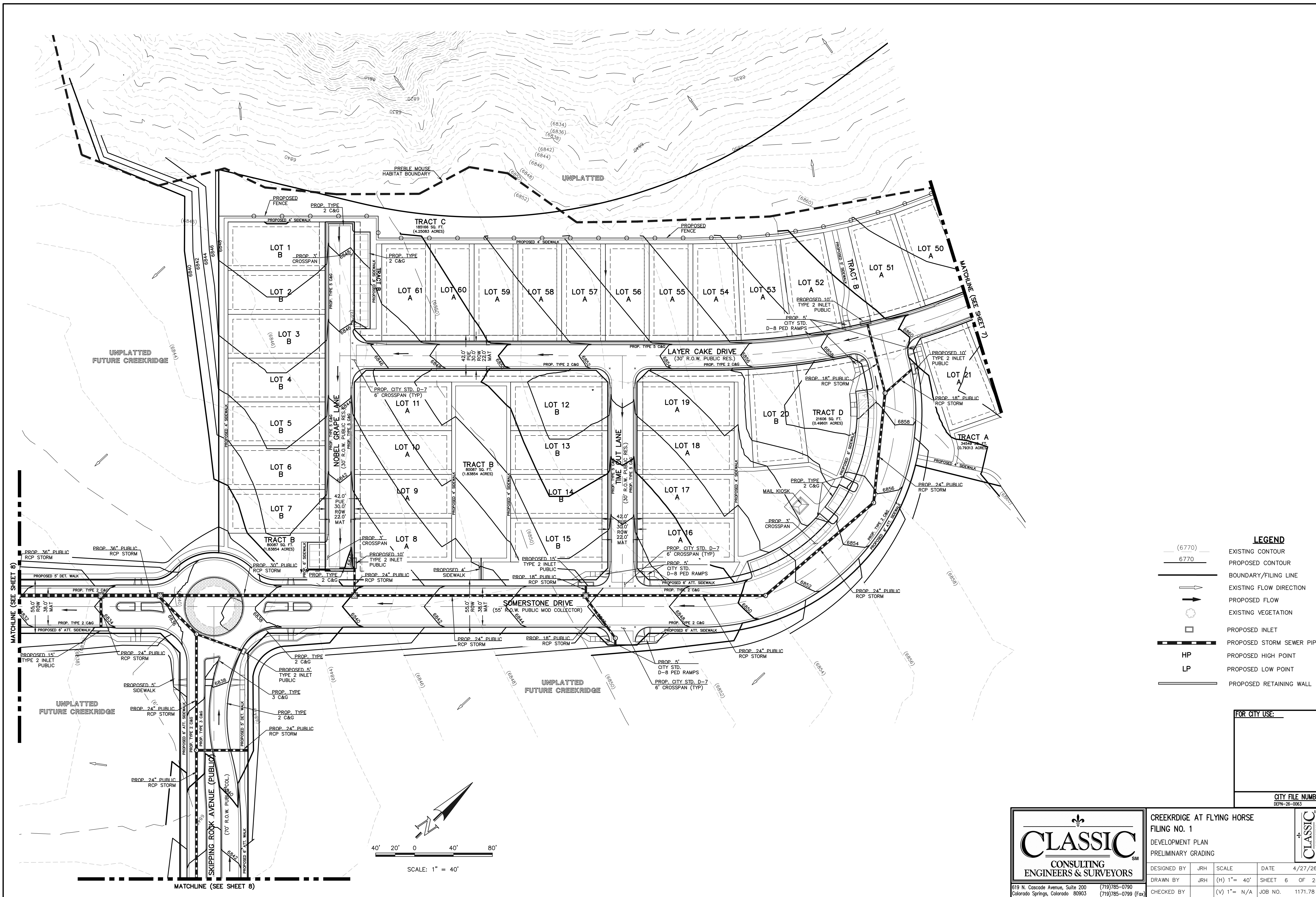
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

CREEKRIDGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN SITE DEVELOPMENT PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/16/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 5 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063



LEGEND

(6770)	EXISTING CONTOUR
6770	PROPOSED CONTOUR
---	BOUNDARY/FILING LINE
→	EXISTING FLOW DIRECTION
→	PROPOSED FLOW
○	EXISTING VEGETATION
□	PROPOSED INLET
---	PROPOSED STORM SEWER PIPE
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
---	PROPOSED RETAINING WALL

FOR CITY USE:

CITY FILE NUMBER	
DEPN-26-0063	

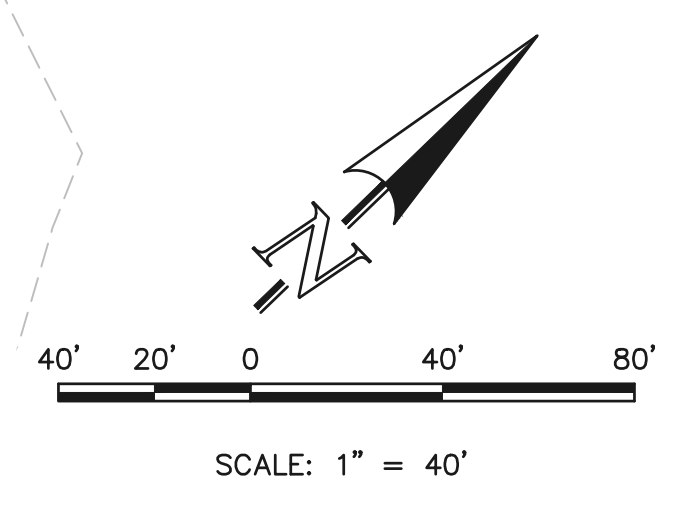
CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

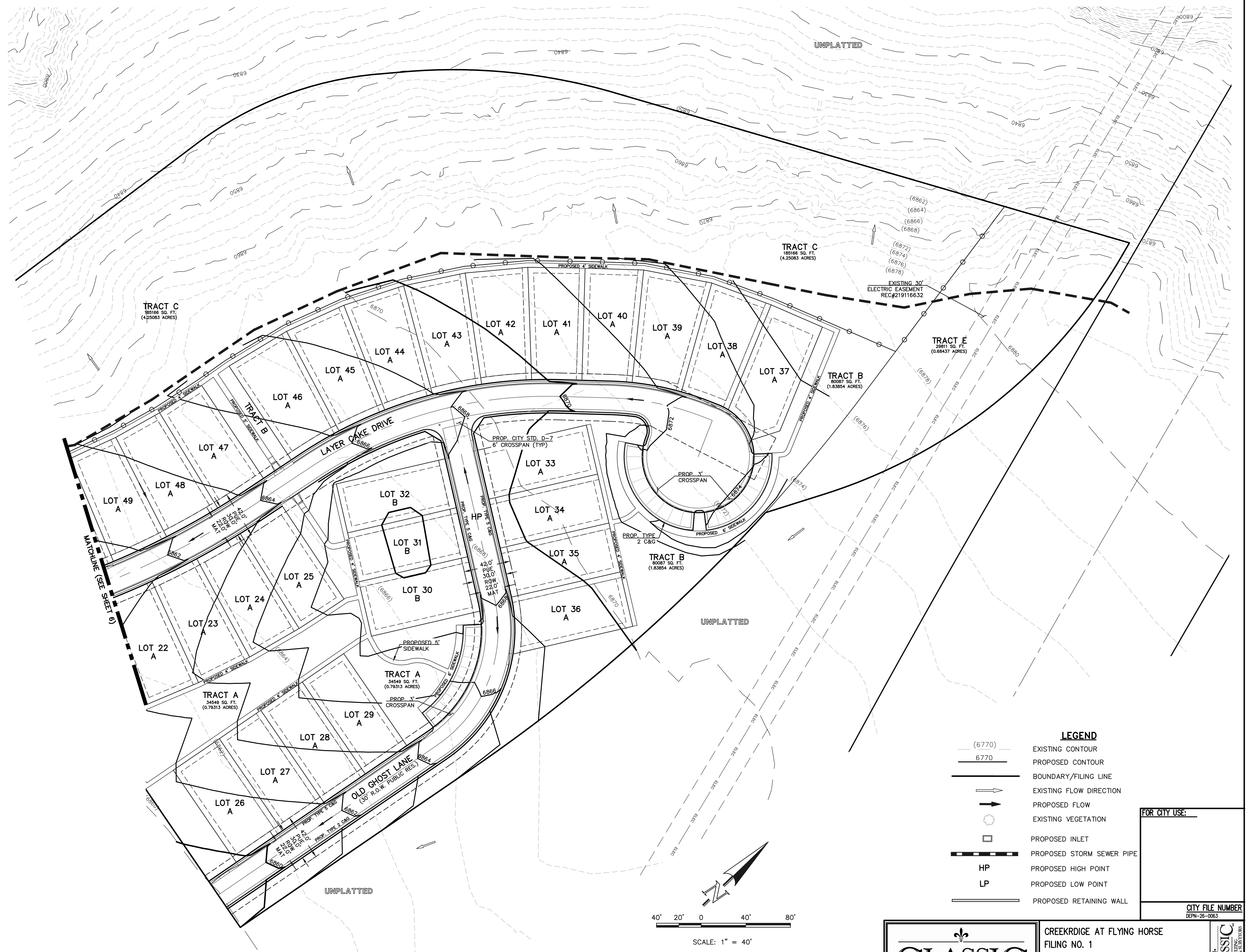
CREEKRDIGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING

DESIGNED BY	JRH	SCALE	DATE	4/27/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	6 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)





- LEGEND**
- (6770) EXISTING CONTOUR
 - 6770 PROPOSED CONTOUR
 - BOUNDARY/FILING LINE
 - EXISTING FLOW DIRECTION
 - PROPOSED FLOW
 - EXISTING VEGETATION
 - PROPOSED INLET
 - PROPOSED STORM SEWER PIPE
 - HP PROPOSED HIGH POINT
 - LP PROPOSED LOW POINT
 - PROPOSED RETAINING WALL

FOR CITY USE:

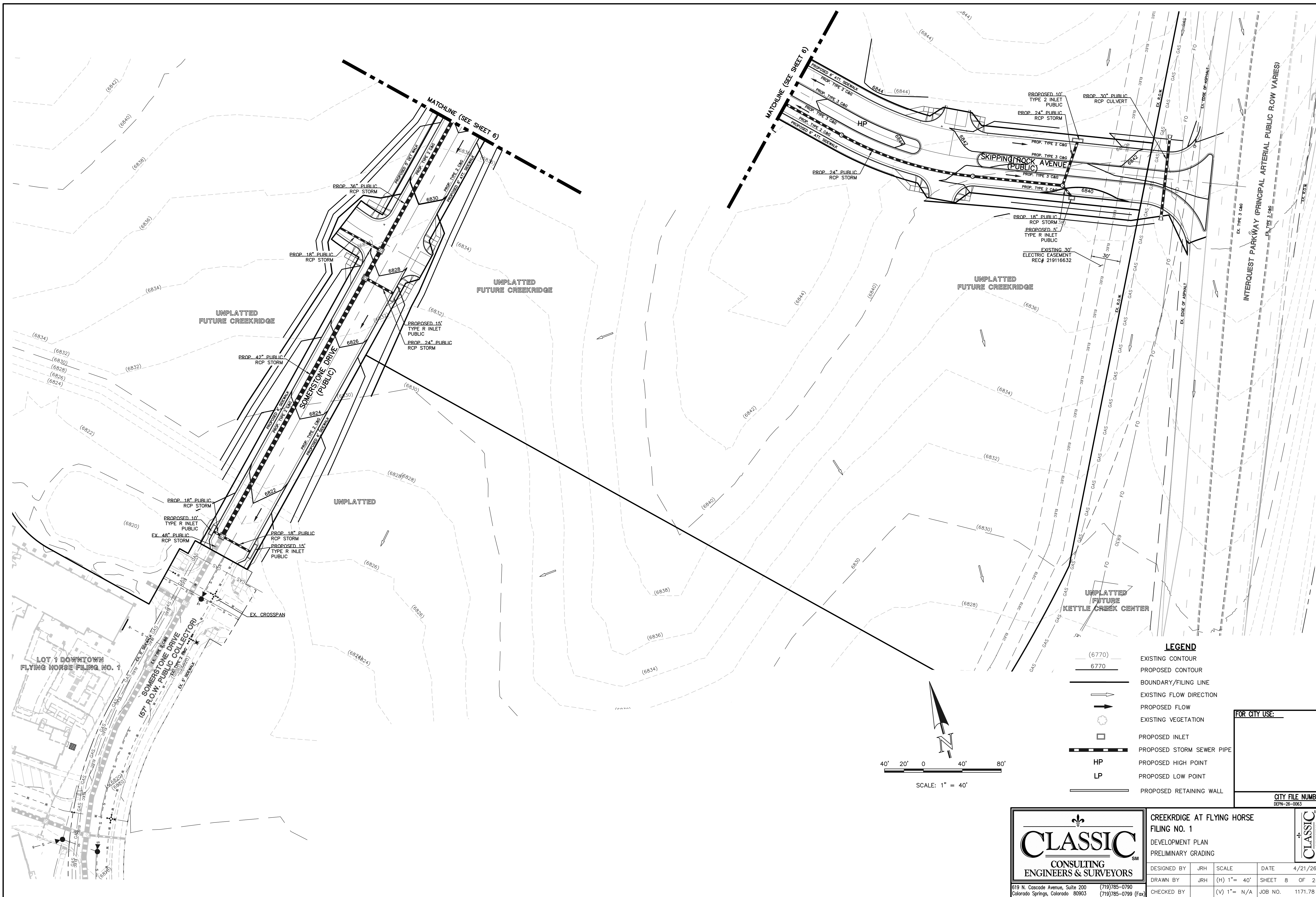
CITY FILE NUMBER

DEPN-26-0063



CREEKRDIGE AT FLYING HORSE			
FILING NO. 1			
DEVELOPMENT PLAN			
PRELIMINARY GRADING			
DESIGNED BY	JRH	SCALE	DATE 4/21/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 7 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)



LEGEND

(6770)	EXISTING CONTOUR
6770	PROPOSED CONTOUR
---	BOUNDARY/FILING LINE
→	EXISTING FLOW DIRECTION
→	PROPOSED FLOW
⊙	EXISTING VEGETATION
□	PROPOSED INLET
---	PROPOSED STORM SEWER PIPE
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
---	PROPOSED RETAINING WALL

FOR CITY USE:

CITY FILE NUMBER	
DEPN-26-0063	

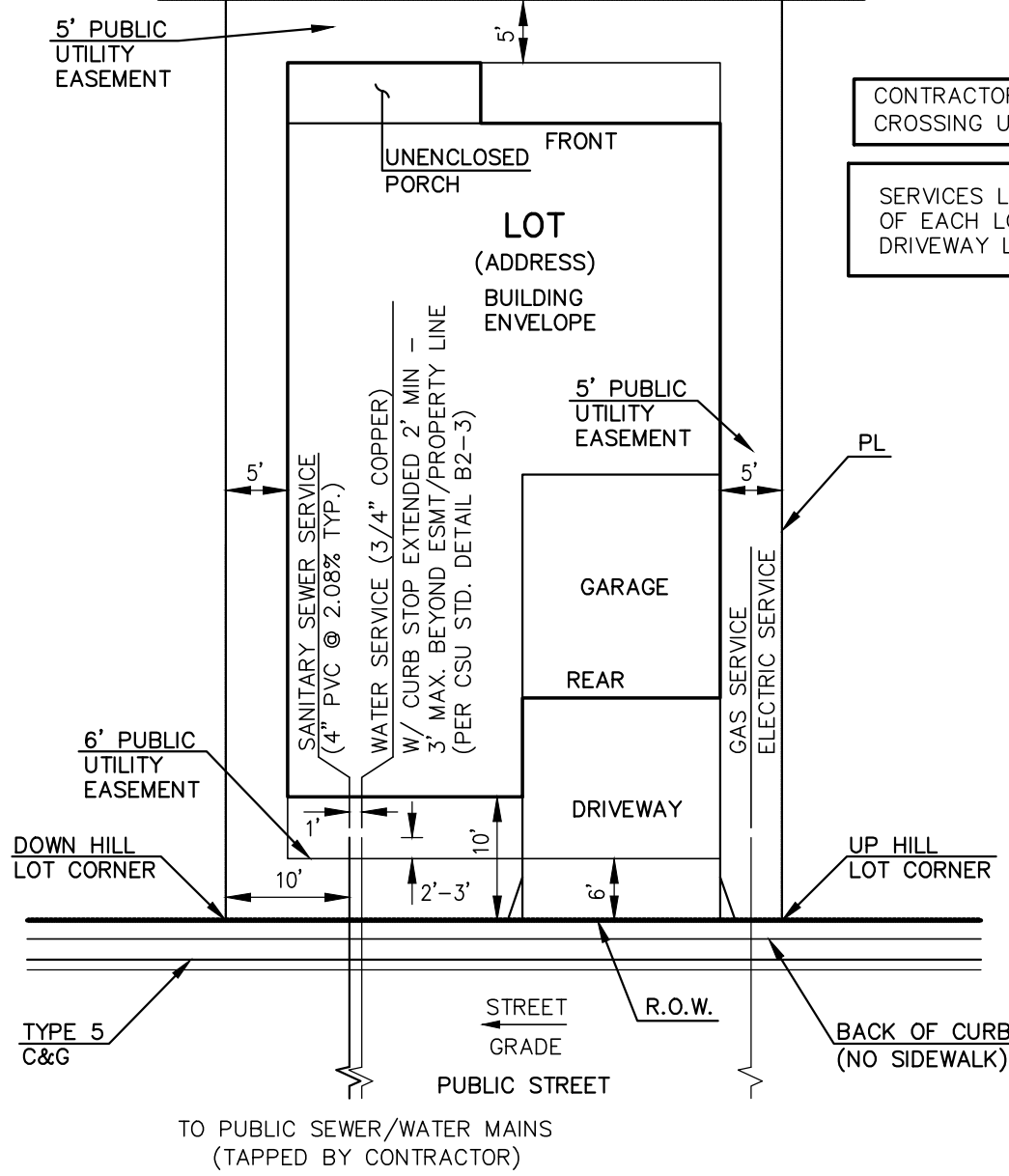
CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY GRADING

DESIGNED BY	JRH	SCALE	DATE	4/21/26
DRAWN BY	JRH	(H) 1" = 40'	SHEET	8 OF 24
CHECKED BY	(V) 1" = N/A	JOB NO.	1171.78	

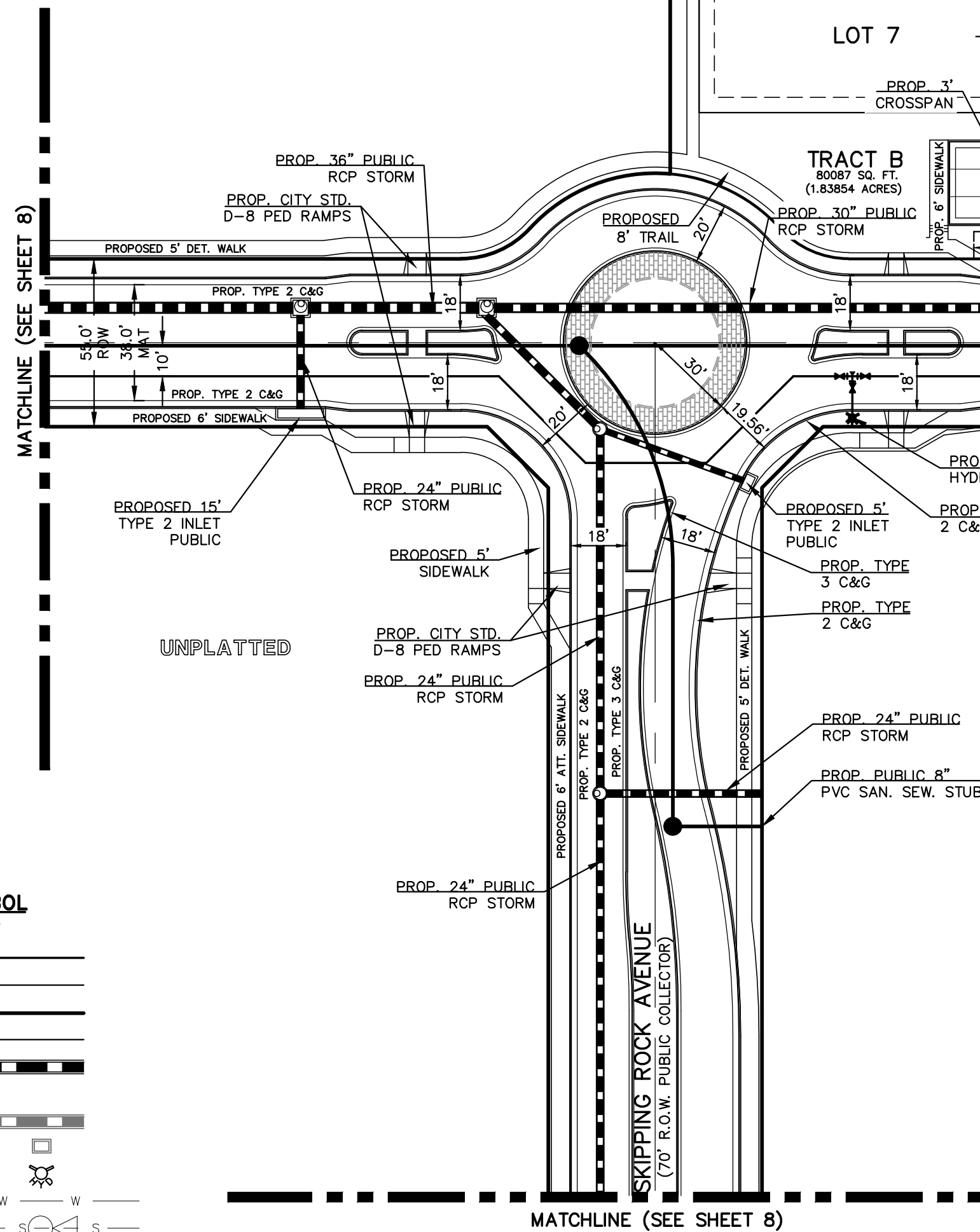
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)



DETAIL: UTILITY SERVICE LOCATIONS
N.T.S.

- UTILITY SERVICE LOCATION NOTES:
- 1) DIMENSIONS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED ON PLANS.
 - 2) SEE PLANS FOR MAINLINE SIZES.
 - 3) ALL WATER SERVICES TO BE 3/4" TYPE "K" COPPER OR 1" HDPE UNLESS OTHERWISE SHOWN ON PLANS. ALL WATER SERVICES ARE 3/4" x 8" TAPS OR 1"x8" TAPS BY DEVELOPER UNLESS OTHERWISE NOTED ON PLANS.
 - 4) ALL CLEANOUTS TO BE INSTALLED PER COLORADO SPRINGS UTILITY STANDARD DETAIL D1-4.
 - 5) SEE DETAIL D1-5 AND SECTION 2.60 FOR JOINT TRENCH SERVICE LOCATIONS.
 - 6) ALL WASTEWATER SERVICES TO BE 4" PVC UNLESS OTHERWISE SHOWN ON PLANS. ALL WASTEWATER SERVICES ARE 4" x 8" TAPS UNLESS OTHERWISE NOTED ON PLANS.
 - 7) WATER CURB STOPS AND SANTARY SEWER CLEANOUTS NOT TO BE WITHIN DRIVEWAYS OR SIDEWALKS.
 - 8) INSTALL WATER CURB STOP LOCATION PER COLORADO SPRINGS UTILITY STANDARD DETAIL B2-3. NO PERMANENT STRUCTURES OR LANDSCAPING SHALL BE LOCATED WITHIN 5' RADIUS OF THE CURB STOP.
 - 9) GAS METERS MUST BE A MINIMUM OF 3'-FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENING IN WALLS.
 - 10) PER GLSS 4.05.4.3.b GAS METER SHALL BE PLACED 5' FROM FRONT CORNER OF SINGLE FAMILY RESIDENTIAL BUILDING.
 - 11) CSU FIELD ENGINEER TO DETERMINE FINAL GAS/ELECTRIC METER, TRANSFORMER, AND SERVICE LINE LOCATIONS. CONTACT FIELD ENGINEERING AT (719)668-4985 (GAS) OR (719)668-5564 (ELECTRIC) WITH ANY QUESTIONS.



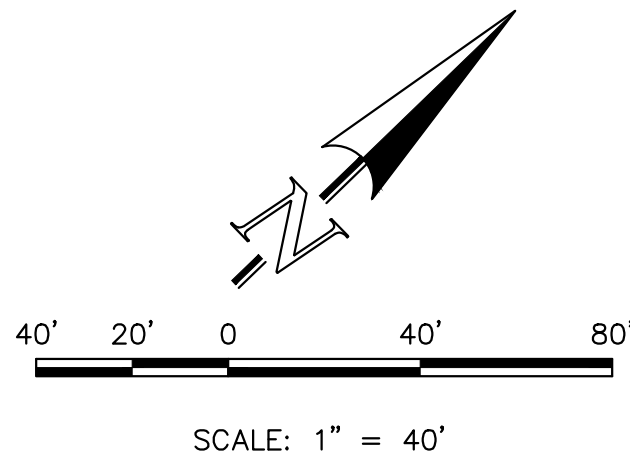
DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED SANTARY SEWER MAIN	
PROPOSED SANTARY SEWER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANTARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
EXISTING ELECTRIC	
BOUNDARY LINE	

PRELIMINARY UTILITY PLAN NOTES:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ('OWNER') ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ('PROPERTY') SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ('STANDARDS'), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak Regional Building Department Codes, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A FIRST-COME, FIRST-SERVED BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564)
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAININGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

SWENT NOTES:

1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.



FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063

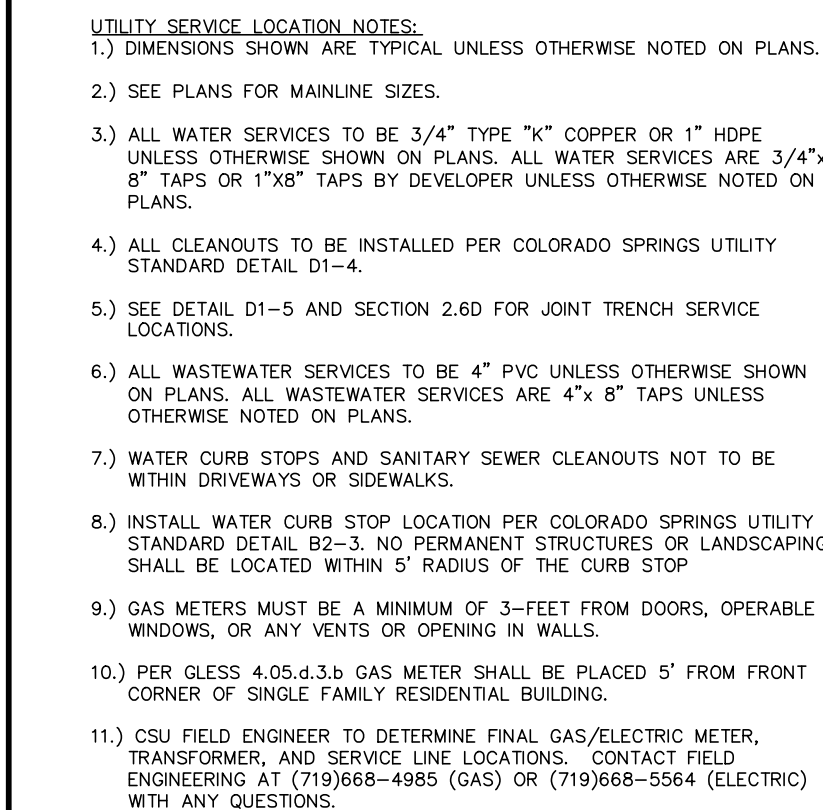


619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799 (Fax)

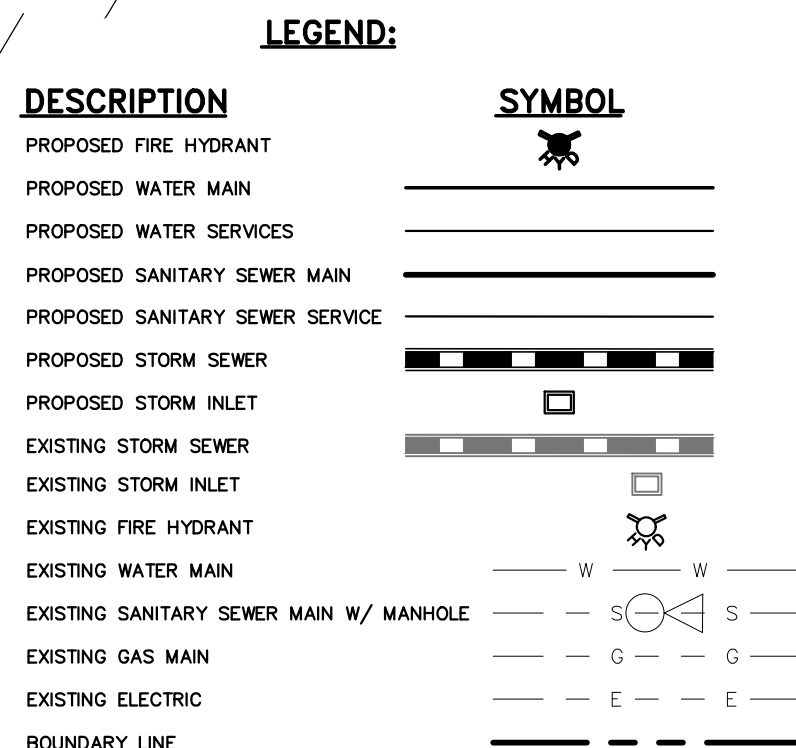
CREEKDRIDGE AT FLYING HORSE
FILING NO. 1

DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY	JRH	SCALE	DATE	4/28/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	9 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

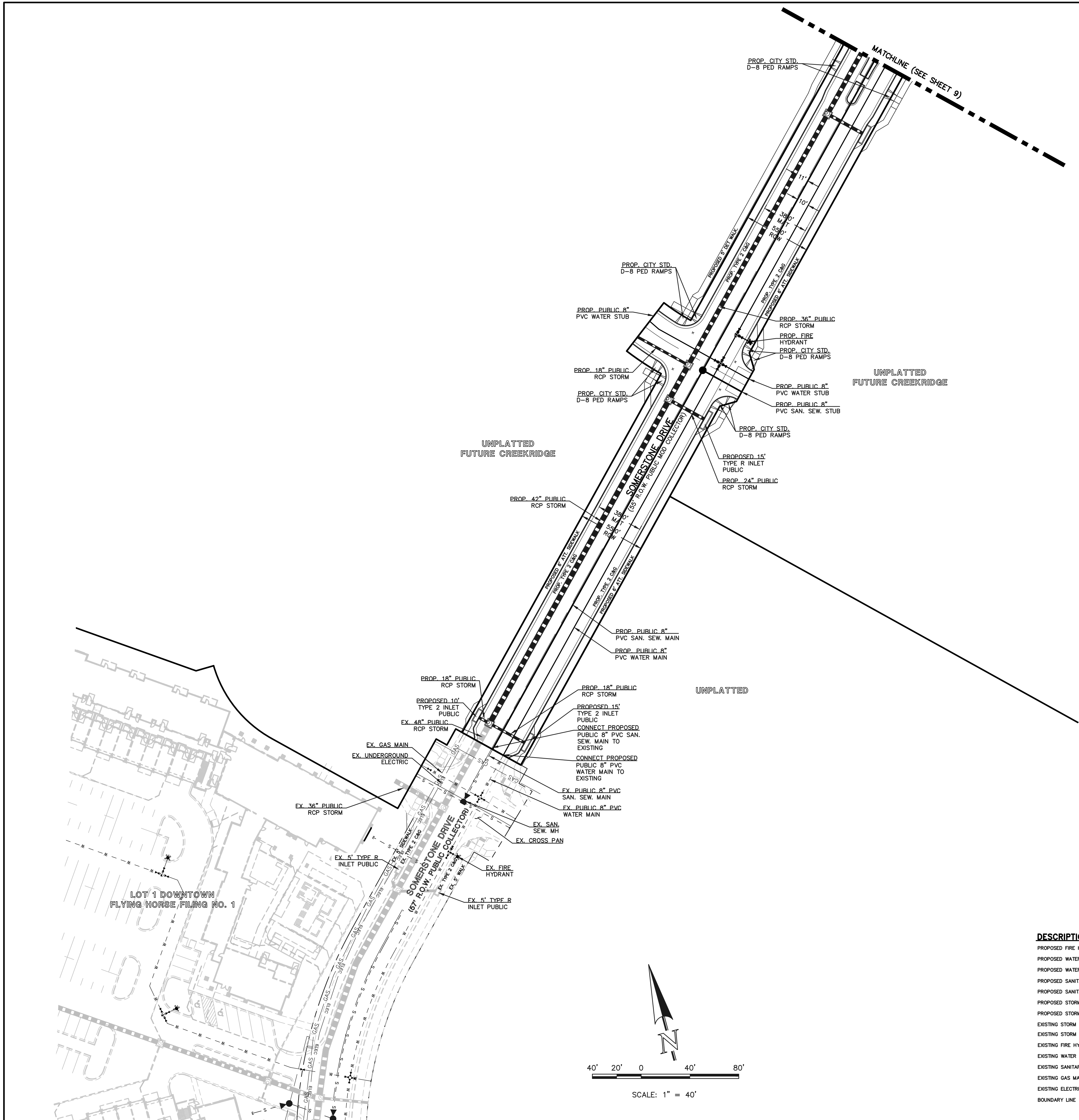


1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PICKS PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE FULL DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR ANYONE, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE FULL DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEMS. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY AND ALL DAMAGES AND SPRINGS UTILITIES DETERMINED NECESSARY IN ORDERMENT. MAINTAINING WATER QUALITY AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS, OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE PLACED WITHIN UTILITY EASEMENTS, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES SHALL HAVE THE AUTHORITY TO MODIFY ANY STANDARD OR CITY CODE THAT IS IN LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF STANDARDS SO LONG AS SUCH CHANGES ARE IN ACCORD WITH THE CITY OF COLORADO AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.




CLASSICSM
CONSULTING
ENGINEERS & SURVEYORS

DESIGNED BY	JRH	SCALE	DATE	4/28/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 10	OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78



SWENT NOTES:

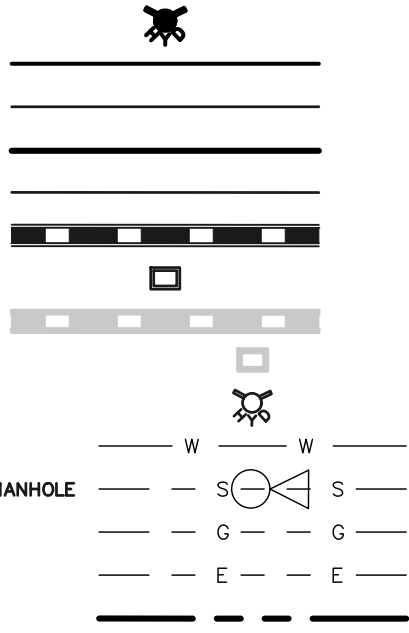
1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

LEGEND:

DESCRIPTION

- PROPOSED FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICES
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- EXISTING GAS MAIN
- EXISTING ELECTRIC
- BOUNDARY LINE

SYMBOL



TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND SERVICE LINES AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

FOR CITY USE:

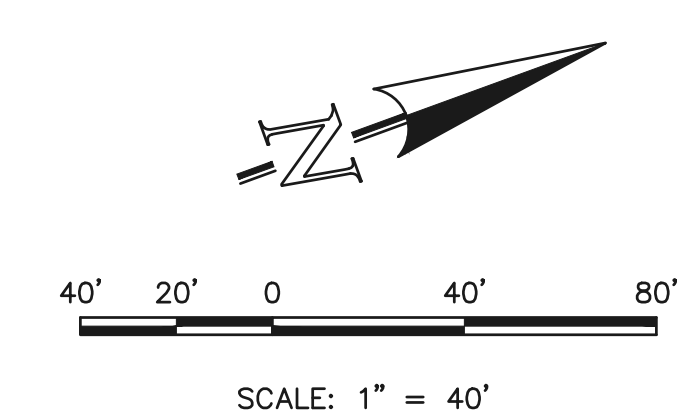
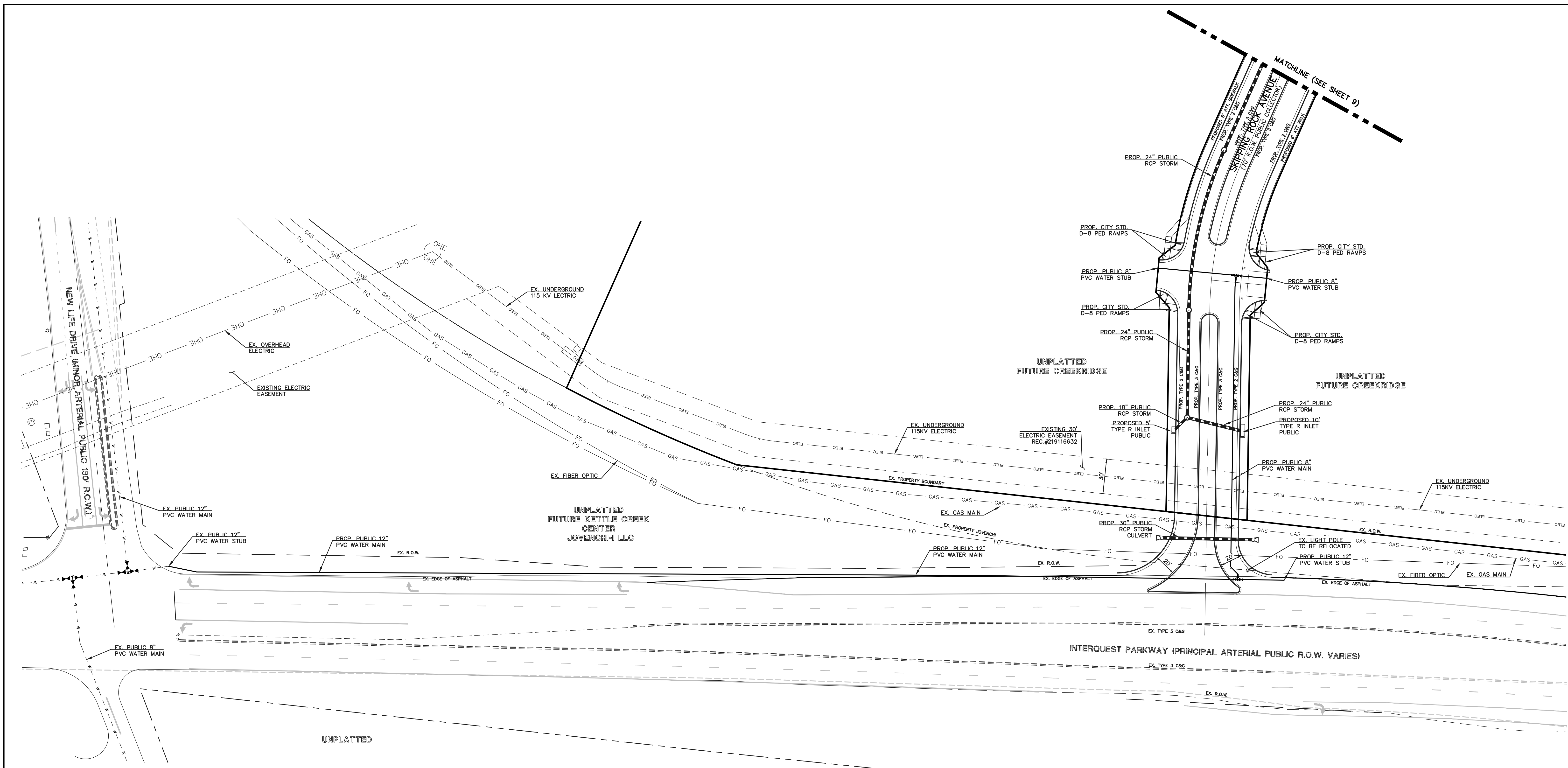
CITY FILE NUMBER
DEPN-26-0063



CREEKRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY	JRH	SCALE	DATE	4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET	11 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)



LEGEND:	
DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED SANITARY SEWER MAIN	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
EXISTING GAS MAIN	
EXISTING ELECTRIC	
BOUNDARY LINE	

- SWENT NOTES:**
1. PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
 2. ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
 3. ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
 4. ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
 5. ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45' CONCRETE BENDS.
 6. ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
 7. ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

CLASSIC
CONSULTING
ENGINEERS & SURVEYORS

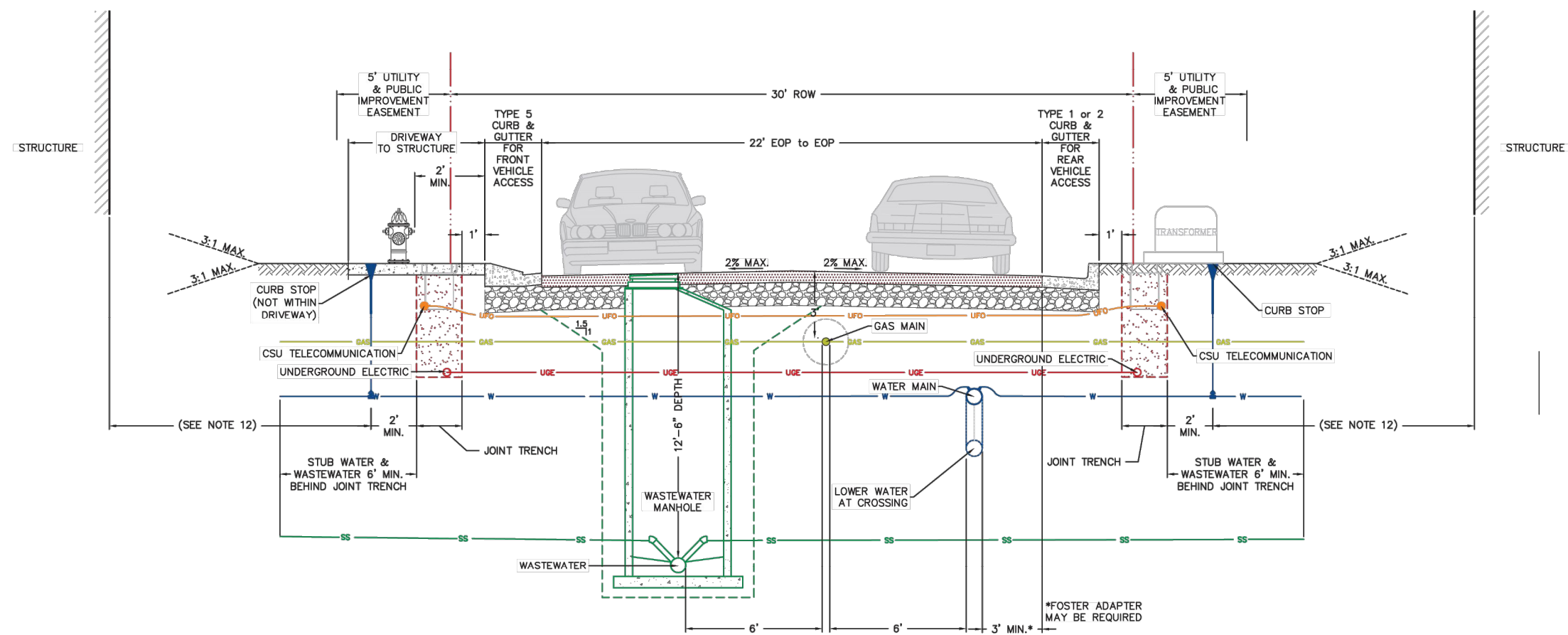
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719)785-0790
(719)785-0799 (Fax)

CREEKRDIGE AT FLYING HORSE FILING NO. 1 DEVELOPMENT PLAN PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN			
DESIGNED BY	JRH	SCALE	DATE 4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 12 OF 24
CHECKED BY		(V) 1"= N/A	JOB NO. 1171.78

FOR CITY USE:

CITY FILE NUMBER
DEPN-26-0063



NOTES:

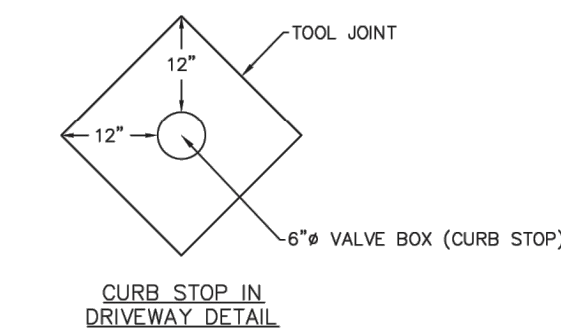
- THIS CROSS SECTION MAY ONLY BE USED IF THE FOLLOWING REQUIREMENTS ARE MET:
- PAVEMENT SECTION SHALL BE PER APPROVED PAVEMENT DESIGN REPORT.
- COLORADO SPRINGS FIRE DEPARTMENT MUST APPROVE TURN-AROUND PROVIDED (E.G. TURN AROUND, TURNING RADI AND CUL-DE-SAC).
- ON-STREET PARKING IS NOT PERMITTED. ACCOMMODATIONS MUST BE PROVIDED FOR VISITOR PARKING.
- STREET LIGHTS ARE NOT PERMITTED.
- STORMWATER INFRASTRUCTURE IS NOT PERMITTED IN THE RIGHT-OF-WAY. FINAL DRAINAGE REPORT IS REQUIRED WHEN STREET SECTIONS ARE DETERMINED.
- MANHOLE LIDS SHALL BE CENTERED IN THE LANE, WHEN IN A TRAVEL LANE.
- ALL VALVES AND MANHOLES SHALL BE FLUSH TO FINISHED ASPHALT SURFACE. WATER STOP BOXES SHALL NOT BE IN THE ROADWAY.
- CURB STOP LOCATED WITHIN THE DRIVEWAY SHALL BE APPROVED BY CSJ. VALVE COVER SHALL BE TRAFFIC RATED AND INSTALLED PER DETAIL (SEE RIGHT).
- CURB STOP MUST HAVE A MINIMUM OF 8-FOOT HORIZONTAL SEPARATION FROM STRUCTURE RECEIVING SERVICE. IF THE 8-FOOT SEPARATION CAN NOT BE MET, A 6-FOOT MINIMUM IS ALLOWED IF THE STRUCTURE HAS A MINIMUM 3-FOOT BELOW FINISHED GRADE FOUNDATION WALL.
- TREES ARE NOT PERMITTED IN STREET SECTION. AN ALTERNATE LOCATION SHALL BE PROVIDED FOR THE LANDSCAPE MANUAL AND PLANNING APPROVAL.
- SIDEWALK IS NOT PERMITTED. AN ALTERNATE PEDESTRIAN ACCESS ROUTE (P.A.R.) SHALL BE PROVIDED, AND APPROVED BY THE CITY ENGINEER.
- VAULTS, PEDESTALS, FLOWER POTS, ETC. SHALL NOT BE WITHIN THE SIGHT DISTANCE OF A CORNER. REFER TO THE "NO DRY UTILITIES" DETAIL.

HIGH DENSITY SINGLE-FAMILY
RESIDENTIAL CROSS SECTION



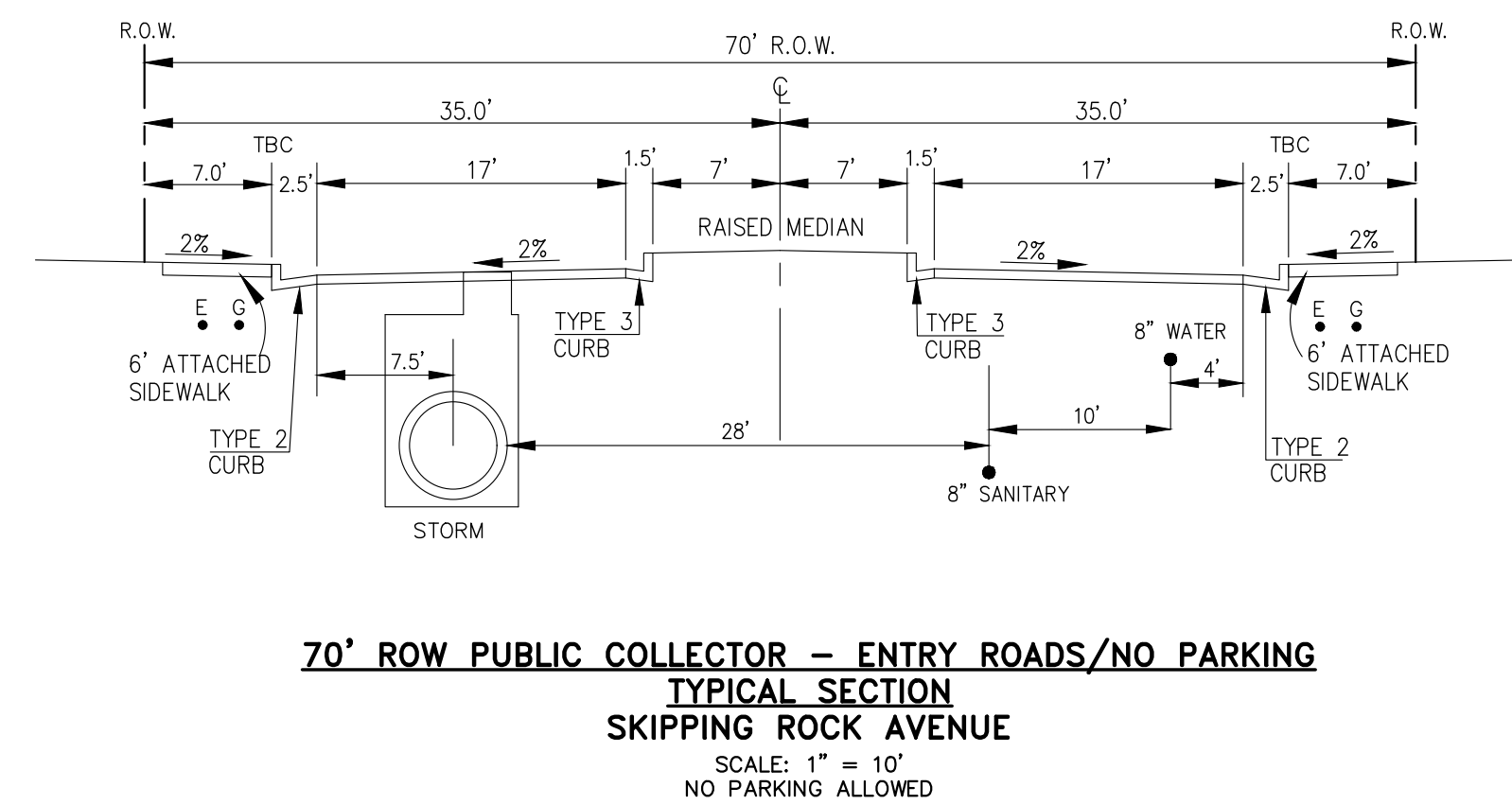
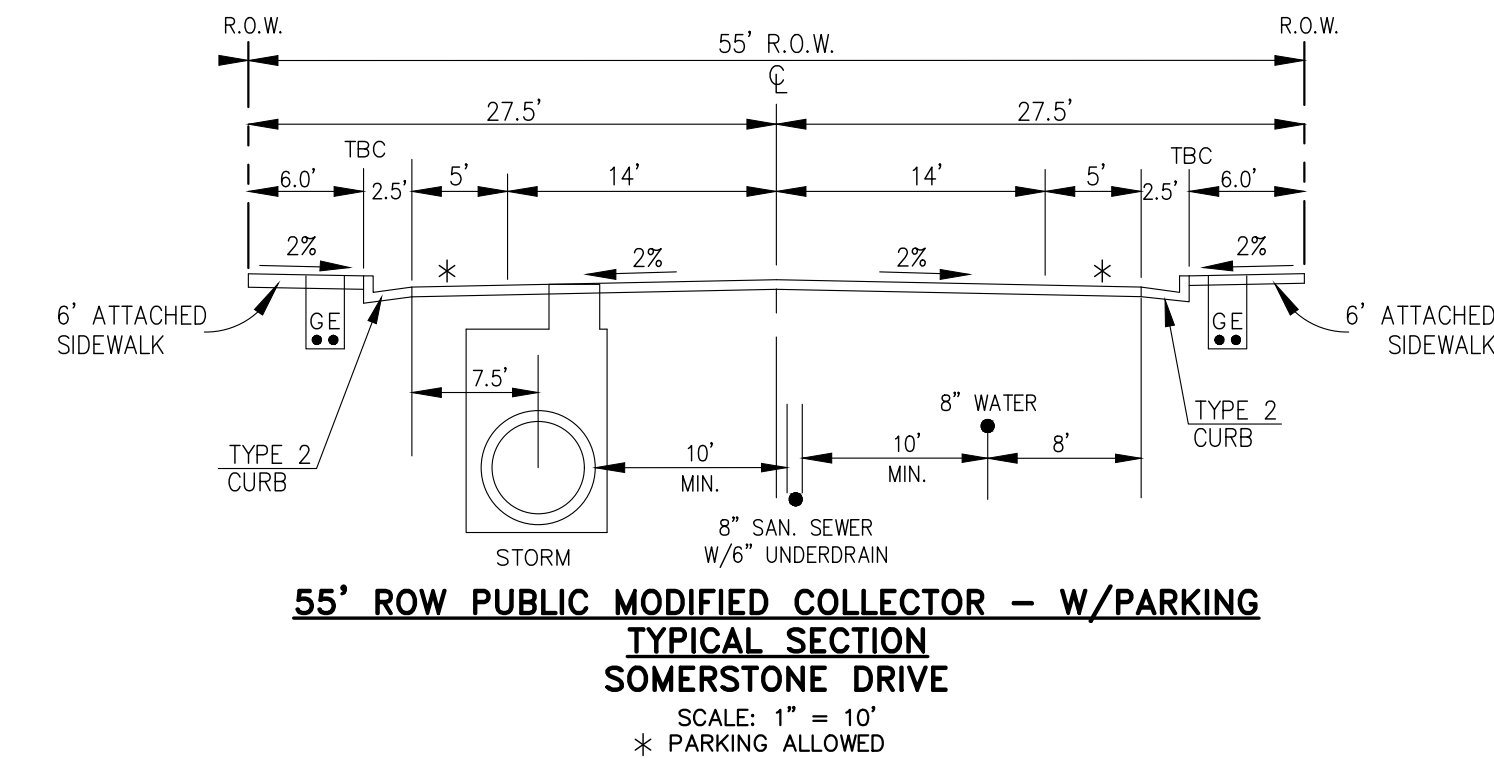
APPROVED:
CITY ENGINEER
ISSUED: 10/22/25
REVISED:
DRAWING NO. 1L

UTILITY LAYOUT IS INFORMATIONAL ONLY. DESIGN ENGINEER IS RESPONSIBLE FOR REFERRING TO COLORADO SPRINGS UTILITIES LINE EXTENSION STANDARDS AND OTHER SERVICE STANDARDS.



LINE LEGEND*		MIN. DEPTH TO TOP OF PIPE
UTILITY	SYMBOL	
TELECOMMUNICATIONS	UFG	24" IN STREET 18" IN DRIVEWAY
GAS	UGS	30"
UNDERGROUND ELECTRIC	USE	36" ONE DIAMETER 44"
WATER	W	60"
WASTEWATER	WE	60"
STORM SEWER/STRUCTURES	STW	12"

*INFORMATIONAL ONLY. REFER TO CITY CODE AND CSJ LINE EXTENSION SERVICE STANDARDS.



SWENT NOTES:

- PROPOSED STORM SEWER INLETS, MANHOLES, AND PIPES ARE ALL PUBLIC UNLESS OTHERWISE INDICATED.
- ALL STORM SEWER PIPE MATERIALS TO BE RCP AS ALLOWED BY THE CURRENT CITY OF COLORADO SPRINGS DCM.
- ALL MANHOLES ARE TYPE I OR TYPE II AS ALLOWED BY THE CURRENT COLORADO SPRINGS DCM.
- ALL INLETS TO BE TYPE 2 STANDARD DETAIL AS ALLOWED BY CURRENT COLORADO SPRINGS DCM.
- ALL STORM SEWER BENDS SHOWN ARE PREFABRICATED 11.25', 22.50', OR 45° CONCRETE BENDS.
- ALL CURBS ARE CITY STANDARD TYPE 2 (6" VERTICAL), TYPE 5 (6" RAMP) AS INDICATED PER PLAN.
- ALL PED. RAMPS AND CROSSPANS ARE PER CITY STANDARD DETAILS.

TREES SHALL MAINTAIN A 15-FOOT SEPARATION FROM WATER AND WASTEWATER MAINS AND SERVICES AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

FOR CITY USE:

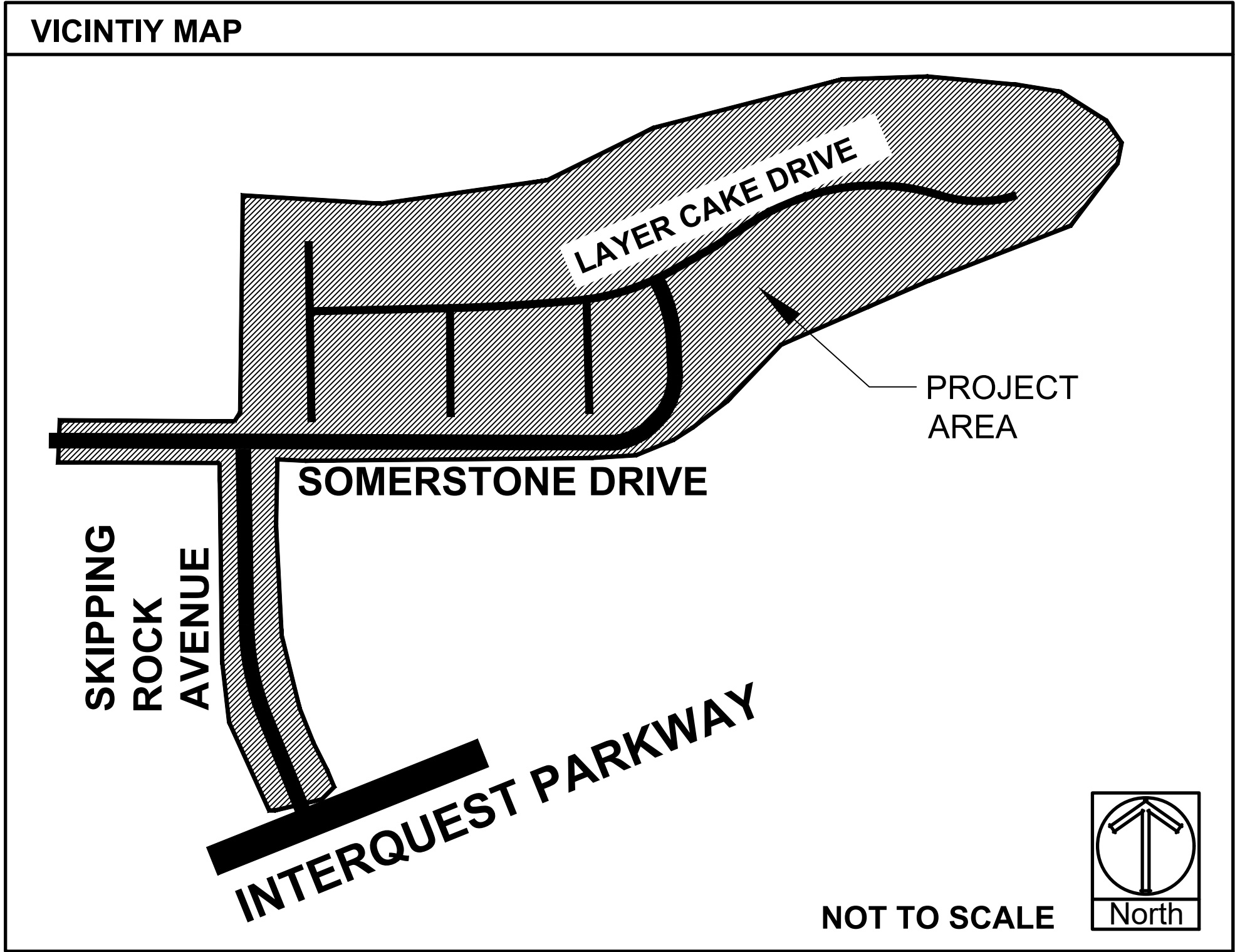
CITY FILE NUMBER
DEPN-26-0063



CREEKDRIDGE AT FLYING HORSE
FILING NO. 1
DEVELOPMENT PLAN
STREET SECTIONS

DESIGNED BY	JRH	SCALE	DATE	4/29/26
DRAWN BY	JRH	(H) 1"= 40'	SHEET 14	OF 24
CHECKED BY		(V) 1"= N/A	JOB NO.	1171.78

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)



PROJECT SITE DATA

ZONING: PDZ-UV (SINGLE FAMILY RESIDENTIAL)
PROPERTY AREA: 857,537 SF
PARKING SPOTS: 63
CLIMATE ZONE: Foothills and Plains
PLANT COMMUNITIES: Foothill shrubland, lower elevation riparian, pinyon-juniper woods, ponderosa pine forest, prairie, upper elevation riparian

Tree and streetscape note:

ALL PROPOSED STREET TREES AND LANDSCAPING LOCATED WITHIN THE ROW INCLUDING ROUNDABOUTS AND MEDIANS TO BE MAINTAINED BY RENAISSANCE AT FLYING HORSE METROPOLITAN DISTRICT.

IRRIGATION SYSTEM DESCRIPTION

The irrigation system to be an underground system with a spray or rotor system for turf or seeded areas. Shrub areas to be surface drip irrigated to irrigate all plant material. Irrigation system to be drainable for winter freeze protection. Irrigation to run off of a programmable irrigation controller.

SITE CATEGORY CALCULATIONS					
LANDSCAPE SETBACKS (LS)					
Street Name / Boundary	Street Classification	Width (ft.) Req. / Prov.	Linear Footage	Tree Req. / Ft.	Tree Req. / Prov.
Somerstone Street	Non Arterial Street	10' / 10'	934'	1/30'	32 / 23
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov.	Req./Pro	
90 / 90	0 / 0	LS	75% / 75%		
Motor Vehicle (MV)					
Number of Parking Spots	Shade Trees (1/15 Spaces) Req. / Prov.	Vehicle Lot Frontage	Linear Footage	2/3 Length Frontage	
63	4.2 / 5	Full interior spots	NA	NA	
Compact Lot Landscaping (IL)					
Gross Site Area (SF)	Percent Min. Internal Area Req. 10% (7.5% with park reduction)	Internal Area	Internal Trees (1/500 SF) Req. / Prov.		
857,537 SF (VERIFY)		64,315 / 160,404	128 / 101	Note: 61 trees (one tree per each home	
lot are shown on the lot typicals plan on sheet L-9. An additional 40 trees are shown on the landscape plans on sheets L-1 through L-4. Shrub and ornamental grasses are substituted for the remainder of trees required (see below).					
Shrub Substitutions Req. / Prov.	Ornamental grass Req. / Prov.	Setback Abbr.	Percent Ground Plane Cov.	Req./Prov.	
270 / 270	0 / 0	IL	75%/75%		
Green space required (Yes/No)	Active green space 5% / SF Required / Provided	Non-active green space 5% / SF req / Provided			
Yes	3,216 SF / 26,680	3,216 SF / 186,199 SF			
*A COMMUNITY PARK IS LOCATED WITHIN 660' OF 49.2% OF THE HOMES (30 OF 61 HOMES) THESE HOMES ARE ACCESSIBLE BY WALKWAYS. SO THIS COMMUNITY QUALIFIES FOR A 25% REDUCTION IN ACTIVE GREEN SPACE. (Per section 7.4.909 B).					

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES	
1.	The following landscape notes shall be provided on all Preliminary and Final Landscape plans and be listed in a section called "Standard City of Colorado Springs Landscape Notes".
•	"A Final Landscape and Irrigation Plan, with applicable supporting material, shall be submitted at time of Building Permit application and shall be approved before any Building Permit approval, any landscape or irrigation construction, and issuance of a Certificate of Occupancy."
•	"All proposed landscaping shall be watered by an automatic irrigation system which will provide drip irrigation to all shrub beds and trees within native seed areas and spray irrigation to all high-water use turf and native seed areas."
•	"The Owner or Developer is required to provide inspection affidavits executed by the Colorado Licensed Landscape Architect or Certified Irrigation Designer of record for the project, which certifies that the project was installed and in compliance with the approved Final Landscape and Irrigation Plan on file in City Planning. This should require limited construction observation visits to accurately complete the affidavits. When ready to call for inspection and submit affidavits, first contact the city planner of record for the project (719-385-5905) and as necessary our DRE office (719-385-5982)."
•	"Copies of receipts/delivery tickets for soil amendments installed on the project are required to be provided with the inspection affidavits."
•	"If soil in the parking lot has been compacted by grading operations, the soil within the planter shall be tilled, or removed to a depth of thirty (30) inches and replaced with an acceptable growing medium for the species being installed."
•	"Tilling of the existing soil to incorporate amendments and counter any compaction or soil consolidation shall be required for all landscape planting areas."
•	"Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per city engineering standard drawings and specifications. engineering development review division inspector will have the final authority on accepting the public improvements." (Note this note is only for urban downtown projects within the city)

PLANTING LEGEND			Water Use:		Code Requirements:			
			Xeric - Water twice per month or less, once established. Low - Water about once per week, once established. Medium - Water about twice per week, once established. High - Water three days per week, or more, rights-of-way.		SCREEN - Indicates if this tree or shrub is approved to be used to meet screening requirements. WALL/TRASH - Indicates if this tree or shrub is approved to be used to meet screening requirements for trash. ROW/MEDIAN - Indicates if this tree or shrub is approved by City Forestry/Planning for planting in public street rights-of-way. STREAM - Indicates if this tree is allowed to be planted within City Streamside areas. RESTRICTED - Indicates that this tree or shrub can only be planted in certain areas within the City.			
ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	NURSERY SIZE	ZONE	SIZE (H / W / GROWTH RATE)	WATER USE	CODE REQ.
DECIDUOUS TREES								
ABM	9	Acer x freemanii 'Autumn Blaze'	Maple, Autumn Blaze	2"	Z=5	50-60' / 30-40' MOD/FAST	MED	PARK / ROW *
ACT	10	Acer tataricum	Maple tatarian	2"	Z=5	15-20' / 15-20' SLOW-MOD	LOW-MED	ROW / MEDIAN *
ANM	18	Acer platanoides	Maple, Norway	2"	Z=4	30-45' / 25-30' MODERATE	MED	PARK / ROW *
CCH	9	Crataegus crus-galli 'Inermis'	Hawthorn, Cockspur (Thornless)	2"	Z=4, 20-30' / 20-30'	SLOW	LOW-MED	ROW - MEDIAN *
GSH	5	Gleditsia triacanthos 'Skyline'	Honeylocust, Skyline	2"	Z=4, 30-60' / 30-30'	MODERATE	LOW-MED	PARK / ROW / MEDIAN *
MSS	15	Malus 'Spring Snow'	Crabapple, Spring Snow	2"	Z=4, 20-25' / 15-20'	MODERATE	MED	ROW / MEDIAN / STREAM *
TAL	6	Tilia americana	Linden- American	2"	Z=4, 30-50' / 15-20'	MODERATE	MED	ROW *
EVERGREEN TREES								
PIE	11	Pinus edulis	Pine, Pinyon	6'	Z=3, 10-25' / 10-25'	SLOW	LOW	SCREEN / WALL / TRASH *
PIP	2	Picea pungens	Spruce, Colorado Blue	6'	Z=3, 50-60' / 20-30'	SLOW	MED	SCREEN / WALL / TRASH *
PON	24	Pinus ponderosa	Pine, Ponderosa	6'	Z=3 50-60' / 20-30'	MODERATE	LOW	WALL / SCREEN *
DECIDUOUS SHRUBS								
BRG	64	Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal	Z=4, 4-5' 3-4'	SLOW	MED *	
CMM	40	Cercocarpus montanus	Mahogany, Mountain	5 Gal	Z=4, 6-10' / 4-6'	SLOW	LOW	WALL / TRASH / SCREEN *
COP	61	Contoneaster acutifolia	Contoneaster, peking	5 Gal	Z=4, 6-8' / 6-8'	MODERATE	LOW	WALL / SCREEN / TRASH *
EBB	14	Euonymus alatus	Burning Bush	5 Gal	Z=2, 5-6' / 5-6'	MODERATE	MED-HIGH	SCREEN
PDG	29	Physocarpus opulifolius 'Darts Gold'	Ninebark, Darts gold	5 Gal	Z=2, 3-4' / 3-4'	MODERATE	LOW - MED	
PLD	30	Physocarpus opulifolius 'Little Devil'	Ninebark, Little Devil	5 Gal	Z=2, 4-6' / 4-6'	MODERATE	LOW / MED	SCREEN *
RAC	13	Ribes alpinum	Alpine Currant	5 Gal	Z=2, 3-6' / 3-6'	MODERATE	LOW *	
RGL	59	Rhus aromatica 'Gro-low'	Sumac, Gro-Low	5 Gal	Z=3, 2-5' / 16-8'	MODERATE	XERIC *	
RYF	17	Ribes aureum	Currant, Yellow Flowering	5 Gal	Z=2, 2-5' / 6-8'	MODERATE	XERIC *	
SMK	23	Syringa meyeri patula 'Miss Kim'	Lilac, Miss Kim	5 Gal	Z=3, 4-6' / 4-6'	MODERATE	LOW	SCREEN *
SPF	20	Spiraea x bumalda 'Froebel'	Spirea, Froebel	5 Gal	Z=4, 3-4' / 3-4'	MODERATE	MED *	
SPG	28	Spiraea x bumalda 'Goldmound'	Spirea, Goldmound	5 Gal	Z=4, 2-5' / 11-2'	MODERATE	MED *	
VKS	9	Viburnum carlesii	Viburnum, Korean Spice	5 Gal	Z=4-5, 4-6' / 4-5'	MODERATE	LOW	SCREEN *
EVERGREEN SHRUBS								
JBC	14	Juniperus horizontalis	Juniper, Blue Chip	5 Gal	Z=3 6'-10' / 5-6'	MODERATE	LOW *	
JBJ	79	Juniperus Sabina	Juniper, Buffalo	5 Gal	Z=3 12'-18' / 6-8'	MODERATE	LOW *	
PGS	22	Picea pungens 'Glaucia globosa'	Spuce, Globe Blue	5 Gal	Z=2, 3-5' / 5-6'	SLOW	MED *	
ORNAMENTAL GRASSES								
CAA	116	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	3 Gal	Z=3 3'-4' / 1'-2'	MODERATE	MED	SCREEN *
PSR	79	Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	3 Gal	Z=5 3'-5' / 1'-2'	MODERATE	LOW *	
PERENNIALS								
GAM	99	Gaillardia aristata 'Monarch Mix'	Blanket Flower 'Monarch Mix'	1 Gal	Z=3			
HCO	41	Hemerocallis 'Stella d'oro'	Daylily, Stella d'oro	1 Gal	Z=3			

*86% of plant species listed are from the current selected plants for Colorado Springs

GROUNDCOVER LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	STEEL EDGING (note use perforated edging if adjacent to areas that need to drain)	1,436 LF
	3/4" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC	2,840 SF
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC	44,629 SF
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC	7,714 SF
	GRAY ROSE ROCK 5-12" 3" IN DEPTH WITH WEED FABRIC	1,872 SF
	2-4" GRAY ROSE ROCK 3" IN DEPTH WITH WEED FABRIC	12,766 SF
	CASCADE MULCH PLANT RINGS, 3" IN DEPTH WITH NO WEED FABRIC -HATCH NOT SHOWN.	TBD SF
	DECORATIVE BOULDER	72 TOTAL
	KENTUCKY BLUEGRASS SOD (12.4% OF LANDSCAPE AREA)	26,680 SF
	IRRIGATED NATIVE SEED EL PASO COUNTY CONVERSATION DISTRICT ALL-PURPOSE MIX (PROVIDE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER SEE NOTES).	119,235 SF
	TRASH RECEPTACLE, PER DETAIL "B" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	DOGI-POT PET STATION (TYPE AND MODEL TBD / PER DEVELOPER)	7 TOTAL
	BENCH, PER DETAIL "A" ON SHEET L-8 (TYPE AND MODEL TBD / PER DEVELOPER)	13 TOTAL

DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	TITLE SHEET
SHEET #	L-TS 15 of 24

CALLOUT KEY

- PLANT ABBREVIATION
- SITE CATEGORY ABBREVIATION
- TREE CALLOUT
- SHRUB & ORN. GRASS CALLOUT
- PERENNIAL CALLOUT
- PLANT QUANTITY

PLANT SYMBOL KEY

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS

PLANT AND TREE WARRANTY NOTE

ALL STOCK IS WARRANTED TO BE TRUE TO NAME. IF ANY STOCK PROVES TO BE OTHERWISE, SELLER WILL NOT BE LIABLE FOR ANY AMOUNT GREATER THAN ORIGINAL PURCHASE PRICE. THIS WARRANTY IS MADE EXPRESSLY IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESSED OR FIT FOR ANY PARTICULAR PURPOSE EXCEPT EXPRESSLY PROVIDED FOR. LIABILITY OF SELLER IS LIMITED TO REPLACEMENT OF ANY GOODS WHICH DO NOT CONFIRM TO WARRANTIES.

WINTER WATERING IS TO BE DONE AFTER MOISTURE CHECKS HAVE BEEN COMPLETED OF ALL PLANTS AND TREES. WARRANTY DOES NOT COVER PLANTS AND TREES DUE TO LACK OF WATER.

WARRANTY IS GOOD FOR ONE GROWING SEASON (APPROXIMATELY SIX MONTHS). PLANTS PURCHASED AFTER JULY 1ST ARE WARRANTED UNTIL MAY 1ST. PLANTS PURCHASED JANUARY 1ST THROUGH JULY 2ND ARE WARRANTED UNTIL NOVEMBER 30TH. SOME PLANTS CARRY NO WARRANTY. (TURF INCLUDED) SUCH AS ANNUALS, PERENNIALS, ROSES, ARBORVITAE, AND A FEW OTHER VARIETIES. INSTALLATION IS NOT COVERED UNDER WARRANTY.

ALL NON-IRRIGATED SEED CARRIES NO WARRANTY.

EXISTING SOILS / SOIL ANALYSIS

SOIL AS CLASSIFIED BY USDA WEB SITE IS AS FOLLOWS: PRING COARSE SANDY LOAM & STAPLETON SANDY LOAM.

UTILITY NOTE

CALL 1-800-922-1987 FOR UTILITY LOCATIONS TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. KEEP TREES 10' FROM GAS MAINS & 15' FROM SEWER AND WATER MAIN LINES. KEEP TREES 6' MINIMUM DISTANCE FROM ANY OTHER UTILITIES. RESOLVE ANY TREE / UTILITY CONFLICTS SHOWN ON PLANS IN THE FIELD. CONTACT LANDSCAPE ARCHITECT FOR RECOMMENDATIONS IF NEEDED.

PROVIDE CLEARANCE OF ALL PLANT MATERIALS AT ELECTRIC VAULTS AND TRANSFORMERS (REFER TO COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWING 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS).

KEEP ALL SHRUBS 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

SITE CONDITIONS NOTE

THE LANDSCAPE IS SUBJECT TO CHANGE BASED ON SITE GRADING, DRAINAGE, CONFIGURATION, AND SIZE. ANY ADJUSTMENTS WILL BE MADE DURING LANDSCAPE CONSTRUCTION. PLANT MATERIAL SYMBOLS ARE SHOWN AT MATURE WIDTH.

DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock

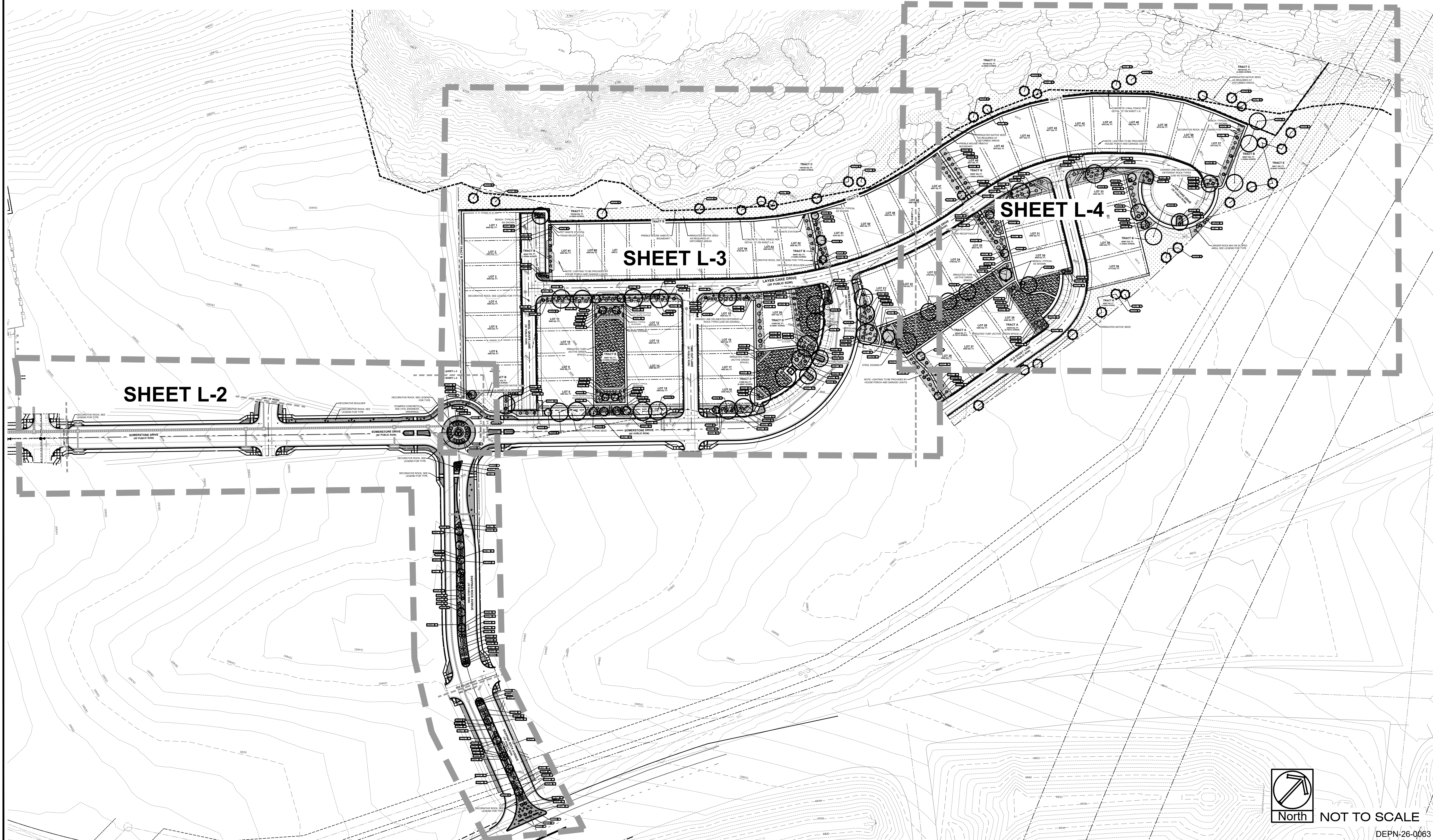


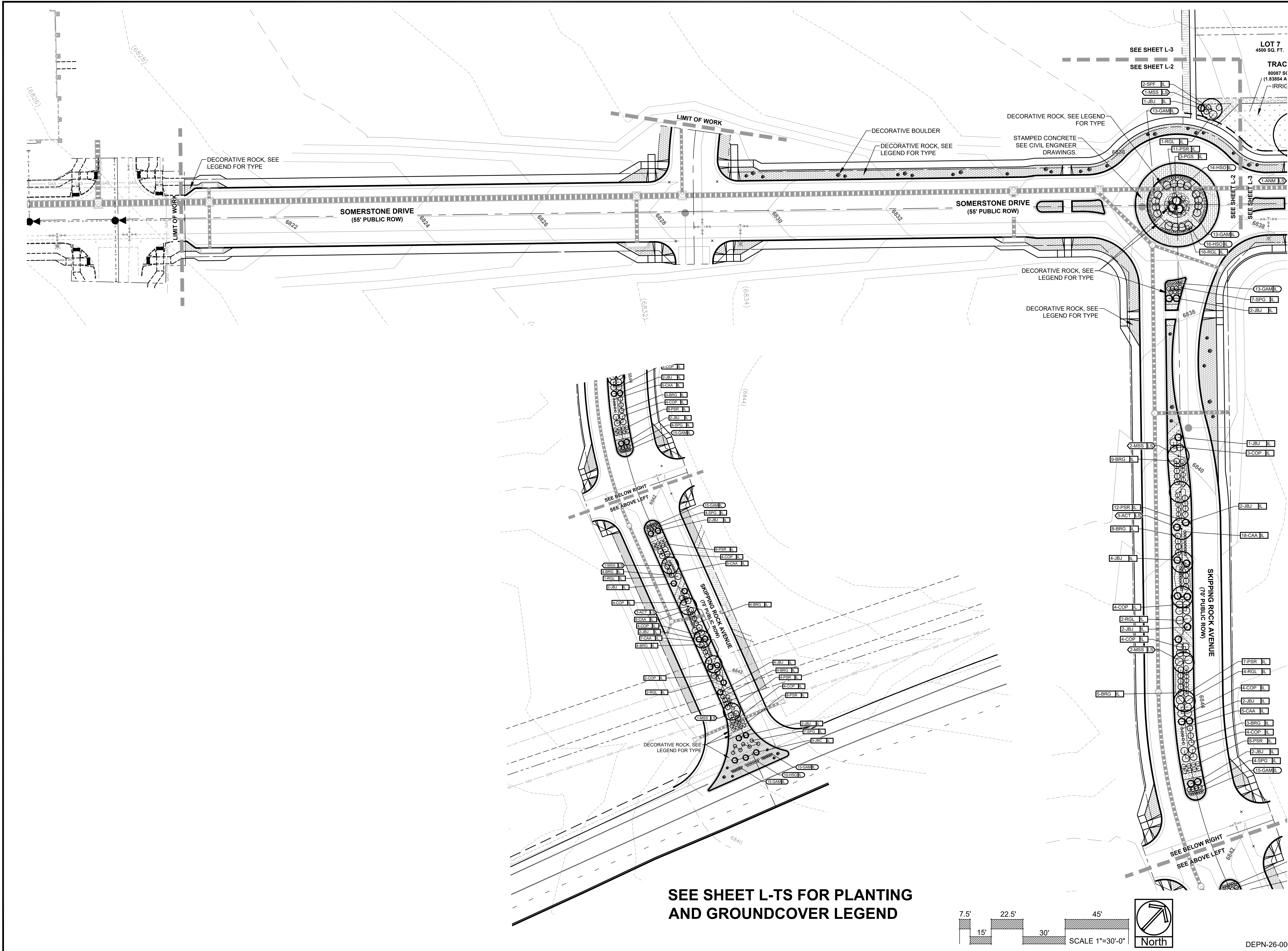
RENAISSANCE AT CREEKRIDGE FLYING HORSE

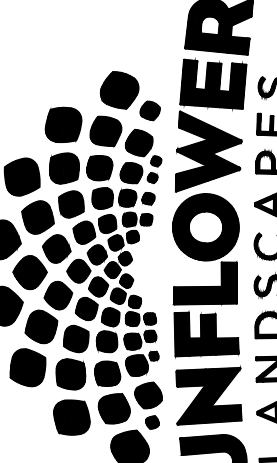
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	FINAL LANDSCAPE PLAN -OVERALL
SHEET #	L-1 16 of 24

© 2023 BY SUNFLOWER LANDSCAPES • ALL RIGHTS RESERVED







SUNFLOWER
LANDSCAPES

LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1022 AEROPOLAZA DRIVE
COLORADO 80916
719-637-0313

DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1

SOMERSTONE STREET

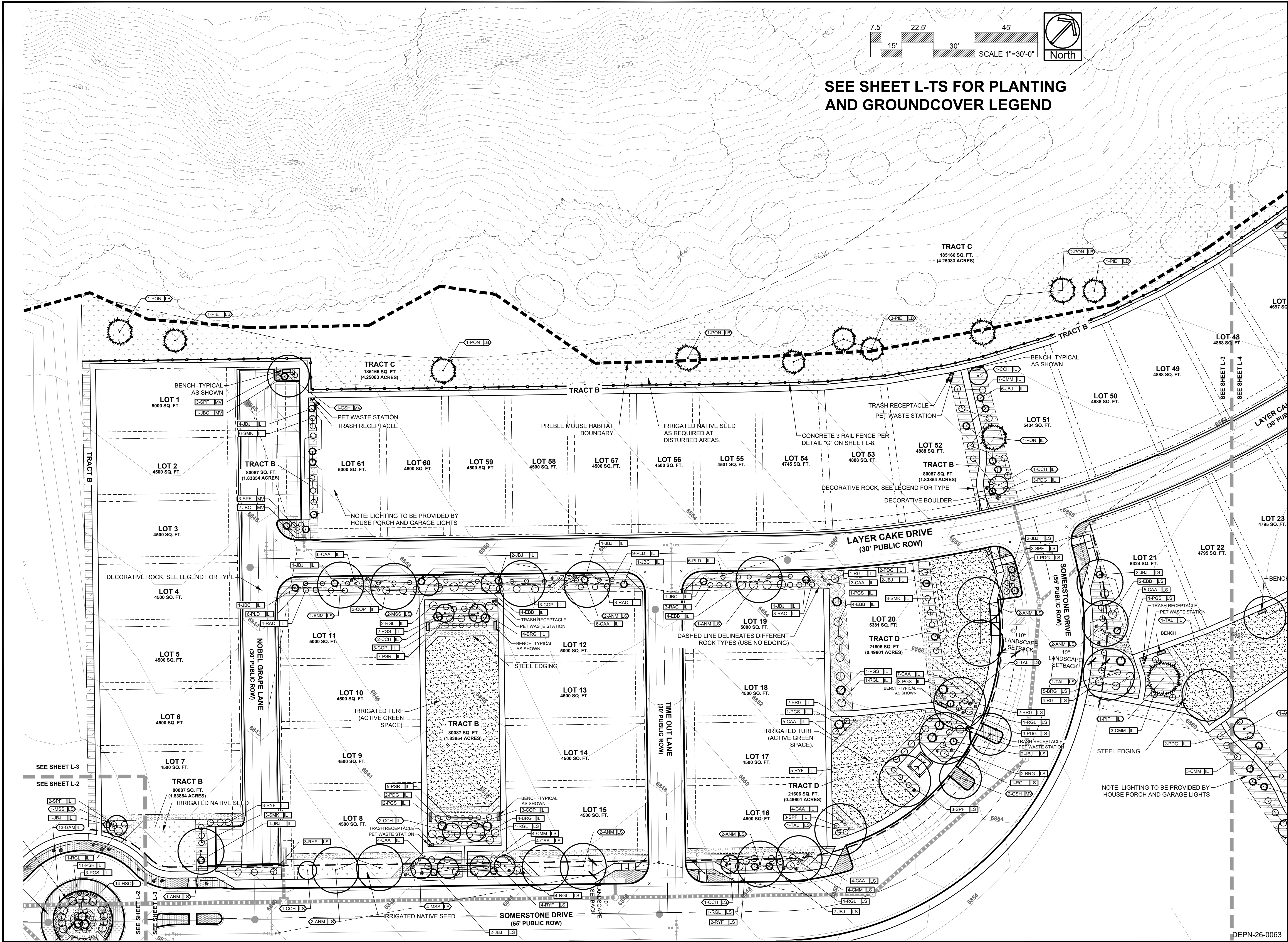
JOB NUMBER
2787-0326

DATE
5/5/2026

DRAWN BY
MB

DRAWING DESCRIPTION
FINAL
LANDSCAPE PLAN

SHEET #
L-2 17 of 24



SEE SHEET L-TS FOR PLANTING
AND GROUNDCOVER LEGEND



SUNFLOWER
LANDSCAPES
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION
1022 AEROPOLIS DRIVE
COLORADO 80916
719-637-0313

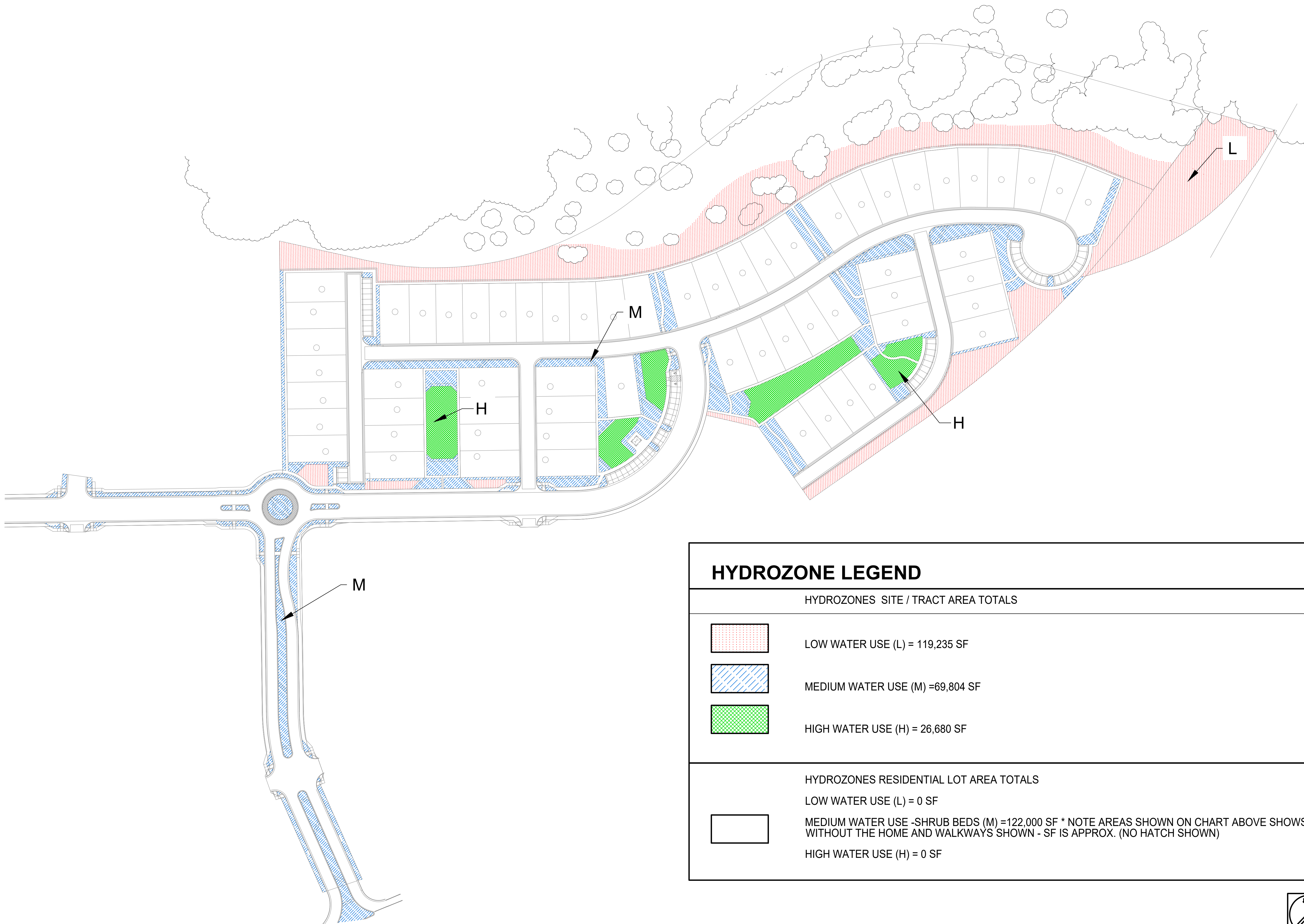
DATE	REVISION DESCRIPTION
6/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

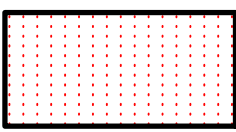
JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	FINAL LANDSCAPE PLAN
SHEET #	L-3 18 of 24

DEPN-26-0063

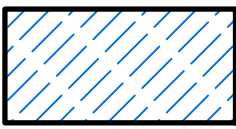


HYDROZONE LEGEND

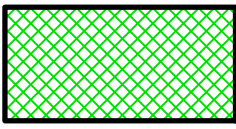
HYDROZONES SITE / TRACT AREA TOTALS



LOW WATER USE (L) = 119,235 SF



MEDIUM WATER USE (M) =69,804 SF



HIGH WATER USE (H) = 26,680 SF

HYDROZONES RESIDENTIAL LOT AREA TOTALS

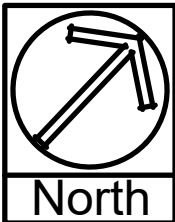


LOW WATER USE (L) = 0 SF

MEDIUM WATER USE -SHRUB BEDS (M) =122,000 SF * NOTE AREAS SHOWN ON CHART ABOVE SHOWS WHOLE LOT, WITHOUT THE HOME AND WALKWAYS SHOWN - SF IS APPROX. (NO HATCH SHOWN)

HIGH WATER USE (H) = 0 SF

SCALE 1"=80'-0"



DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



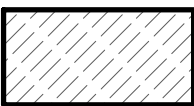
RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	LANDSCAPE HYDROZONE PLAN
SHEET #	L-5 20 of 24

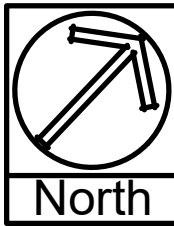


ACTIVE GREEN SPACE

NON-ACTIVE GREEN SPACE

GREEN SPACE DIAGRAM		
SYMBOL	DESCRIPTION	APPROX. QUANTITY
	ACTIVE GREEN SPACE	26,680 SF
	NON-ACTIVE GREEN SPACE (ALL OTHER AREAS WITH NO / HATCH OR COLOR)	186,199 SF

SCALE 1"=80'-0"



DEPN-26-0063



SUNFLOWER
LANDSCAPES

LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN
RESIDENTIAL & COMMERCIAL LANDSCAPE INSTALLATION

1922 AEROPOLAZA DRIVE
COLORADO SPRING, CO 80916
719-637-0313

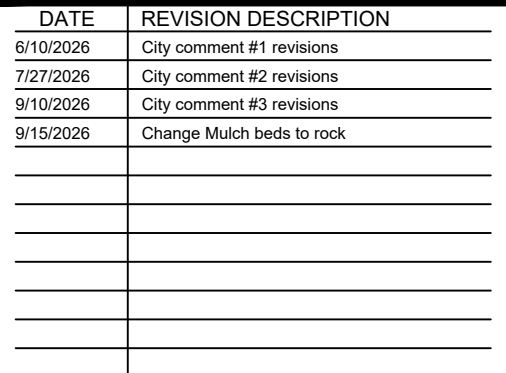
DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER	2787-0326
DATE	5/5/2026
DRAWN BY	MB
DRAWING DESCRIPTION	LANDSCAPE ACTIVE GREENSPACE PLAN
SHEET #	L-6 21 of 24

© 2023 BY SUNFLOWER LANDSCAPES•ALL RIGHTS RESERVED



JOB NUMBER	
2787-0326	
DATE 5/5/2026	
DRAWN BY MB	
DRAWING DESCRIPTION	
PLANTING DETAILS & NOTES	
SHEET #	
L-7 22 of 24	
© 2023 BY SUNFLOWER LANDSCAPES • ALL RIGHTS RESERVED	

AGRICULTURAL
EXPERIMENT STATION
COLORADO STATE UNIVERSITY

CSU SPUR
COLORADO STATE UNIVERSITY

SOIL
WATER &
PLANT
NAILING LABORATORY

Soil/Fertilizer Landscapes
Soil/Fertilizer Landscapes
7823 Mohrway Road
Colorado Springs, CO 80908

4750 Northern Western Drive
Denver, CO 80239
Tel: (303) 435-1561
Email: soilwaterplant@colostate.edu

Lab ID: 2020033009
Sample ID: 15
Soil Depth (cm): 15

Date Received: 04/02/2020
Date Reported: 05/04/2020

Soil Analysis	Units	Results	Test Rating*						
DTPA									
			Very Low	Low	Medium	Optimum	High	Very High	Recommendation
Zinc (Zn)	ppm	3.2	<0.3	0.3-0.5	0.6-0.8	0.9-1.2	1.3-2.0	>2.0	15/2000 ug/pl
Iron (Fe)	ppm	36.4	<1.0	1.0-2.5	2.6-5.0	5.1-10.0	10.1-30.0	>30.0	15/2000 ug/pl
Manganese (Mn)	ppm	7.4	<0.5	0.5-1.0	1.1-3.0	3.1-6.0	6.1-10.0	>10.0	15/2000 ug/pl
Copper (Cu)	ppm	0.2	<0.1	0.1-0.2	0.3-0.4	0.5-0.8	0.9-1.5	>1.5	15/2000 ug/pl
Hot Water Extraction									
			Very Low	Low	Medium	Optimum	High	Very High	Recommendation
Boron (B)	ppm		<0.2	0.2-0.5	0.6-0.8	0.9-1.5	1.6-2.5	>2.5	15/2000 ug/pl
Calcium Nitrate									
Chloride (Cl)	ppm								
Soil Texture									
% Sand	%								
% Silt	%								
% Clay	%								
Texture by Hydrometer									
Heavy Metals									
Arsenic (As)	ppm								
Cadmium (Cd)	ppm								
Chromium (Cr)	ppm								
Copper (Cu)	ppm								
Lead (Pb)	ppm								
Molybdenum (Mo)	ppm								
Nickel (Ni)	ppm								
Selenium (Se)	ppm								
Sodium Absorption Ratio									
SAR									

*Test ratings are provided for general crop production. The ratings may be different for individual crops or for specific situations.

Comments: This soil is suitable for turf. Apply 1.7 lb of nitrogen per 1,000 sq. ft. three times during the growing season—once in mid-March to April, again in May to mid-June, and a final application in late September or early October. Apply 1 lb of sulfur per 1,000 sq. ft. at the beginning of the growing season. This schedule requires strong root development, provides healthy green grass, and helps turf recover from seasonal stress. There have been no confirmed deficiencies of zinc, manganese, and copper in Colorado. Turf grasses may not improve if these nutrients are applied.

Comments: This soil is suitable for turf. Apply 1.7 lb of nitrogen per 1,000 sq. ft. three times during the growing season—once in mid March to April, again in May to mid June, and a final application in late September to early October. Apply 1 lb of sulfur per 1,000 sq. ft. at the beginning of the growing season. This schedule supports strong root development, promotes healthy green canopy, and helps turf recover from seasonal stress. There have been no confirmed deficiencies of zinc, manganese, and copper in Colorado. Turf growth may not improve if these nutrients are applied.

This soil is well suited for growing annual and perennial flowers and trees. To support healthy plant growth throughout the season, apply 1.7 lb of nitrogen per 1,000 sq. ft. three times during the growing season: once early, once mid season, and once later in the summer. This helps ensure the tree receives a steady supply of nitrogen when they need it most. In addition, apply 1 lb of sulfur (S) and 0.05 lb copper (Cu) per 1,000 sq. ft. at planting or at the beginning of the growing season. This small amount will help correct the low nutrient levels indicated in your soil test. All other nutrient levels are adequate for trees and flowers, so no further fertilizer applications are needed at this time.

ANY BARE AREAS LARGER THAN A SQUARE FOOT AFTER SEED GERMINATION TO BE SEEDED TO FILL IN SUCH AREAS.

NOTE: FINAL SELECTION OF BENCHES, TRASH RECEPTACLE AND WALLS AND FENCING SUBJECT TO CHANGE BASED ON DELIVERY TIMES, AVAILABILITY & DEVELOPER CHOICE.



DurMor, Inc. Model 139 series pl (Grey Color)

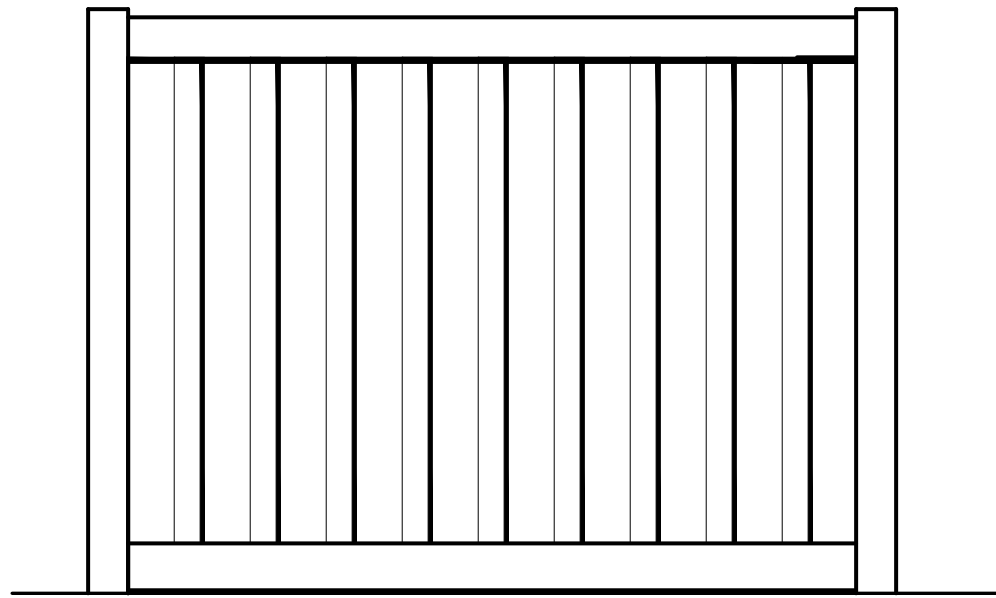
A Bench
NOT TO SCALE



DurMor, Inc. Model 272-32-SO

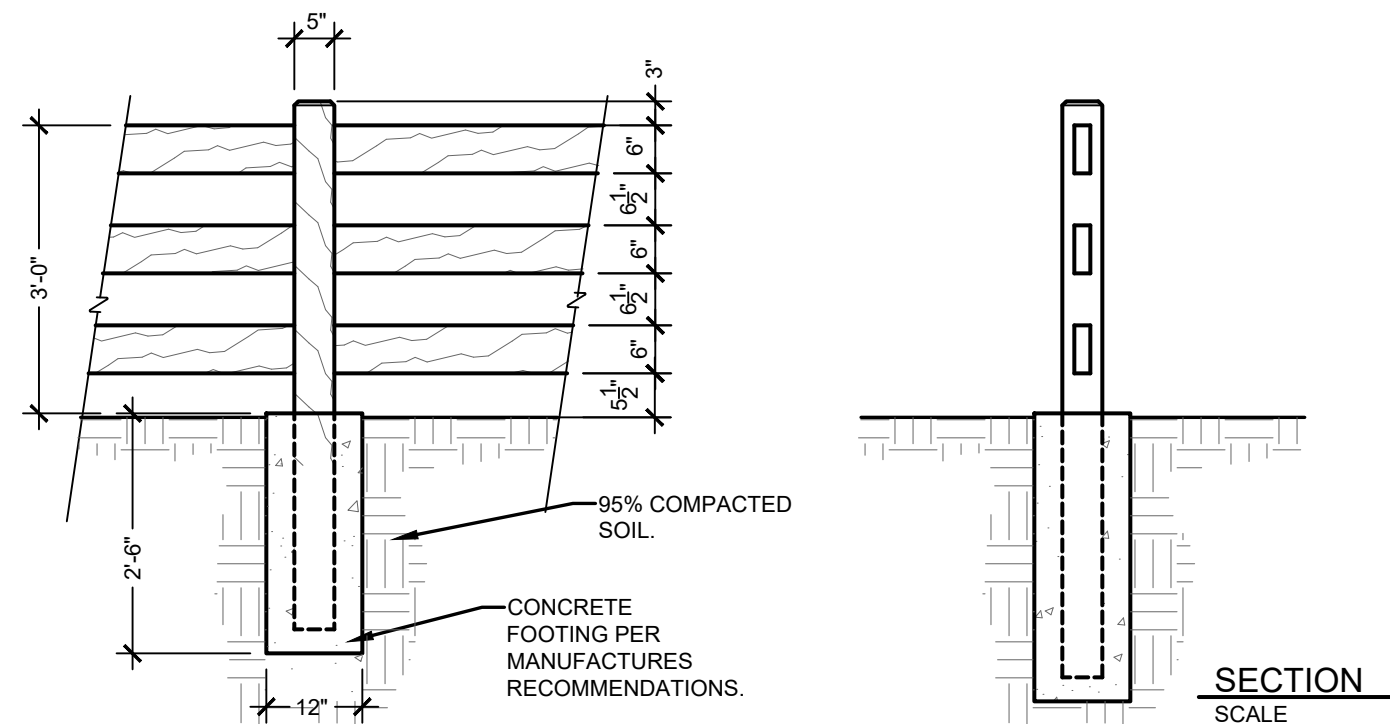
B Trash Receptacle
NOT TO SCALE

- NOTES:
- SEE PLANS FOR LOCATIONS
 - FINAL COLOR, TYPE, AND STYLE TO BE DETERMINED - BY BUILDER
 - SEE SHEET L-9 BUILDING TYPICAL LANDSCAPE PLAN FOR FENCE LOCATIONS.



C 5' HIGH WOOD FENCE

- NOTES:
- SEE PLANS FOR LOCATIONS
 - COLOR NUMBER 338 BUCKSKIN 3% LOADING.
 - INSTALL PER MANUFACTURER RECOMMENDATIONS



G 3' CONCRETE 3 RAIL FENCE

DATE	REVISION DESCRIPTION
8/10/2026	City comment #1 revisions
7/27/2026	City comment #2 revisions
9/10/2026	City comment #3 revisions
9/15/2026	Change Mulch beds to rock



RENAISSANCE AT CREEKRIDGE FLYING HORSE
FILING 1
SOMERSTONE STREET

JOB NUMBER
2787-0326

DATE 5/5/2026

DRAWN BY MIB

DRAWING DESCRIPTION
SITE DETAILS

SHEET #
L-8 23 of 24

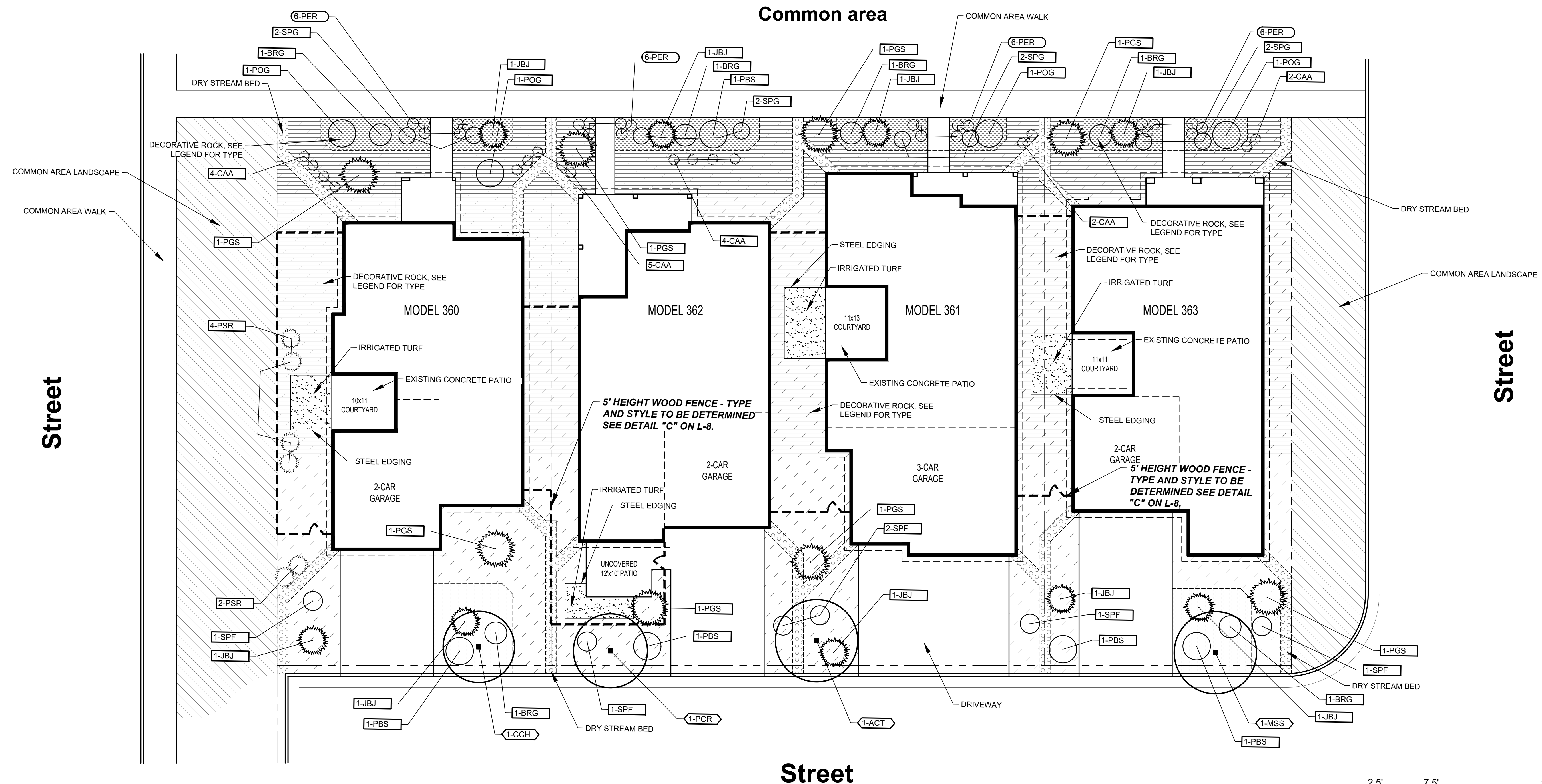
Diagram illustrating various types of plants and trees, categorized by their characteristics:

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS

ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
ACT		Acer tataricum	Maple tatarian	1-1/2"	Z=3, 8.5K,A,S,IG
ACH		Crataegus crus-galli 'Irmis'	Hawthorn, Cockspur (Thornless)	1-1/2" R,D,E,F,Z=4, 8.5K,A,D,S,IG	
MSS		Malus 'Spring Snow'	Crabapple Spring Snow	1-1/2"	F,Z=4, 8.5K,S,S,IG
PCR		Prunus virginiana 'Schubert'	Cherry, Canada Red	1-1/2" R,D,E,F,Z=2, 9.5K,A,S,S,IG	
DECIDUOUS SHRUBS					
BRG		Berberis thunbergii 'Rose Glow'	Barberry, Rosy Glow	5 Gal	R,D,E,Z=4, 7K,A,S,IG
PBS		Prunus Besseyi 'Pawnee Buttes'	Western Sand cherry 'Pawnee Buttes'	5 Gal	F,Z=3, 9.5K,A,S,IG
POC		Potentilla fruticosa 'Gold finger'	Potentilla, Gold finger	5 Gal	R,D,E,F,Z=2, 10K,S,S,IG
SPF		Spiraea x bumalda 'Froebel'	Spiraea, Froebel	5 Gal	R,D,E, 7.5K,A,S,S,IG
SPG		Spiraea x bumalda 'Goldmound'	Spiraea, Goldmound	5 Gal	R,D,E,Z=3, 7.5K,A,S,S,IG
EVERGREEN SHRUBS					
JBJ		Juniperus Sabina	Juniper, Buffalo	5 Gal	R,D,E,Z=3, 8.5K,A,S,IG
PGS		Picea pungens 'Glaucia Globosa'	Spruce, Globe Blue	5 Gal	Z=2, 10K,S,IG
ORNAMENTAL GRASSES					
CAA		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gal	R,D,E,Z=3, 6.5K,A,S,IG
PSR		Panicum virgatum 'Rebraun'	Switch grass 'Rebraun'	1 Gal	R,D,E,Z=5, 7K,D,S,IG
PERENNIALS					
PER		Selected Perennials To Be Determined from this list: Blanket Flower, Coreopsis, Columbine, Gazania, Phlox, Yarrow, Snow-in-summer, Coneflower, Hosta, Lavender, Shasta Daisy, Penstemon, Black eyed Susan, Salvia & Sedum.			1 Gal

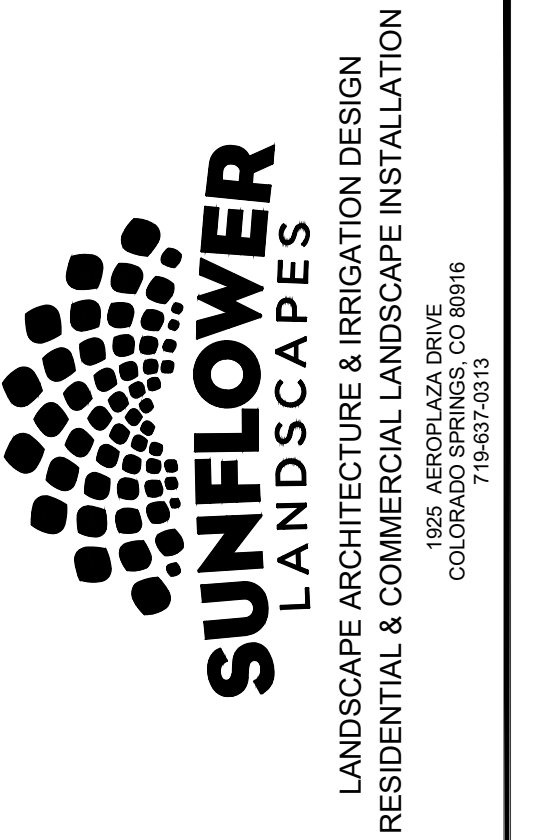
SYMBOL	DESCRIPTION
	1-1/2" ALPINE CREEK 3" IN DEPTH WITH WEED FABRIC
	GRAY ROSE ROCK MIX 2-4" AND 5-12" 3" IN DEPTH WITH WEED FABRIC
	3/4" CLEAR CREEK ROCK 3" IN DEPTH WITH WEED FABRIC
	KENTUCKY BLUEGRASS SOD

"All required Compact Lot trees shall have an automatic irrigation system (drip/sod irrigation/etc.) which provides watering at time of planting."



2.5' 7.5' 15' 5' 10' SCALE 1"=10'-0"

DEPN-26-0063

[illegible]

RENAISSANCE AT CREEKRIDGE FLYING HORSE

FILING 1
SOMERSTONE STREET

JOB NUMBER
2787-0326

DATE 5/5/2026

DRAWN BY MB

DRAWING DESCRIPTION

PRELIMINARY LANDSCAPE PLAN - BUILDING TYPICALS

SHEET # **L-9** 24 of 24
© 2023 BY SUNFLOWER LANDSCAPES • ALL RIGHTS RESERVED