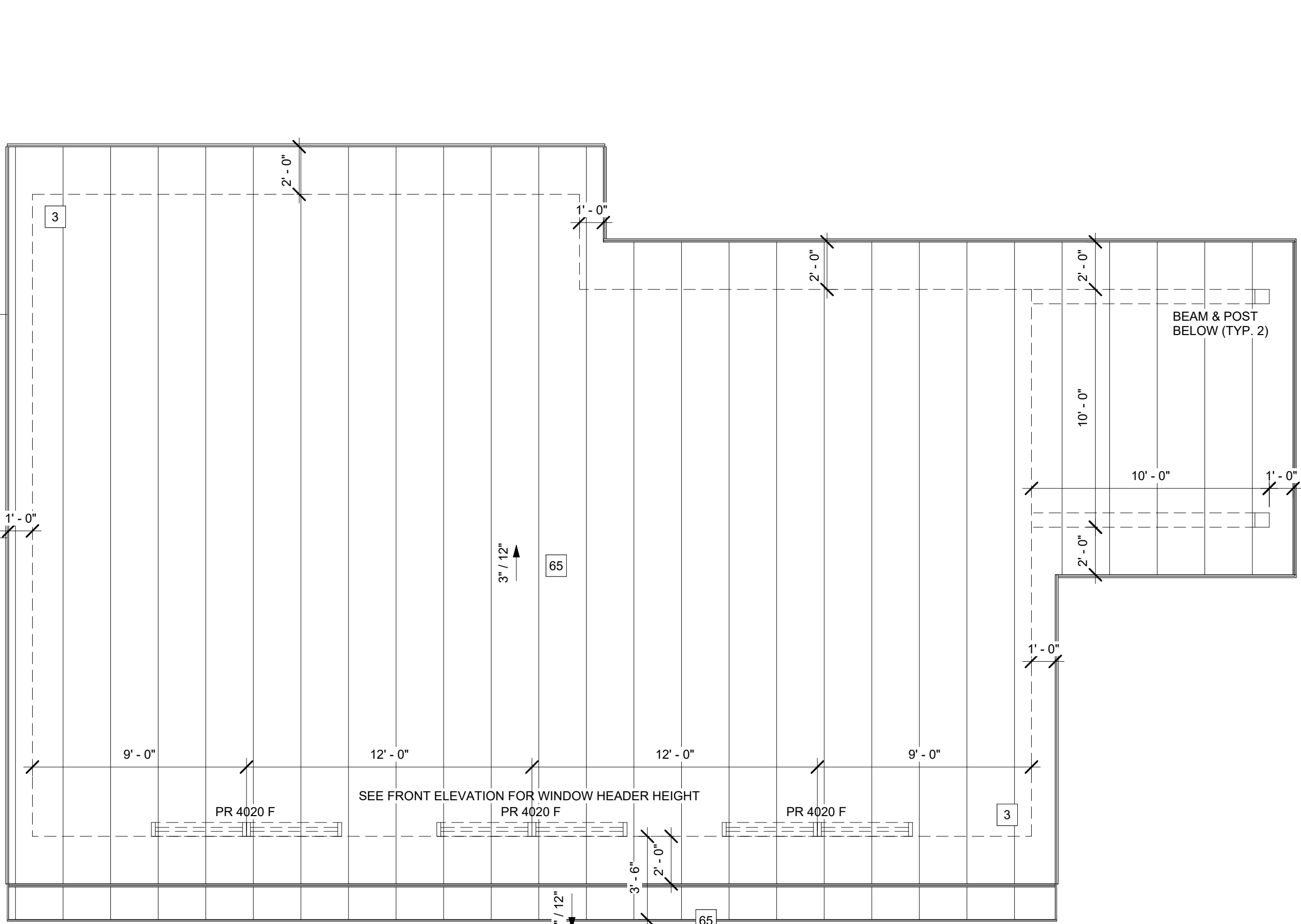
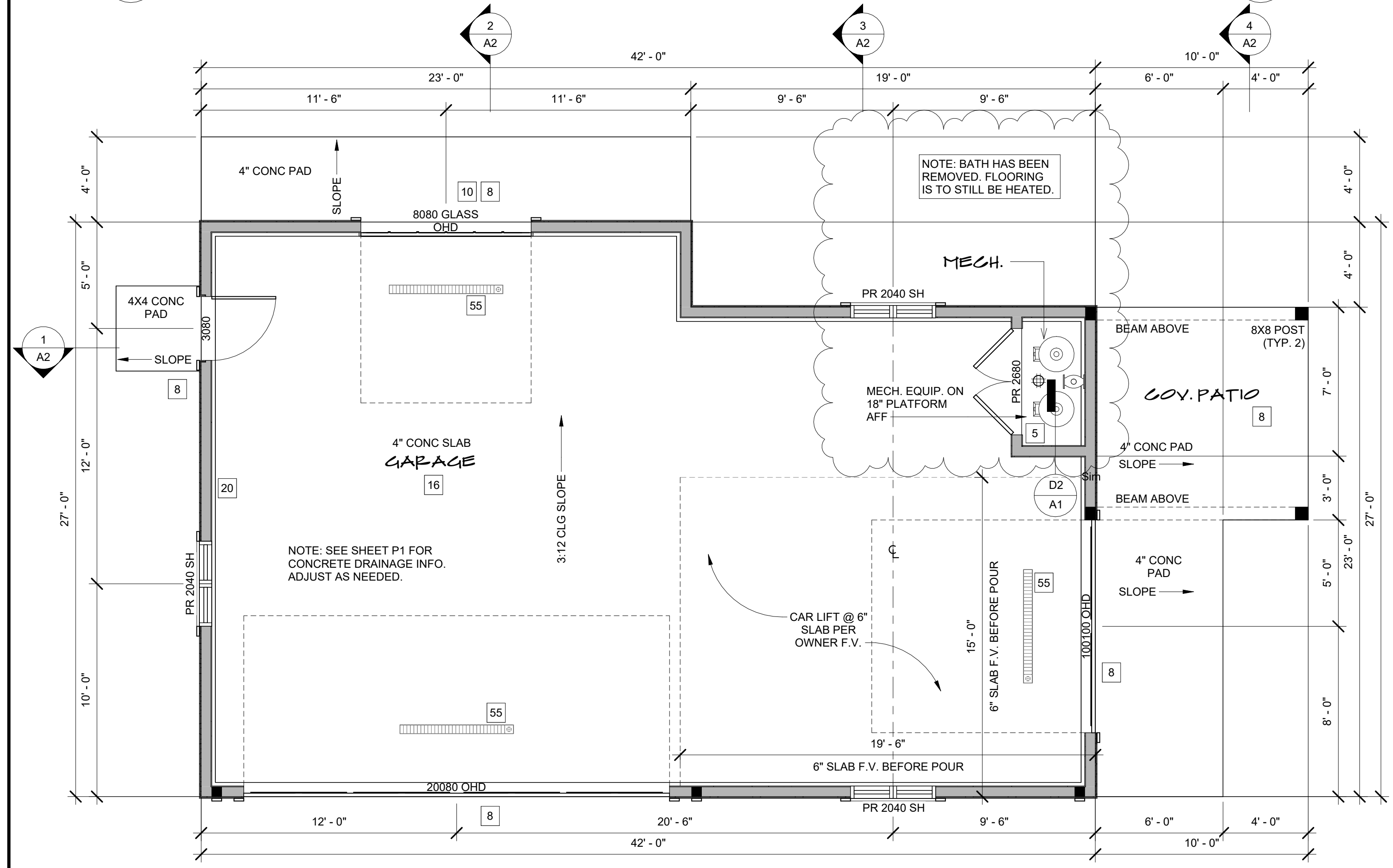


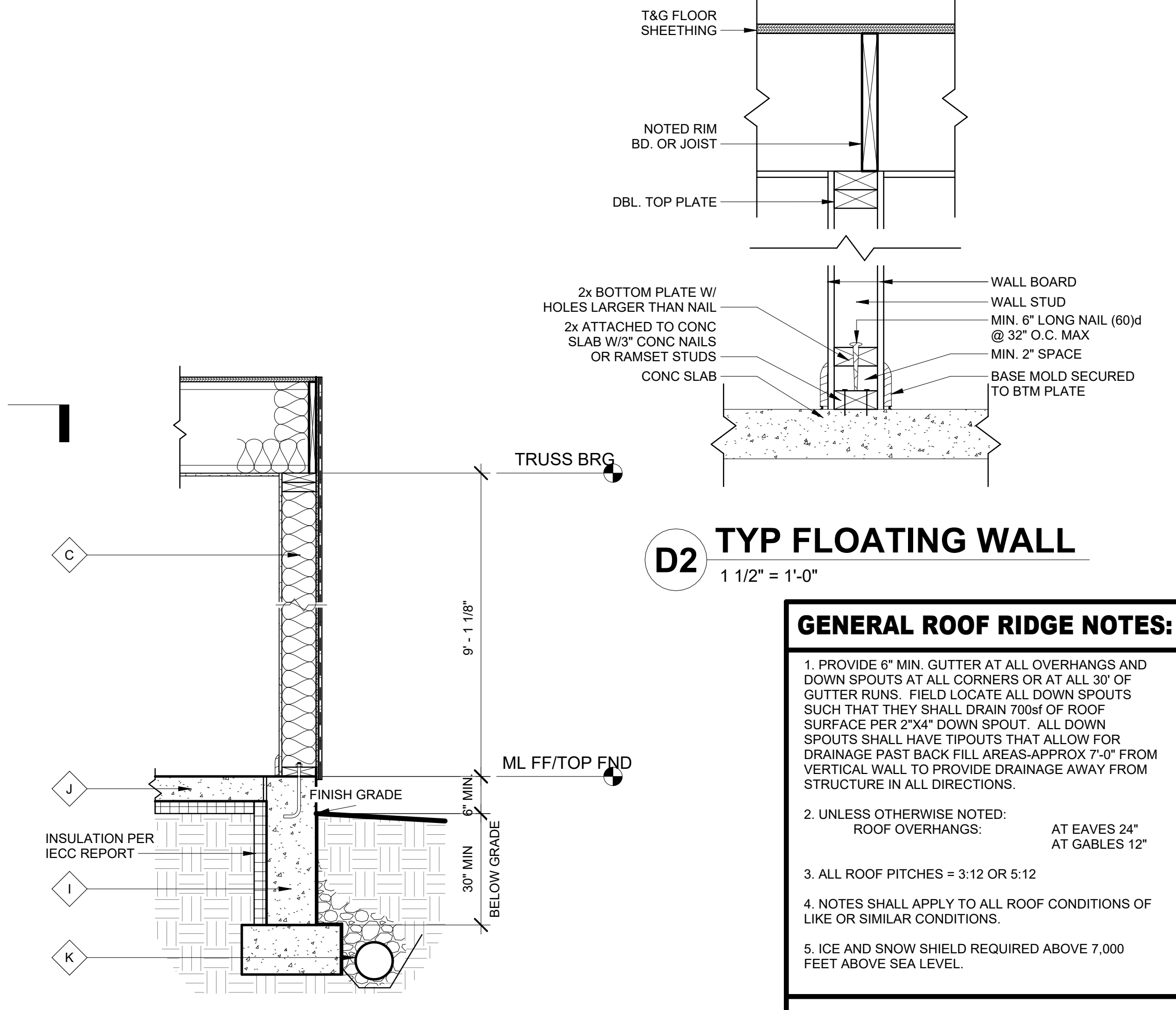
1 FOUNDATION LAYOUT
1/4" = 1'-0"



3 ROOF RIDGE PLAN
1/4" = 1'-0"



2 GARAGE FLOOR PLAN
1/4" = 1'-0"



D2 TYP FLOATING WALL
1/2" = 1'-0"

D1 FOUNDATION DETAIL
3/4" = 1'-0"

- GENERAL FOUNDATION NOTES:**
- FOUNDATION DESIGN TO BE COMPLETED UPON SITE INSPECTION OF SOILS BY A COLORADO REGISTERED SOILS ENGINEER. DESIGN & SOILS REPORT TO BE ON HAND AT TIME OF INSPECTION AND/OR SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PLAN CHECK. DESIGN BY AN ENGINEER SHALL BE BASED UPON LOADS FOUND BY USING DRAWINGS BY LGA STUDIOS, INC. IT SHALL BE ADVISED THAT ALL ENGINEERING SHOWN ON THE PLANS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER AND DISCREPANCIES REPORTED TO THE DESIGNER. FAILURE TO DO SO SHALL RELIEVE THE DESIGNER OF ERRORS.
 - ALL GRADES SHALL SLOPE AWAY FROM ANY STRUCTURE A MINIMUM OF 10% OR 1" IN 10' AND SHALL CONFORM TO ALL REQUIREMENTS INDICATED IN SOILS REPORT. SOILS REPORT SHALL GOVERN SLABS, AND FOUNDATION DRAINAGE. STEP FOUNDATION AS PER GRADE CONDITIONS AS SHOWN ON THE ELEVATIONS AND MAY NEED SOME ADJUSTMENT AT SITE.
 - SEE PLUMBING AND MECHANICAL CONTRACTORS FOR ANY REQUIRED PENETRATIONS.
 - INSTALL ALL COLUMN ANCHORS PER MFG. SEE MAIN LEVEL FLOOR FRAMING PLAN FOR COLUMN ANCHOR TYPE AND LOCATION.
 - PROVIDE 3" MINIMUM BEARING AT BEAM POCKETS (TYP).
 - FIELD VERIFY ACTUAL WALKOUT LOCATION WITH SITE PLAN AND AT SITE PER EXISTING SITE CONDITIONS.
 - PROVIDE MINIMUM PERIMETER FOUNDATION INSULATION AS REQUIRED PER CODE. SEE ATTACHED PIKES PEAK BUILDING DEPARTMENT INTERNATIONAL ENERGY CONSERVATION CODE CERTIFICATE.

- ASSEMBLY NOTES:**
- | | |
|---|------------------------------|
| A | ROOF: |
| B | FASCIA/SOFFIT: |
| C | EXTERIOR WALL: |
| D | EXTERIOR WALL BALLOON FRAME: |
| E | NOT USED: |
| F | NOT USED: |
| G | NOT USED: |
| H | NOT USED: |
| I | BASEMENT FOUNDATION WALL: |
| J | SLAB ON GRADE: |
| K | PERIMETER DRAIN SYSTEM: |
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET "CS1" AND SPECIFICATIONS SHEET "SS1"

- SPECIFIC FOUNDATION NOTES:**
- 40 DROP TOP OF WALL 6" @ DOOR & POUR SLAB OVER. CONTRACTOR TO VERIFY R.O. WIDTH
 - 41 DROP TOP OF WALL 8" @ DOOR & POUR SLAB OVER. CONTRACTOR TO VERIFY R.O. WIDTH
 - 42 2X4 MUD SILL W/ 1/2" DIA X 10" ANCHOR BOLTS @ 48" O.C. & 12" FROM ENDS w/MIN. 7" EMBEDMENT w/2 PER PIECE MIN
 - 43 DASHED LINES INDICATE R.I. PLUMBING FIXTURES FROM ABOVE

- SPECIFIC MAIN LEVEL NOTES:**
- 55 FLOOR DRAIN F.V. ON SITE

- GENERAL ROOF RIDGE NOTES:**
- PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700sf OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
 - UNLESS OTHERWISE NOTED:
ROOF OVERHANGS: AT EAVES 24"
AT GABLES 12"
 - ALL ROOF PITCHES = 3:12 OR 5:12
 - NOTES SHALL APPLY TO ALL ROOF CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
 - ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

- SPECIFIC ROOF RIDGE NOTES:**
- 65 METAL ROOF

- GENERAL MAIN LEVEL NOTES:**
- FRAME WALL HEIGHTS VARY. SEE ELEVATIONS AND SECTIONS FOR MORE INFORMATION.
 - PROVIDE LOW RESISTANCE RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.

AREA SCHEDULE

Name	Area
GARAGE	1058 SF
COV. PATIO	100 SF
Grand total:	2 1158 SF

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

REVISIONS

1	Date 1
---	--------

LGA STUDIOS
201 E. Las Animas Street
Suite 113
Colorado Springs, CO. 80903
Phone: (719) 635-0880
office@LGAstudios.com
www.lgastudios.com

CONTRACTOR
TBD

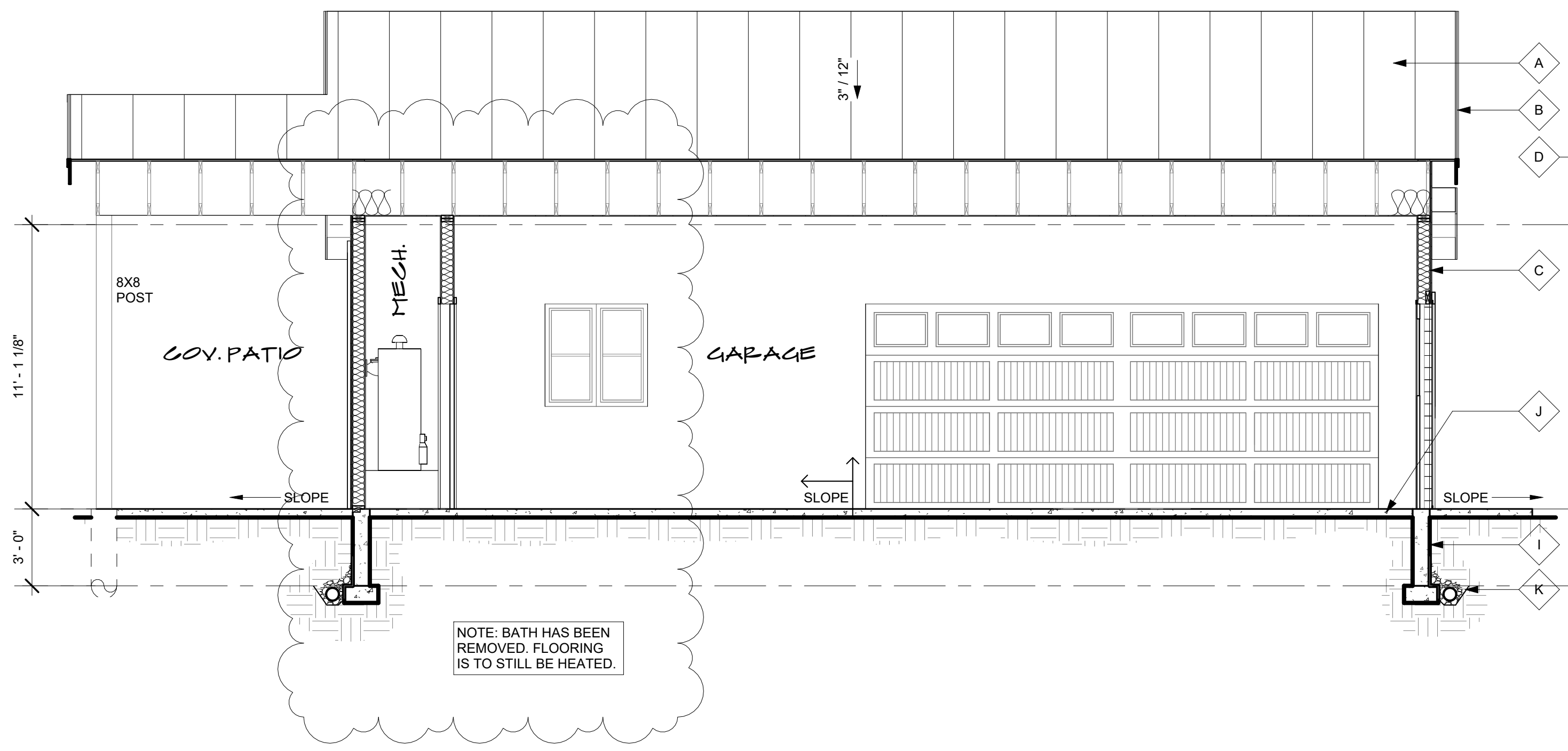
THE JOLLY GARAGE
6065 WATERFALL LOOP
PN- 25-2548

DRAWN BY: RM
CHECKED: LGA

PLOT: 4/15/2026

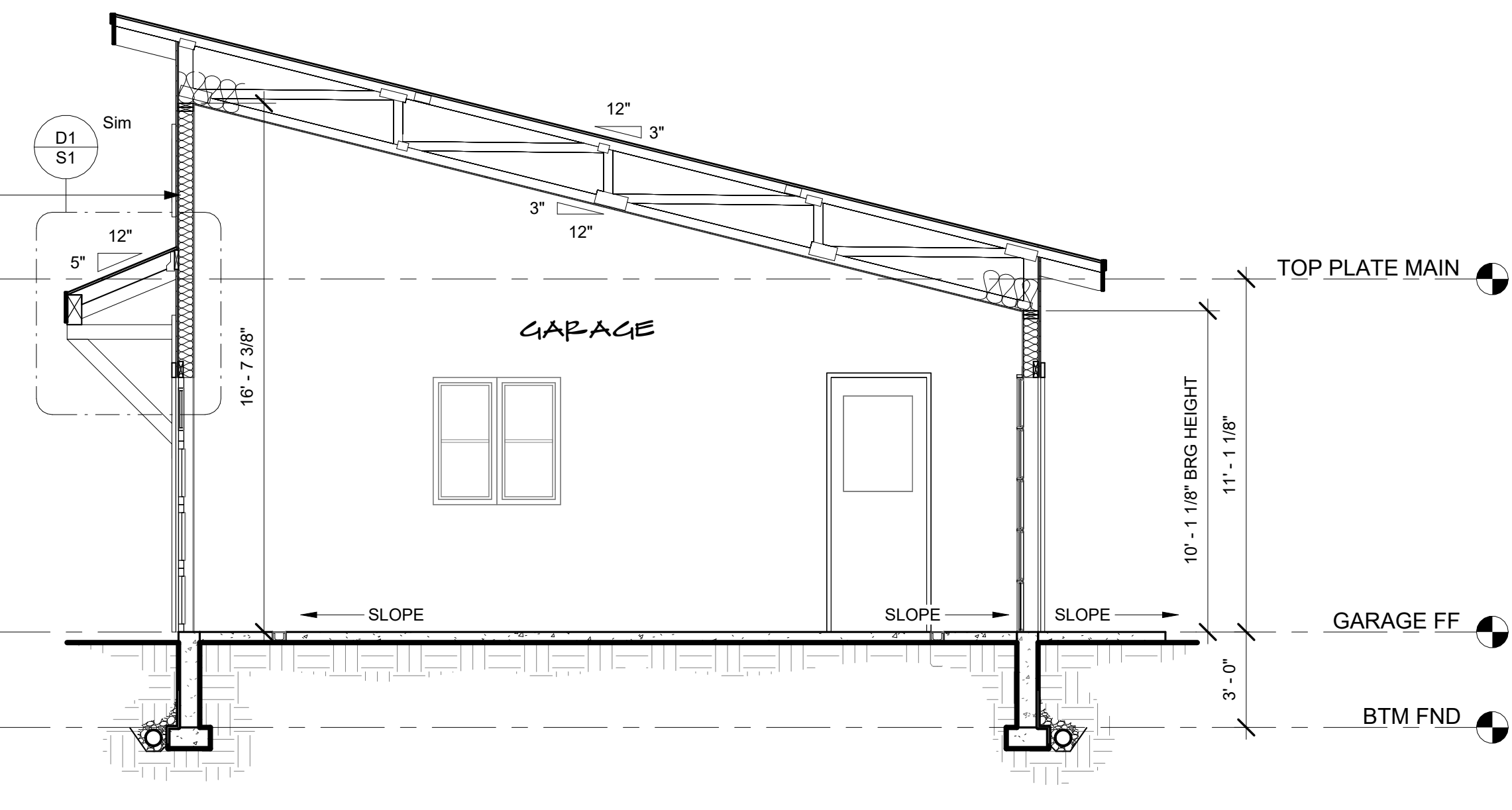
FOUNDATION LAYOUT,
GARAGE FLOOR &
ROOF RIDGE PLAN

Sheet #
A1
OF 3 SHEETS



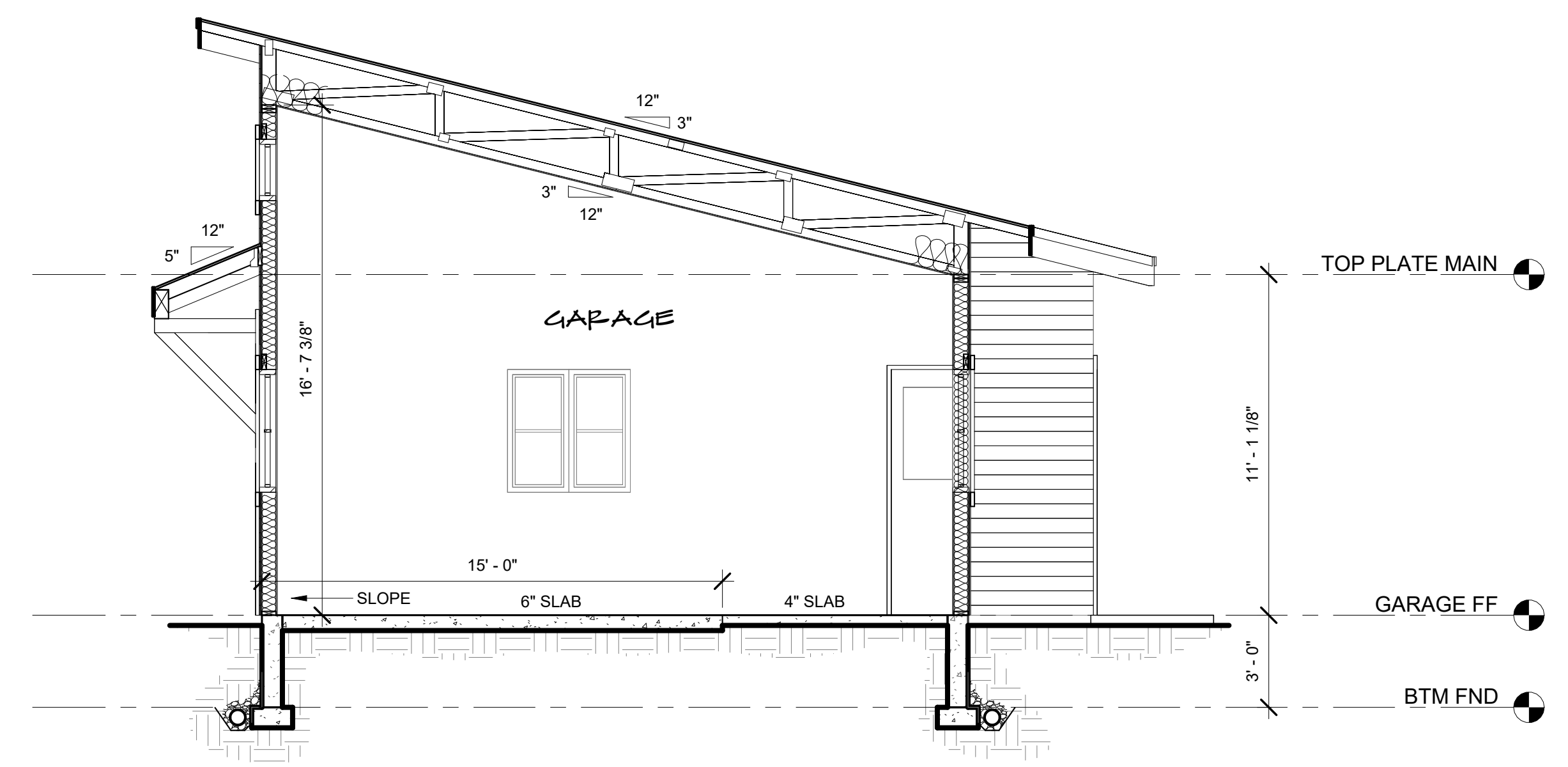
SECTION 1

SCALE: 1/4" = 1' - 0"



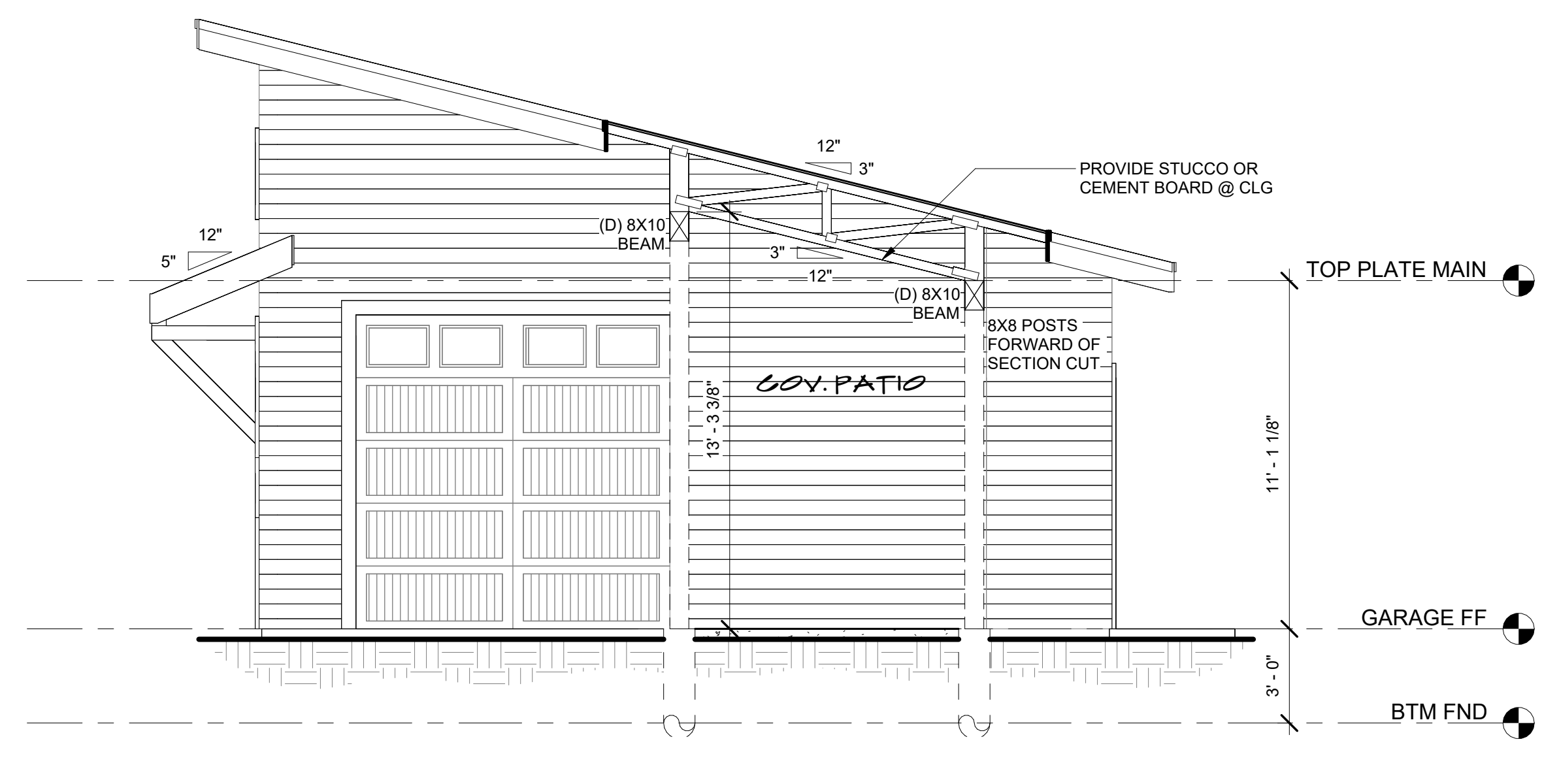
SECTION 2

SCALE: 1/4" = 1' - 0"



SECTION 3

SCALE: 1/4" = 1' - 0"



SECTION 4

SCALE: 1/4" = 1' - 0"

BUILDING SECTIONS

SCALE: 1/4" = 1' - 0"

GENERAL SECTION NOTES:

- UNLESS OTHERWISE NOTED ALL SECTIONS ARE TYPICAL. SEE SECTION S1/A2 FOR REFERENCE OF COMPLETE LABELING AND NOTES.
- SEE STRUCTURAL SHEETS FOR ALL CALLOUTS OF FRAMING MEMBERS, BEAMS, HEADERS, AND CONNECTIONS ETC. TYPICAL.
- ALIGN FLOOR JOISTS TO ALLOW FOR PLUMBING AND MECHANICAL INSTALLATION.
- SECTION BEYOND ITEMS ARE SHOWN FOR REFERENCE ONLY AND DOES NOT INDICATE ANY SPECIFIC MATERIAL, OR MANUFACTURER.

ASSEMBLY NOTES:

A	ROOF:	
B	FASCIA/SOFFIT:	
C	EXTERIOR WALL:	
D	EXTERIOR WALL BALLOON FRAME:	
E	NOT USED:	
F	NOT USED:	
G	NOT USED:	
H	NOT USED:	
I	BASEMENT FOUNDATION WALL:	
J	SLAB ON GRADE:	
K	PERIMETER DRAIN SYSTEM:	

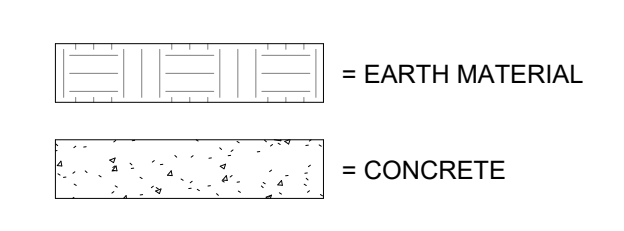
ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET 'S1' AND SPECIFICATIONS SHEET 'S1'

SPECIFIC SECTION NOTES:

- ASPHALT SHINGLE ROOF
- BEARING WALL. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION
- HANGER-TRUSS OR RAFTER SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION
- FIRE BLOCKING AS REQ'D PER CODE
- DIVIDED LIGHTS AS SHOWN. FIELD VERIFY W/ CONTRACTOR PRIOR TO ORDERING & INSTALLATION
- FALSE BEAMS F.V. SIZE, AMOUNT, MATERIAL AND LOCATION W/ CONTRACTOR PRIOR TO ORDERING AND INSTALLATION

NOTE: FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET 'CS1' FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

SECTION NOTE SYMBOLS:



REVISIONS

1 Date 1

LGA STUDIOS
 201 E. Las Animas Street Suite 113
 Colorado Springs, CO. 80903
 Phone: (719) 635-0880
 office@LGAstudios.com
 www.lgastudios.com

CONTRACTOR
TBD

THE JOLLY GARAGE
 6065 WATERFALL LOOP
 PN- 25-2548

DRAWN BY: RM
CHECKED: LGA

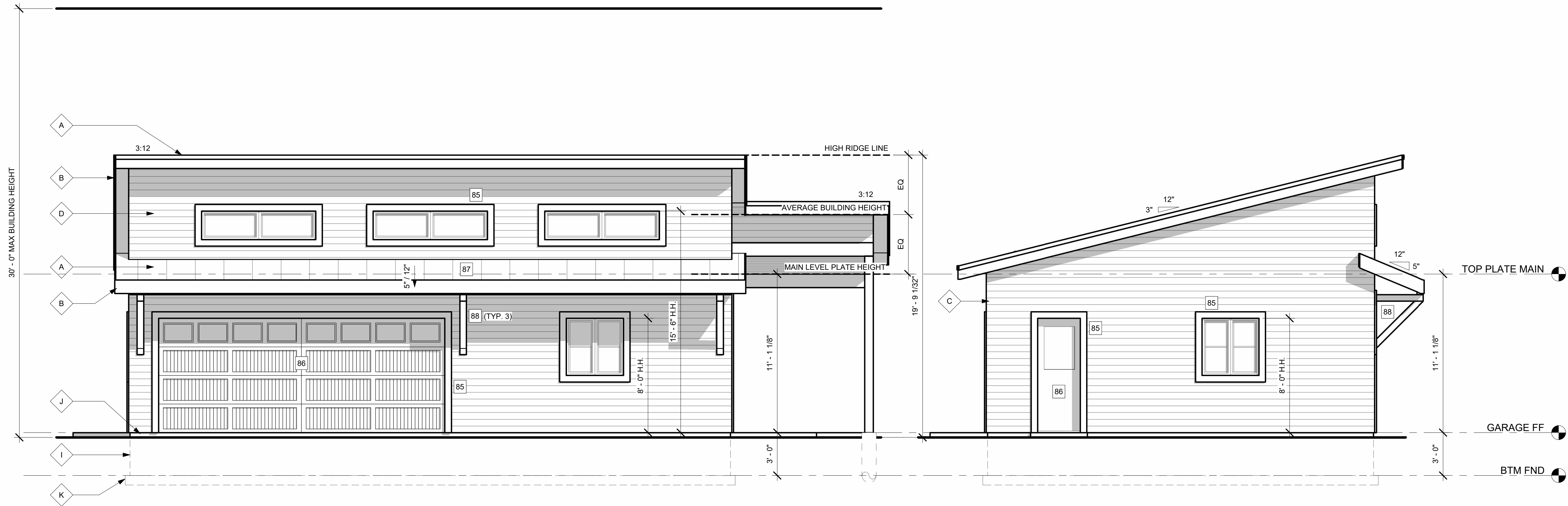
PLOT: 4/15/2026

BUILDING SECTIONS

Sheet #
A2
OF 3 SHEETS

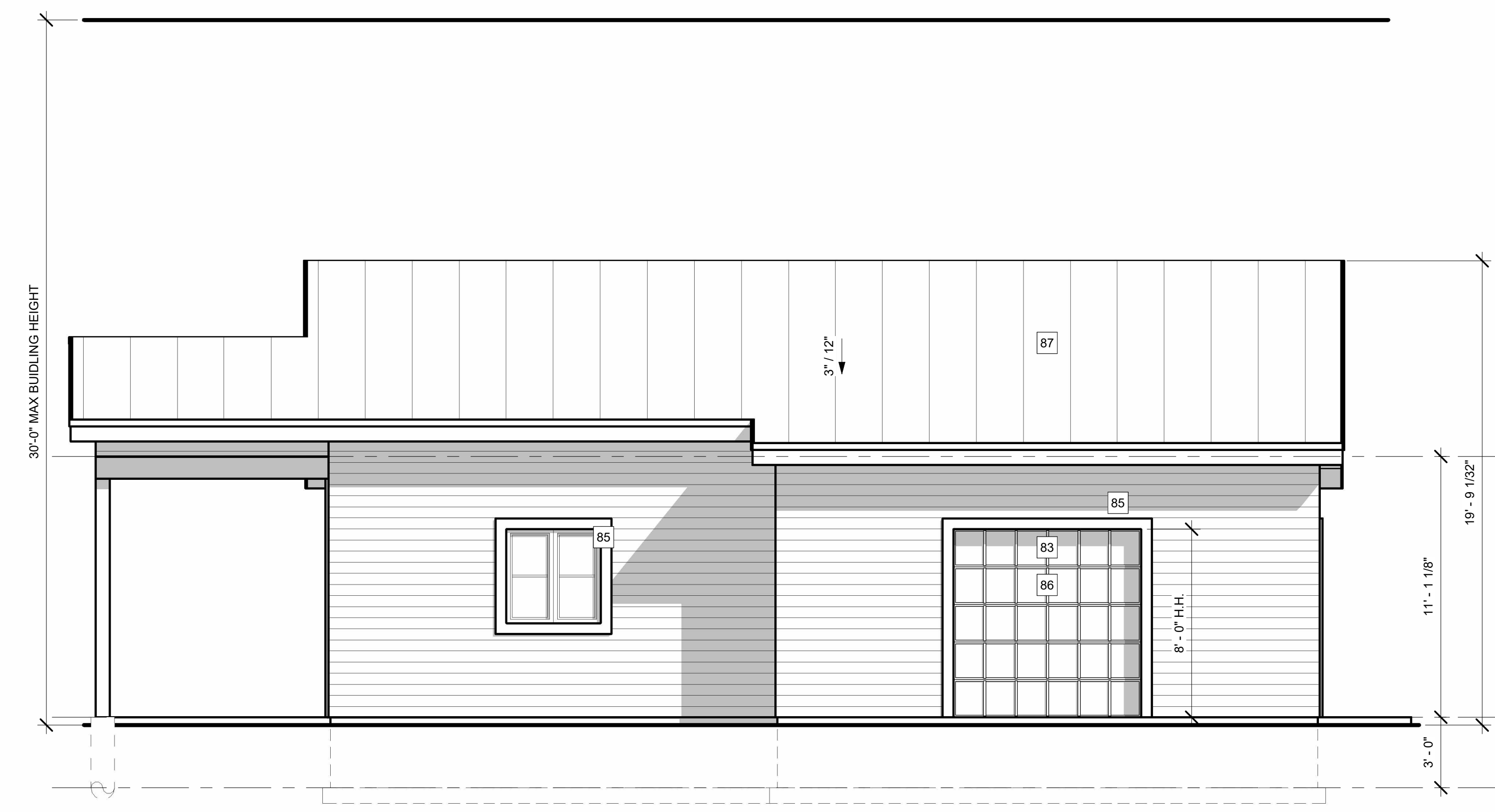
Copyright 2025, by LGA Studios. No part of this plan may be reproduced or transmitted in any form or by any means, electronically or mechanically (including photocopying, recording or any information retrieval system) without the written approval of LGA Studios and the client. No derivative works of this plan may be made without prior written permission. The sets of plans do not entitle the purchaser to use for additional construction beyond the scope of one building, unless approved in writing by LGA Studios.

Copyright 2025, by LGA Studios. No part of this plan may be reproduced or transmitted in any form or by any means, electronically or mechanically (including photocopying, recording or any information retrieval system) without the written approval of LGA Studios and the client. No derivative works of this plan may be made without prior written permission. The sets of plans do not entitle the purchaser to use for additional construction beyond the scope of one building, unless approved in writing by LGA Studios.

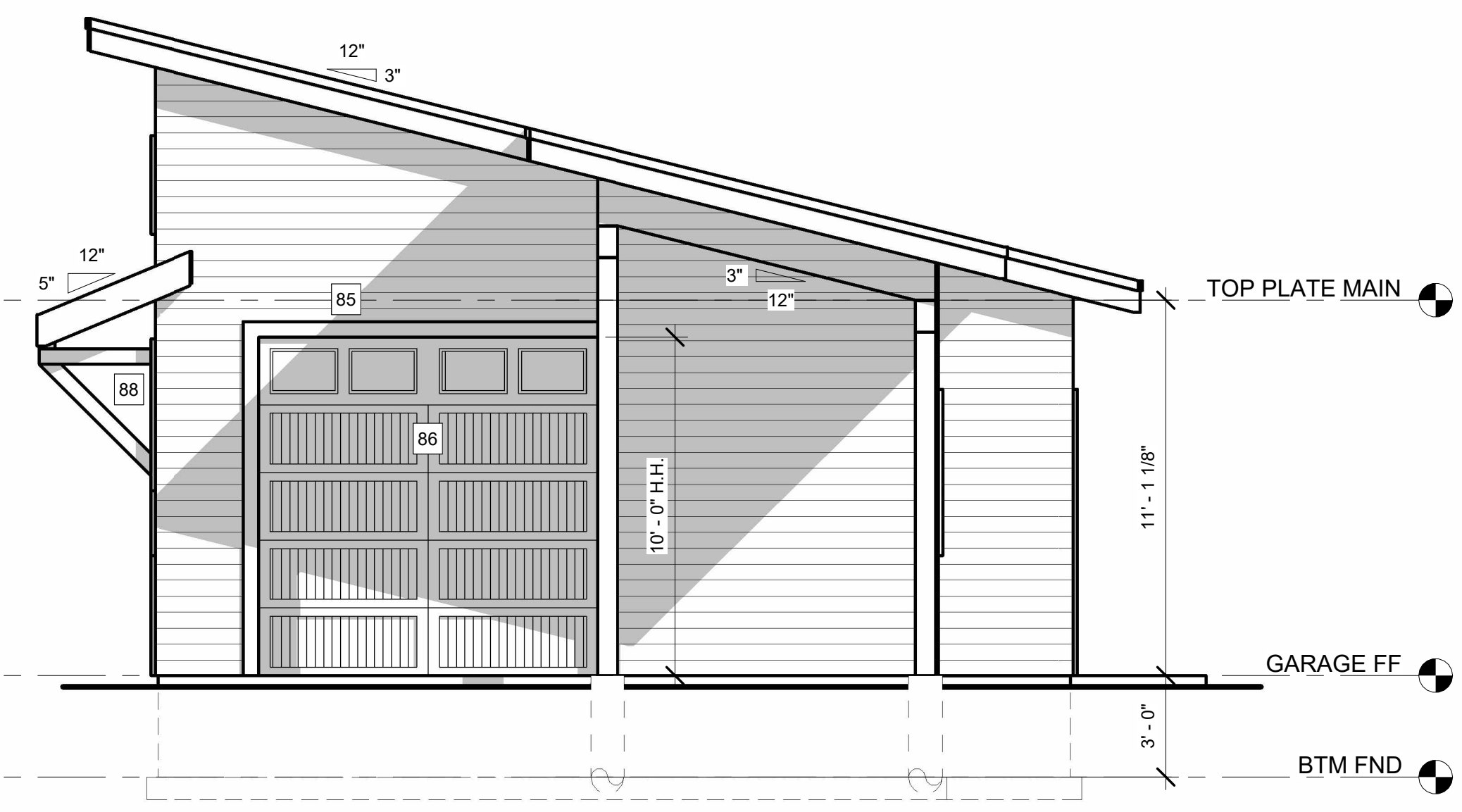


FRONT ELEVATION SCALE: 1/4" = 1' - 0"

LEFT ELEVATION SCALE: 1/4" = 1' - 0"



REAR ELEVATION SCALE: 1/4" = 1' - 0"



RIGHT ELEVATION SCALE: 1/4" = 1' - 0"

BUILDING ELEVATIONS SCALE: 1/4" = 1' - 0"

GENERAL ELEVATION NOTES:

1. PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700% OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
2. ROOF VENTILATION SHALL COMPLY WITH 2021 IRC R806.2. - ____ SQ. FT. OF VENTILATING AREA.
3. NOTES SHALL APPLY TO ALL ELEVATION CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
4. ANY BOULDER RETAINAGE WALL SHOWN SHALL BE LESS THAN 48" IN HEIGHT w/60" MIN APART IF MORE THAN (1) WALL OR SHALL BE DESIGNED BY SOILS ENGINEER. ANY RETAINING WALLS ARE SHOWN FOR REFERENCE. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACK FILL. IN ADDITION, VERIFY WITH CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.
5. ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

ASSEMBLY NOTES:

A	ROOF:	ALL ASSEMBLIES AND GENERAL SPECIFICATIONS SHALL COMPLY WITH THE SPECIFICATIONS SHEET SST
B	FASCIA/OFFSET:	
C	EXTERIOR WALL:	
D	EXTERIOR WALL BALLOON FRAME:	
E	NOT USED:	
F	NOT USED:	
G	NOT USED:	
H	NOT USED:	
I	BASEMENT FOUNDATION WALL:	
J	SLAB ON GRADE:	
K	PERIMETER DRAIN SYSTEM:	

SPECIFIC ELEVATION NOTES:

- 83 DIVIDED LIGHTS AS SHOWN. FIELD VERIFY w/CONTRACTOR PRIOR TO ORDERING AND INSTALLATION
- 84 HORIZONTAL SIDING. MATERIAL AND COLOR TBD BY OWNER PRIOR TO ORDERING AND INSTALLATION
- 85 WINDOW AND DOOR TRIM TO BE 2X6 STAINED AND SEALED
- 86 DOOR STYLE IS REPRESENTATIONAL ONLY. F.V. STYLE, MATERIAL & AVAILABILITY W/ MFG PRIOR TO ORDERING
- 87 METAL ROOF
- 88 CORBEL AND BEAM SYSTEM. SEE STRUCTURAL SHEETS FOR MORE INFORMATION

NOTE: FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

ELEVATION NOTE SYMBOLS:

—	= FINISH GRADE LINE
- - - -	= EXISTING GRADE LINE
01	= EXISTING GRADE ELEVATION
01	= FINISH GRADE ELEVATION
TOW=07	= TOP OF FOUNDATION WALL ELEVATION
MO=08	= MAIN LEVEL FINISH FLOOR ELEVATION

REVISIONS

LGA STUDIOS
 201 E. Las Animas Street Suite 113
 Colorado Springs, CO. 80903
 Phone: (719) 635-0880
 office@lga studios.com
 www.lgastudios.com

CONTRACTOR
TBD

THE JOLLY GARAGE
 6065 WATERFALL LOOP
 PN- 25-2548

DRAWN BY: RM
CHECKED: LGA

PLOT: 4/15/2026

BUILDING ELEVATIONS

Sheet #
A3
 OF 3 SHEETS

Copyright 2024, by LGA Studios. No part of this plan may be reproduced or transmitted in any form or by any means, electronically or mechanically (including photocopying, recording or any information retrieval system) without the written approval of LGA Studios and the client. No derivative works of this plan may be made without prior written permission. The sets of plans do not entitle the purchaser to use for additional construction beyond the scope of one building, unless approved in writing by LGA Studios.

Copyright 2025, by LGA Studios. No part of this plan may be reproduced or transmitted in any form or by any means, electronically or mechanically (including photocopying, recording or any information retrieval system) without the written approval of LGA Studios and the client. No derivative works of this plan may be made without prior written permission. The sets of plans do not entitle the purchaser to use for additional construction beyond the scope of one building, unless approved in writing by LGA Studios.