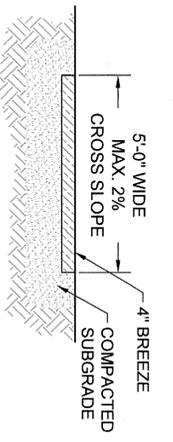
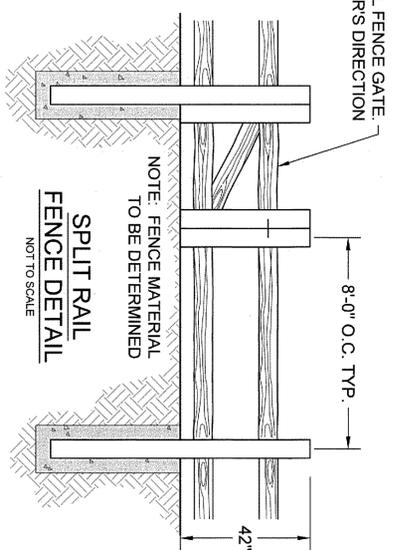
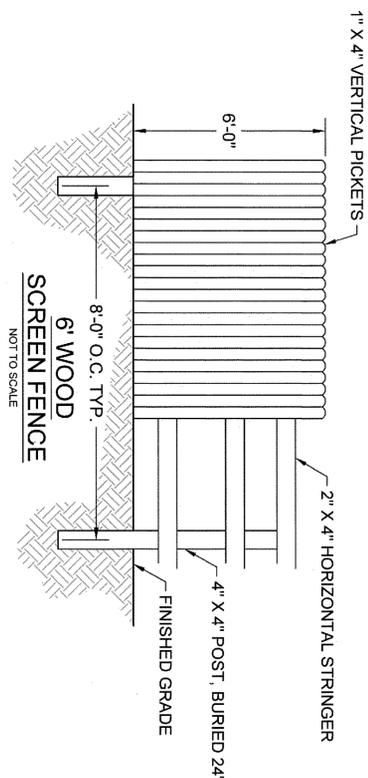
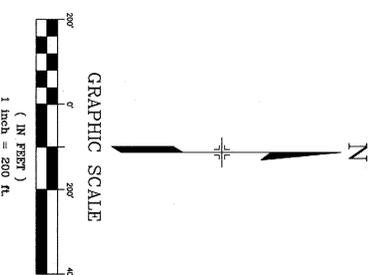


TRACT	SIZE (SF)	LANDSCAPE/ PARK OPEN SPACE/TRAIL	POCKET PARK	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	ELECTRIC EASEMENT	OWNED BY	MAINTAINED BY
A	107,999	X	X	X	X	X	X	LRMD	LRMD
B	7,678	X	X	X	X	X	X	LRMD	LRMD
C	10,086	X	X	X	X	X	X	LRMD	LRMD
D	135,380	X	X	X	X	X	X	LRMD	LRMD
E	20,188	X	X	X	X	X	X	LRMD	LRMD
F	11,025	X	X	X	X	X	X	LRMD	LRMD
G	206,233	X	X	X	X	X	X	LRMD	LRMD
H	98,720	X	X	X	X	X	X	LRMD	LRMD
I	6,430	X	X	X	X	X	X	LRMD	LRMD
J	18,234	X	X	X	X	X	X	LRMD	LRMD
K	411,468	X	X	X	X	X	X	LRMD	LRMD
L	629,367	X	X	X	X	X	X	LRMD	LRMD
LRMD = LORSON RANCH METROPOLITAN DISTRICT									

(1)28/2020  
920211670

**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN**

LOCATED IN THE NORTH HALF (N1/2) SECTION 24 AND IN THE  
SOUTH HALF (S1/2) SECTION 13, T19S, R65W OF THE 6TH P.M.,  
EL PASO COUNTY, STATE OF COLORADO



CONSULTANTS  
PLANNER/LANDSCAPE ARCHITECT: **Matrix**  
2455 RESEARCH PARKWAY,  
SUITE 300 SPRINGS, CO 80903  
PHONE: (719) 575-0100  
FAX: (719) 575-0088

CIVIL ENGINEER: **Matrix**  
ENGINEERING GROUP  
SUITE 300 SPRINGS, CO 80903  
BURNSVILLE, MN 55306  
PHONE: (719) 575-0100  
FAX: (719) 575-0088

DRAWN/ENGINEER:  
**LORSON LLC**  
212 N. WAHSAATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200



PROJECT:  
**THE HILLS AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN**

EL PASO COUNTY, CO  
APPROVED: DECEMBER 10, 2020

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

DRAWING INFORMATION:  
PROJECT NO.: 20.1129.001  
DRAWN BY: RAF  
CHECKED BY: JAA  
APPROVED BY: JAA  
SHEET TITLE:

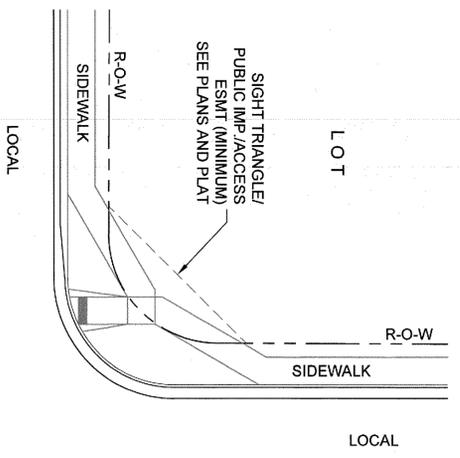
**PUD TRACT MAP  
AND DETAILS**

**DT01**

SHEET 02 OF 17

PCD FILE NO.: PUDSP203

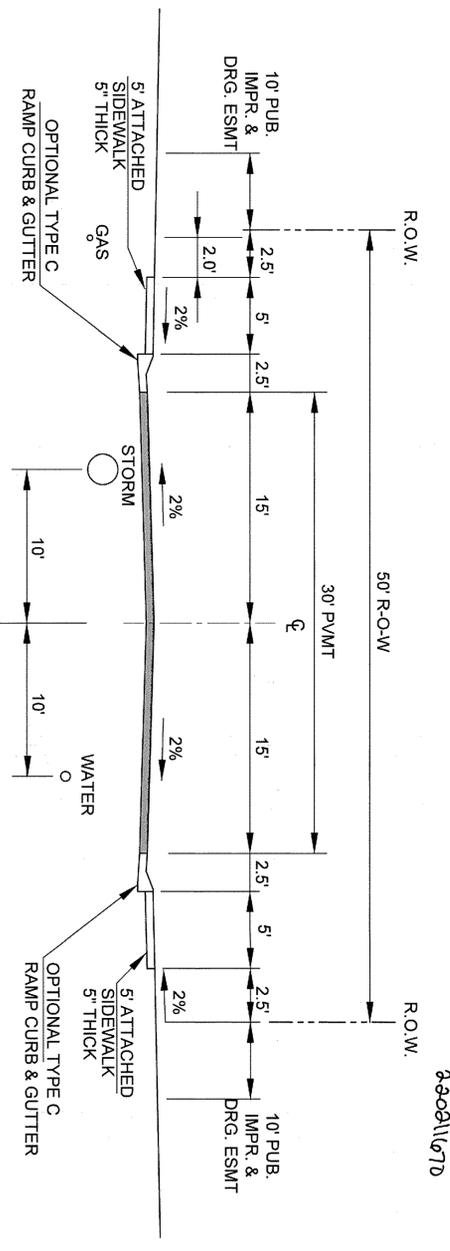




- NOTE:
- ADDITIONAL PUBLIC IMPROVEMENT EASEMENTS ARE REQUIRED WHERE SIDEWALK ENCROACHES INTO THE PRIVATE LOTS.
  - SEE CONSTRUCTION DRAWINGS AND THE FINAL PLAT.
  - SEE CONSTRUCTION DRAWINGS AND PLAT FOR SIGHT TRIANGLE.

**LOCAL ROADWAY SIGHT TRIANGLE**  
**PUBLIC IMPROVEMENT ESMT.**

NOT TO SCALE



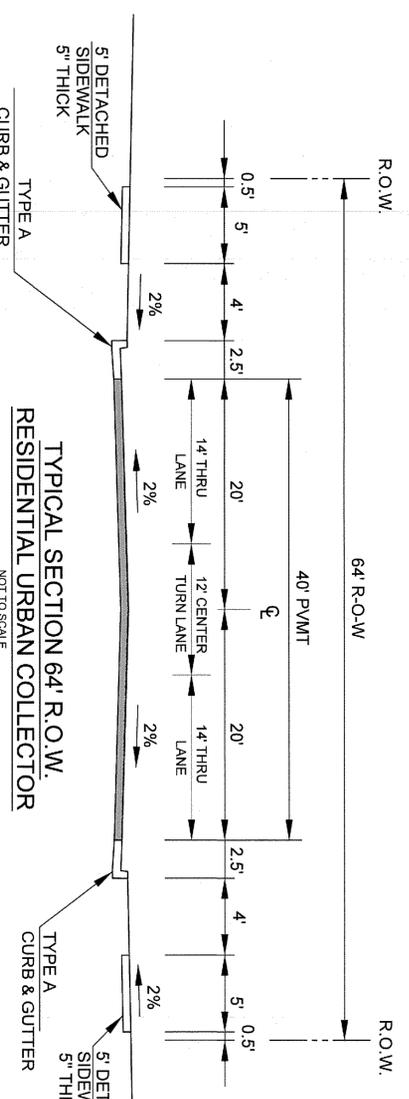
PVC UNDERDRAIN  
SEE PROFILE FOR LOCATION

DESIGN SPEED: 25 MPH  
POSTED SPEED: 25 MPH

**TYPICAL SECTION 50' R.O.W.**  
**RESIDENTIAL URBAN LOCAL**

NOT TO SCALE

NOTE:  
PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.



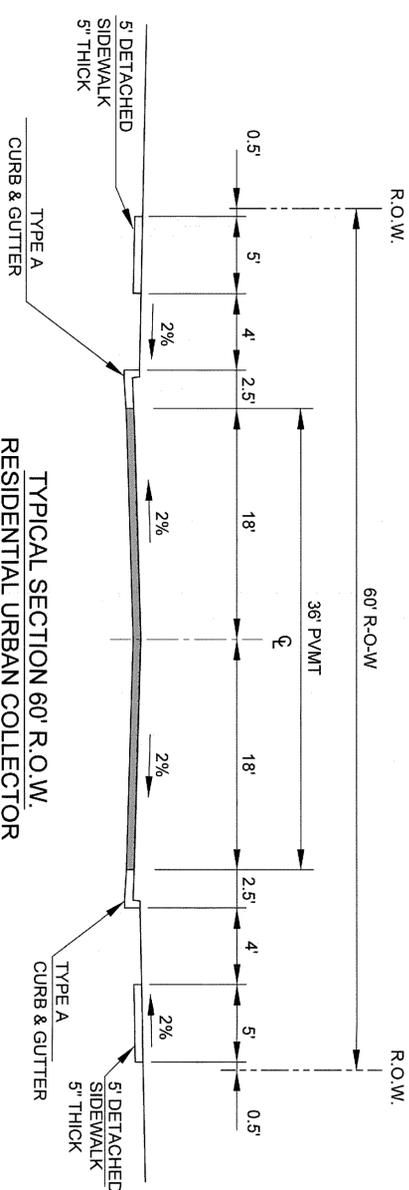
**TYPICAL SECTION 64' R.O.W.**  
**RESIDENTIAL URBAN COLLECTOR**

NOT TO SCALE

LORSON BOULEVARD (LAMPREV DR TO WALLEYE DR)  
WALLEYE DRIVE (LORSON BLVD TO FONTAINE BLVD)

DESIGN SPEED: 40 MPH  
POSTED SPEED: 35 MPH

NOTE:  
PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.



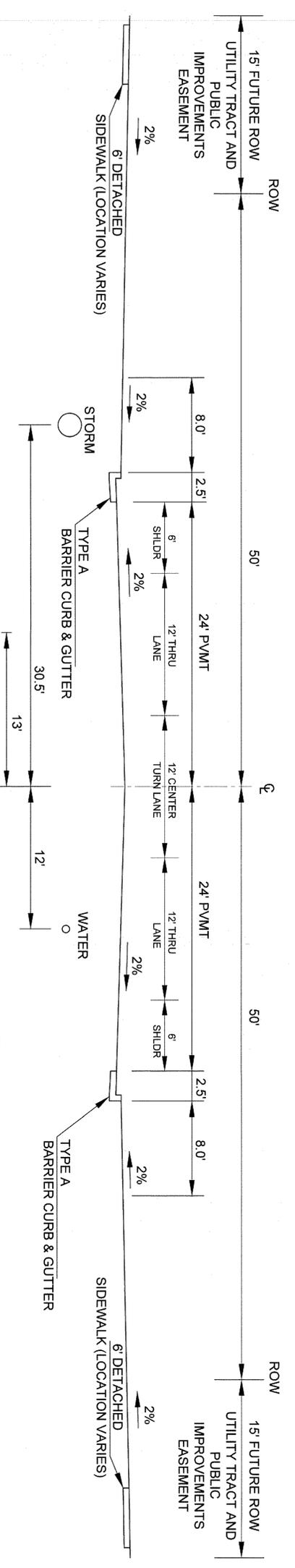
**TYPICAL SECTION 60' R.O.W.**  
**RESIDENTIAL URBAN COLLECTOR**

NOT TO SCALE

WALLEYE DRIVE (NORTH OF FONTAINE)  
GRAYLING DRIVE

DESIGN SPEED: 40 MPH  
POSTED SPEED: 35 MPH

NOTE:  
PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.



**TYPICAL SECTION 100' R.O.W.**  
**FONTAINE BLVD**

NOT TO SCALE

NOTE:  
PAVEMENT SECTION TO BE DETERMINED BY HVEEM ANALYSIS AND DESIGN. DESIGN TO BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.

12/28/20  
3:00:11 PM

**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**  
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T19S, R93W OF THE 8TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:  
PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 SPRINGS, CO 80903  
**Matrix** PHONE: (719) 575-0100 FAX: (719) 575-0088  
CIVIL ENGINEER: CORE ENGINEERING GROUP 1000 1/2 AVENUE, SUITE 100 BURNSVILLE, MN 55306 PHONE: (719) 576-1100  
OWNER/ENGINEER: LORSON LLC 212 N. WAHSATCH DR., SUITE 301 COLORADO SPRINGS, CO 80903 (719) 835-3200



PROJECT:  
THE HILLS AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

EL PASO COUNTY CO  
APPROVED: DECEMBER 10, 2020

NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

DRAWING INFORMATION:  
PROJECT NO: 20.1129.001  
DRAWN BY: RAF  
CHECKED BY: JAA  
APPROVED BY: JAA  
SHEET TITLE:

**PUD DETAILS**

**DT03**

**SHEET 04 OF 17**



12/28/2020  
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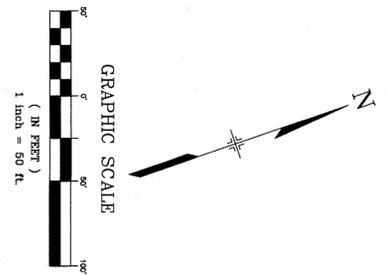
MATCH LINE SEE SHEET SP03

**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T19S, R63W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6" WOOD SCREEN FENCE
  - 4 CONCRETE CROSSLANE (TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 PARALLEL PEDESTRIAN RAMP (SD 2-40 & 2-41)
  - 7 PROPOSED FIRE HYDRANT LOCATION
  - 8 COMPACTED BREEZE TRAIL (5" TYPICAL)
  - 9 SIGHT DISTANCE TRIANGLE (TYPICAL)
  - 10
  - 11

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



CONSULTANTS:  
PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 EL PASO SPRINGS, CO 80930  
**Matrix**  
PHONE: (719) 575-0100  
FAX: (719) 575-0088

OWNER/ENGINEER:  
LORSON LLC  
212 N WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200



PROJECT: THE HILLS AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

EL PASO COUNTY, CO  
APPROVED: DECEMBER 10, 2020

NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

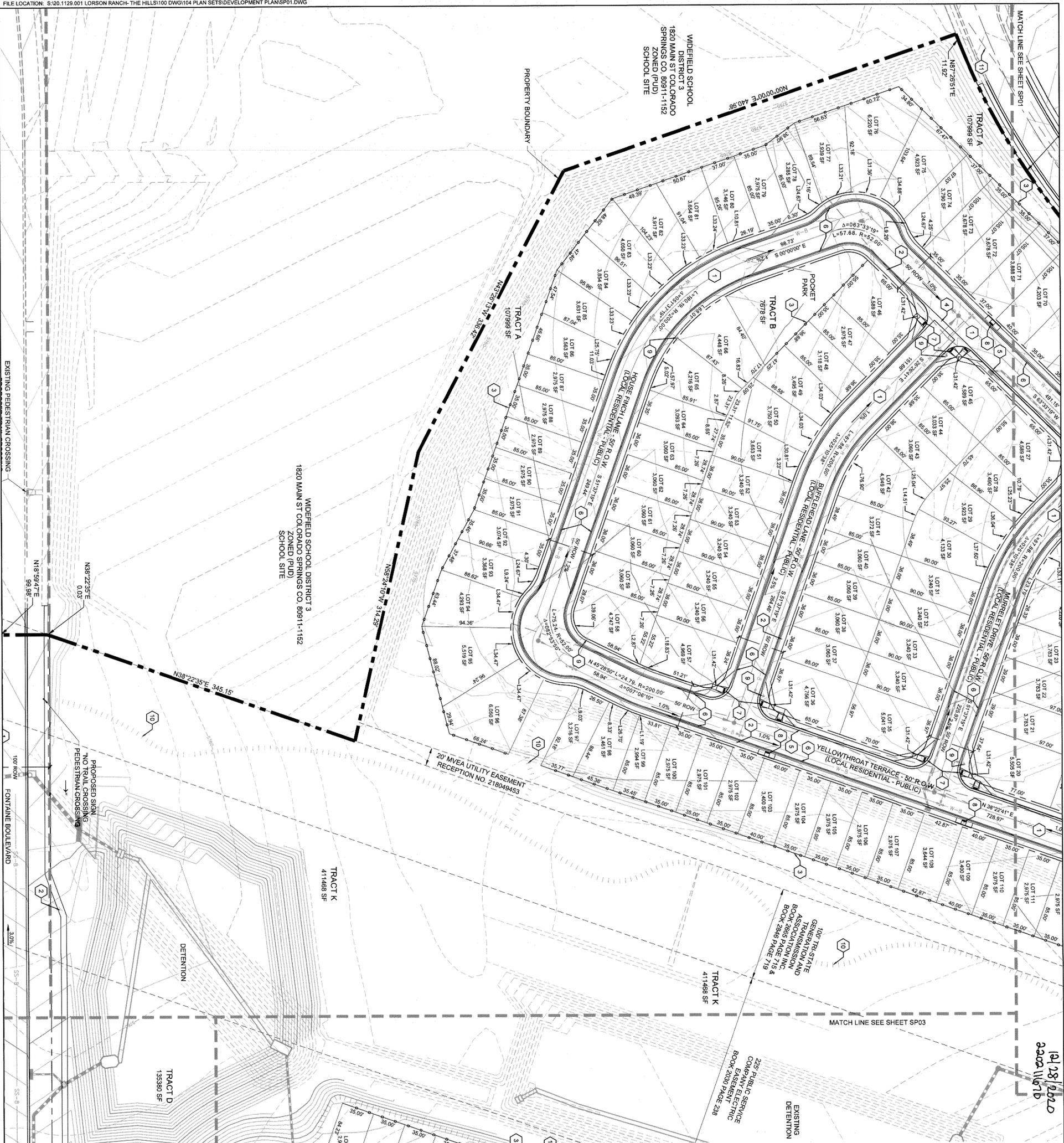
DRAWING INFORMATION:  
PROJECT NO: 20.1129.001  
DRAWN BY: RAF  
CHECKED BY: JAA  
APPROVED BY: JAA  
SHEET TITLE:

**SITE PLAN**

**SP01**

SHEET 05 OF 17

PCD FILE NO.: PUPSP203



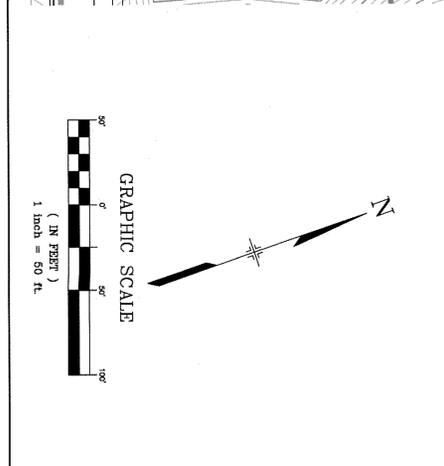
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**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**

CONSULTANTS:  
PLANNER/LANDSCAPE ARCHITECT: 2455 RESEARCH PARKWAY,  
**Matrix** COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0288  
DATE ENGINEER:  
CIVIL ENGINEERING GROUP  
1504 1ST AVENUE S.  
BURNSVILLE, MN 55306  
PHONE: (763) 575-1100  
OWNER/DEVELOPER:  
**LORSON LLC**  
P.O. BOX 1000, SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6" WOOD SCREEN FENCE
  - 4 CONCRETE CROSSSPAN (TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 7 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 8 PROPOSED FIRE HYDRANT LOCATION
  - 9 COMPACTED BREEZE TRAIL (TYPICAL)
  - 10 SIGHT DISTANCE TRIANGLE (TYPICAL)
  - 11

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



**SITE PLAN**

**SP02**

**SHEET 06 OF 17**

PROJECT: THE HILLS AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

EL PASO COUNTY, CO  
APPROVED: DECEMBER 10, 2020

REVISION HISTORY:	NO.	DATE	DESCRIPTION	BY
1	8/17/2020	REVISIONS PER COUNTY REVIEW	RAF	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF	RAF

DRAWING INFORMATION:  
PROJECT NO.: 20.1129.001  
DRAWN BY: RAF  
CHECKED BY: JAA  
APPROVED BY: JAA  
SHEET TITLE:

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN



12/28/2020  
09:04:17

**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**

CONSULTANTS  
PLANNER/LANDSCAPE ARCHITECT:  
**Matrix** 2435 RESEARCH PARKWAY,  
SUITE 300 SPRINGS, CO 80903  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

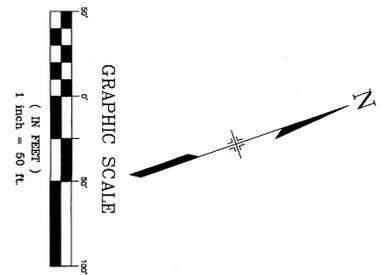
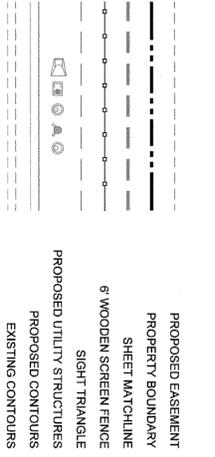
DATE ENGINEER:  
DAN EMMERTS S  
10000 W. WINDYBROOK  
BURNSVILLE, MN 55305  
PHONE: (719) 570-1100  
FAX: (719) 575-0208

OWNER/CLIENT:  
**LORSON LLC**  
212 N WAHSATCH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R69W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

**LEGEND**

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE SIDEWALK
- 3 6" WOOD SCREEN FENCE
- 4 CONCRETE CROSSSPAN (S TYPICAL)
- 5 CURB AND GUTTER (TYPE A)
- 6 PARALLEL PEDESTRIAN RAMP (SD, 2-40 & 2-41)
- 7 PROPOSED FIRE HYDRANT LOCATION
- 8 COMPACTED BREZEZE TRAIL (S TYPICAL)
- 9 SIGHT DISTANCE TRIANGLE (TYPICAL)
- 10
- 11



DRAWING INFORMATION:	
PROJECT NO:	201.1129.001
DRAWN BY:	RAJ
CHECKED BY:	JAA
APPROVED BY:	JAA
SHEET TITLE:	

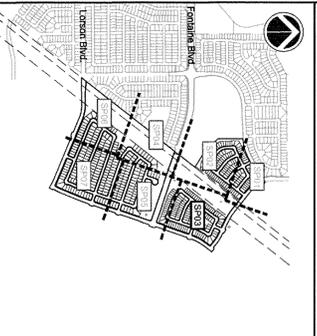
REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
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2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAJ

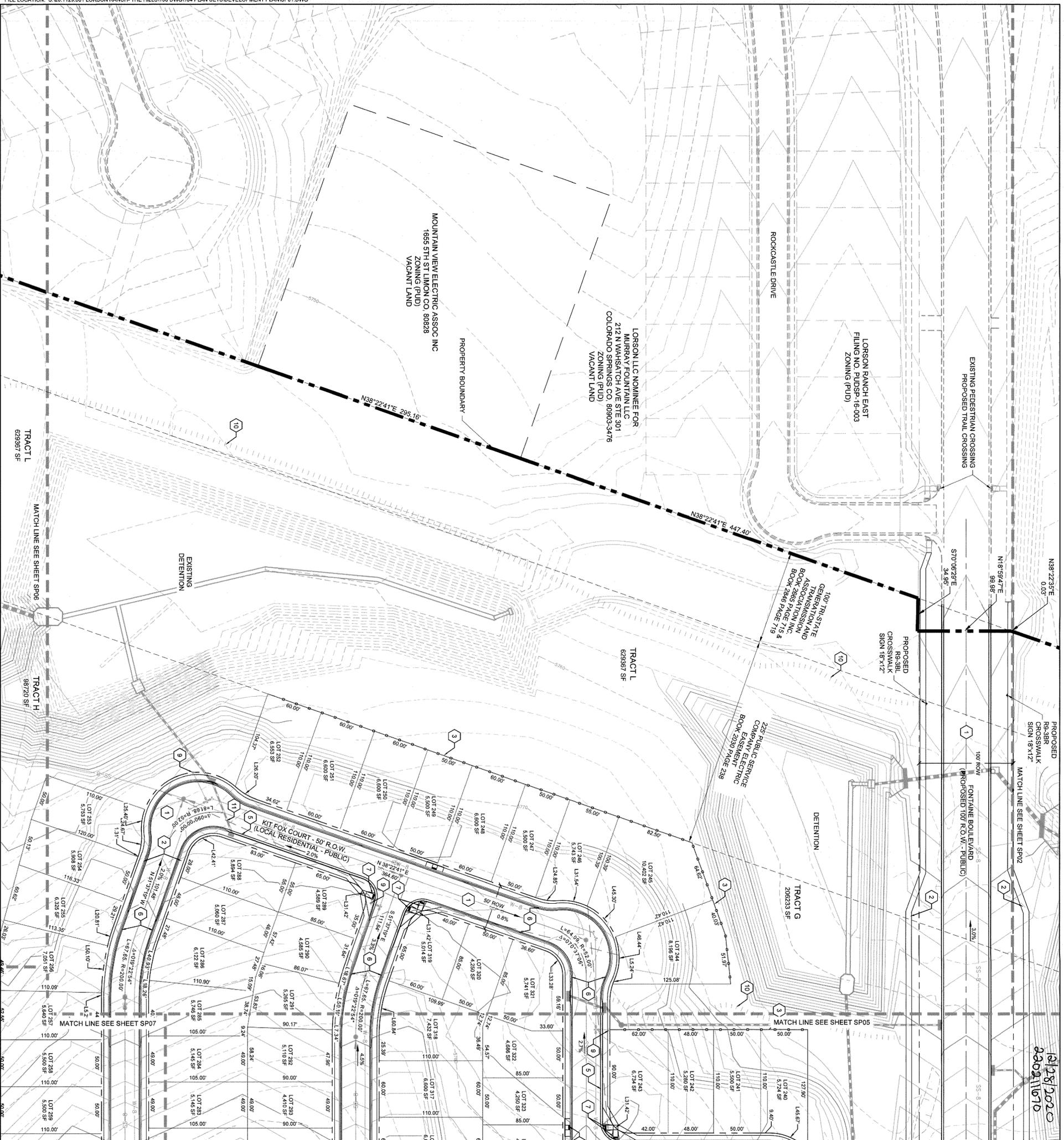
EL PASO COUNTY, CO	
APPROVED:	DECEMBER 10, 2020

THE HILLS AT LORSON RANCH	
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN	



**SITE PLAN**  
**SP03**  
SHEET 07 OF 17

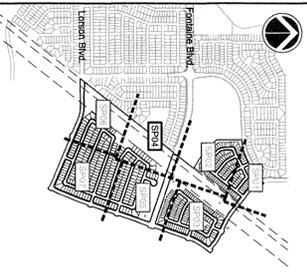
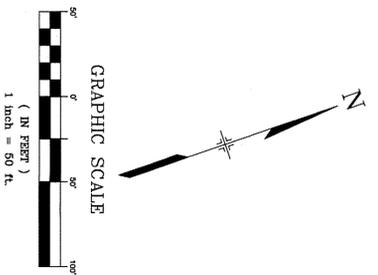
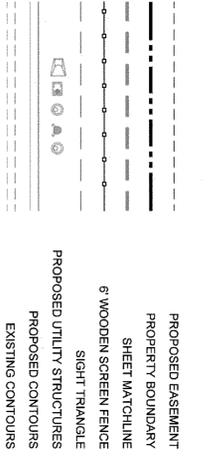


**THE HILLS AT LORSON RANCH**

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN**  
 LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T19S, R30W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS:  
 PLANNER/LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 300 SPRINGS, CO 80903  
**Matrix** PHONE: (719) 575-0100 FAX: (719) 575-0088  
 CIVIL ENGINEER: COME ENGINEERING GROUP SUITE 300 SPRINGS, CO 80903 BURNSVILLE, MN 55505 PHONE: (719) 575-1100 FAX: (719) 575-0088  
 OWNER/REGULATORY: **LORSON LLC** 212 N. WAHSATOH DR., SUITE 301 COLORADO SPRINGS, CO 80903 (719) 535-3200

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 WOOD SCREEN FENCE
  - 4 CONCRETE CROSSSPAN (TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (S TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)



PROJECT: THE HILLS AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 APPROVED: DECEMBER 10, 2020

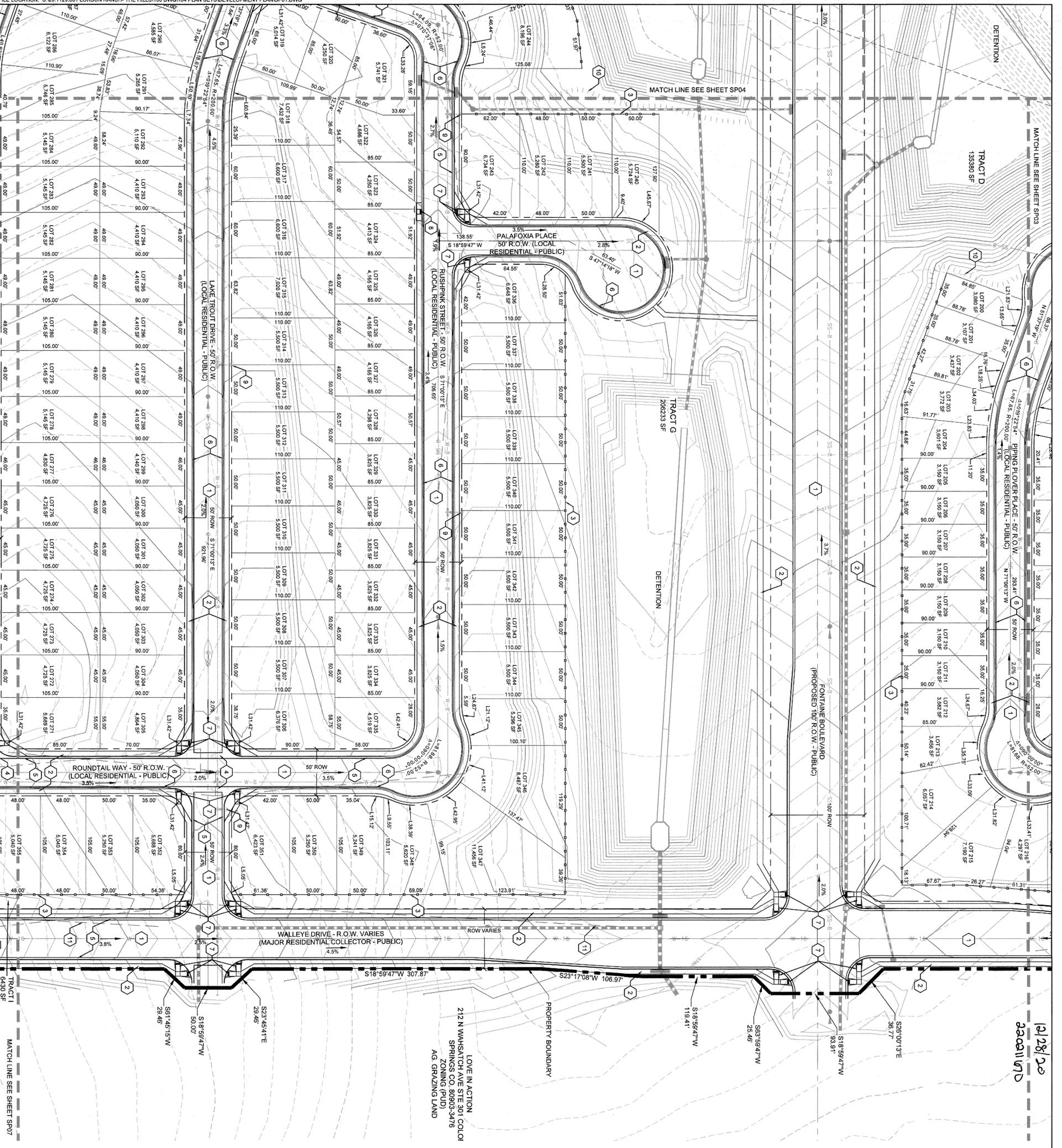
NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

DRAWING INFORMATION:  
 PROJECT NO: 20.1129.001  
 DRAWN BY: RAF  
 CHECKED BY: JAA  
 APPROVED BY: JAA  
 SHEET TITLE:

**SITE PLAN**

**SP04**

**SHEET 08 OF 17**



12/28/20  
JAA/LL/STB

**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN**

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T19S, R69W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

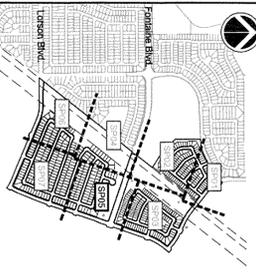
CONSULTANTS:  
PLANNER/LANDSCAPE ARCHITECT:  
**Matrix** 2455 RESEARCH PARKWAY,  
SUITE 300 SPRINGS, CO 80903  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

CIVIL ENGINEER:  
GOME ENGINEERING GROUP  
SUITE 300 SPRINGS, CO 80903  
PHONE: (719) 575-1100

OWNER/DEVELOPER:  
**LORSON LLC**  
212 N WAHSATOH DR., SUITE 301  
COLORADO SPRINGS, CO 80903  
(719) 535-3200

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6 WOOD SCREEN FENCE
  - 4 CONCRETE CROSSLAN (TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6 WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



THE HILLS AT LORSON RANCH  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

EL PASO COUNTY, CO  
APPROVED DECEMBER 10, 2020

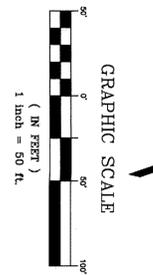
NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

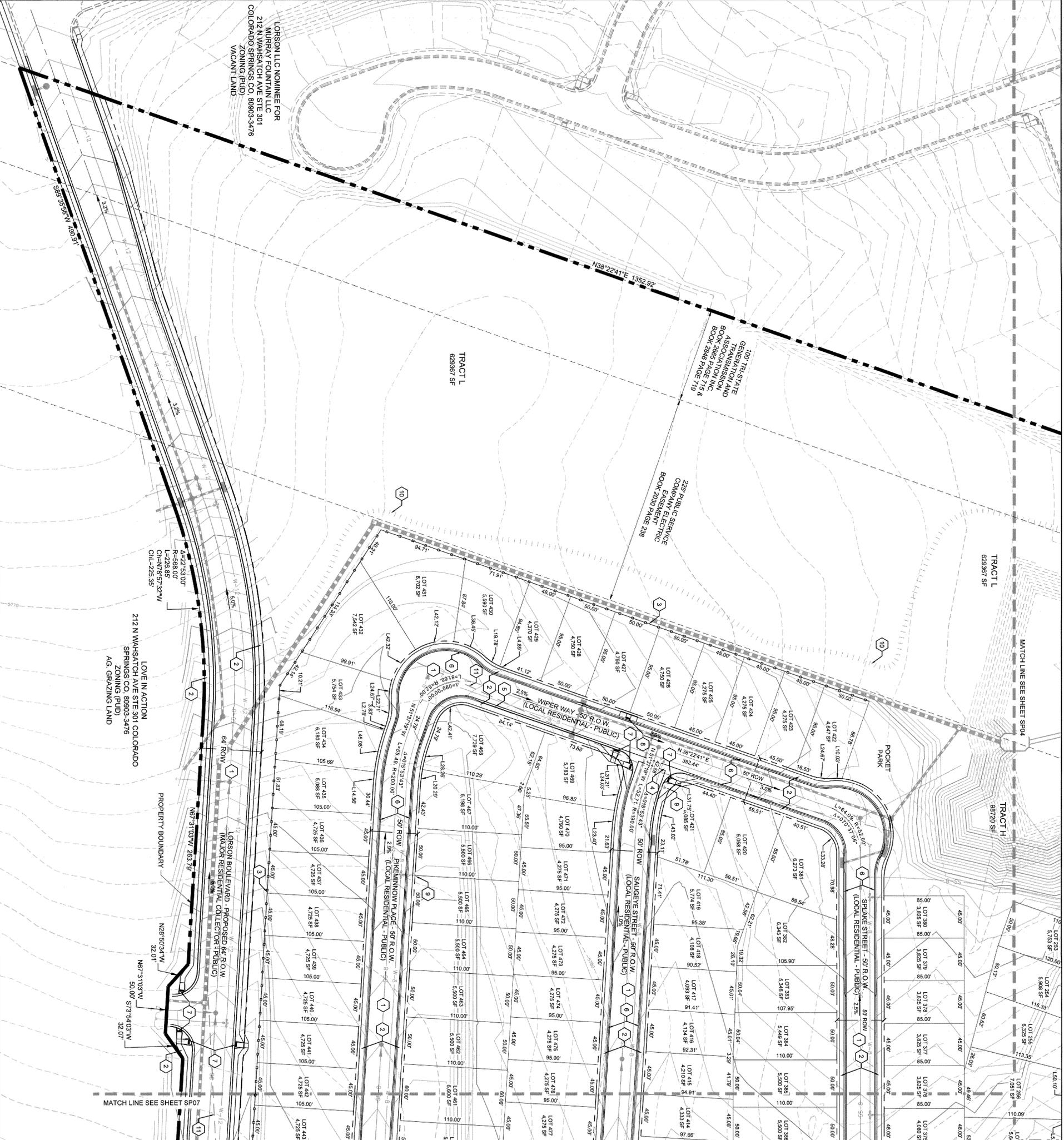
DRAWING INFORMATION:  
PROJECT NO: 20.1129.001  
DRAWN BY: RAF  
CHECKED BY: JAA  
APPROVED BY: JAA  
SHEET TITLE

**SITE PLAN**

**SP05**

**SHEET 09 OF 17**

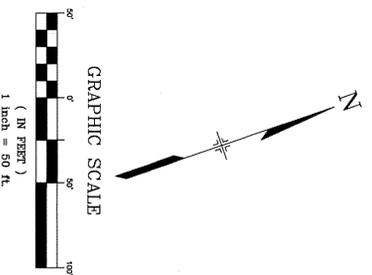




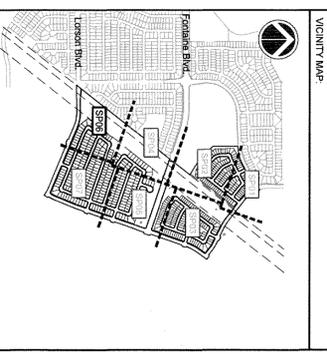
**THE HILLS AT LORSON RANCH**  
 EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**  
 LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE  
 SOUTH HALF (S 1/2) SECTION 13, T8S, R88W OF THE 6TH P.M.,  
 EL PASO COUNTY, STATE OF COLORADO  
 12/28/2020  
 20201107D

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 6" WOOD SCREEN FENCE
  - 4 CONCRETE CROSSPAN (6" TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL, TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (6" TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



**CONSULTANTS**  
 PLANNERS/LANDSCAPE ARCHITECTS: 2455 RESEARCH PARKWAY,  
 SUITE 300, SPRINGS, CO 80903  
**Matrix**  
 PHONE: (719) 575-0200  
 FAX: (719) 575-0208  
 CIVIL ENGINEER:  
 CONE ENGINEERING GROUP  
 BURBANKVILLE, MN 55595  
 PHONE: (719) 579-1100  
 DWGNOISE/DEVELOPER:  
**LORSON LLC**  
 212 N WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 535-3200



PROJECT:  
 THE HILLS AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 APPROVED: DECEMBER 10, 2020  
 REVISION HISTORY:

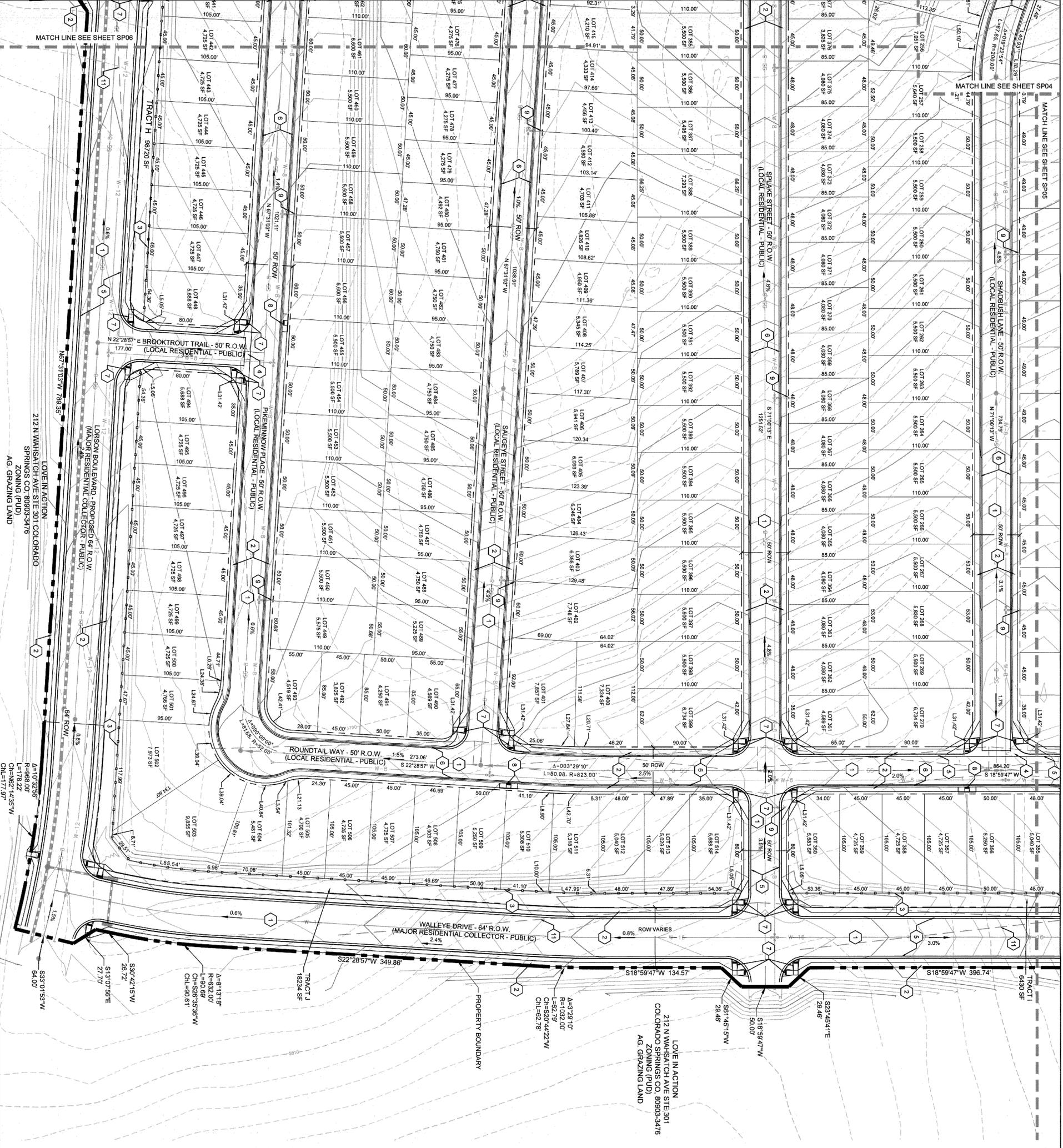
NO.	DATE	DESCRIPTION	BY
1	8/17/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

DRAWING INFORMATION:  
 PROJECT NO: 20.1129.001  
 DRAWN BY: RAF  
 CHECKED BY: JAA  
 APPROVED BY: JAA  
 SHEET TITLE:

**SITE PLAN**

**SP06**

**SHEET 10 OF 17**



**THE HILLS AT LORSON RANCH**

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE  
 SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M.,  
 EL PASO COUNTY, STATE OF COLORADO

12/28/20  
 2020.1107D

**CONSULTANTS**

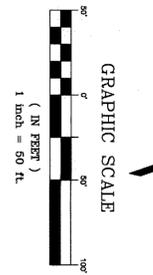
PLANNER/ANALYST ARCHITECT: 2435 RESEARCH PARKWAY,  
 SUITE 300, SPRING, CO 80903  
**Matrix** PHONE: (719) 575-2100  
 FAX: (719) 575-0208

CIVIL ENGINEER: COME ENGINEERING GROUP  
 1000 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 PHONE: (719) 579-1100

LANDSCAPE ARCHITECT: LORSON LLC  
 212 N. WAHSATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 535-3200

- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
  - 2 CONCRETE SIDEWALK
  - 3 WOOD SCREEN FENCE
  - 4 CONCRETE CROSSPAN (6" TYPICAL)
  - 5 CURB AND GUTTER (TYPE A)
  - 6 CURB AND GUTTER (OPTIONAL TYPE C)
  - 7 PEDESTRIAN INTERSECTION RAMP (SD 2-40 & 2-41)
  - 8 PARALLEL PEDESTRIAN RAMP (SD 2-50)
  - 9 PROPOSED FIRE HYDRANT LOCATION
  - 10 COMPACTED BREEZE TRAIL (6" TYPICAL)
  - 11 SIGHT DISTANCE TRIANGLE (TYPICAL)

- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6 WOODEN SCREEN FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



**PROJECT**

THE HILLS AT LORSON RANCH  
 PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN

EL PASO COUNTY, CO  
 APPROVED DECEMBER 10, 2020

**REVISION HISTORY**

NO.	DATE	DESCRIPTION	BY
1	8/1/2020	REVISIONS PER COUNTY REVIEW	RAF
2	10/22/2020	REVISIONS PER COUNTY REVIEW	RAF

**DRAWING INFORMATION:**

PROJECT NO: 20.1129.007  
 DRAWN BY: RAF  
 CHECKED BY: JAA  
 APPROVED BY: JAA  
 SHEET TITLE:

**SITE PLAN**

**SP07**

**SHEET 11 OF 17**

PCD FILE NO: PUBSP07

**THE HILLS AT LORSON RANCH**

EL PASO COUNTY, CO  
**PLANNED UNIT DEVELOPMENT AND  
 PRELIMINARY PLAN**

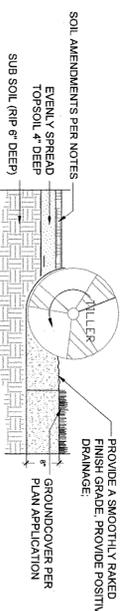
LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE  
 SOUTH HALF (S 1/2) SECTION 13, T15S, R65W, OF THE 6TH P.M.,  
 EL PASO COUNTY, STATE OF COLORADO

12/12/2020  
 2:26:11 PM

CONSULTANTS  
 PLANNER/LANDSCAPE ARCHITECT:  
**Matrix** 2425 RESEARCH PARKWAY,  
 SUITE 300 SPRINGS, CO 80903  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0208

OWNER/ENGINEER:  
**LORSON LLC**  
 212 N. WAHATCH DR., SUITE 301  
 COLORADO SPRINGS, CO 80903  
 (719) 535-3200

OWNER/ENGINEER:  
 CMTL ENGINEER  
 CONSULTING GROUP  
 1001 S. WILSON ST.  
 BURNSVILLE, MN 55306  
 PHONE: (719) 579-1100



- NOTES:  
 1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.  
 2. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.  
 3. FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.

**1 SOIL PREP FOR ALL AREAS**  
 PLANTING DETAIL

NTS

- GENERAL NOTES:**
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER'S REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE BEGINNING OF WORK.
  - FIELD THOROUGHLY AND BECOME FAMILIAR WITH THE DRAWINGS, NOTATIONS, DETAILS AND SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
  - LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS DESCRIBED HEREIN AND AS SHOWN ON THESE PLANS.
  - NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER'S REPRESENTATIVE APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVERSE PLANT LIST AS DEEMED NECESSARY.
  - ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
  - QUANTITIES OF MATERIALS SHOWN ON THE PLANNING PLAN ARE PRESERVE ONE QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANNING PLAN.
  - CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY SHOWN ON THESE PLANS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES ON THE PLANNING PLAN.
  - REMOVE ALL OBSTACLE EQUIPMENT AND MATERIAL, AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UNLESS OTHERWISE SPECIFIED AND MATERIALS BY OTHER TRAFFIC IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
  - STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCES AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
  - ALL COMMON LANDSCAPE AND STREETSCAPE PLANTINGS WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
  - ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FINISHED ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERRIES, BUILDINGS, PARKED VEHICLES OR RIVALS PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY COLUMNS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ENGINEER AND/OR OWNER IF PROVIDED TO AT LEAST 8 FEET ABOVE THE FINISHED ELEVATION OF THE ADJACENT ROADWAY.

**SHRUB/ TREE PLANTING NOTES:**

- ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES, AND PERENNIALS AS SPECIFIED. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION. HEALTHY AND DISEASE-FREE AND BE TYPICAL OF THE SPECIES. PLANTS SHALL CONFORM IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE COLORADO NURSERY ACT OF 1965, TITLE 35, ARTICLE 26, CRS 1974 GBE (LANDSCAPE THE NURSERY ACT).
- PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
- PLANTING BENS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BENS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BENS.
- PERVIOUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL TREE BARKS OF ROOT BENS AND LOSS BARKS AROUND BASE OF TRUNK SHALL BE REMOVED. THE BARK OF ALL PLANTS SHALL BE PROTECTED FROM DAMAGE BY MULCH. MULCH SHALL BE APPLIED TO THE ROOT FLARE AND SHALL BE AT LEAST 2 INCHES ABOVE GRADE. MULCH SHALL BE APPLIED TO THE ROOT FLARE AND SHALL BE AT LEAST 2 INCHES ABOVE GRADE. MULCH SHALL BE APPLIED TO THE ROOT FLARE AND SHALL BE AT LEAST 2 INCHES ABOVE GRADE. MULCH SHALL BE APPLIED TO THE ROOT FLARE AND SHALL BE AT LEAST 2 INCHES ABOVE GRADE.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY PLANTS THAT DO NOT MEET THE SPECIFICATIONS. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY PLANTS THAT DO NOT MEET THE SPECIFICATIONS. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY PLANTS THAT DO NOT MEET THE SPECIFICATIONS.

**SODDING & SEEDING:**

- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERSON ADDITIONAL FINE GRADING.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN 10% TOLERANCE. THE SEED MIXES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL. THE SEED MIXES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL. THE SEED MIXES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL OR HYDROMULCH IS THE REQUIRED METHOD.
- SEEDS LESS THAN 1/4" SEED SHALL BE PLANTED USING A PNEUMATIC AND BALL UTILITY SHALL BE USED FOR SEEDING. SEEDS GREATER THAN 1/4" SHALL BE PLANTED USING A PNEUMATIC AND BALL UTILITY SHALL BE USED FOR SEEDING. SEEDS GREATER THAN 1/4" SHALL BE PLANTED USING A PNEUMATIC AND BALL UTILITY SHALL BE USED FOR SEEDING.
- APPROVAL OF SEEDS: SEEDS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IT GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IT GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IT GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA.



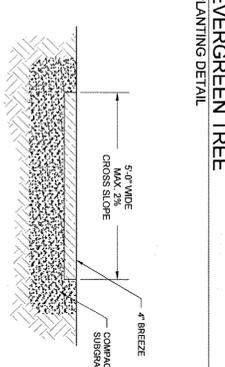
**DEVELOPMENT PLAN DATA:**

**LANDSCAPE SETBACKS:**

STREET NAME OR ZONE BOUNDARY:	GRAYLING DR.	WALLEYE DR.	LAMPREY DR.	LORSON BLVD.	FONTAINE BLVD.
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO	NO
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	COLLECTOR	ARTERIAL	ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	10' / 10'	10' / 10'	25' / 25'
LINEAR FOOTAGE:	1,200'	2,805'	735'	1,474'	1,855'
TREE/FEET REQUIRED:	1 / 30	1 / 30	1 / 30	1 / 30	1 / 20
NUMBER OF TREES REQUIRED/PROVIDED:	40 / 40	87 / 87	25 / 25	49 / 49	93 / 93
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN: *	GD	WD	LM	LB	FB
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%

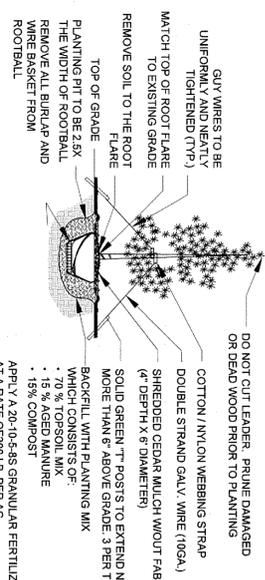
**5 COMPACTED BREEZE TRAIL**  
 TRAIL DETAIL

NTS



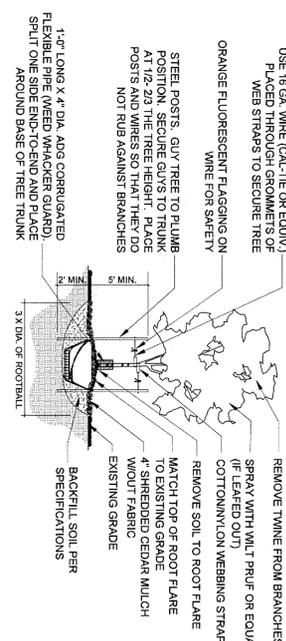
**4 EVERGREEN TREE**  
 PLANTING DETAIL

NTS



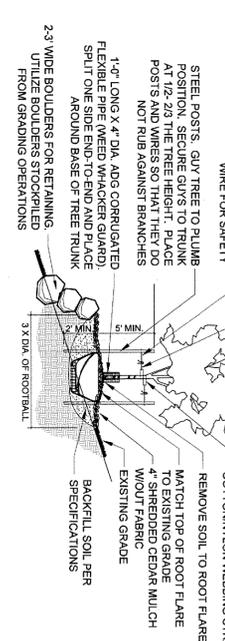
**2 DECIDUOUS TREE**  
 PLANTING DETAIL

NTS



**3 TREE SLOPE DETAILS**  
 PLANTING DETAIL ON SLOPES (3:1 OR STEEPER)

NTS



**LANDSCAPE NOTES, DETAILS**

**LS01**

**SHEET 12 OF 17**

PROJECT: THE HILLS AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN  
 EL PASO COUNTY, CO  
 APPROVED: DECEMBER 10, 2020

REVISION HISTORY:

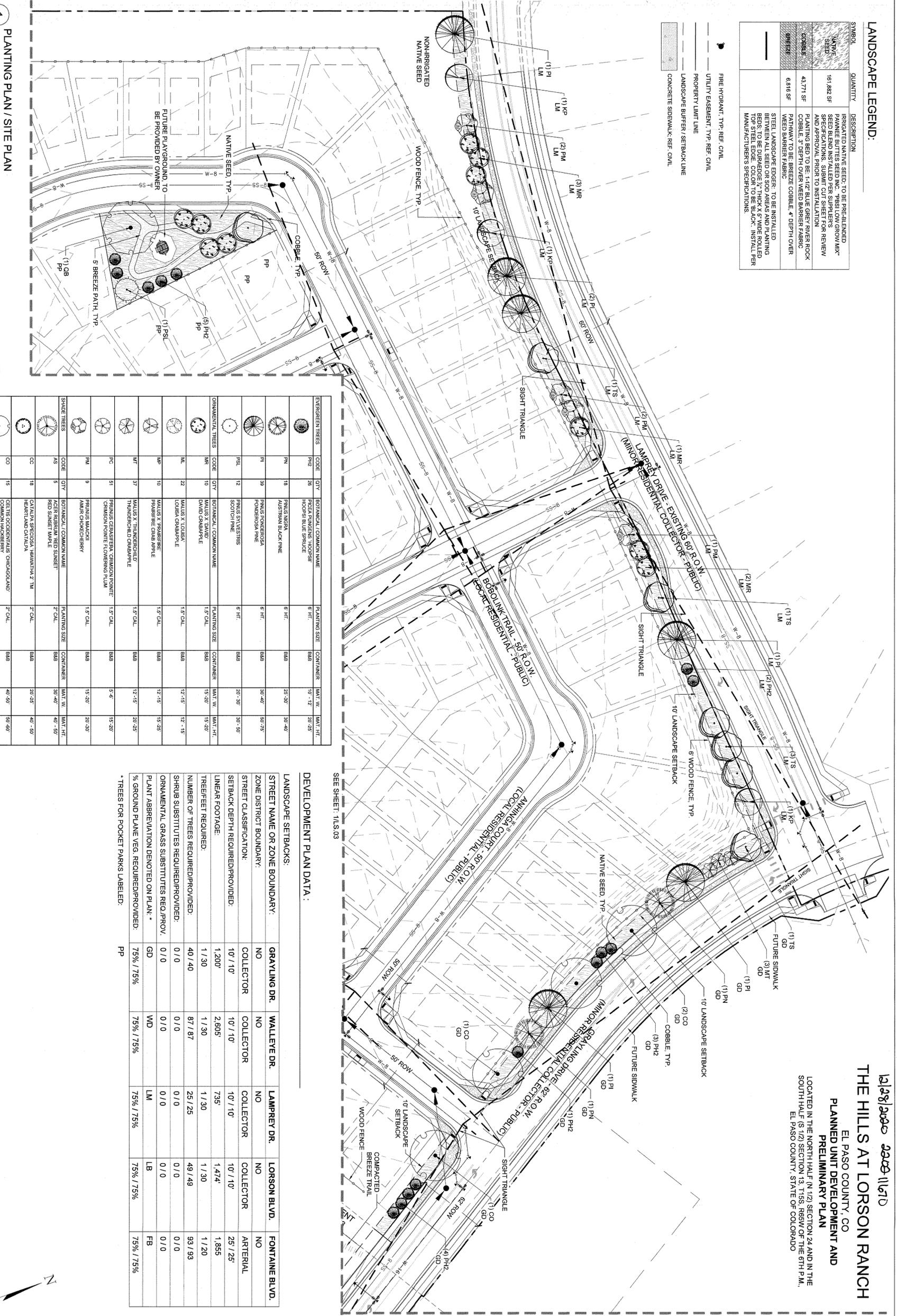
NO.	DATE	DESCRIPTION	BY
1	7/31/2020	REVISIONS PER COUNTY REVIEW	SC
2	10/22/2020	REVISIONS PER COUNTY REVIEW	SC

DRAWING INFORMATION:  
 PROJECT NO: 2011229.001  
 DRAWN BY: SC  
 CHECKED BY: JA  
 APPROVED BY: JA  
 SHEET TITLE:

**LANDSCAPE LEGEND:**

SYMBOL	QUANTITY	DESCRIPTION
	161,882 SF	IRRIGATED NATIVE SEED. TO BE PRE-BLENDED PANAMEE BUTTES SEED INC. "PBR3 LOW GROW MIX" SEED BEDS INSTALLED PER SUPPLIER'S SPECIFICATIONS AND APPROVAL PRIOR TO INSTALLATION
	43,771 SF	PLANTING BED TO BE 1-1/2" BLUE GREY RIVER ROCK COBBLE. 3" DEPTH OVER WEED BARRIER FABRIC. PATHWAY TO BE BREEZE COBBLE. 4" DEPTH OVER WEED BARRIER FABRIC.
	6,818 SF	STEEL LANDSCAPE EDGER. TO BE INSTALLED BETWEEN ALL SEED OR SOIL AREAS AND PLANTING BEDS. TO BE DURABLE 1/2" THICK X 6" WIDE ROLLED TOP STEEL EDGE. COLOR TO BE BLACK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

- FIRE HYDRANT. TYP. REF. CIVIL
- UTILITY EASEMENT. TYP. REF. CIVIL
- PROPERTY LIMIT LINE
- LANDSCAPE BUFFER / SETBACK LINE
- CONCRETE SIDEWALK. REF. CIVIL



**1 PLANTING PLAN / SITE PLAN**  
SCALE: 1" = 40'

EMERGENCY TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	MAT. W.	MAT. HT.
	PH2	28	PISEA PUNIGENS 'HOOVER' HOOPER'S BLUE SPRUCE	6" HT.	10"	12"	20-25"
	PH	18	PNUS NIGRA AUSTRALIAN BLACK PINE	6" HT.	10"	12"	20-25"
	PI	38	PNUS PONDEROSA PONDROSA PINE	6" HT.	10"	12"	20-25"
	PH2	12	PNUS STYVENSIUS SCOTCH PINE	6" HT.	10"	12"	20-25"
	OTV	10	BOTANICAL / COMMON NAME	1.5" CAL.	15-20"	15-20"	30-50"
	ML	22	MAULUS X LINDUS DAVID CHERRY	1.5" CAL.	15-20"	12-15"	12-15"
	LO	10	LOBUS CHRYSAEAE PRAYER TREE	1.5" CAL.	15-20"	12-15"	15-25"
	MA	10	MAULUS X FRAGRANS MAULUS X FRAGRANS	1.5" CAL.	15-20"	12-15"	15-25"
	TH	37	THUNDERBOLD CHERRY MAULUS X THUNDERBOLD	1.5" CAL.	15-20"	12-15"	20-25"
	FC	51	FRANKLIN PRUNUS CERASIFERA CRIMSON PRINCE	1.5" CAL.	15-20"	5-6"	15-20"
	PM	9	PRUNUS PUMILA PRUNUS PUMILA	1.5" CAL.	15-20"	15-20"	20-30"
	CO	15	COMMON HACKBERRY CERCIS COCAURENTIS	2" CAL.	18-24"	20-25"	40-50"
	CC	18	HEARTLAND CATALPA CATALPA SPECIOSA	2" CAL.	18-24"	20-25"	40-50"
	GP	27	GOLDEN PEAR TREE KEELBRETTERIA PANICULATA	2" CAL.	18-24"	20-25"	30-30"
	QB	18	QUERCUS BRICOLOR QUERCUS BRICOLOR	2" CAL.	18-24"	40-50"	40-50"
	GM	19	GUISMUD MACROCARPA GUISMUD MACROCARPA	2" CAL.	18-24"	40-50"	50-60"
	TS	13	TILIA TOMENTOSA STERLING TILIA TOMENTOSA	2" CAL.	18-24"	20-35"	40-50"

**DEVELOPMENT PLAN DATA:**

STREET NAME OR ZONE BOUNDARY:	GRAYLING DR.	WALLEVE DR.	LAMPREY DR.	LORSON BLVD.	FONTAINE BLVD.
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO	NO
STREET CLASSIFICATION:	COLLECTOR	COLLECTOR	COLLECTOR	COLLECTOR	ARTERIAL
SETBACK DEPTH REQUIRED/PROVIDED:	10' / 10'	10' / 10'	10' / 10'	10' / 10'	25' / 25'
LINEAR FOOTAGE:	1,200'	2,805'	735'	1,474'	1,855'
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NUMBER OF TREES REQUIRED/PROVIDED:	40 / 40	87 / 87	25 / 25	49 / 49	93 / 93
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTES REQ./PROV.:	0 / 0	0 / 0	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN. *	GD	WD	LM	LB	FB
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75% / 75%	75% / 75%	75% / 75%	75% / 75%	75% / 75%

\* TREES FOR POCKET PARKS LABELED: PP

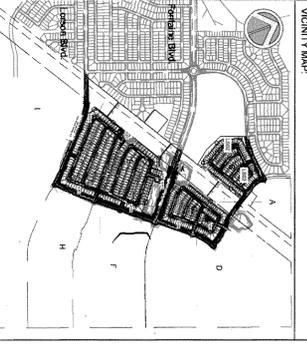
**THE HILLS AT LORSON RANCH**  
EL PASO COUNTY, CO  
PLANNED UNIT DEVELOPMENT AND  
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R66W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

**CONSULTANTS**  
PLANNER / LANDSCAPE ARCHITECT: 2435 RESEARCH PARKWAY, SUITE 200, COLORADO SPRINGS, CO 80909  
PHONE: (719) 579-0100  
FAX: (719) 575-0208

**CIVIL ENGINEER:** ONE ENGINEERING GROUP, 1000 W. WASHINGTON, SUITE 100, BURNSVILLE, MN 55336  
PHONE: (719) 579-1100

**OWNER/DEVELOPER:** LORSON LLC, 212 N. WAHATCH DR., SUITE 301, COLORADO SPRINGS, CO 80903  
PHONE: (719) 535-3200



**PROJECT:** THE HILLS AT LORSON RANCH PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

**EL PASO COUNTY CO**  
APPROVED: DECEMBER 10, 2020

NO.	DATE	DESCRIPTION	BY
1	7/31/2020	REVISIONS PER COUNTY REVIEW	SC
2	10/22/2020	REVISIONS PER COUNTY REVIEW	SC

**DRAWING INFORMATION:**

PROJECT NO.: 2011129.0011  
DRAWN BY: SC  
CHECKED BY: JA  
APPROVED BY: JA  
SHEET TITLE: PLANTING PLAN







