LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9B PART OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

# GRADING AND EROSION CONTROL PLAN

LIST OF CONTACTS

APPLICANT/DEVELOPER

ENT CREDIT UNION 7750 CAMPUS DRIVE COLORADO SPRINGS, CO 80920 TEL: (719) 550-6795 CONTACT: JEFF WILKINS

EMAIL: JWILKINS@ENT.COM

**ENGINEER** 

GALLOWAY & COMPANY, INC. 6162 SOUTH WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, COLORADO 80111

TEL: (303) 770-8884

FAX: (303) 770-3636 CONTACT: PATRICK M. GUNN, P.E. EMAIL: PATRICKGUNN@GALLOWAYUS.COM

ARCHITECT

KEYS & LAUER ARCHITECTS 417 SOUTH CASCADE AVENUE COLORADO SPRINGS, CO 80903

TEL: (719) 634-3751 CONTACT: VIC LAUER EMAIL: VIC@KEYSLAUERARCHITECTS.COM

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC. 6162 SOUTH WILLOW DRIVE, SUITE 320

GREENWOOD VILLAGE, COLORADO 80111 TEL: (303) 770-8884

FAX: (303) 770-3636 CONTACT: DANIELLE TOEPFER EMAIL: DANIELLETOEPFER@GALLOWAYUS.COM

SURVEYOR

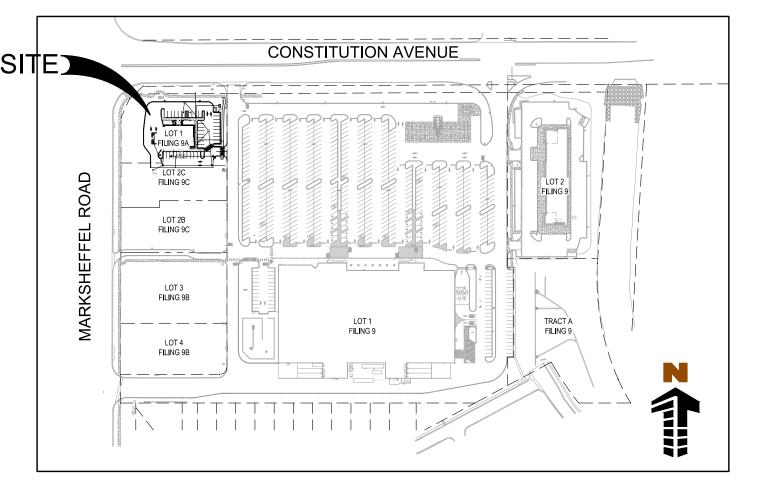
GALLOWAY & COMPANY, INC.

1755 TELSTAR DRIVE. SUITE 107 COLORADO SPRINGS, COLORADO 80920

TEL: (719) 900-7220 FAX: (303) 770-3636 CONTACT: BRIAN DENNIS

EMAIL: BRIANDENNIS@GALLOWAYUS.COM

Constitu Constitution Av Constitution Ave. Notre Way trish Dr Tennis Ln Colorado Tech Ave VICINITY MAP



SCALE: 1" = 1000'

SCALE: 1" = 1000'

SHEET LIST				
DESCRIPTION	SHEET TITLE	SHEET NUMBER		
C2.0	COVER SHEET	1		
C2.1	GRADING PLAN	2		
C2.2	EROSION CONTROL PLAN	3		
C2.3	EROSION CONTORL DETAILS	4		

#### PROPERTY DESCRIPTION

LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9A, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 2016 AT RECEPTION NO. 216713741 IN THE RECORDS OF EL PASO COUNTY, STATE OF COLORADO.

### **DESIGN ENGINEER'S STATEMENT**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CHTHE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

PATRICK M GUNN, P.E. #xxxxx

#### OWNER/DEVELOPER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

EVERGREEN - CONSTITUTION & MARKSHEFFEL, LLC DATE 2390 E. CAMELBACK RD SUITE 410 PHOENIX, AZ 85016

### **EL PASO COUNTY**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E., COUNTY ENGINEER / ECM ADMINISTRATOR

Add "PCD File No. PPR-18-012"

F CREDIT UNION E CONSTRUCTION PLANS F 1, BLOCK 1, REMONT RANCH FILING NO. (

6162 S. Willow Drive, Suite 320

Greenwood Village, CO 80111

©2015. Galloway & Company, Inc. All Rights Reserved

303.770.8884 O

www.gallowayUS.com

# Date Issue / Description Init. 1 03/05/18 1st SUBMITTAL

Drawn By: Checked By:

**COVER SHEET** 

LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9B

**CONSTITUTION AVENUE** 

(120' PUBLIC R.O.W.)

44.04~  $\Delta = 0.61'$ 

 $\Delta = 0.99'$ 

Δ = 1.06'

50' PERMANENT EASEMENT

(REC. NO. 210009346) ,

2.11%

20' DEDICATED PUBLIC RIGHT-OF-WAY -24,427 SQUARE FEET (0.5608 ACRES)

0.41%

sased on the grading i

LOT 2A, BLOCK 1 CLAREMONT RANCH

FILING NO. 9C

58,922 S.F. / 1.353 ACRES

"NO BUILDINGS"

appears that

from the C&G will

bypass the inlet.

REC. NO. 216713717

LOT 1, BLOCK 1 CLAREMONT RANG FILING NO. 9B 43,707 S.F. / 1.003 AC

PART OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,

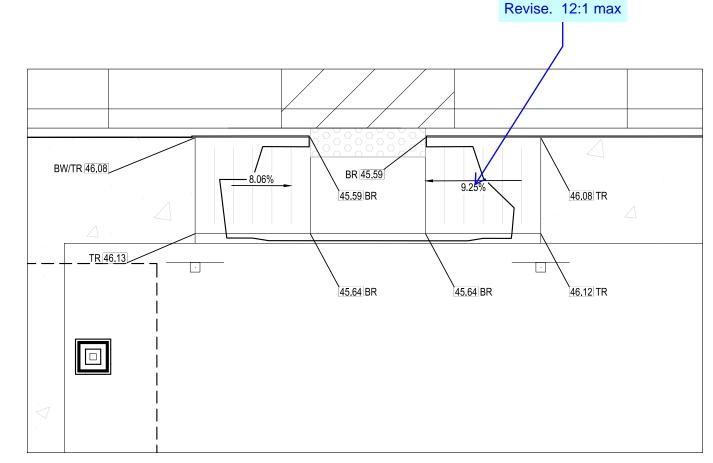
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## GRADING AND EROSION CONTROL PLAN

Revise cross slope to

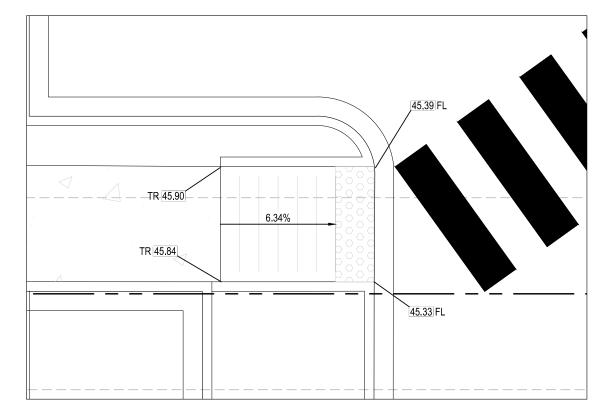
ENLARGEMENT 3

► ENLARGEMENT 4

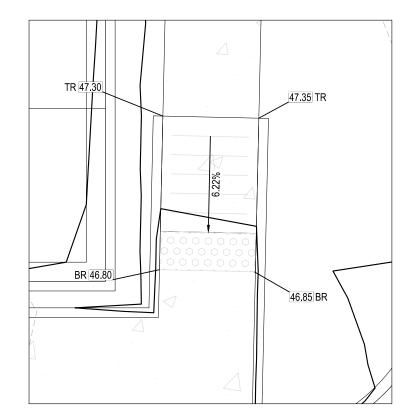


### **ENLARGEMENT 1**

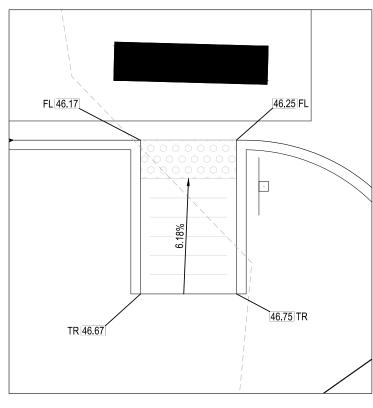
SCALE: 1" = 5'



### **ENLARGEMENT 2**



**ENLARGEMENT 3** 



**ENLARGEMENT 4** SCALE: 1" = 5'

#### **GRADING LEGEND**

---- ADJACENT PROPERTY BOUNDARY LINE EASEMENT BOUNDARY LINE PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR EXISTING STORM SEWER PROPOSED STORM SEWER EXISTING MANHOLE PROPOSED MANHOLE PROPOSED INLETS TOP OF RAMP FINISHED FLOOR FINISHED GRADE MATCH EXISTING LOW POINT HIGH POINT BACK OF WALK BOTTOM OF RAMP 45.18 EXISTING SPOT ELEVATION

PROPERTY BOUNDARY LINE

#### **GRADING NOTES**

1. CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.

PROPOSED SPOT ELEVATION

- 2. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- 3. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT
- 4. SET PROPERTY CORNER PINS IN CONCRETE, IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A
- 5. THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- 6. ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED
- 7. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- 8. ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A
- 9. ALL STORM SEWER IS PRIVATE AND SIZED FOR THE 100-YR EVENT, UNLESS OTHERWISE NOTED.
- 10. ADD 6400 TO ALL SPOT ELEVATIONS.

REGISTERED SURVEYOR.

11. ENSURE THAT THE PROVISIONS OF CRS 37-92-602, AS AMENDED BY SENATE BILL 15-212, REGARDING NOTIFICATION OF DOWNSTREAM WATER RIGHTS HOLDERS ARE UPHELD.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### **BASIS OF BEARING**

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE EAST ROW LINE OF MARKSHEFFEL ROAD, ALSO BEING THE WEST LINE OF CLAREMONT RANCH FILING NO. 9A, MONUMENTED ON THE NORTH WITH A NO. 5 REBAR W/ YELLOW PLASTIC CAP, "PLS 36567" AND ON THE SOUTH BY A NAIL & DISC, "PLS 38069" AND IS CONSIDERED TO BEAR N00°08'32"E.

#### BENCHMARK

ELEVATIONS FOR THE SITE WERE BASED ON THE COLORADO SPRINGS UTILITIES, FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK "BLT104" (ELEV=6452.43 NGVD 29). "BLT104" IS A 2" FIMS ALUMINUM CAP AND IS SET ON THE NORTHEAST CORNER OF A HEADWALL BOX CULVERT AT THE FIRST CREEK CROSSING UNDER CONSTITUTION AVE, EAST OF MARKSHEFFEL ROAD.

TBM #1 (ON-SITE BENCHMARK)
LOCATED ALONG THE FRONT OF SIDEWALK ALONG THE SOUTH RIGHT OF WAY OF CONSTITUTION AVE AND EAST OF THE ACCESS DRIVE. ELEV=6449.13'

#### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY

THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD.

Call before you dig. REPORT INFORMATION TO THE ENGINEER PRIOR TO

DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



F CREDIT UNION E CONSTRUCTION PLANS F 1, BLOCK 1, REMONT RANCH FILING NO. (

6162 S. Willow Drive, Suite 320

Greenwood Village, CO 80111

©2015. Galloway & Company, Inc. All Rights Reserved

303.770.8884 O

www.gallowayUS.com

Checked By:

**GRADING PLAN** 

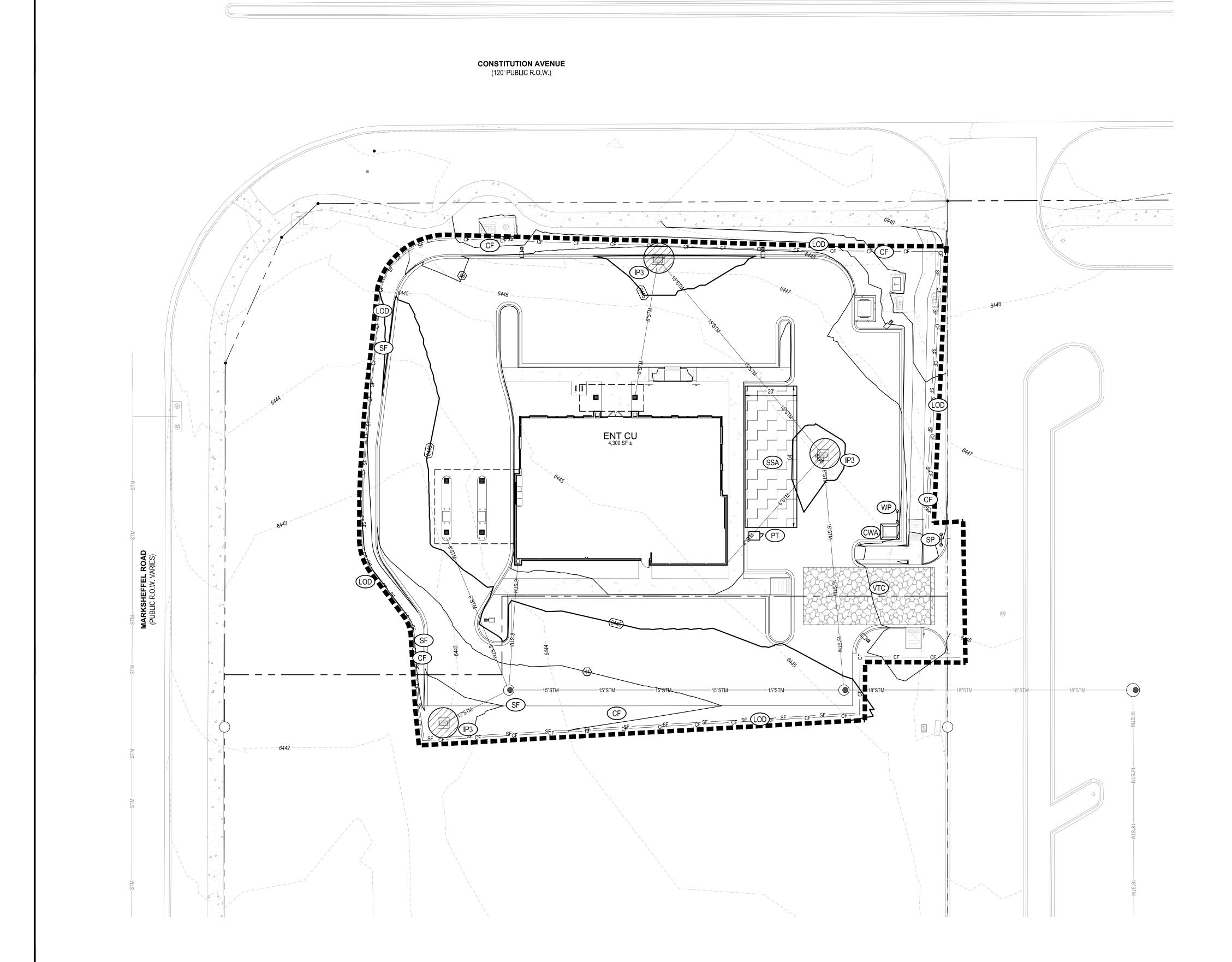
SHEET 2 OF 4

LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9B

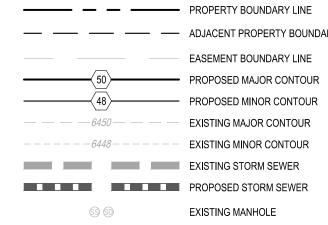
PART OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,

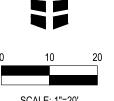
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

# GRADING AND EROSION CONTROL PLAN









#### EROSION CONTROL LEGEND

ENGOIGH COMMICE EEGEND			
	LOD	LIMITS OF DISTURBANCE (0.743 AC.)	
2.56%		FLOW ARROW	
	VTC	CONSTRUCTION VEHICLE ENTRY	
——— CF ———	CF	CONSTRUCTION FENCE	
SF	SF	SILT FENCE	
	CWA	CONCRETE WASHOUT	
	SSA	STABILIZED STAGING AREA	
	IP-1	IP-1 - FILTER FABRIC INLET PROTECTION	
	IP-3	IP-3 - ROCK SOCK AREA INLET PROTECTION	
	SP	SITE POSTING (CONTACTS AND PERMITS)	
<b>○</b>	WP	WASHOUT POSTING	
4	PT	PORTABLE TOILET	

#### NOTES

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN

#### BENCHMARK

ELEVATIONS FOR THE SITE WERE BASED ON THE COLORADO SPRINGS UTILITIES, FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) BENCHMARK "BLT104" (ELEV=6452.43 NGVD 29). "BLT104" IS A 2" FIMS ALUMINUM CAP AND IS SET ON THE NORTHEAST CORNER OF A HEADWALL BOX CULVERT AT THE FIRST CREEK CROSSING UNDER CONSTITUTION AVE, EAST OF MARKSHEFFEL ROAD.

TBM #1 (ON-SITE BENCHMARK)
LOCATED ALONG THE FRONT OF SIDEWALK ALONG THE SOUTH RIGHT OF WAY OF CONSTITUTION AVE AND EAST OF THE ACCESS DRIVE. ELEV=6449.13'

### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY

DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD.

Call before you dig. REPORT INFORMATION TO THE ENGINEER PRIOR TO



6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884 O www.gallowayUS.com

©2015. Galloway & Company, Inc. All Rights Reserved

ENT CREDIT UNION SITE CONSTRUCTION PLANS LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9

Project No:	ECU007
Drawn By:	JJA
Checked By:	PMG
Date:	03/05/18

# Date Issue / Description Init.

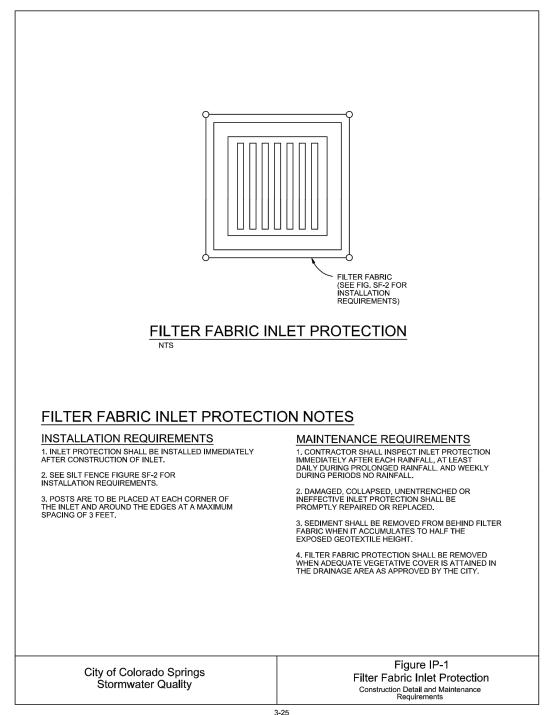
EROSION CONTROL PLAN

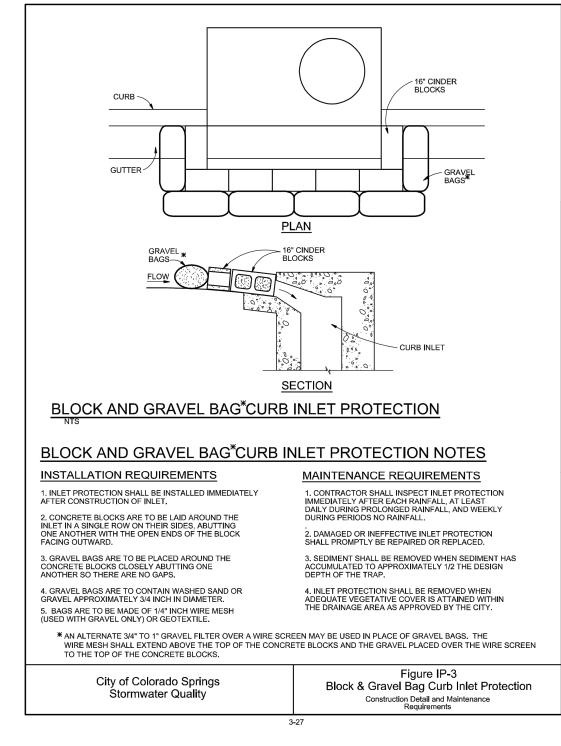
LOT 1, BLOCK 1, CLAREMONT RANCH FILING NO. 9B

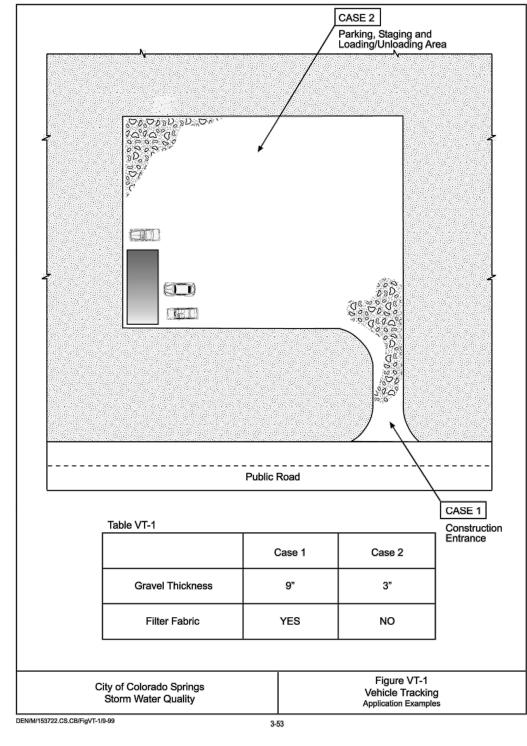
PART OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,

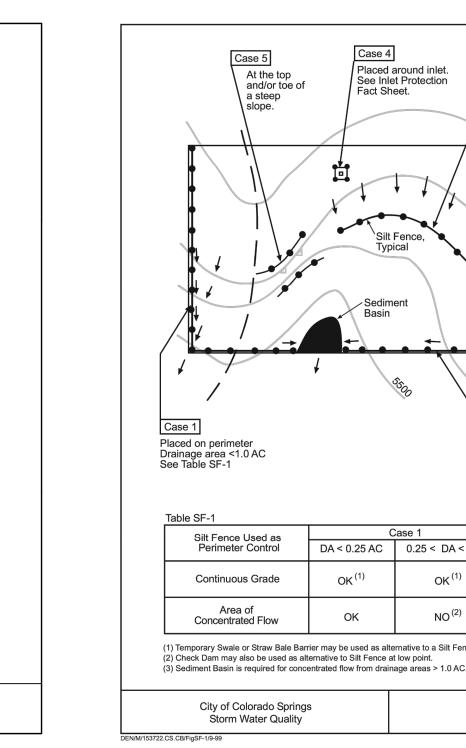
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

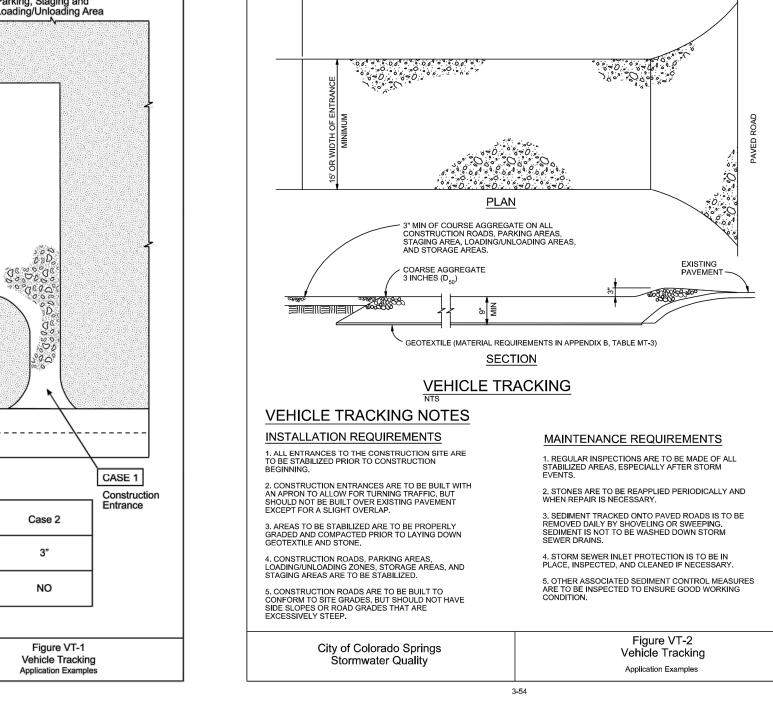
### GRADING AND EROSION CONTROL PLAN











#### **GENERAL NOTES**

- 1. AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
- 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS
- REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM TRAFFIC FROM THIS SITE.

4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR

- LANDSCAPED. REFER TO LANDSCAPE PLANS FOR PERMANENT SEED MIX AND PLANTING SPECIFICATIONS.
- 5. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE, EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
- 6. THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR GRADING OR STORM SEWER CONSTRUCTION.
- 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN SITE IS PAVED.

#### Revise any references from "Development Services" DSD) to "Planning and Community Development"

#### EL PASO COUNTY GRADING AND EROSION CONTROL NOTES

- CONSTRUCTION MAT NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION. CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLITION OF ANY ON-SITE OR OFF SITE WATERS. INCITIDING WETLANDS
- AND CONSTRUCTION RELATED TO ROADS. STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN
- FROSION AND STORMWATER QUALITY CONTROL PERMIT (ESOCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.

NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION. ALL DESIGN

- 5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPS AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR. ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL FROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPS SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL APPENDIX I
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPS IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP)
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPS AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE FARTH DISTURBANCE OPERATION.
- 10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME 11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF
- STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY. 12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH
- WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. 13. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- 14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN, BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES. 15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED
- OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY. 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A
- RESULT OF SITE DEVELOPMENT. 18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL
- MANUFACTURER'S LABELS. 19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE
- REQUIRED. 20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE
- WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. 21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- 22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE,
- OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY. 23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES. 25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED
- TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND. 26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING (JOB #: 15-3527, DATED JUNE
- 12, 2015) AND SHALL BE CONSIDERED A PART OF THESE PLANS. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE. THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND
- ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530

### MANAGEMENT STRATEGIES

ATTN: PERMITS UNIT

- 1. VEHICLE TRACKING CONTROL SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE ENTIRE DURATION OF THE 2. THE INLET PROTECTION SHOWN ON THE ENCLOSED EROSION CONTROL PLAN SHALL BE SECURED AND PLACED
- ACCORDING TO THE DETAILS CONTAINED ON THIS PLAN. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION. SUPERINTENDENT RESPONSIBLE FOR SEEING THAT APPROPRIATE CONSTRUCTION WORKERS AND SUBCONTRACTORS ARE AWARE OF ALL PROVISIONS OF THE PLAN
- 4. CONTRACTOR SHALL ESTABLISH FINAL LANDSCAPING STABILIZATION PER THE LANDSCAPING PLANS & EROSION CONTROL PLAN IN THIS SET AT THE COMPLETION OF THE PROJECT.
- A. TRANSPORT TRASH AND DEBRIS, AND SURPLUS AND UNACCEPTABLE SOIL MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. B. REMOVE ALL TEMPORARY SHORING, BRACING, EROSION CONTROL, AND OTHER PROTECTION DEVICES WHEN NO LONGER REQUIRED BY CITY.

#### MAINTENANCE

- IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:
- 1. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING AND FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY MUST BE REMOVED IMMEDIATELY.
- GRAVEL FILTERS, GRAVEL SOCKS OR OTHER INLET PROTECTION WILL BE CHECKED REGULARLY FOR SEDIMENTATION BUILDUP AND CLEANED AS REQUIRED.

#### PERFORMANCE STANDARDS

THE GENERAL REQUIREMENTS FOR EROSION CONTROL WORK SHALL BE AS FOLLOWS:

- ANY LAND DISTURBING ACTIVITY SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE
- ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. STRUCTURAL EROSION CONTROL MEASURES INCLUDED IN THE APPROVED PLAN ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, INSTALLATION WILL MEET SPECIFICATIONS SHOWN ON THE DETAIL SHEET. CONTROL MEASURES NECESSARY FOR CONTINUING PHASES OF CONSTRUCTION SHALL BE INSTALLED AS DETAILED IN THE SUBMITTED CONSTRUCTION SCHEDULE OR AS NEEDED IN PROGRESSION TO THE FINAL EROSION CONTROL PLAN.
- ALL LAND DISTURBING ACTIVITIES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER THAT THE EXPOSURE TIME OF DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE LEAVING
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH OR FROM THE LAND DISTURBING ACTIVITY SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO
- GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO APPROVED PLANS THE PERMITEE IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL STRUCTURES. THESE STRUCTURES ARE TO BE INSPECTED BY THE PERMITEE EVERY 14 DAYS AND AFTER EVERY PRECIPITATION EVENT TO INSURE THEIR EFFICIENCY AND TO EVALUATE MAINTENANCE NEEDS OR PER LOCAL INSPECTION

6. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND AREAS OF LAND DISTURBANCE

REQUIREMENTS. MAINTENANCE OF THESE STRUCTURES MAY BE DIRECTED AT ANY TIME BY A CITY OR STATE THESE STANDARDS DO NOT SUPPLANT ANY CITY, STATE OR FEDERAL REQUIREMENTS, CONTRACTOR SHALL ALWAYS ADHERE TO THE STRICTER STANDARD SHOULD ANY DISCREPANCY ARISE.

တ TUNION TRUCTION CK 1, LO SI REL SON SON BL( MON

6162 S. Willow Drive, Suite 320

Greenwood Village, CO 80111

©2015. Galloway & Company, Inc. All Rights Reserve

303.770.8884 O

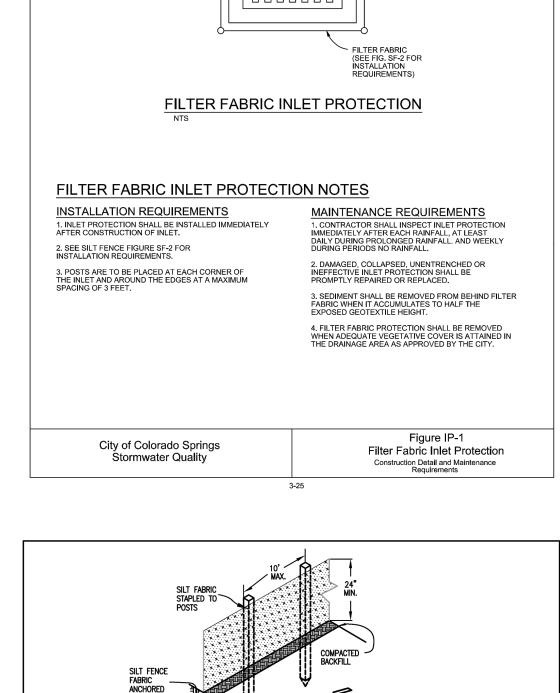
www.gallowayUS.com

#	Date	Issue / Description	Ini
1	03/05/18	1st SUBMITTAL	PM0
_			
_			

Project No:	ECU00
Drawn By:	JJ

**EROSION CONTORL DETAILS** 

Checked By:



6. ALONG THE TOP OF FILLS, INSTALL THE SILT

MAINTENANCE REQUIREMENTS

FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO PON

AND SEDIMENT TO SETTLE, A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED

7. THE HEIGHT OF THE SILT FENCE FROM THE GROUND

SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL

NOT EXCEED 36 INCHES; HIGHER FENCES MAY INPOUN VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE

1. CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND

FECTIVE SILT FENCES SHALL BE PROMPTLY

Silt Fence

Construction Detail and Maintenance Requirements

. SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT,

WEEKLY DURING PERIODS OF NO RAINFAL

3. SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.

SILT FENCE NOTES

AND SECURELY SEALED.

ECTION DIMENSION OF 2 INCHES.

INSTALLATION REQUIREMENTS

I, SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND

2. WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE

WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS

. THE FILTER MATERIAL SHALL BE FASTENED SECURELY

5. WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE

NTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND

City of Colorado Springs

Stormwater Quality

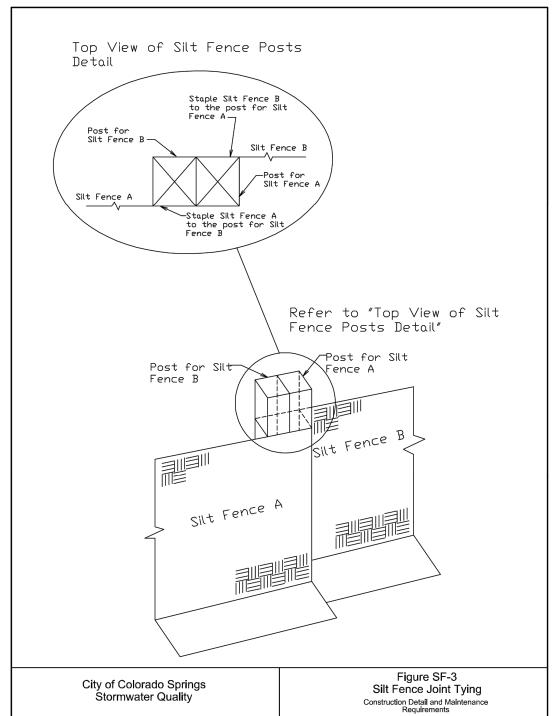
FASTENED SECURELY TO THE UPSLOPE SIDE OF THE

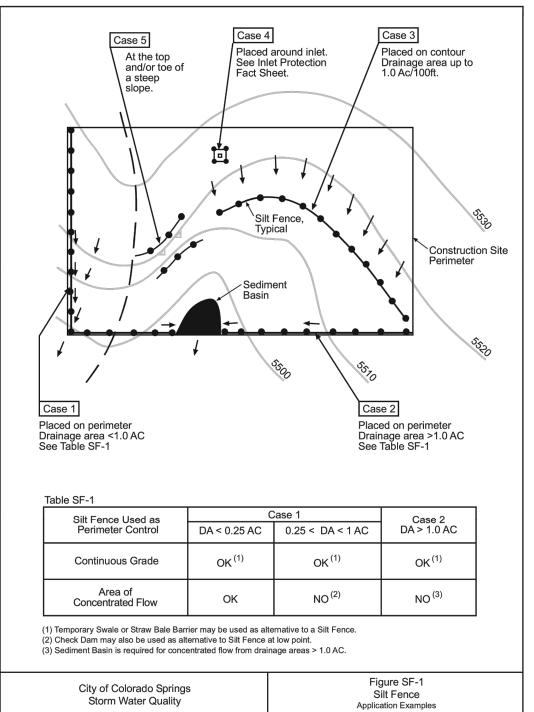
POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4

MORE THAN 3' ABOVE THE ORIGINAL GROUND SURFACE.

TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE

3. METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE





#### Markup Summary

#### dsdlaforce (7)



Subject: Callout

Page Label: [1] 1 COVER SHEET

Lock: Locked Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:14 PM

Color: Layer: Space:

Update

Subject: Callout

Page Label: [1] 1 COVER SHEET

Lock: Locked Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:15 PM

Color: Layer: Space: Add "PCD File No. PPR-18-012"



Subject: Cloud+

Page Label: [2] 2 GRADING PLAN

Lock: Locked

Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:18 PM

Color: Layer: Space:

Based on the grading it appears that concentrated runoff from the C&G will bypass the inlet.



Subject: Callout

Page Label: [2] 2 GRADING PLAN

Lock: Locked

Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:16 PM

Color: Layer: Space:

Revise cross slope to 2% max per site plan detail



Subject: Callout

Page Label: [2] 2 GRADING PLAN

Lock: Locked Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:16 PM

Color: Layer: Space:

Revise. 12:1 max

Subject: PolyLine

Page Label: [2] 2 GRADING PLAN Lock: Locked

Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:19 PM

Color: Layer: Space:



Subject: Callout

Page Label: [4] 4 EROSION CONTORL DETAILS Lock: Locked

Status:

Checkmark: Unchecked Author: dsdlaforce Date: 4/26/2018 3:37:20 PM

Color: Layer: Space:

Revise any references from "Development Services" (DSD) to "Planning and Community

Development" (PCD)