

Chuck Broerman
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Doc \$0.00 42
Rec \$423.00 Pages

El Paso County, CO



221135788

SUBDIVISION/CONDOMINIUM PLAT

Reception Number **Date** **Time**

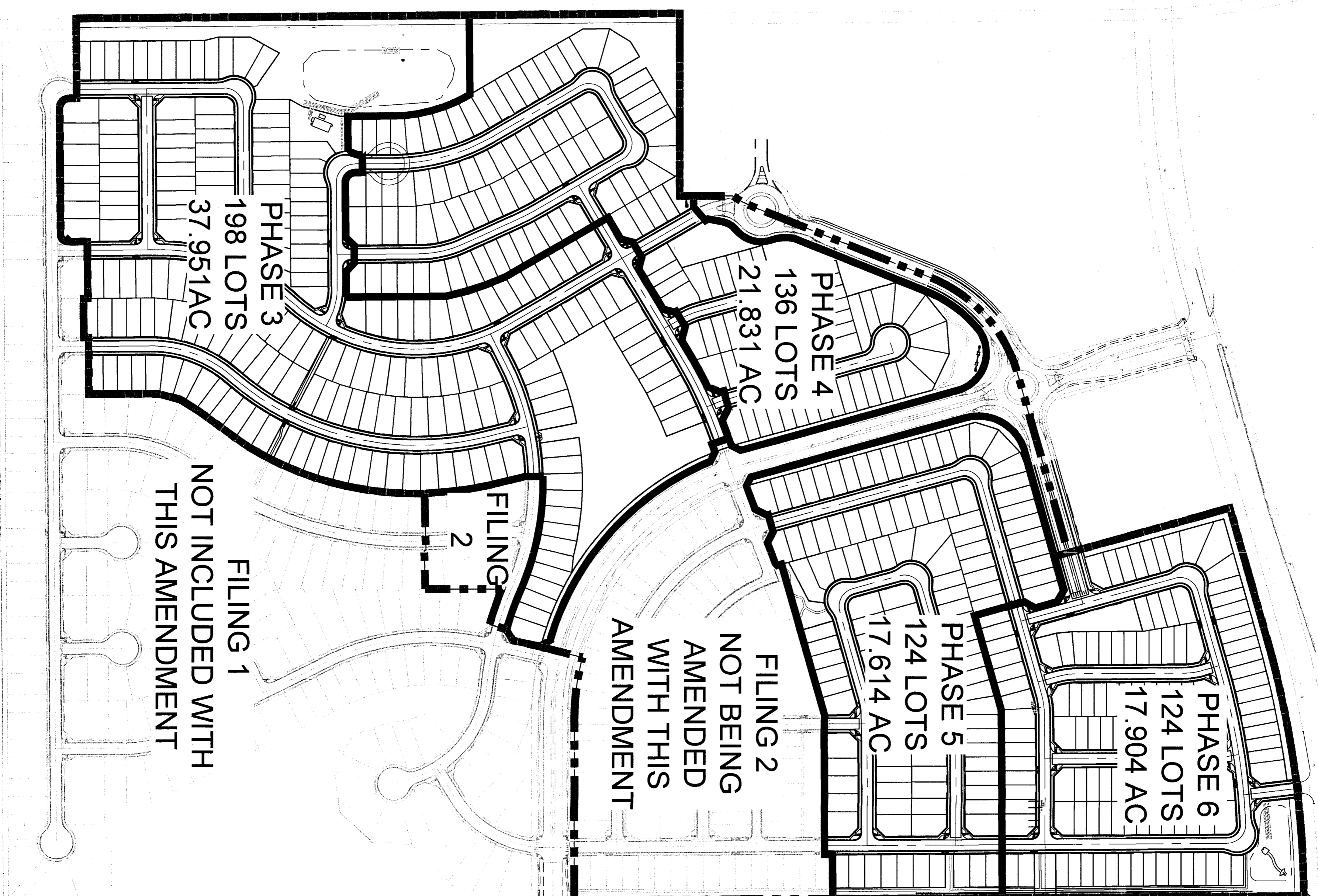
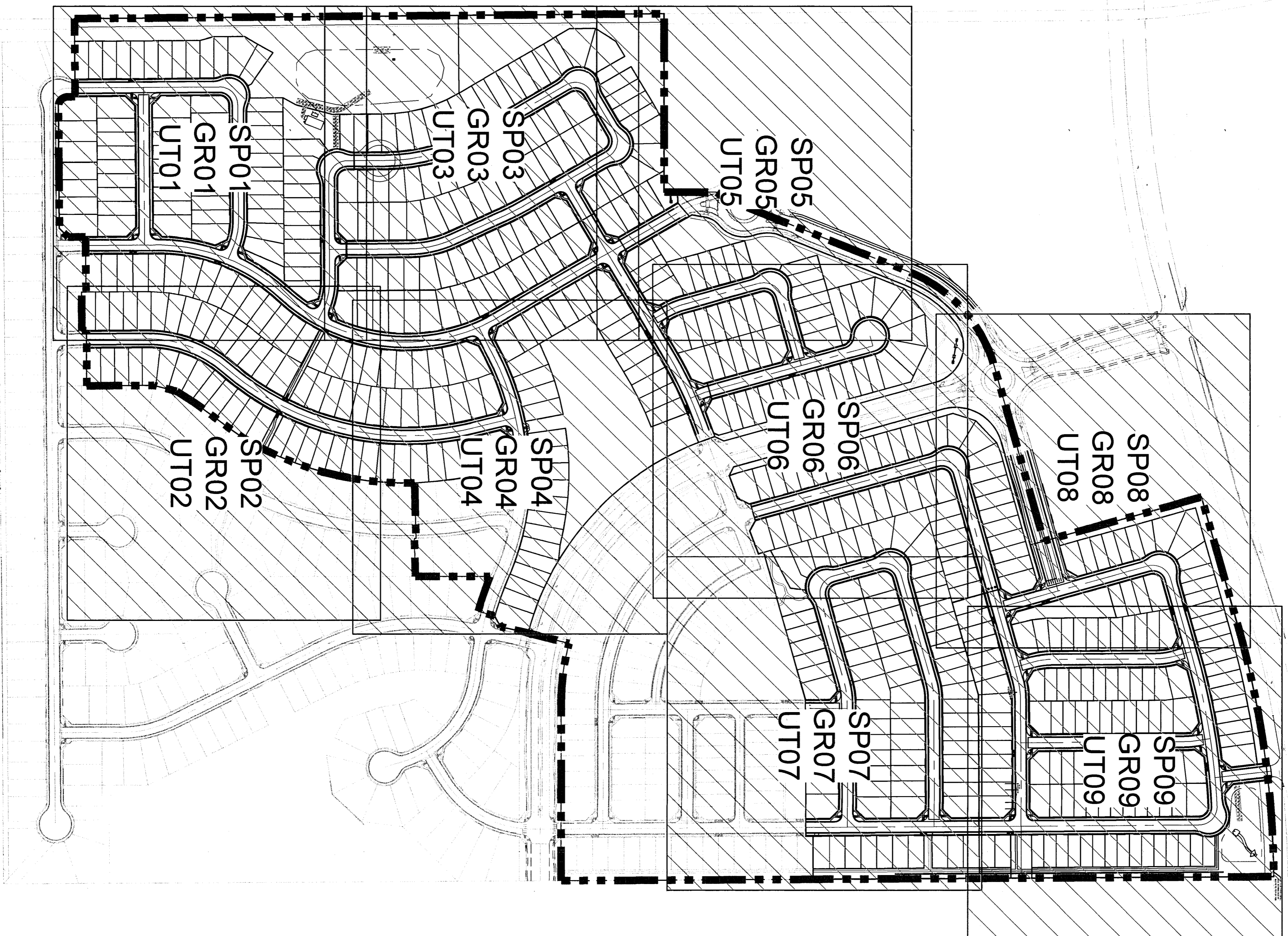
Reception Fee **Number of Pages** **File Number**

Name of Plat

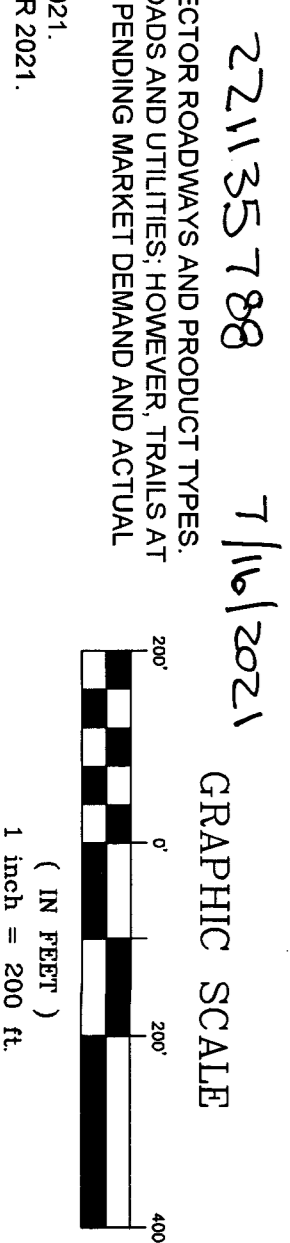
Owner's Name

Subdivision

Condominium

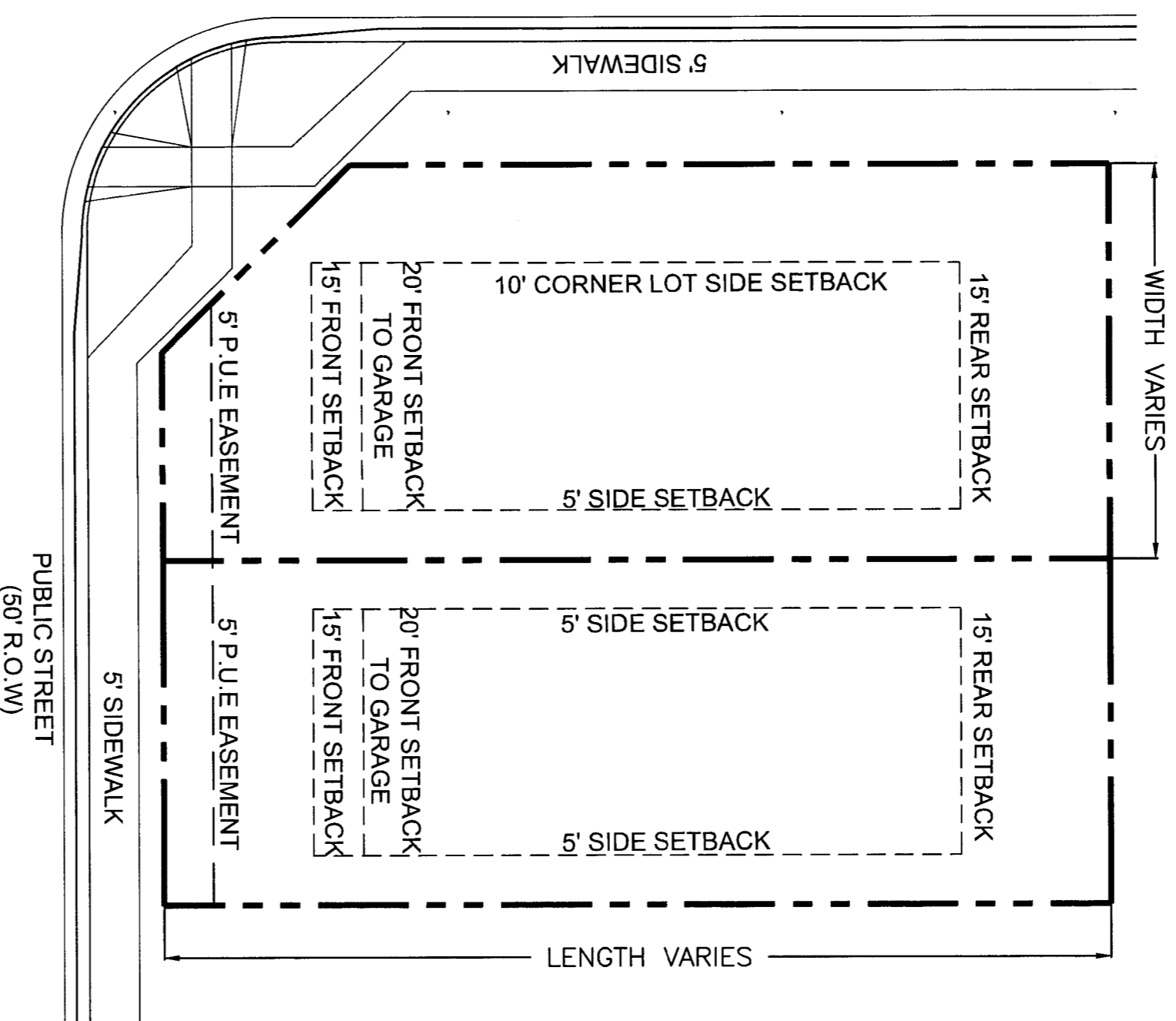


- FILING PLAN AND SCHEDULE OF DEVELOPMENT:**
1. THE FILING PLAN IS BASED UPON SIX PHASES BASED UPON COLLECTOR ROADWAYS AND PRODUCT TYPES.
 2. THE PHASES ARE BASED UPON CONSTRUCTION SCHEDULING OF ROADS AND UTILITIES. HOWEVER, TRAILS AT ASPEN RIDGE MAY BE DEVELOPED INDEPENDENT OF THE PHASE AS OUTLINED PENDING MARKET DEMAND AND ACTUAL CONSTRUCTION SCHEDULES.
 3. THE SECOND PHASE OF CONSTRUCTION IS PROJECTED TO BEGIN IN SPRING 2021.
 4. THE THIRD PHASE OF CONSTRUCTION IS PROJECTED TO BEGIN IN FALL/WINTER 2021.

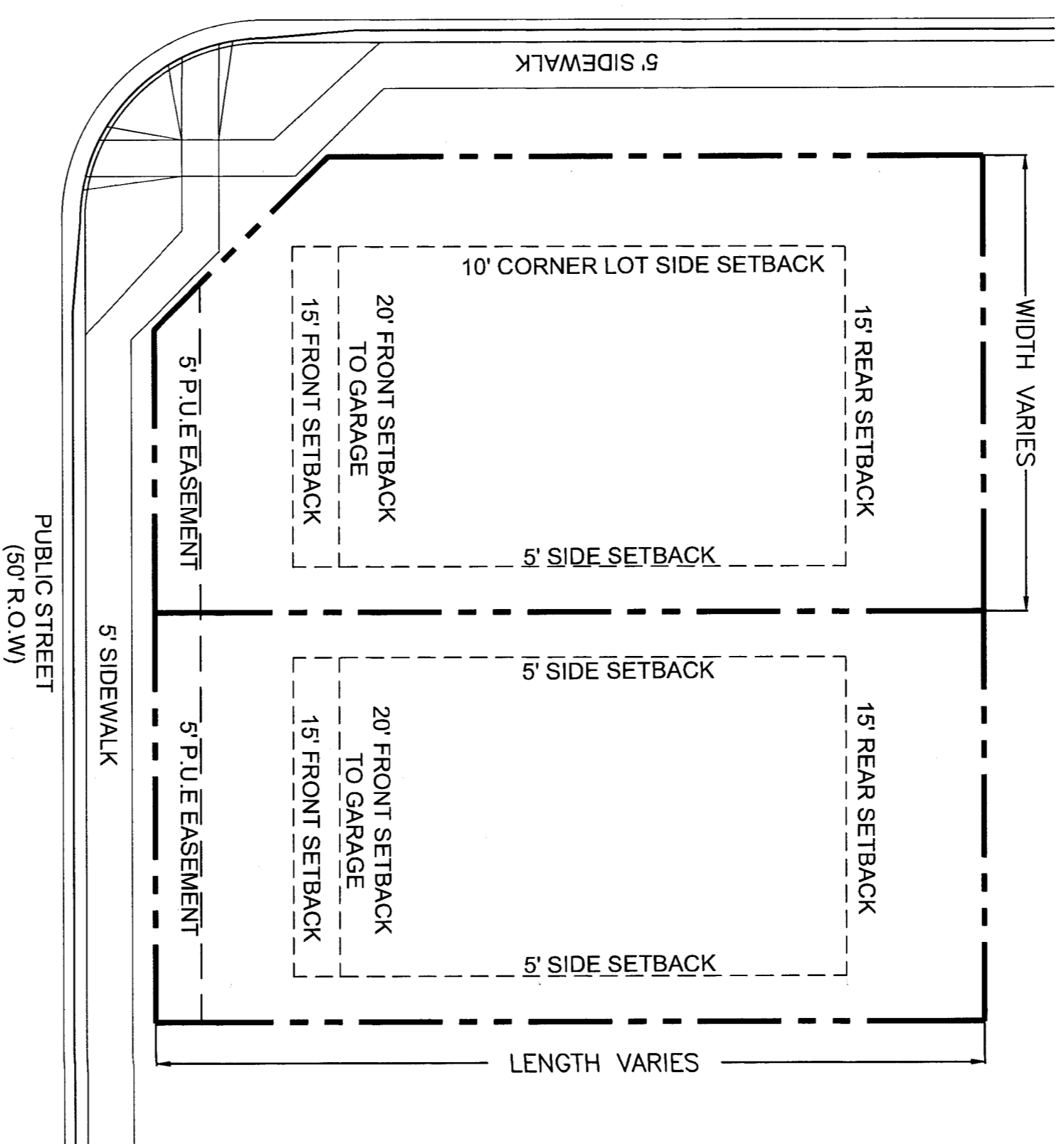


<p>CONSULTANTS</p> <p>PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER</p> <p>Matrix</p> <p>2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0289</p> <p>OWNER/DEVELOPER</p> <p>COLLA LLC 555 MIDDLE CREEK PKWY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 382-9463</p>																	
<p>PROJECT:</p> <p>TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p> <p>EL PASO COUNTY, CO FEBRUARY 2021</p> <p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>08/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table> <p>DRAWING INFORMATION:</p> <p>PROJECT NO.: 20 886 028</p> <p>DRAWN BY: LCB</p> <p>CHECKED BY: NMS</p> <p>APPROVED BY: NMS</p> <p>SHEET TITLE:</p>		NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	08/17/2021	FOR SIGNATURE	
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3	08/17/2021	FOR SIGNATURE															
<p>PUD PHASE AND KEY MAPS</p> <p>DT01</p> <p>SHEET 2 OF 34</p> <p>PUDSP - dt. 003</p>																	

TYPICAL LOT SETBACK DIAGRAMS



LOTS 273 - 326, 476 - 582



LOTS 1 - 272, 327 - 475

DEVELOPMENT STANDARDS AND GUIDELINES

PRINCIPAL USES:

1. THESE SPACES SHALL BE ONE (1) PRINCIPAL, APPROXIMATELY ONE (1) SINGLE-FAMILY RESIDENCE PER LOT.
2. ALLOWED USES INCLUDE: SINGLE-FAMILY RESIDENTIAL, MAIL BOXES, TRAIL CORRIDORS, DEVELOPMENT FACILITIES, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT. *PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED.

TEMPORARY USES:

1. ACCESSORY STRUCTURES
2. CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
3. YARD OR GARAGE SALES *TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED.

ACCESSORY USES:

1. RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
2. RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
3. SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
4. ANIMAL KEEPING OF UP TO 4 PETS (DOGS, CATS OR OTHER DOMESTICATED ANIMALS). THE KEEPING OF PETS, CHICKENS OR RABBITS IS NOT PERMITTED.
5. WORKSHOP OR HOME OFFICE USES INCLUDING WORKSHOP OR MARQUANA IS NOT PERMITTED.
6. MONTHLY LAWYER OFFICES AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT. *ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED.

SPECIAL USES:

1. OMS FACILITY (REALTY) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
- ##### ACCESSORY STRUCTURES:
1. ACCESSORY STRUCTURES SHALL BE PERMITTED TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED), COVERED OR UNCOVERED, GAZEBOS, PATIOS, HOT TUBS/SPAS, AND POOLS.
 2. FENCES, WALLS, OR HEDGES.
 3. MAIL BOXES.
 4. PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES.
 5. PERSONAL USE SMALL CELL TOWER.
 6. DETACHED ACCESSORY STRUCTURES INCLUDING GARAGES, OR CARPORTS ARE NOT PERMITTED.
 7. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
 8. NO ACCESSORY STRUCTURES ARE PERMITTED ON LOTS 323 - 464, 540 - 608. *ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED.

DIMENSIONAL STANDARDS AND GUIDELINES

DIMENSIONAL STANDARDS FOR ALL LOTS

1. MAXIMUM LOT AREA.
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM.
3. MAXIMUM STRUCTURAL HEIGHT: FORTY-NINE FEET (49').
4. MAXIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: FIFTEEN FEET (15') TO FACE OF GARAGE
 - B. SIDE YARD: FIFTEEN FEET (15') TO FACE OF HOUSE
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - B. SETBACK REQUIREMENTS: FEET (0)
 - C. REAR YARD: FIVE FEET (5')

LOT TYPICAL NOTES FOR ALL LOTS:

1. LOCATION OF PRIVATE WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY THE ARCHITECT.
2. ALL SIDEWALKS SHALL BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
3. OWNERS/BUILDERS TO ENSURE DRIVEWAYS DO NOT CONNECT WITH PEDESTRIAN RAMP TRANSITIONS.
4. 5' WOOD FENCING PERMITTED BETWEEN UNITS AT THE FRONT AND REAR OF THE HOUSE ONLY. FINAL LOCATION OF FENCING TO BE DETERMINED BY INDIVIDUAL HOUSE CONFIGURATION.
5. THERE SHALL BE NO FENCING PERMITTED WITHIN THE FRONT YARD SETBACK.
6. THERE SHALL BE NO FENCING PERMITTED WITHIN THE SIDE YARD SETBACK.
7. PATIO DUPLICATION UNITS THAT SHARE ONE COMMON WALL.
8. ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A SIGHT DISTANCE EASEMENT SHALL BE OBTAINED TO EL PASO COUNTY TO OBTAIN A SIGHT DISTANCE EASEMENT.
9. ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FENCEING, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR MORE.
10. METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
11. NO LANDSCAPING SHALL OBTAIN CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FENCEING, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR MORE.
12. CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

COMPENSATION OFFER:

COLLA LLC
 255 MIDDLE CREEK PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 583-5933

DRAWING INFORMATION:

PROJECT NO.	20 886.028
DRAWN BY:	LCB
CHECKED BY:	NMS
APPROVED BY:	NMS
SHEET TITLE	PUD DETAILS

KEY MAP

PROJECT:	TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT
PROJECT NO.:	20 886.028
CITY:	FIRST CITY SUBMITTAL
DATE:	02/23/21
DESCRIPTION:	SECOND CITY SUBMITTAL
BY:	

REVISION HISTORY:

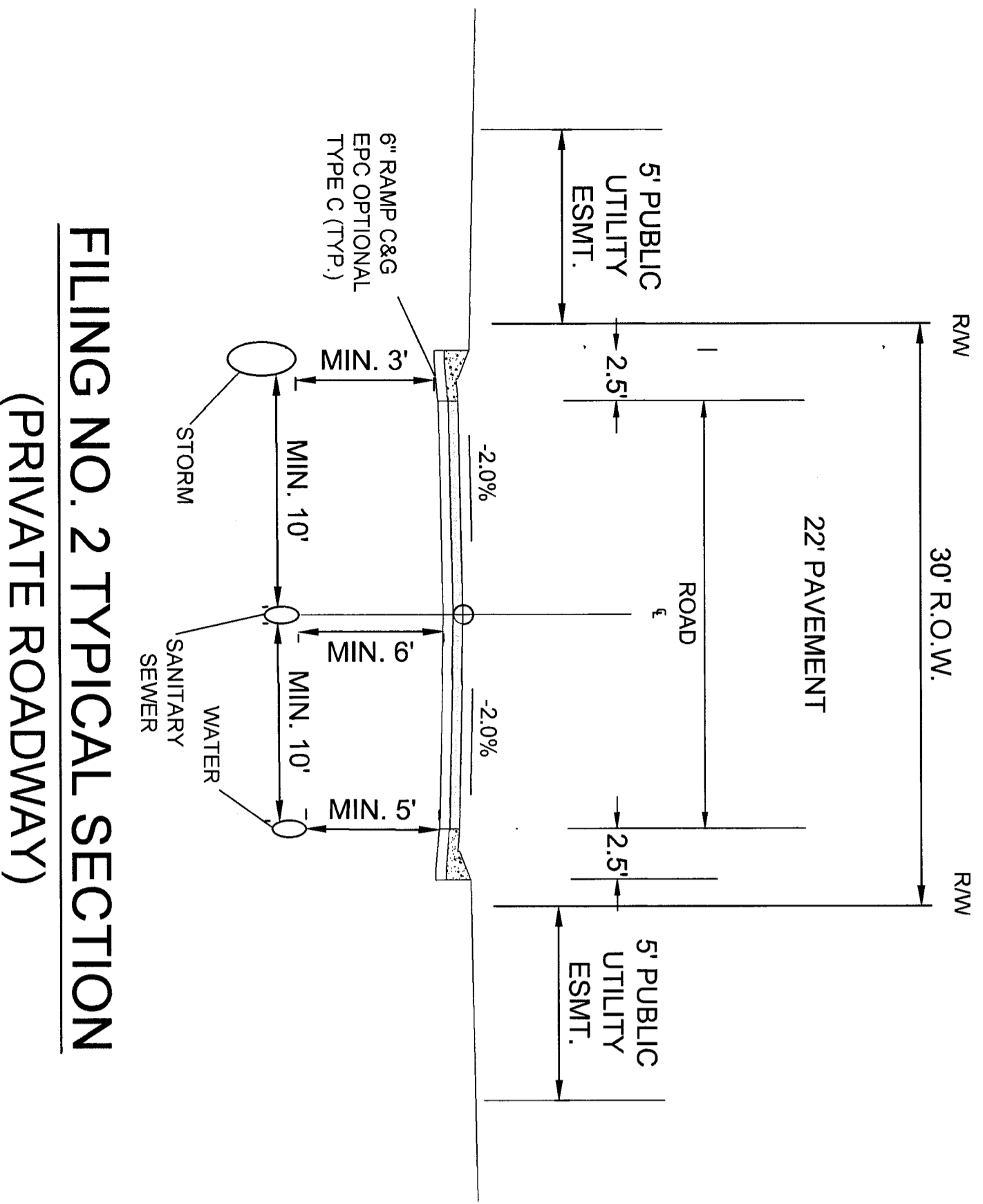
NO.	DATE	DESCRIPTION	BY
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1	04/23/21	SECOND CITY SUBMITTAL	
3	09/17/21	FOR SIGNATURE	

DRAWING INFORMATION:

PROJECT NO.	20 886.028
DRAWN BY:	LCB
CHECKED BY:	NMS
APPROVED BY:	NMS
SHEET TITLE	PUD DETAILS

DT02

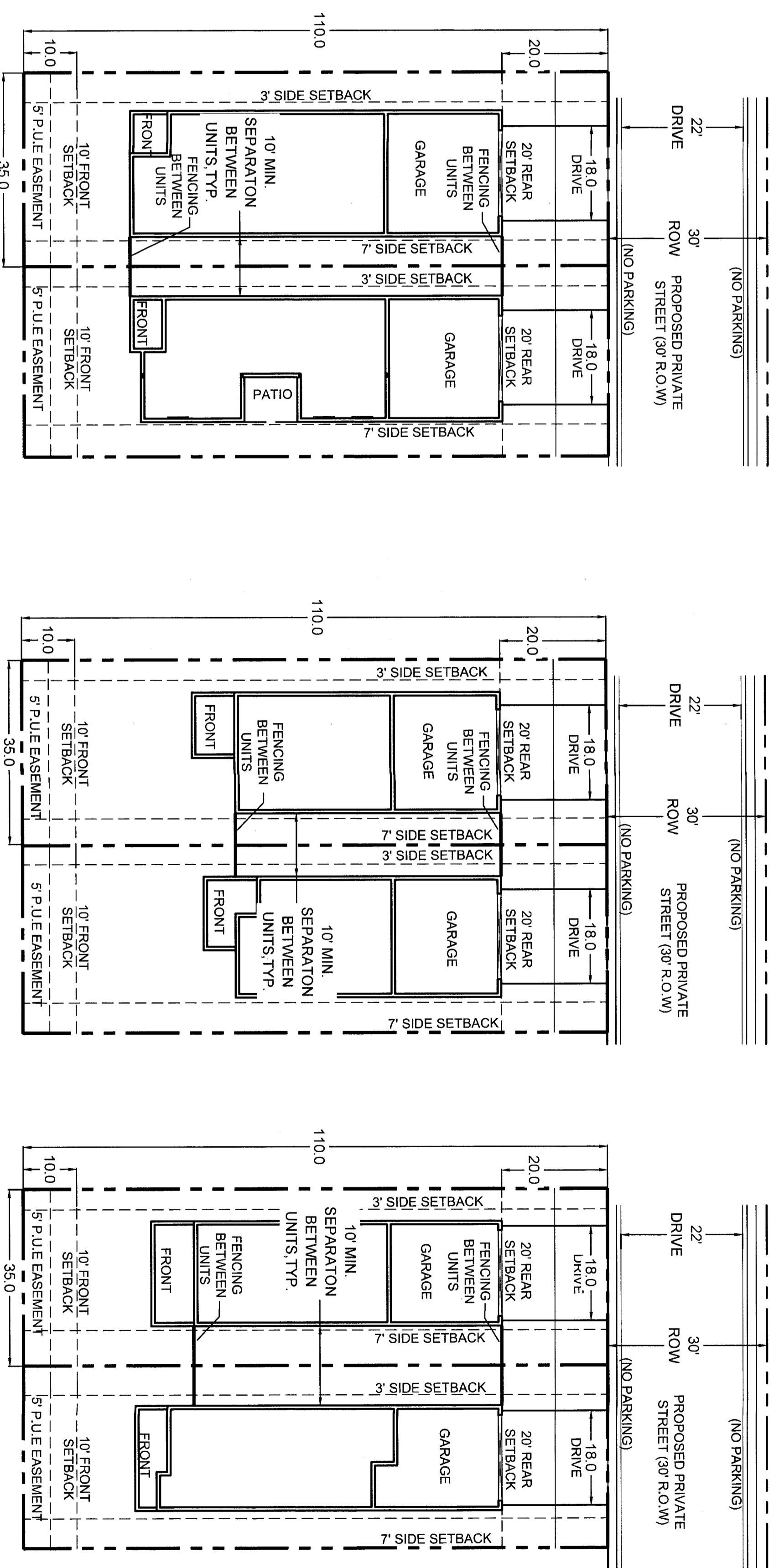
FILING NO. 2 TO REMAIN TYPICAL STREET CROSS-SECTIONS



FILING NO. 2 TYPICAL SECTION (PRIVATE ROADWAY)

- PRIVATE STREETS**
1. ALL PRIVATE STREETS AS ILLUSTRATED ON THE DRAWINGS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE WATERBURY METROPOLITAN DISTRICT, GRANDBURG.
 2. ALL PRIVATE STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
 3. ALL HOMES SHALL BE ADDRESSED OFF THE NAMED STREET AT THE REAR OF THE HOME.
 4. ALL HOMES SHALL BE ADDRESSED OFF THE NAMED STREET AT THE REAR OF THE BUILDING.
 5. THERE SHALL BE NO ON-STREET PARKING PERMITTED ALONG THE PRIVATE ROADWAYS EXCEPT OFF-STREET PARKING AREAS AS SHOWN ON THE DRAWINGS.

FILING NO. 2 TO REMAIN TYPICAL LOT SETBACK DIAGRAMS



LOT TYPICAL NOTES FOR ALL LOTS:

1. LOCATION OF PRIVATE WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/EGRESS CONFIGURATION.
2. TRANSITIONS.
3. STENCILING PERMITTED BETWEEN UNITS AT THE FRONT AND REAR OF THE HOUSE ONLY.
4. THERE SHALL BE NO FENCING PERMITTED WITHIN THE FRONT YARD SETBACK.
5. 10' MINIMUM SEPARATION BETWEEN MAIN HOUSE STRUCTURES.
6. 5' PUBLIC UTILITY EASEMENT TO BE PROVIDED ALONG THE FRONT OF ALL LOTS.
7. DISTANCE EASEMENT: IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A DISTANCE EASEMENT MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT TRIANGLE MUST BE PROVIDED.
8. THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT MAINTENANCE OF A SIGHT TRIANGLE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY. NO LANDSCAPING SHALL OBSTRUCT SIGHT TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITIES SHALL BE 3 FEET. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITIES SHALL BE 3 FEET. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITIES SHALL BE 3 FEET. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITIES SHALL BE 3 FEET.

DIMENSIONAL STANDARDS FOR FILING NO. 2 LOTS

1. MINIMUM LOT AREA: 3,000 SQ. FT.
 2. MAXIMUM IMPERVIOUS COVER: 40% (NO YARD)
 3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
 4. MAXIMUM STRUCTURAL HEIGHT: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
 5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
 6. SETBACK REQUIREMENTS (SEE DETAILS):
FRONT: 10' BUILDING
FRONT: 10' MIN. BETWEEN BUILDINGS
REAR: 20' SETBACK TO FACE OF GARAGE
CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
- ACCESSORY STRUCTURES:
THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN FILING NO. 2 LOTS

FILING NO. 2 PUD DETAILS

DT03

SHEET 4 OF 34

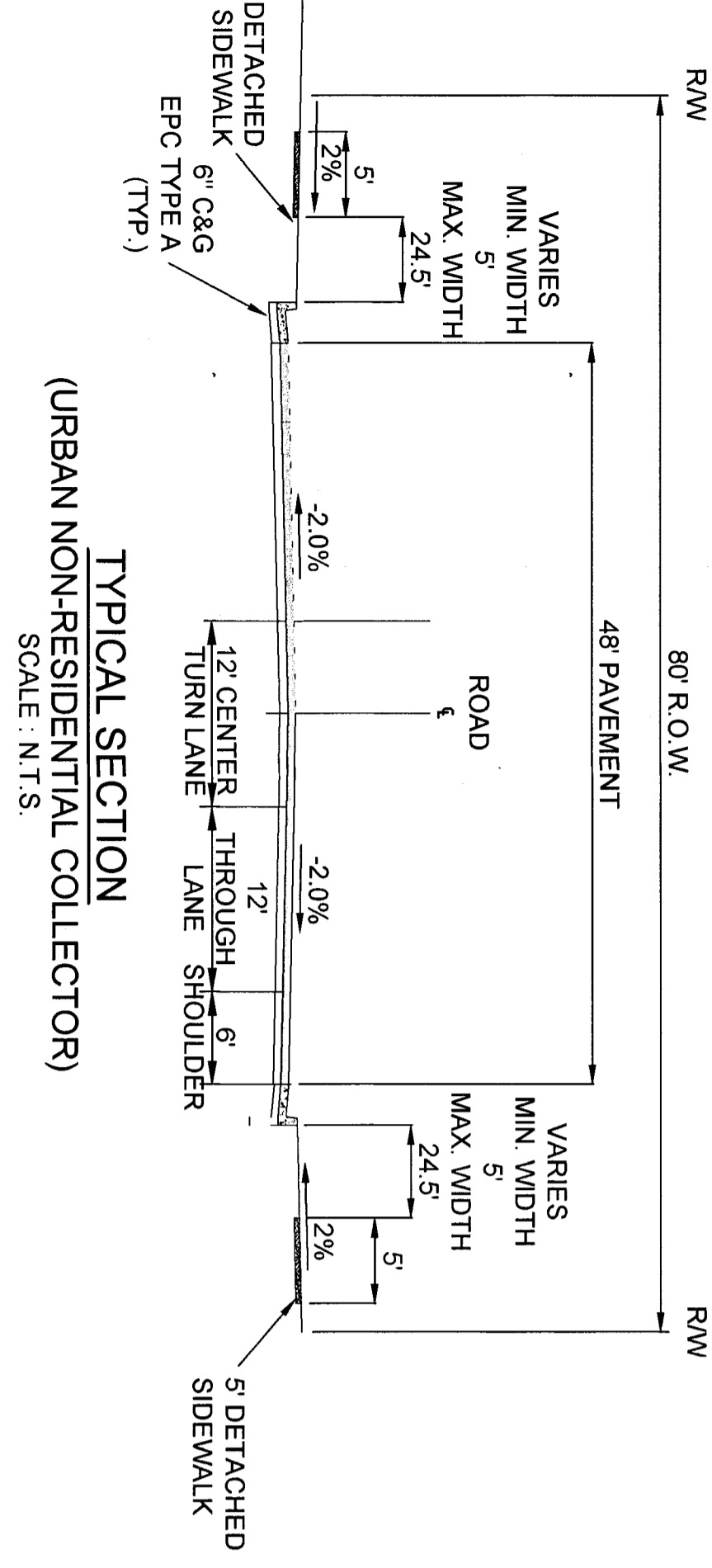
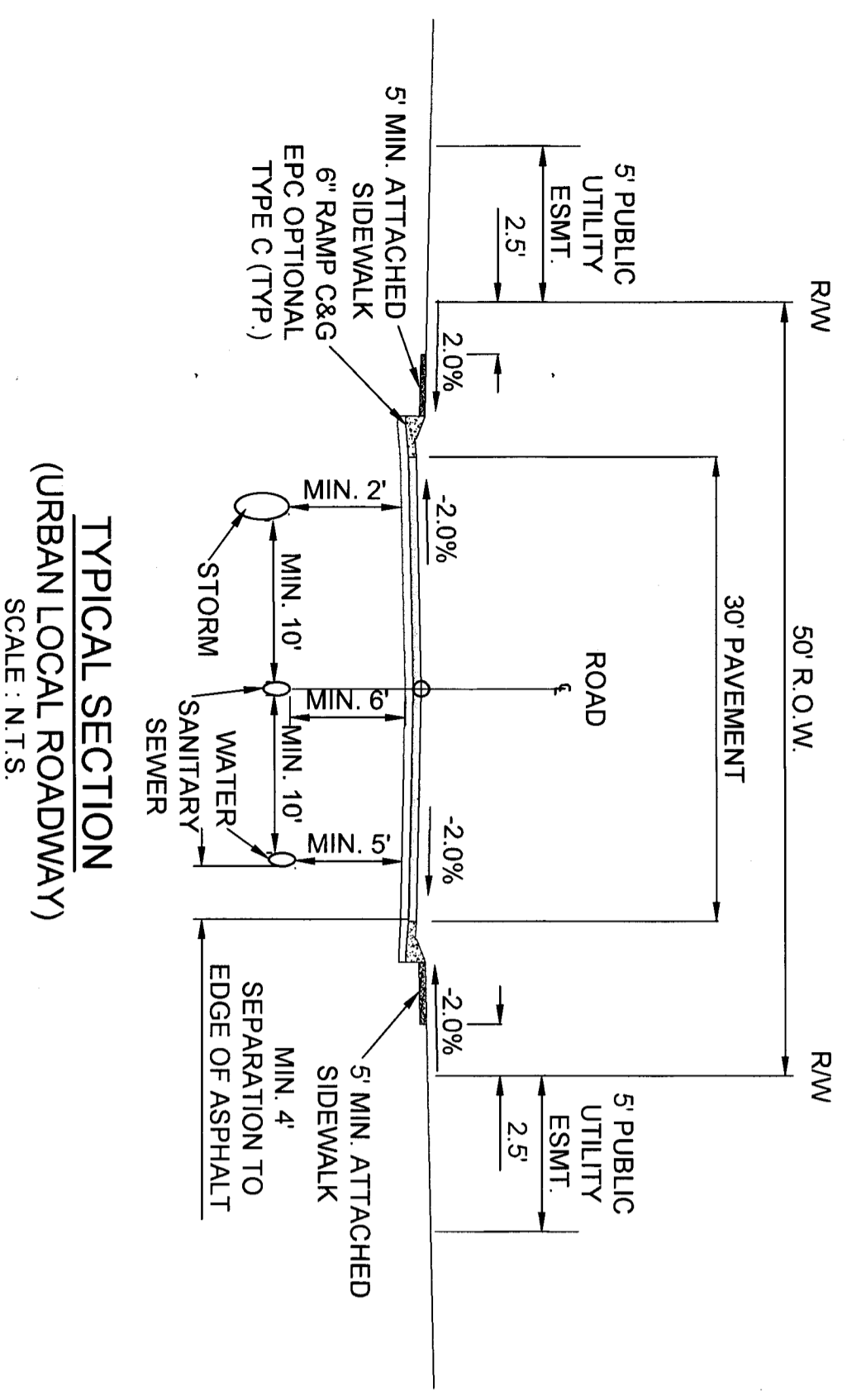
PCF FILE NO.: PUDSP-21-003

CONSULTANTS
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
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2438 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 575-0100
FAX: (719) 575-0288

OWNER/DEVELOPER
COLLA LLC
555 MIDDLE CREEK PKWY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 523-5453

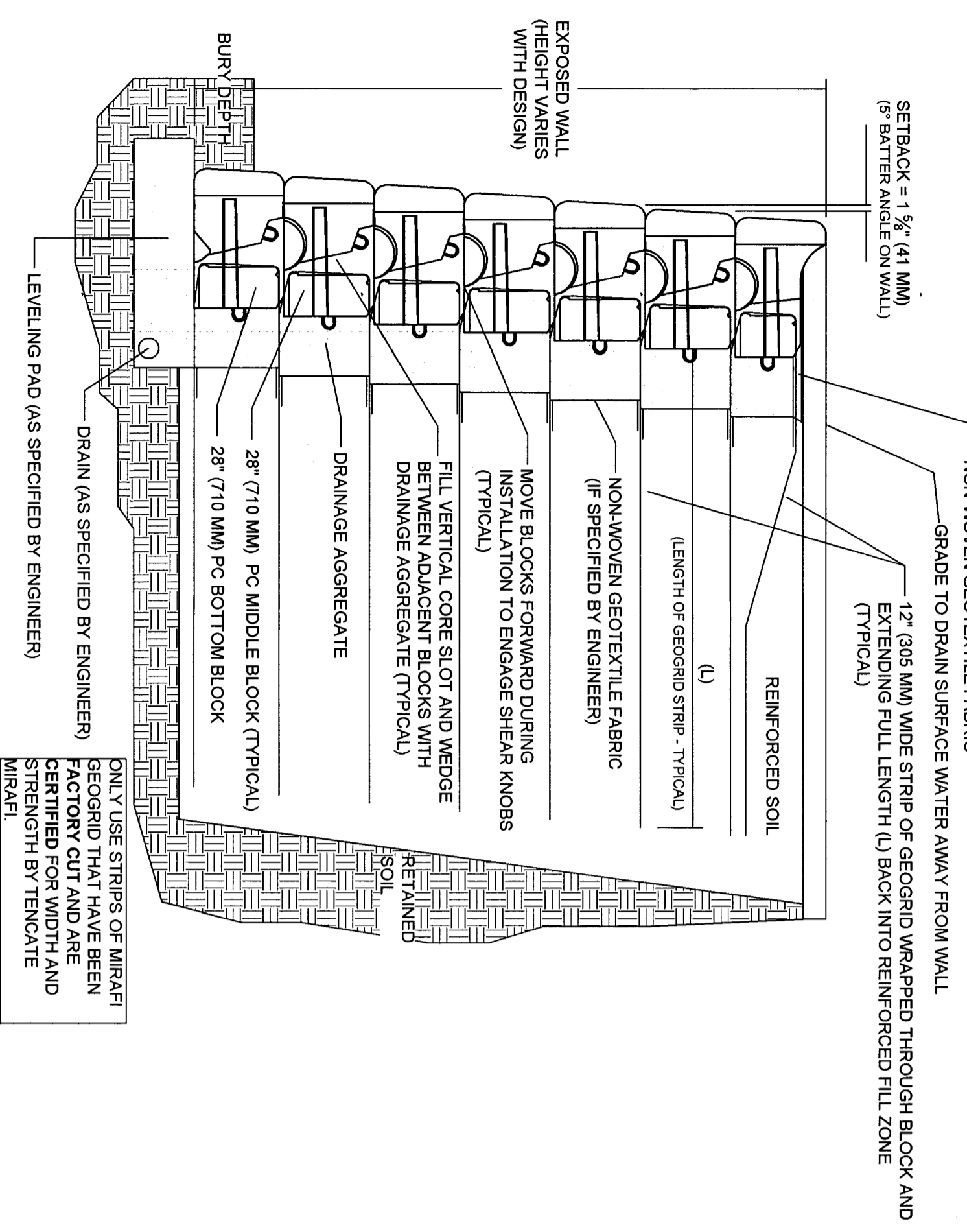
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TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT			
EL PASO COUNTY, CO			
REVISION HISTORY:			
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DRAWING INFORMATION:			
PROJECT NO.	20 886 028		
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CHECKED BY:	NMS		
APPROVED BY:	NMS		
SHEET TITLE:			

TYPICAL STREET CROSS-SECTIONS

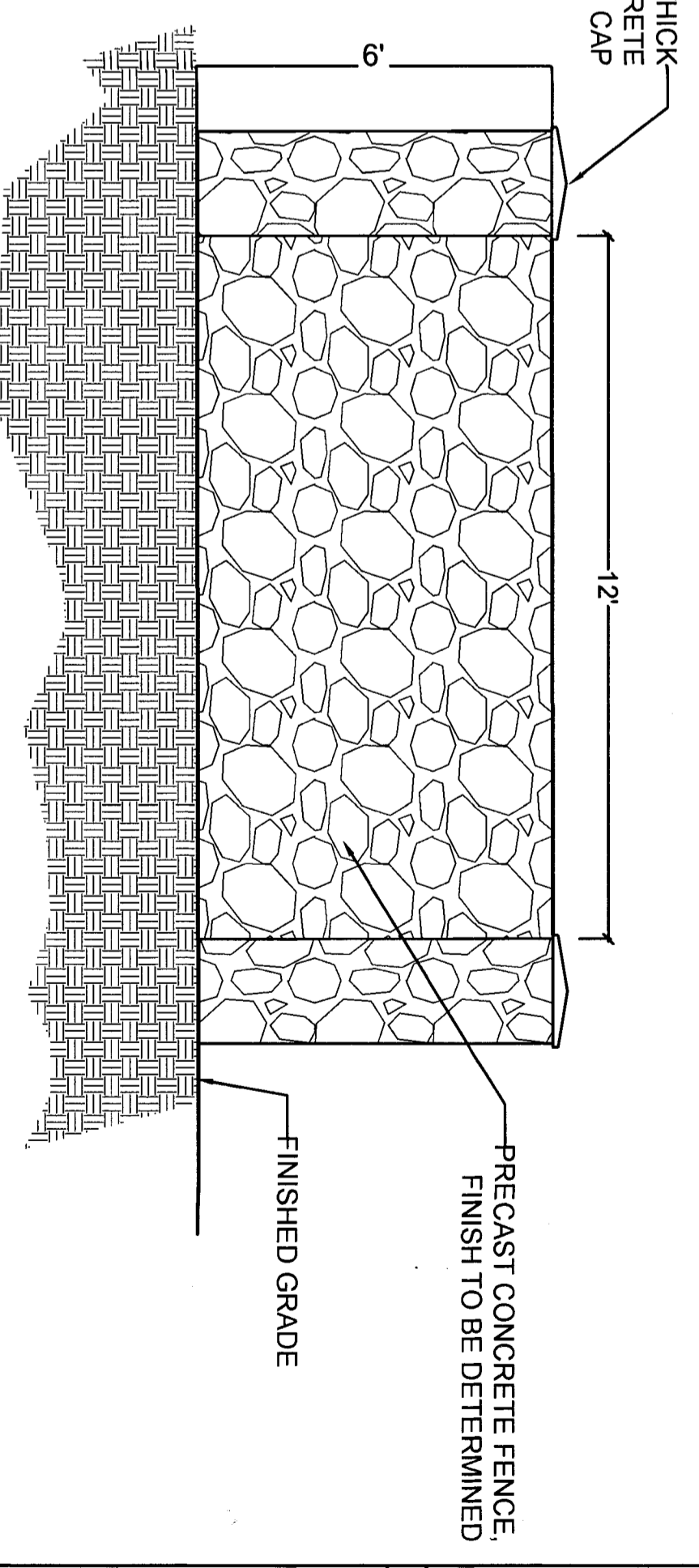
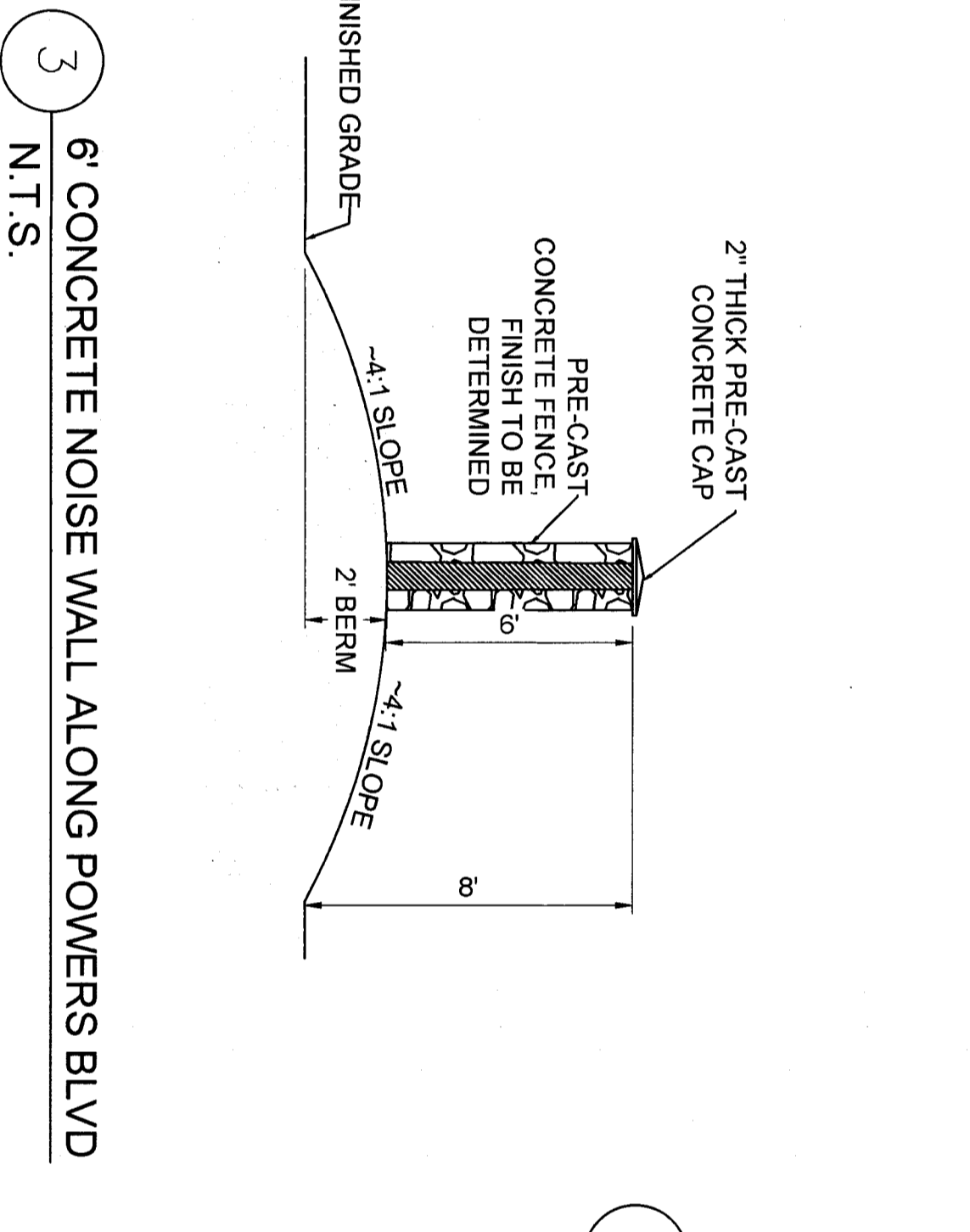
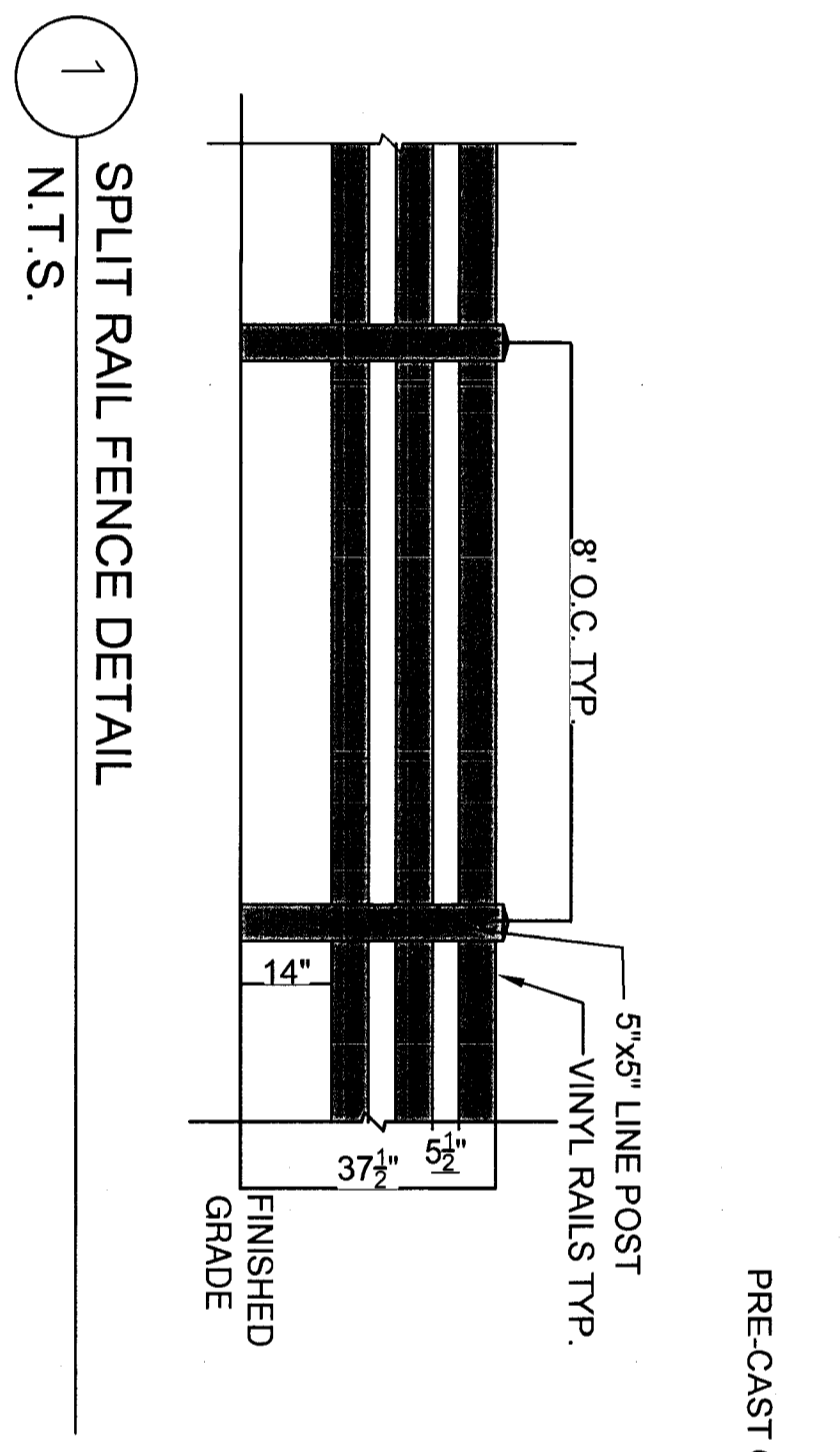


- PUBLIC STREETS**
1. ALL PUBLIC STREETS AS ILLUSTRATED ON THE DRAWINGS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEPOSITED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
 2. THE DESIGN OF ALL PUBLIC STREETS AS ILLUSTRATED ON THIS PLAN SHALL BE PROVIDED ON BOTH SIDES OF ALL PUBLIC STREETS AS ILLUSTRATED ON THIS PLAN.
 3. PER THE TRAFFIC IMPACT ANALYSIS A NOISE WALL IS REQUIRED ALONG POWERS BLVD.
 4. URBAN LOCAL RESIDENTIAL KNUCKLE DESIGN TO PER THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL KNUCKLE DETAIL FIGURE SD 2-77.

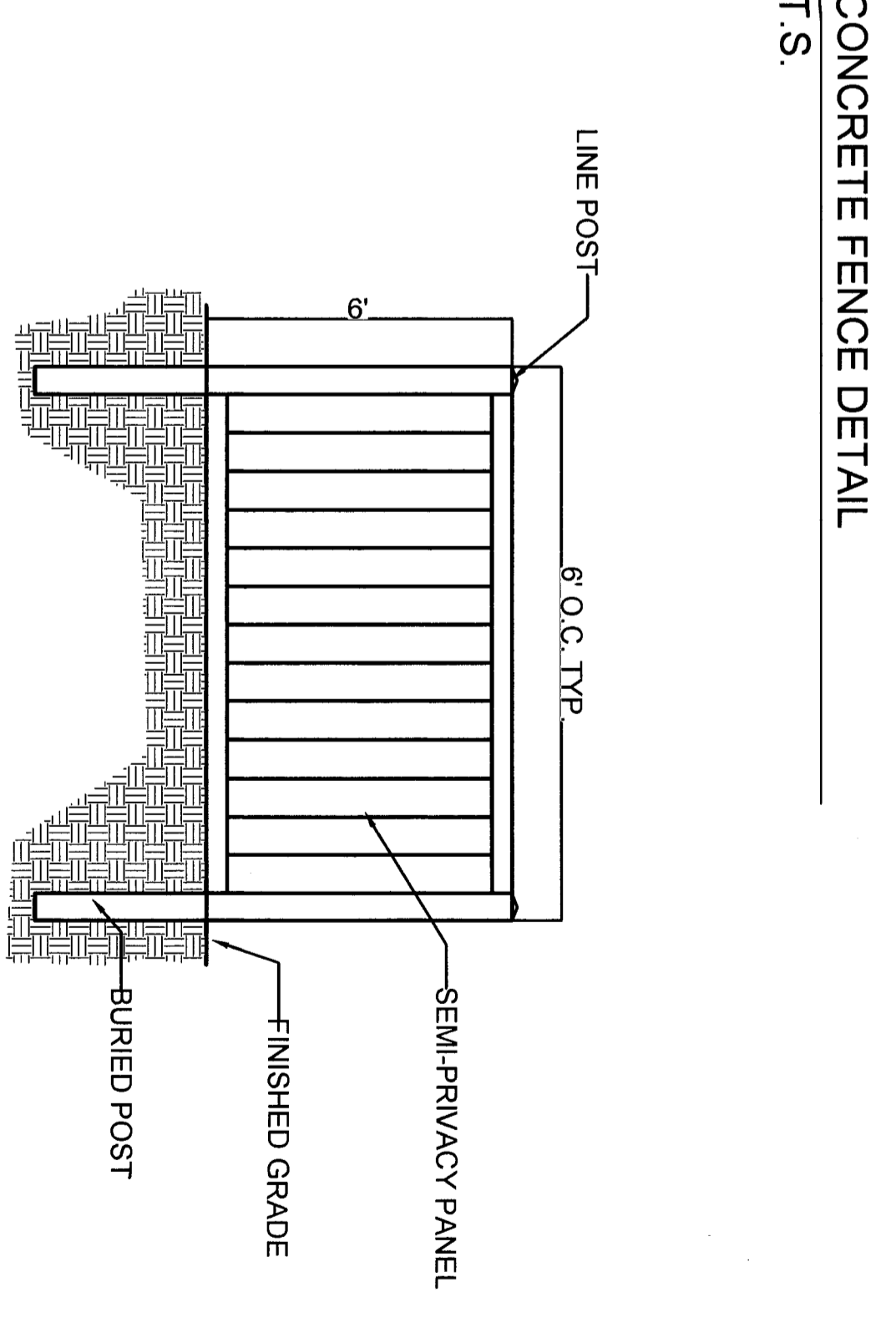
NOTE:
ONE DEGREE OR ZERO DEGREE BATTER ANGLE WALLS ARE AVAILABLE USING BLOCKS WITH 7/8" (98.0 MM) OR 6 3/4" (171 MM) KNOBS (SPECALITY ITEMS)



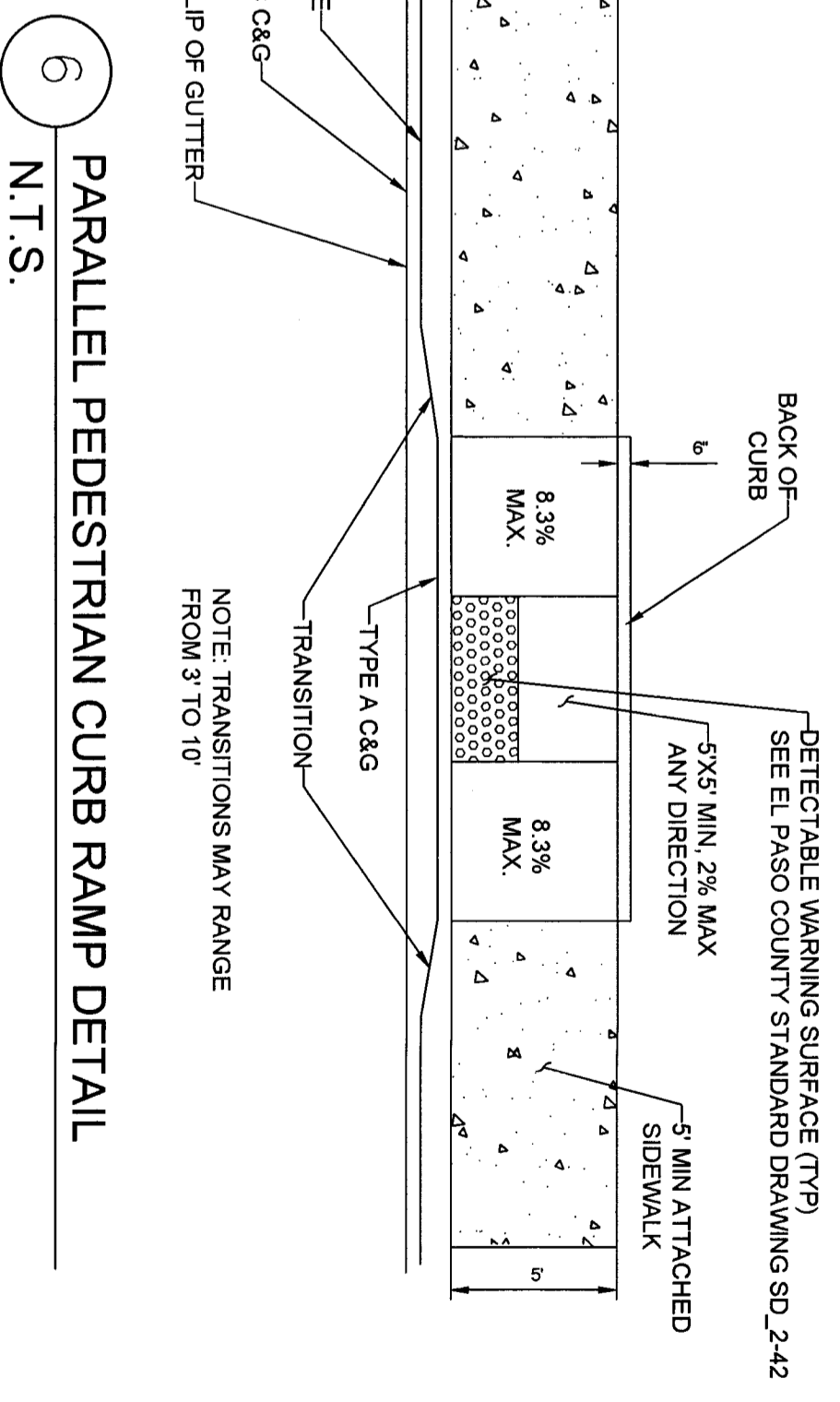
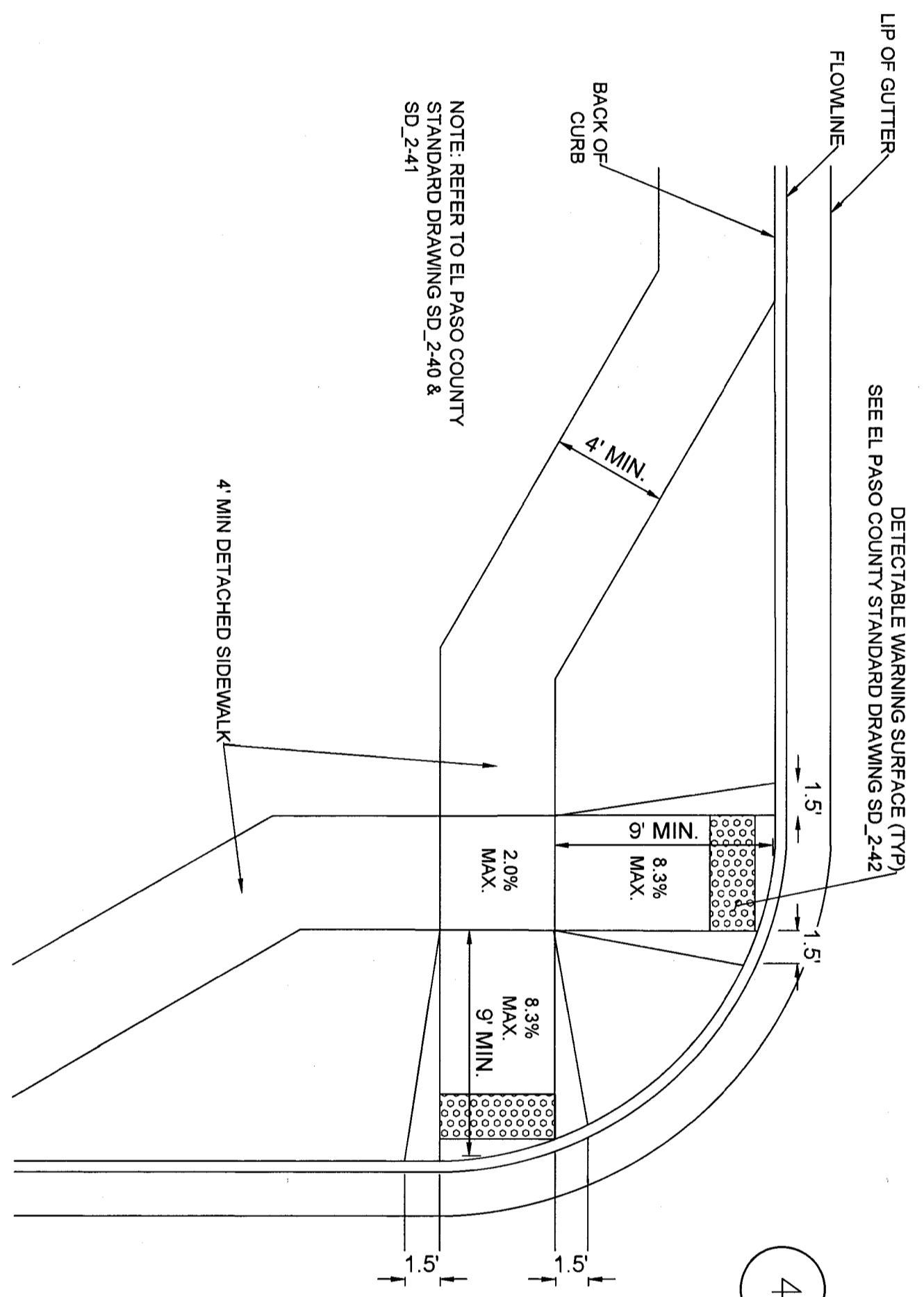
THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS, SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.



- NOTE:**
1. COLUMNS, WALL, STEEL FENCING PER MANUFACTURES SPECIFICATIONS.
 2. SUBMIT CUT SHEETS AND SAMPLE PRIOR TO INSTALLATION.
 3. FINAL COLOR, TEXTURE AND FINISH TO BE DETERMINED.

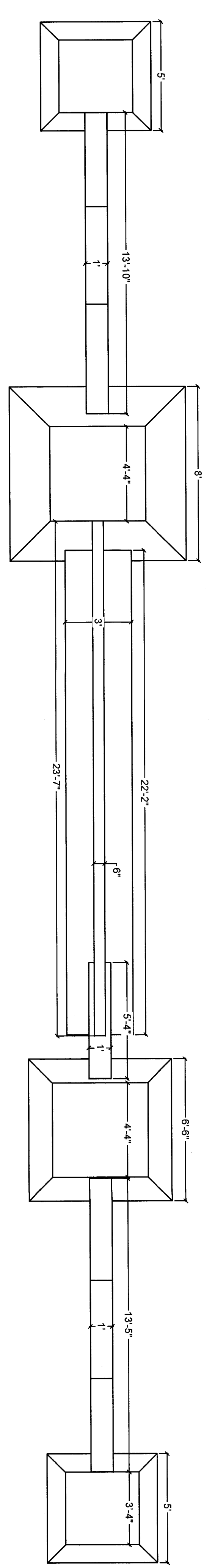


- NOTES:**
1. FENCE TYPE TO BE USED ON ALL INDIVIDUAL LOTS EXCEPT WHERE NOTED.
 2. FENCING INSTALLED ON INDIVIDUAL LOTS SHALL OWNED AND MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.



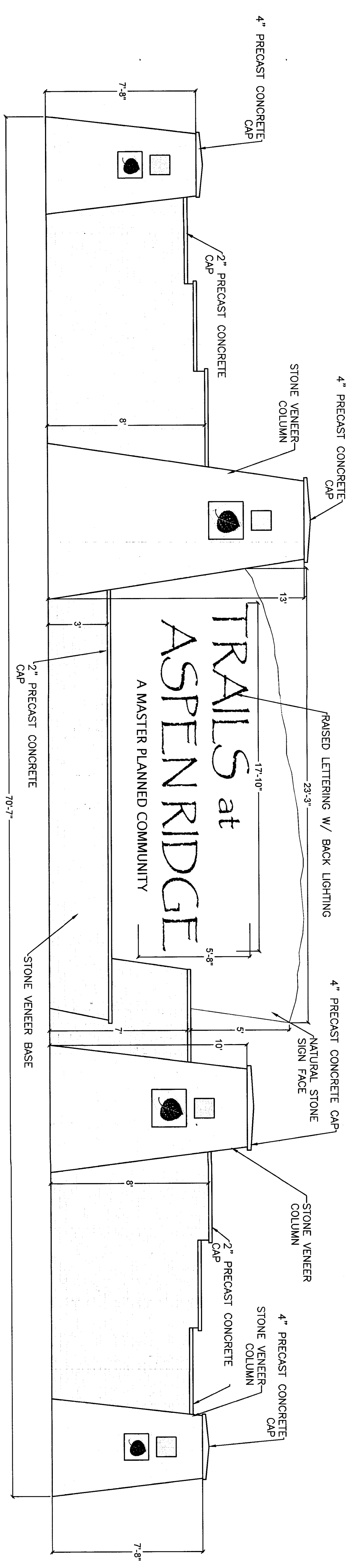
<p>CONSULTANTS PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER Matrix 2426 RESEARCH PARKWAY, SUITE 400 COLORADO SPRINGS, CO 80921 PHONE: (719) 575-0100 FAX: (719) 575-0208</p>			
<p>OWNER/DEVELOPER COLA LLC 555 MIDDLE CREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 382-9493</p>			
<p>PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p>			
<p>EL PASO COUNTY, CO FEBRUARY 2021</p>			
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DT04			
SHEET 5 OF 34			
PUDSP-21-003			

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7-16-2021



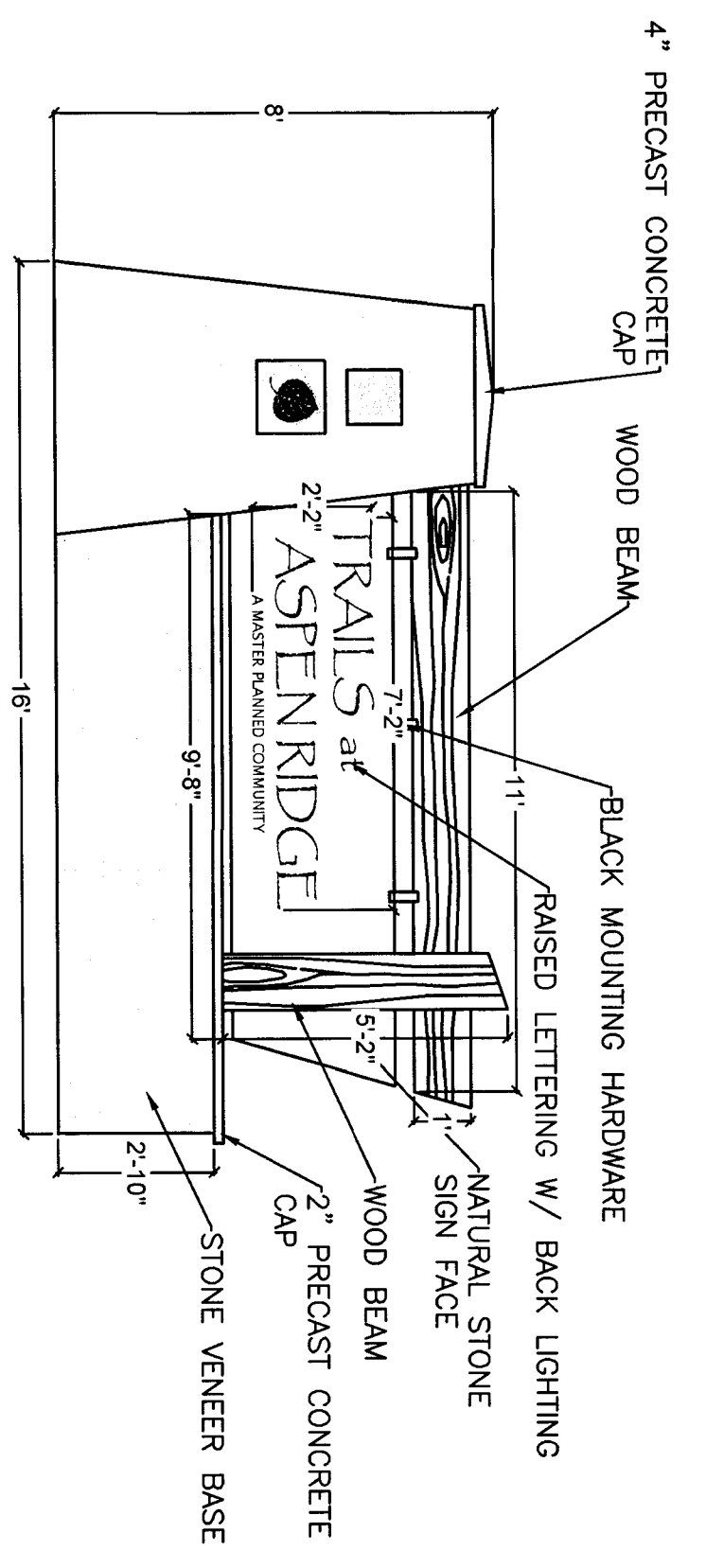
MAIN ENTRANCE SIGN (PLAN VIEW)

NTS



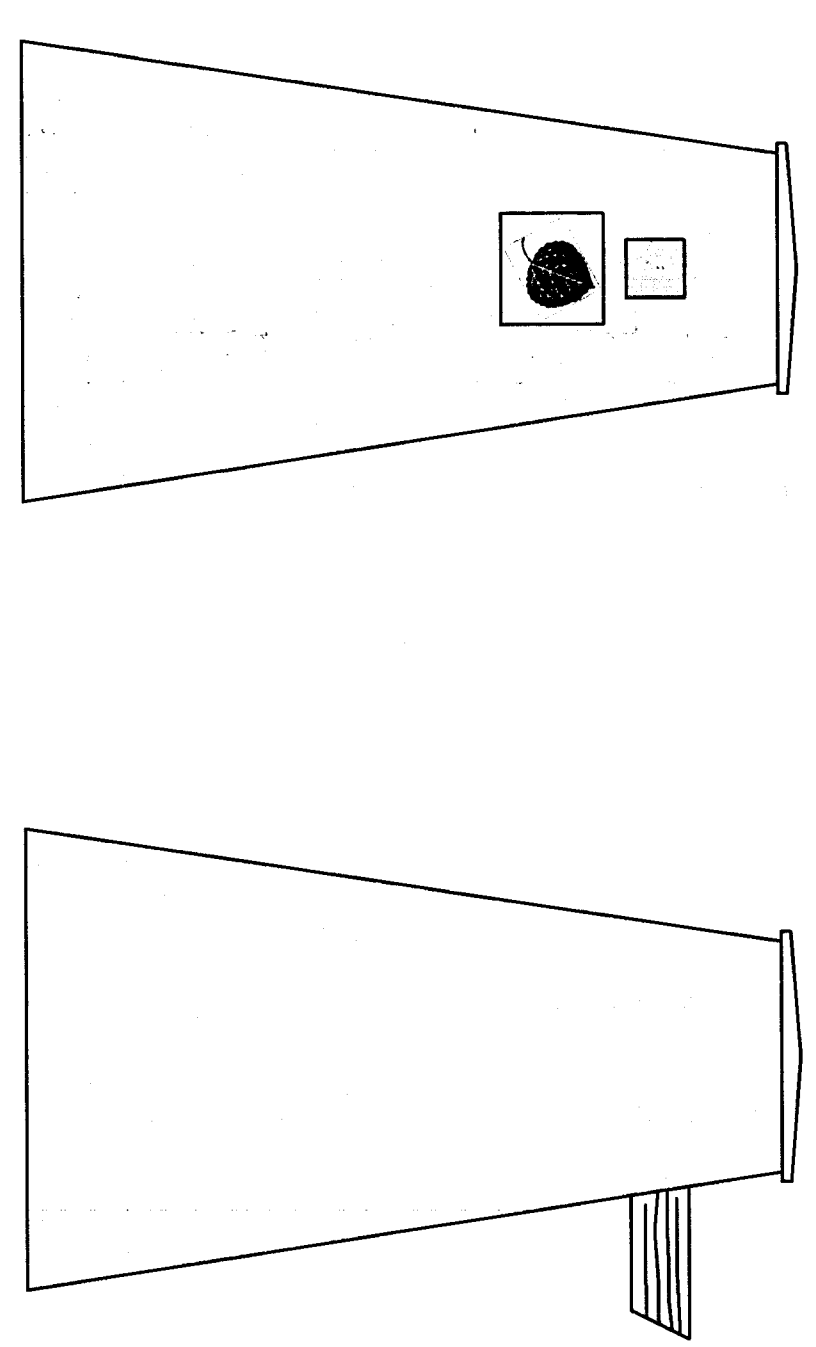
MAIN ENTRANCE SIGN LOCATED IN TRACT H (FRONT VIEW)

NTS



SECONDARY SIGN LOCATED IN TRACT G (FRONT VIEW)

NTS



COLUMN DETAIL (FRONT AND SIDE VIEW)

NTS

CONSULTANTS
Matrix
 PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER
 2439 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0208
 FAX: (719) 575-0208
 OWNER/DEVELOPER:
 COLA LLC
 555 MIDDLE CREEK Pkwy, SUITE 900
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 580-9453

PROJECT:
 TRAILS AT ASPEN RIDGE PUDSP
 AMENDMENT

EL PASO COUNTY, CO			
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DRAWING INFORMATION:
 PROJECT NO.: 20 886 028
 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

PUD DETAILS

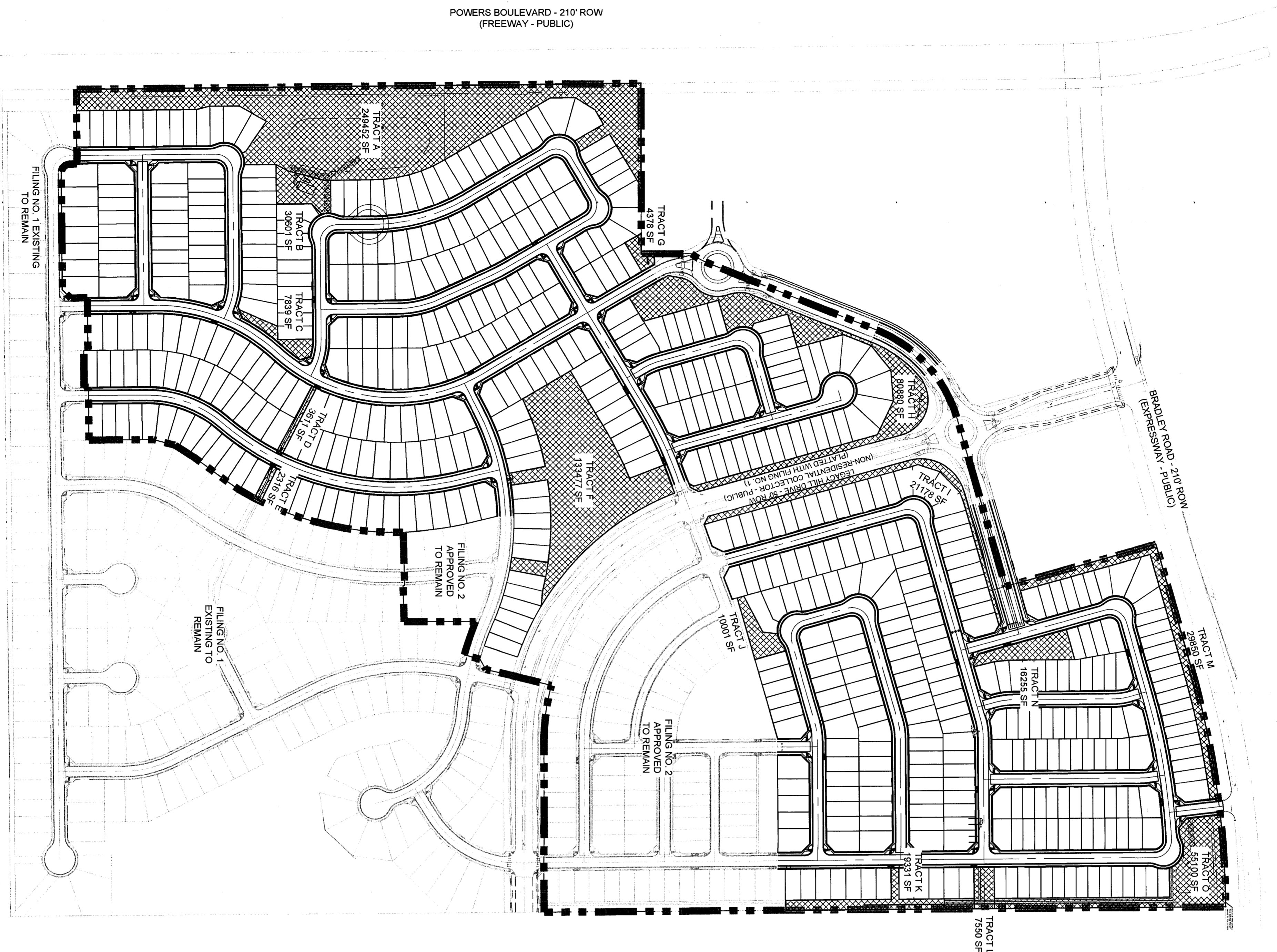
DT05

SHEET 6 OF 34

POD FILE NO.: PUDSP. 21. 003

22 1135788
 7-16-2021

TRACT MAP



TRACT	AREA (SQUARE FEET)	LANDSCAPE/PARK OPEN SPACE/TRAIL	MAILBOX KIOSKS	SIGNAGE/PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PUBLIC UTILITIES	WATER PUMP HOUSE FACILITY	OWNED/MAINTAINED BY
A	264,257	X		X	X	X		WATERVIEW II METRO DISTRICT
B	15,960	X		X	X	X	X	WIDEFIELD WATER & SANITATION DISTRICT
C	7,839	X	X	X	X	X	X	WATERVIEW I METRO DISTRICT
D	3,611	X	X	X	X	X	X	WATERVIEW I METRO DISTRICT
E	2,316	X	X	X	X	X	X	WATERVIEW I METRO DISTRICT
F	133,477	X	X	X	X	X	X	WATERVIEW I METRO DISTRICT
G	4,378	X		X	X	X	X	WATERVIEW I METRO DISTRICT
H	80,860	X		X	X	X	X	WATERVIEW I METRO DISTRICT
I	21,178	X		X	X	X	X	WATERVIEW I METRO DISTRICT
J	10,001	X		X	X	X	X	WATERVIEW I METRO DISTRICT
K	19,351	X		X	X	X	X	WATERVIEW I METRO DISTRICT
L	75,590	X		X	X	X	X	WATERVIEW I METRO DISTRICT
M	26,592	X		X	X	X	X	WATERVIEW I METRO DISTRICT
N	48,253	X		X	X	X	X	WATERVIEW I METRO DISTRICT
O	55,100	X	X	X	X	X	X	WATERVIEW I METRO DISTRICT
TOTAL TRACT AREA: 671,982 SF (15,428 AC)								

- TRACT NOTES:
1. 'X' DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS
 2. TRACT 'L' RESERVED FOR FUTURE RIGHT-OF-WAY USE FOR POSSIBLE CONNECTION TO THE EAST. TRACT 'L' SHALL BE DEDICATED TO EL PASO COUNTY AT NO COST TO THE COUNTY AT THE TIME THE CONNECTION IS REQUIRED. IF NO CONNECTION TO THE EAST IS REQUIRED, THIS TRACT MAY BE CONVERTED TO A LOT FOR USE AS SINGLE FAMILY RESIDENTIAL PER REVIEW AND APPROVAL OF AN AMENDED PLAT BY EL PASO COUNTY.
 3. MAIL BOXES SHALL NOT BE PLACED ALONG LEGACY HILL OR FRONTSIDE DRIVE FRONTAGES OR ALONG SIDEWINDER DRIVE ADJACENT TO THE ROUNDABOUT

POWERS BOULEVARD - 210' ROW
(FREEWAY - PUBLIC)

221135788
7-16-2021



GRAPHIC SCALE
(IN FEET)
1 inch = 200 ft.

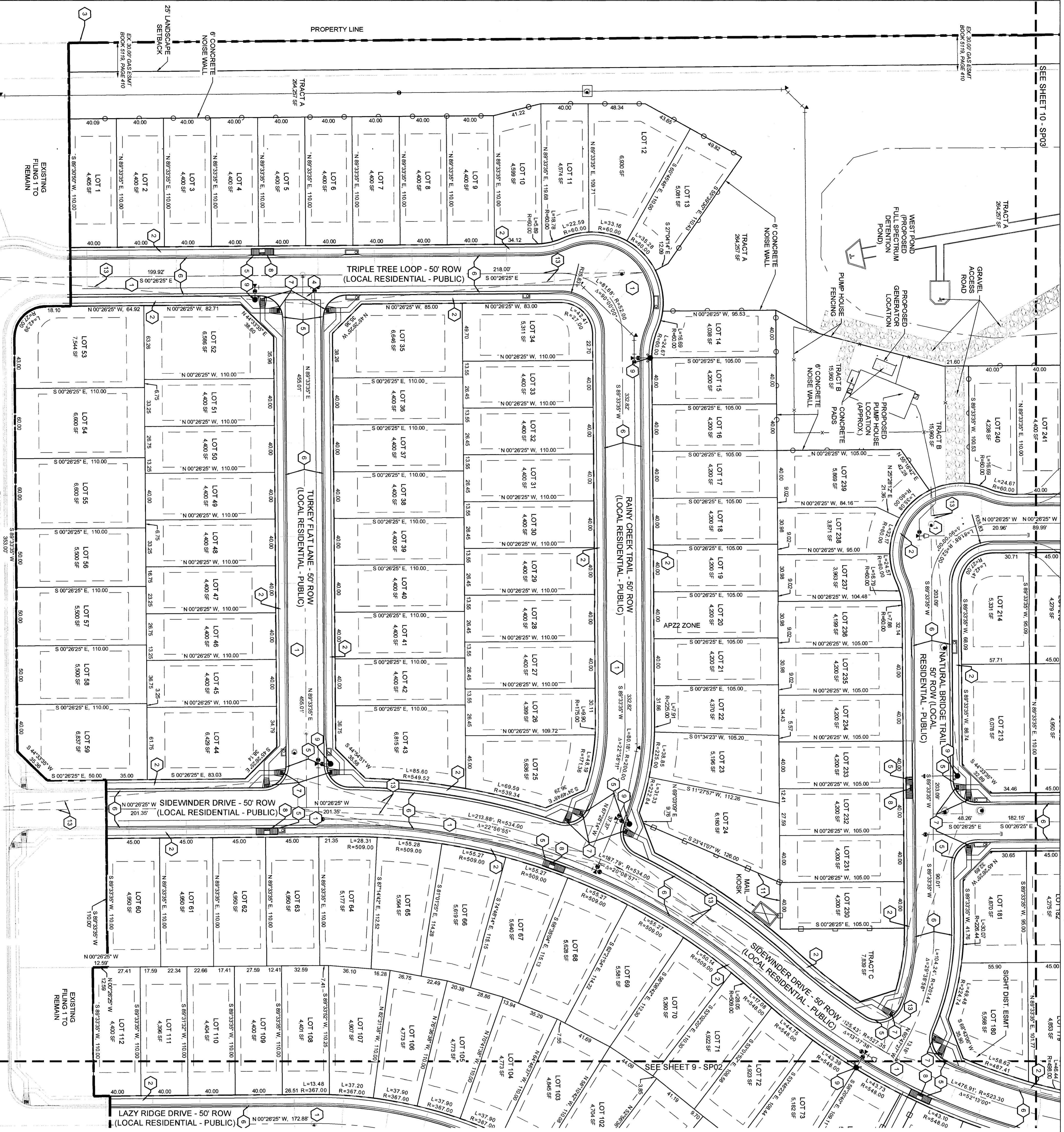
CONSULTANTS



2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 525-5400
FAX: (719) 525-5400

OWNER/DEVELOPER
COLLA LLC
555 MIDDLE CREEK PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 525-5400

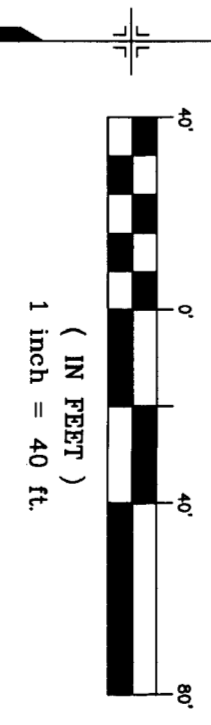
PROJECT:		EL PASO COUNTY, CO
PROJECT:		TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT
REVISION HISTORY:		FEBRUARY 2021
NO.	DATE	DESCRIPTION
0	02/05/2021	FIRST CITY SUBMITTAL
1	04/29/2021	SECOND CITY SUBMITTAL
3	06/17/2021	FOR SIGNATURE
DRAWING INFORMATION:		
PROJECT NO.:	20 886 028	
DRAWN BY:	LGB	
CHECKED BY:	NMS	
APPROVED BY:	NMS	
SHEET TITLE:		
PUD DETAILS		
DT06		
SHEET 7 OF 34		
PUDSP-21-003		



LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
 - 2 CONCRETE ATTACHED SIDEWALK (S' TYPICAL)
 - 3 6" CONCRETE FENCE (SEE DT04 FOR DETAIL)
 - 4 CONCRETE CROSSSPAN (S' TYPICAL)
 - 5 CURB AND GUTTER (EPC TYPE A)
 - 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
 - 7 PEDESTRIAN CURB RAMP
 - 8 PARALLEL PEDESTRIAN CURB RAMP
 - 9 PROPOSED FIRE HYDRANT LOCATION
 - 10 RETAINING WALL (SEE DT04 FOR DETAIL)
 - 11 5" SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
 - 12 5" VINYL FENCE (SEE DT04 FOR DETAIL)
 - 13 SIGHT TRIANGLE
- PROPOSED EASEMENT
 - LANDSCAPE SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - VINYL FENCE
 - SIGHT TRIANGLE
 - PROPOSED UTILITY STRUCTURES
- NOTE: UNLESS OTHERWISE STATED ALL CURB RETURNS RADIUS AT INTERSECTIONS ARE 20'.

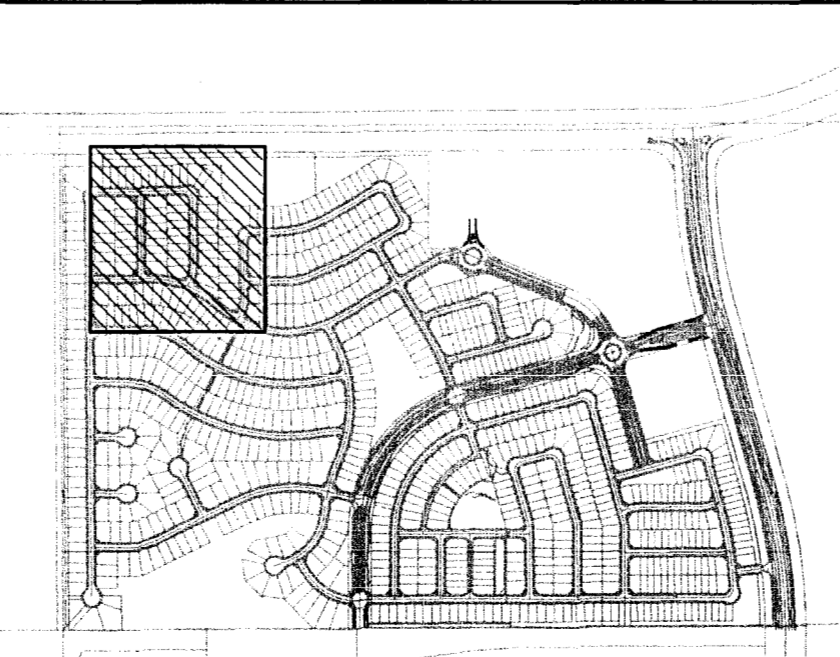
GRAPHIC SCALE



221135788
7-16-2021

CONSULTANTS
Matrix
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 579-0100
 FAX: (719) 579-0288

OWNER/DEVELOPER
COLA LLC
 555 MIDDLE CREEK PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 382-9493



PROJECT:
TRAILS AT ASPEN RIDGE PUDSP AMENDMENT

NO.	DATE	DESCRIPTION	BY
0	02/06/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	

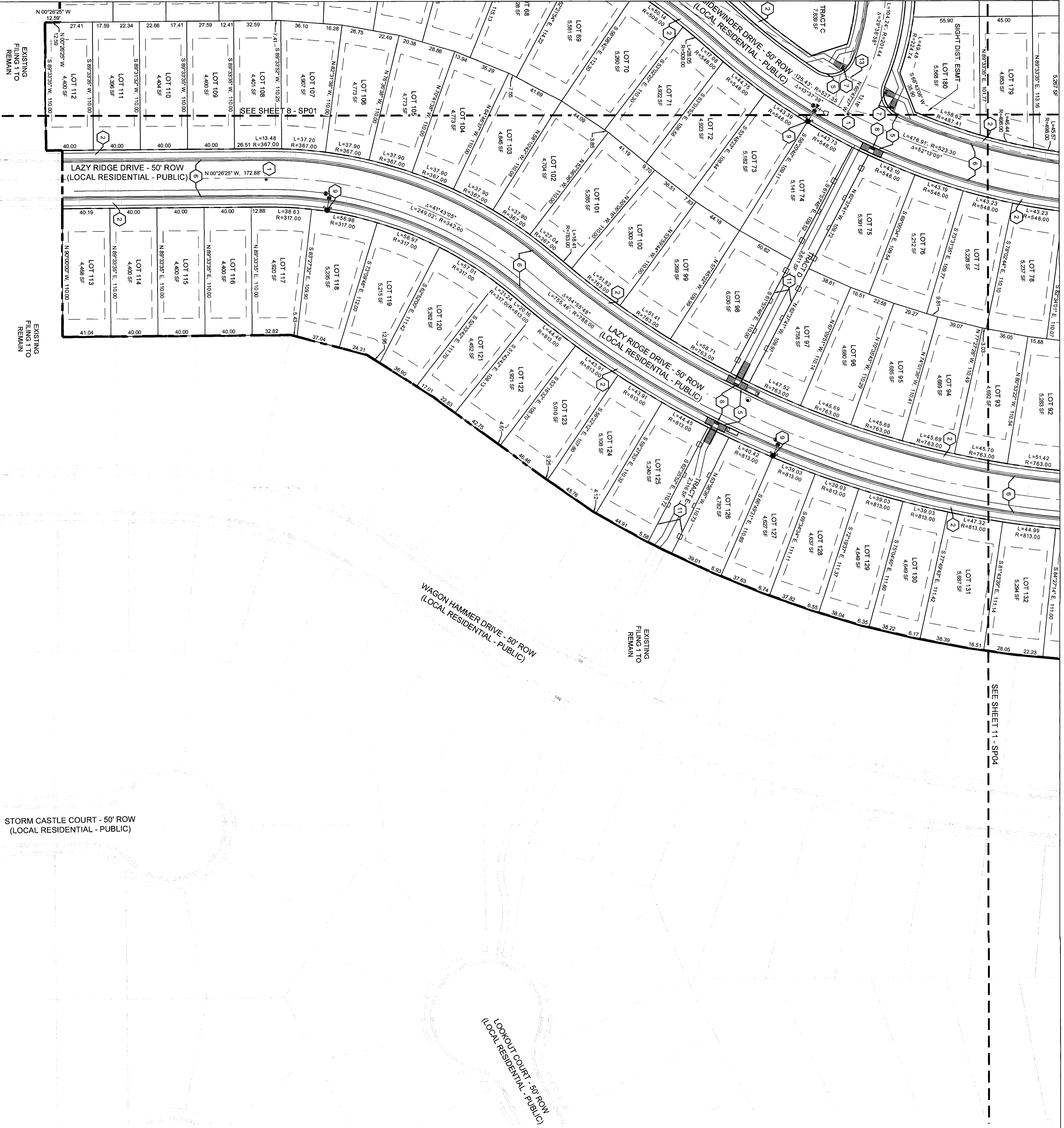
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 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

PRELIMINARY SITE PLAN

SP01

SHEET 8 OF 34

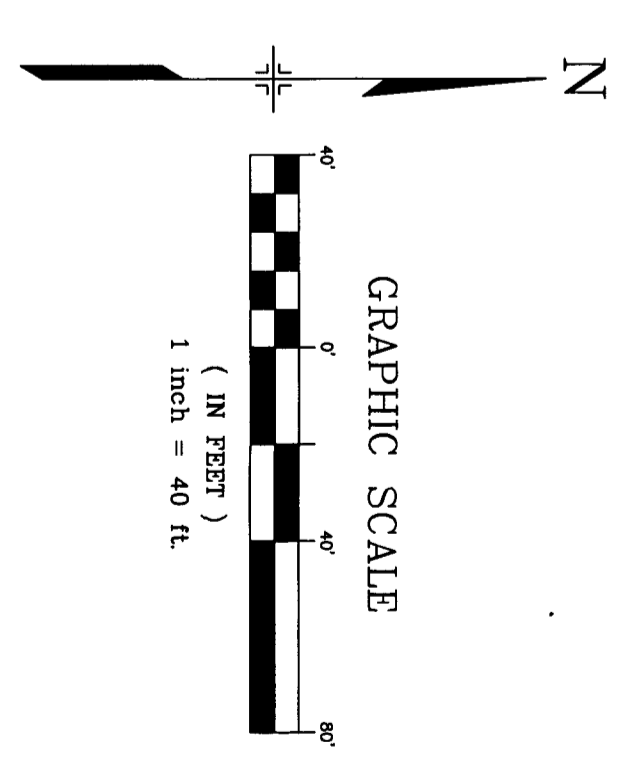
PDD FILE NO.: PUDSP-21-005



- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (6" TYPICAL)
- 3 CONCRETE FENCE (SEE DETAIL FOR DETAIL)
- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (EPC OPTIONAL TYPE A)
- 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
- 7 PEDESTRIAN CURB RAMP
- 8 PARALLEL PEDESTRIAN CURB RAMP
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 RETAINING WALL (SEE DETAIL FOR DETAIL)
- 11 5" SPLIT RAIL VINYL FENCE (SEE DETAIL FOR DETAIL)
- 12 5" VINYL FENCE (SEE DETAIL FOR DETAIL)
- 13 SIGHT TRIANGLE

- PROPOSED EASEMENT
- LANDSCAPE SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- VINYL FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES

NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADIUS AT INTERSECTIONS ARE 20'



LEGEND

STORM CASTLE COURT - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

WAGON HAMMER DRIVE - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

LOOKOUT COURT - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

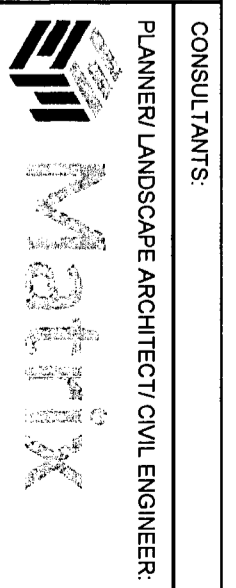
LAZY RIDGE DRIVE - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

EXISTING FILING 1 TO REMAIN

EXISTING FILING 1 TO REMAIN

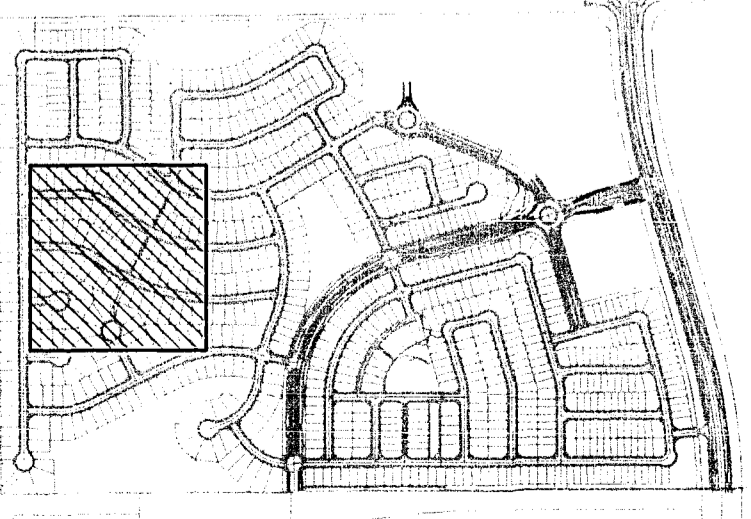
SEE SHEET 11 - SP04

221135788
7-16-2021



CONSULTANTS
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER
COLA LLC
555 N. HIGHLAND STREET, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 325-9433



PROJECT:
TRAILS AT ASPEN RIDGE PUDSP
AMENDMENT

NO.	DATE	DESCRIPTION	BY
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1	04/29/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

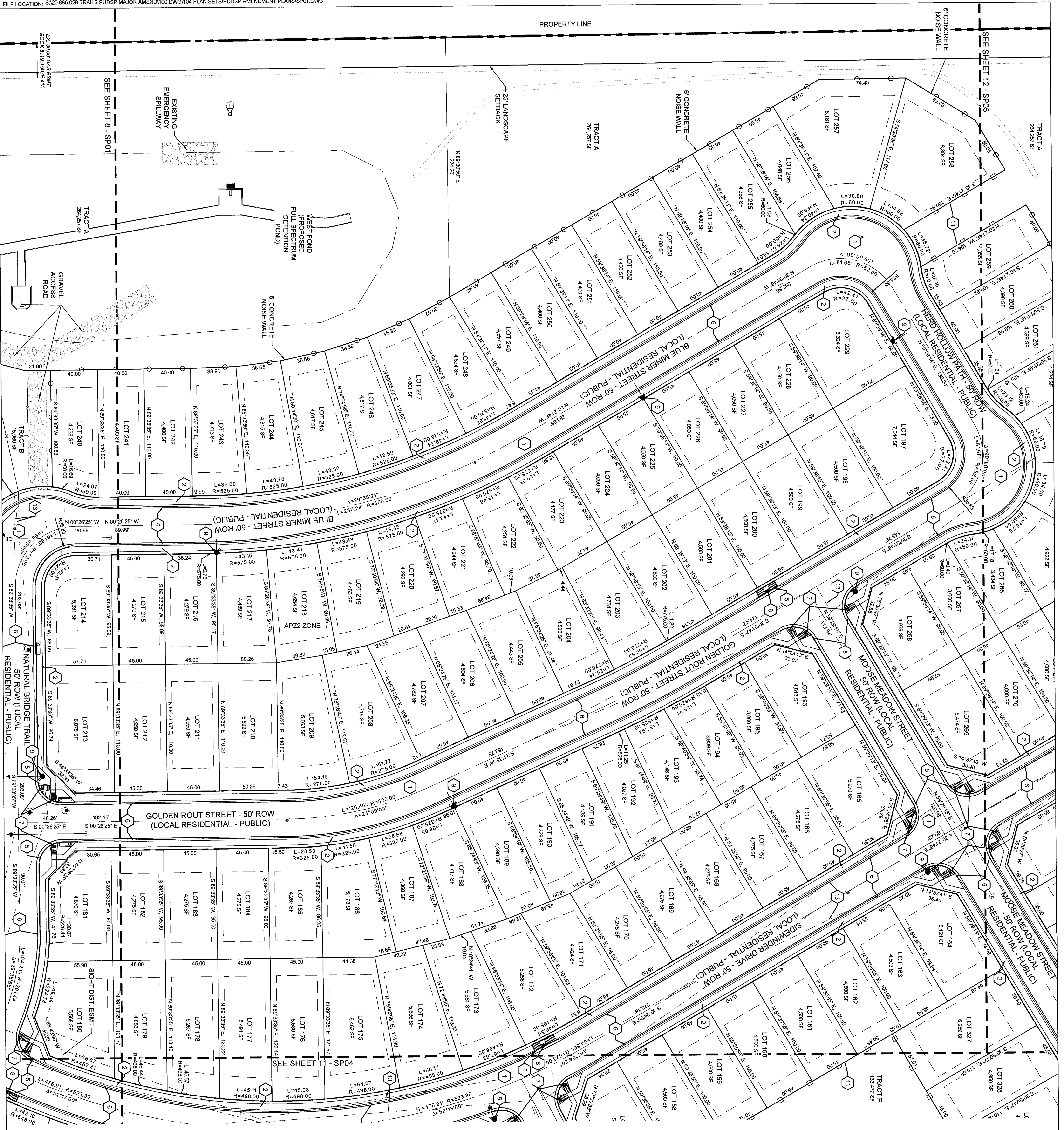
DRAWING INFORMATION:
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DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

PRELIMINARY SITE
PLAN

SP02

SHEET 9 OF 34

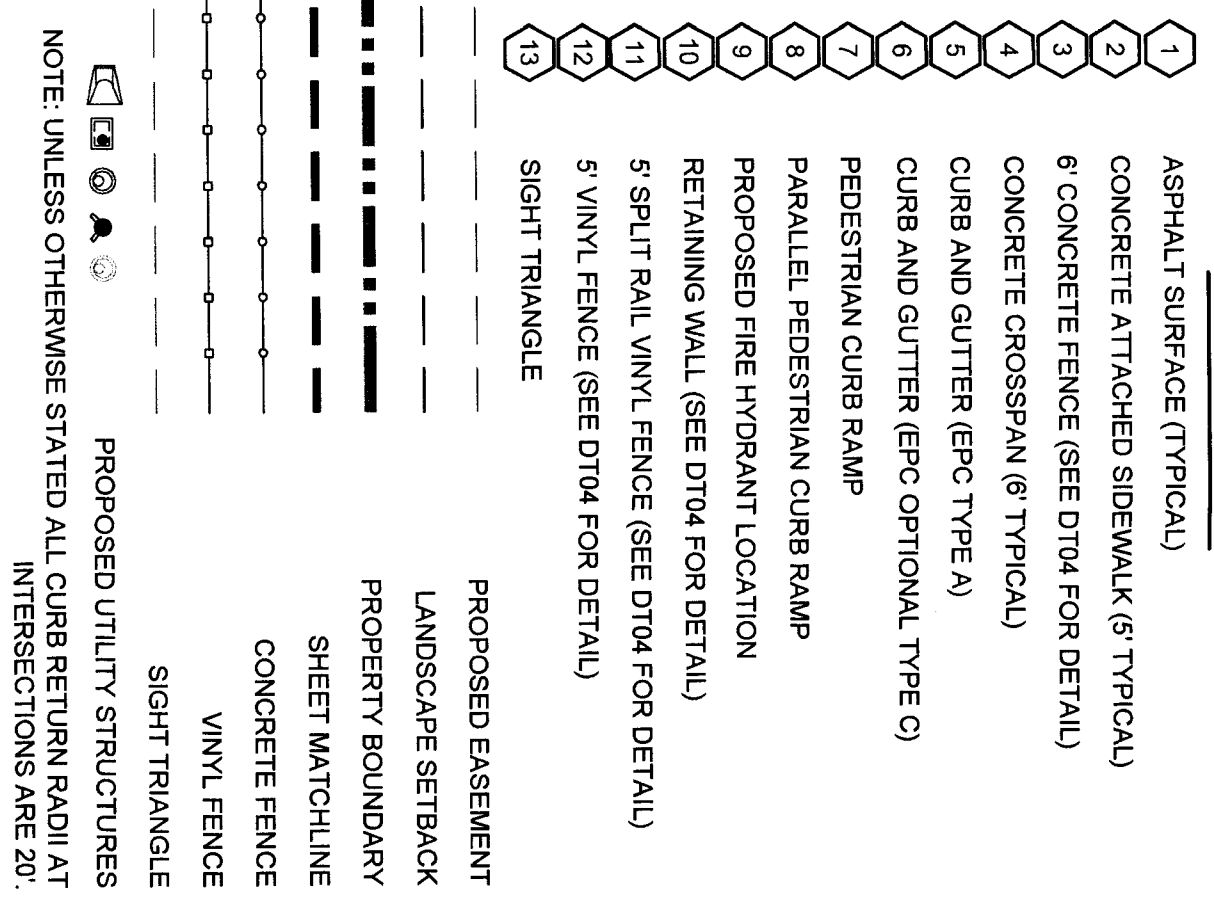
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PROPERTY LINE

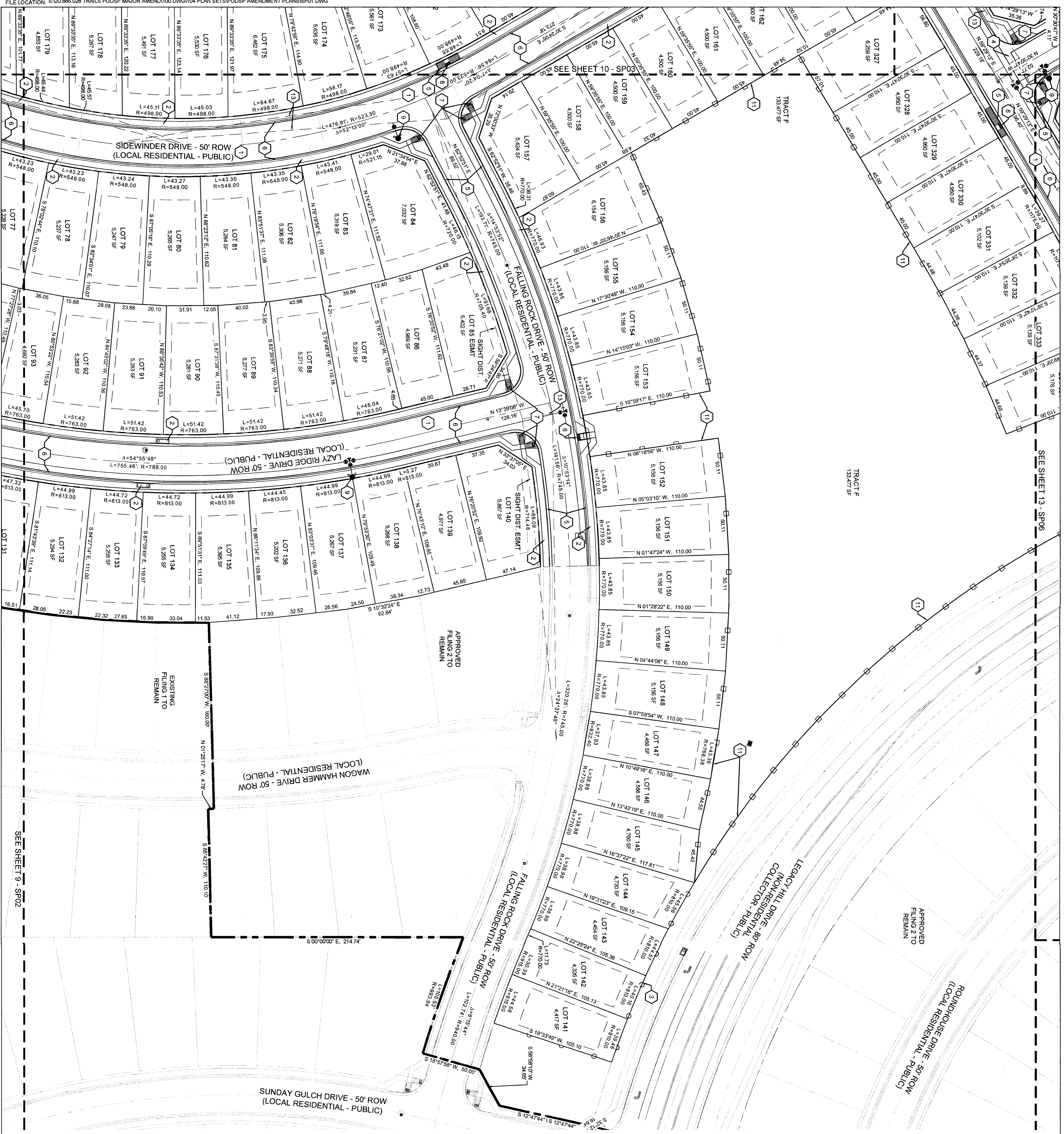
SEE SHEET 8 - SP01

SEE SHEET 12 - SP05

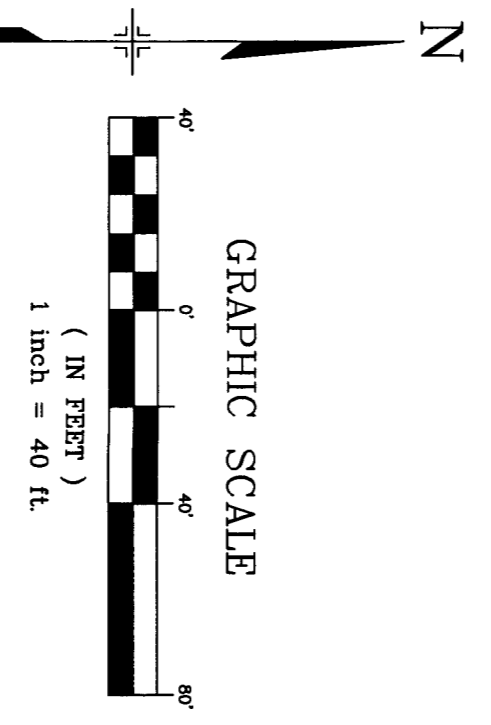


2 211 757 88
 7.16.2021

<p>CONSULTANTS:</p> <p>Matrix</p> <p>PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER</p> <p>245 RESEARCH PARKWAY, SUITE 300 555 WADSWORTH AVENUE, SUITE 800 DENVER, CO 80202 PHONE: (719) 575-0200 FAX: (719) 575-0208</p> <p>OWNERS/DEVELOPER:</p> <p>COLLA LLC 555 WADSWORTH AVENUE, SUITE 800 DENVER, CO 80202 PHONE: (719) 302-9443</p>																	
<p>PROJECT:</p> <p>TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p>																	
<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/22/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>09/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/22/2021	SECOND CITY SUBMITTAL		3	09/17/2021	FOR SIGNATURE	
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3	09/17/2021	FOR SIGNATURE															
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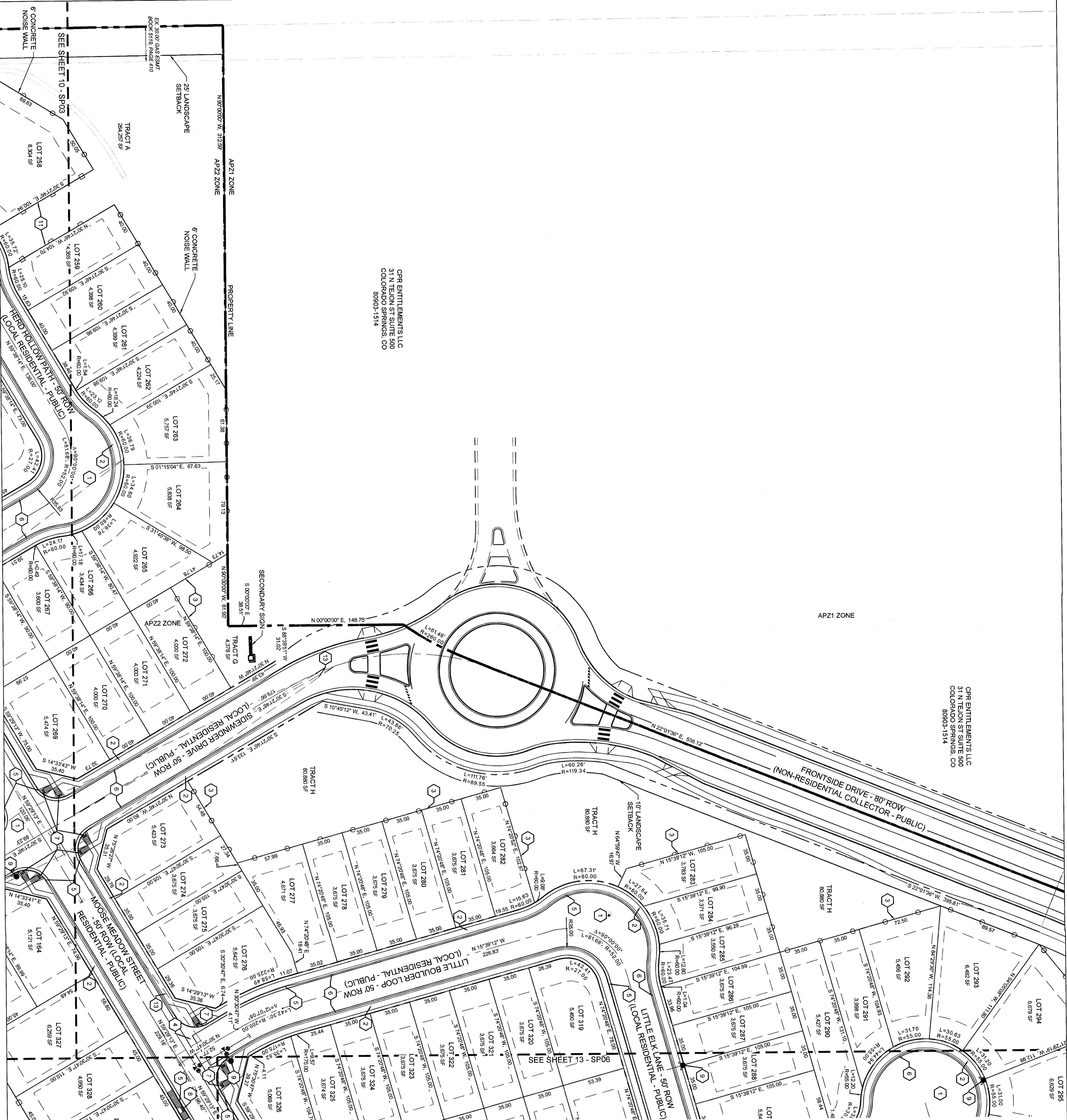


- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
 - 2 CONCRETE ATTACHED SIDEWALK (S) TYPICAL
 - 3 CONCRETE FENCE (SEE DT04 FOR DETAIL)
 - 4 CONCRETE CROSSSPAN (TYPICAL)
 - 5 CURB AND GUTTER (EPC TYPE A)
 - 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
 - 7 PEDESTRIAN CURB RAMP
 - 8 PARALLEL PEDESTRIAN CURB RAMP
 - 9 PROPOSED FIRE HYDRANT LOCATION
 - 10 RETAINING WALL (SEE DT04 FOR DETAIL)
 - 11 SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
 - 12 5 VINYL FENCE (SEE DT04 FOR DETAIL)
 - 13 SIGHT TRIANGLE
- PROPOSED EASEMENT
 - LANDSCAPE SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - VINYL FENCE
 - SIGHT TRIANGLE
 - PROPOSED UTILITY STRUCTURES
- NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADI AT INTERSECTIONS ARE 20'.



2 21155788
7.16.2021

<p>CONSULTANTS</p> <p>Matrix PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER</p> <p>2455 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0258</p> <p>DMENDES@MATRIX.COM</p>	<p>COALA LLC 555 MIDDLE CREEK PARKWAY, SUITE 900 COLORADO SPRINGS, CO 80921 PHONE: (719) 825-9453</p>	<p>PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p> <p>EL PASO COUNTY, CO FEBRUARY 2021</p> <p>REVISION HISTORY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/06/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>06/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table> <p>DRAWING INFORMATION:</p> <p>PROJECT NO: 20.886.028 DRAWN BY: LCB CHECKED BY: NMS APPROVED BY: NMS SHEET TITLE:</p>	NO.	DATE	DESCRIPTION	BY	0	02/06/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	06/17/2021	FOR SIGNATURE		<p>PRELIMINARY SITE PLAN</p> <p style="font-size: 2em; font-weight: bold;">SP04</p> <p style="font-size: 1.5em;">SHEET 11 OF 34</p> <p>PUDSP-21-005</p>
NO.	DATE	DESCRIPTION	BY																
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CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

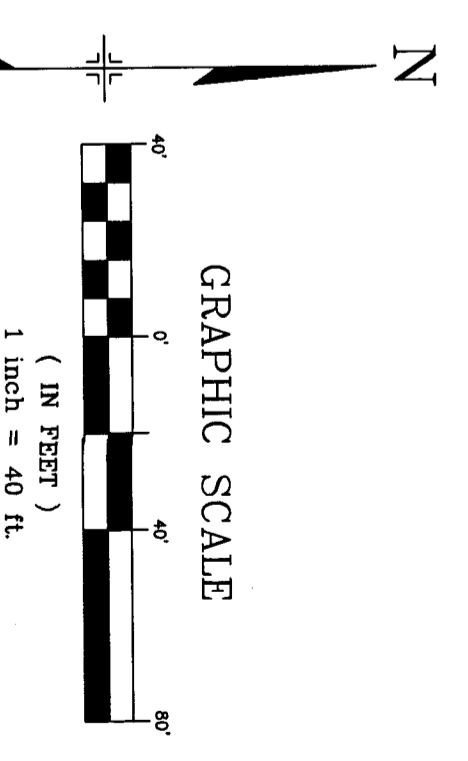
CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (6" TYPICAL)
- 3 CONCRETE FENCE (SEE DT04 FOR DETAIL)
- 4 CONCRETE CROSSRAN (6" TYPICAL)
- 5 CURB AND GUTTER (EPC TYPE A)
- 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
- 7 PEDESTRIAN CURB RAMP
- 8 PARALLEL PEDESTRIAN CURB RAMP
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 RETAINING WALL (SEE DT04 FOR DETAIL)
- 11 SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
- 12 S VINYL FENCE (SEE DT04 FOR DETAIL)
- 13 SIGHT TRIANGLE

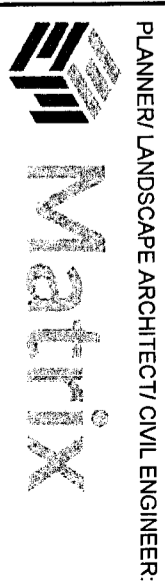
- PROPOSED EASEMENT
- LANDSCAPE SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- VINYL FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES

NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADI AT INTERSECTIONS ARE 20'.



221135788
7-16-2021

CONSULTANTS

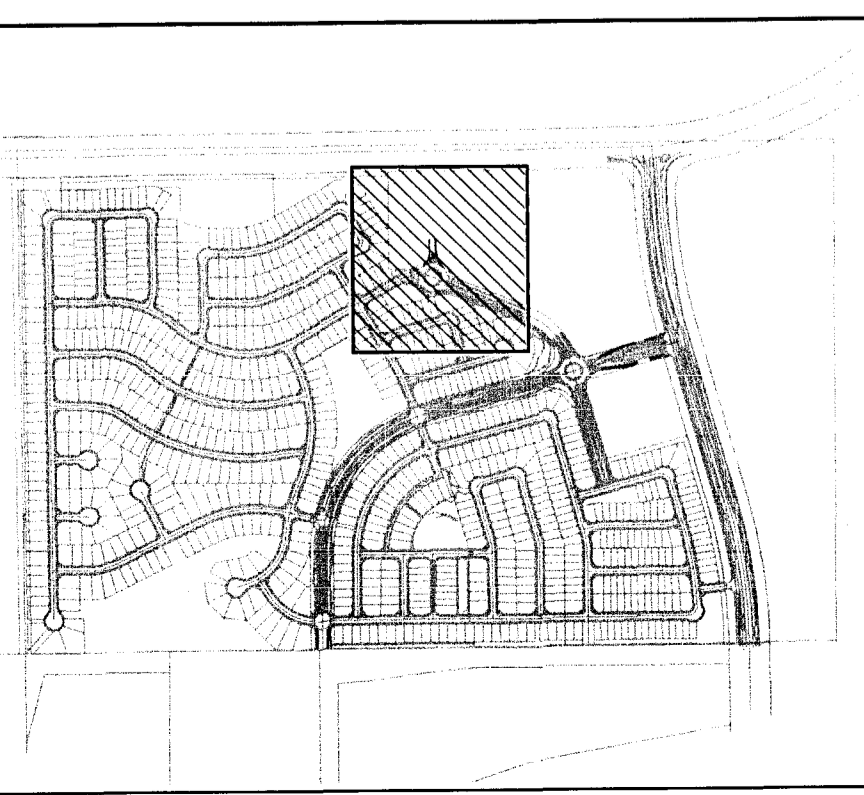


PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
2428 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER

COLA, LLC
5000 S. W. 11TH AVE., SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 393-9433

KEY MAP

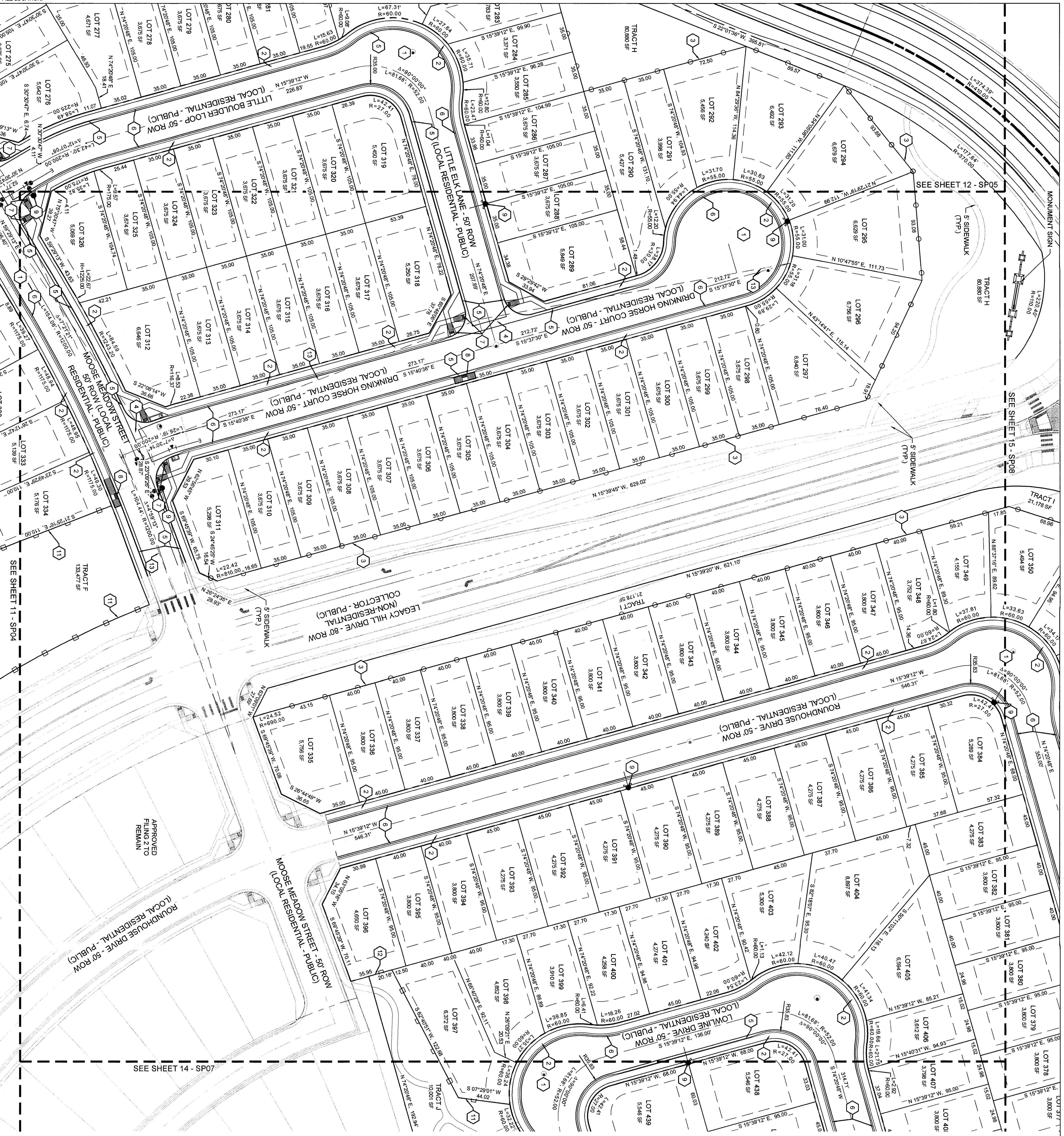


PROJECT:
TRAILS AT ASPEN RIDGE PUD/SP
AMENDMENT

EL PASO COUNTY, CO			
FEBRUARY 2021			
REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/22/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	
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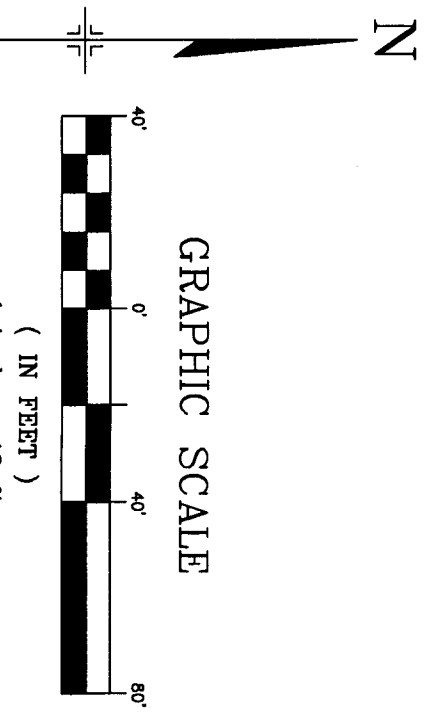
PRELIMINARY SITE
PLAN

SP05
SHEET 12 OF 34
PUDSP-21-003



- LEGEND**
- 1 ASPHALT SURFACE (TYPICAL)
 - 2 CONCRETE ATTACHED SIDEWALK (S' TYPICAL)
 - 3 CONCRETE FENCE (SEE DT04 FOR DETAIL)
 - 4 CONCRETE CROSSSPAN (S' TYPICAL)
 - 5 CURB AND GUTTER (EPC TYPE A)
 - 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
 - 7 PEDESTRIAN CURB RAMP
 - 8 PARALLEL PEDESTRIAN CURB RAMP
 - 9 PROPOSED FIRE HYDRANT LOCATION
 - 10 RETAINING WALL (SEE DT04 FOR DETAIL)
 - 11 5' SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
 - 12 5' VINYL FENCE (SEE DT04 FOR DETAIL)
 - 13 SIGHT TRIANGLE

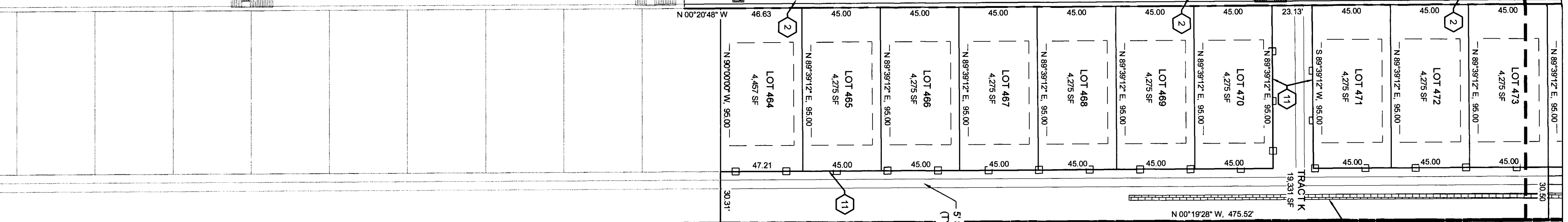
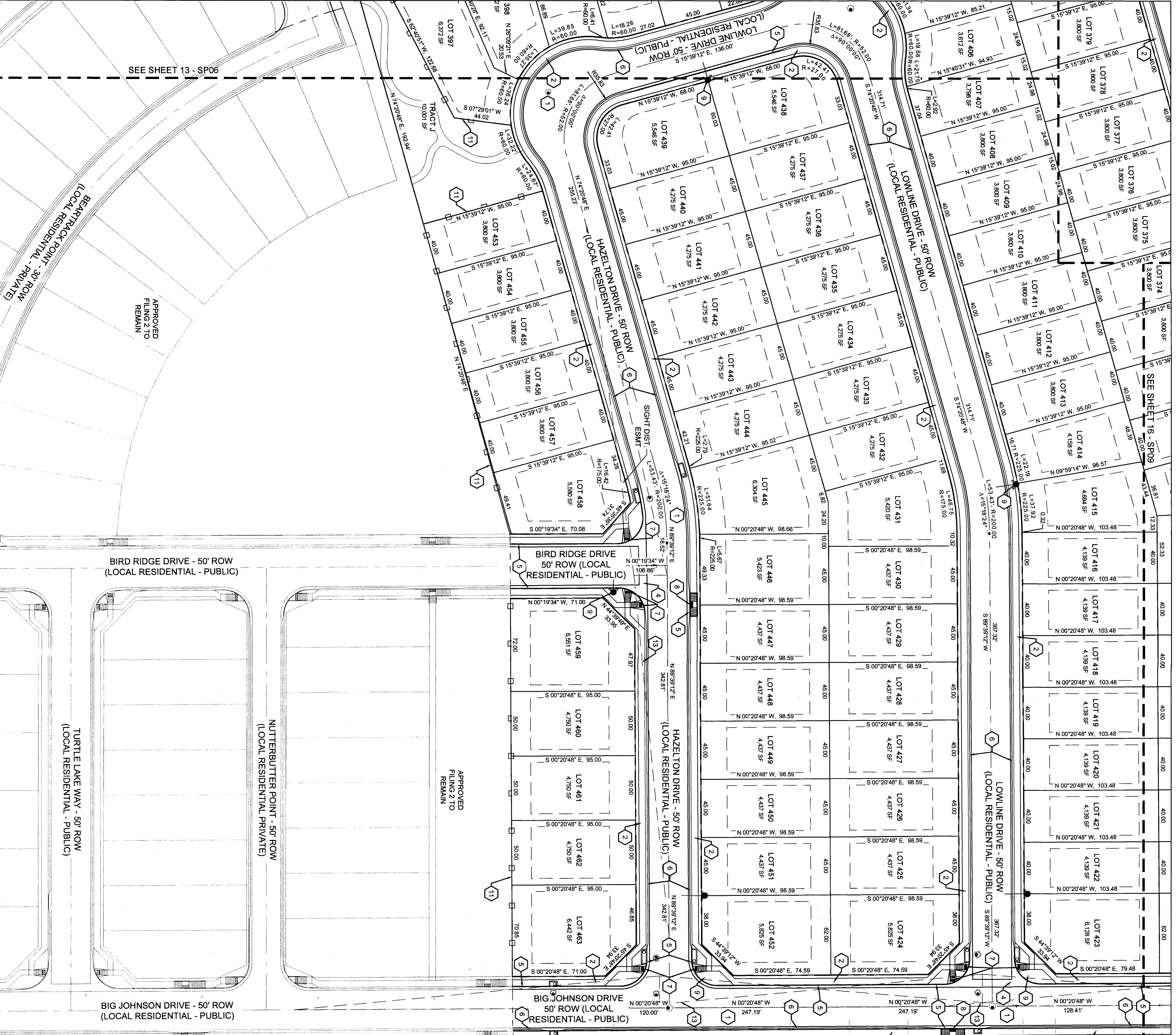
- PROPOSED EASEMENT
 - LANDSCAPE SETBACK
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - CONCRETE FENCE
 - VINYL FENCE
 - SIGHT TRIANGLE
 - PROPOSED UTILITY STRUCTURES
- NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADIUS AT INTERSECTIONS ARE 20'.



GRAPHIC SCALE
1" = 40'

2.21.35.788
7-16-2021

<p>CONSULTANTS</p> <p>Matrix</p> <p>2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 575-0100 FAX: (719) 575-0288</p> <p>OWNER/DEVELOPER</p> <p>COLA LLC 555 MIDCOTE CREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 582-9493</p>		<p>PROJECT:</p> <p>TRAILS AT ASPEN RIDGE PUDSP AMENDMENT</p> <p>EL PASO COUNTY, CO FEBRUARY 2021</p> <p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>06/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table> <p>DRAWING INFORMATION:</p> <p>PROJECT NO: 20.886.028 DRAWN BY: LCB CHECKED BY: NMS APPROVED BY: NMS SHEET TITLE:</p>		NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	06/17/2021	FOR SIGNATURE		<p>PRELIMINARY SITE PLAN</p> <p>SP06</p> <p>SHEET 13 OF 34</p> <p>PDD FILE NO.: PUDSP-21-005</p>	
NO.	DATE	DESCRIPTION	BY																		
0	02/05/2021	FIRST CITY SUBMITTAL																			
1	04/23/2021	SECOND CITY SUBMITTAL																			
3	06/17/2021	FOR SIGNATURE																			



LEGEND

- ASPHALT SURFACE (TYPICAL)
- CONCRETE ATTACHED SIDEWALK (5' TYPICAL)
- CONCRETE CROSSSPAN (6' TYPICAL)
- CONCRETE CROSSSPAN (6' TYPICAL)
- CURB AND GUTTER (EPC TYPE A)
- CURB AND GUTTER (EPC OPTIONAL TYPE C)
- PEDESTRIAN CURB RAMP
- PARALLEL PEDESTRIAN CURB RAMP
- PROPOSED FIRE HYDRANT LOCATION
- PROPOSED RETAINING WALL (SEE DT04 FOR DETAIL)
- 5' SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
- 5' VINYL FENCE (SEE DT04 FOR DETAIL)
- SIGHT TRIANGLE

PROPOSED EASEMENT

LANDSCAPE SETBACK

PROPERTY BOUNDARY

SHEET MATCHLINE

CONCRETE FENCE

VINYL FENCE

SIGHT TRIANGLE

PROPOSED UTILITY STRUCTURES

NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADI AT INTERSECTIONS ARE 20'.

CONSULTANTS:

Matrix

PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER

2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0258

OWNERS/DEVELOPERS:

COLA LLC
 555 MIDDLE CREEK PARKWAY, SUITE 900
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 825-9433

PROJECT:

TRAILS AT ASPEN RIDGE PUDSP AMENDMENT

EL PASO COUNTY, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	02/02/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:

PROJECT NO: 20.886.028

DRAWN BY: LCB

CHECKED BY: NMS

APPROVED BY: NMS

SHEET TITLE:

PRELIMINARY SITE PLAN

SP07

SHEET 14 OF 34

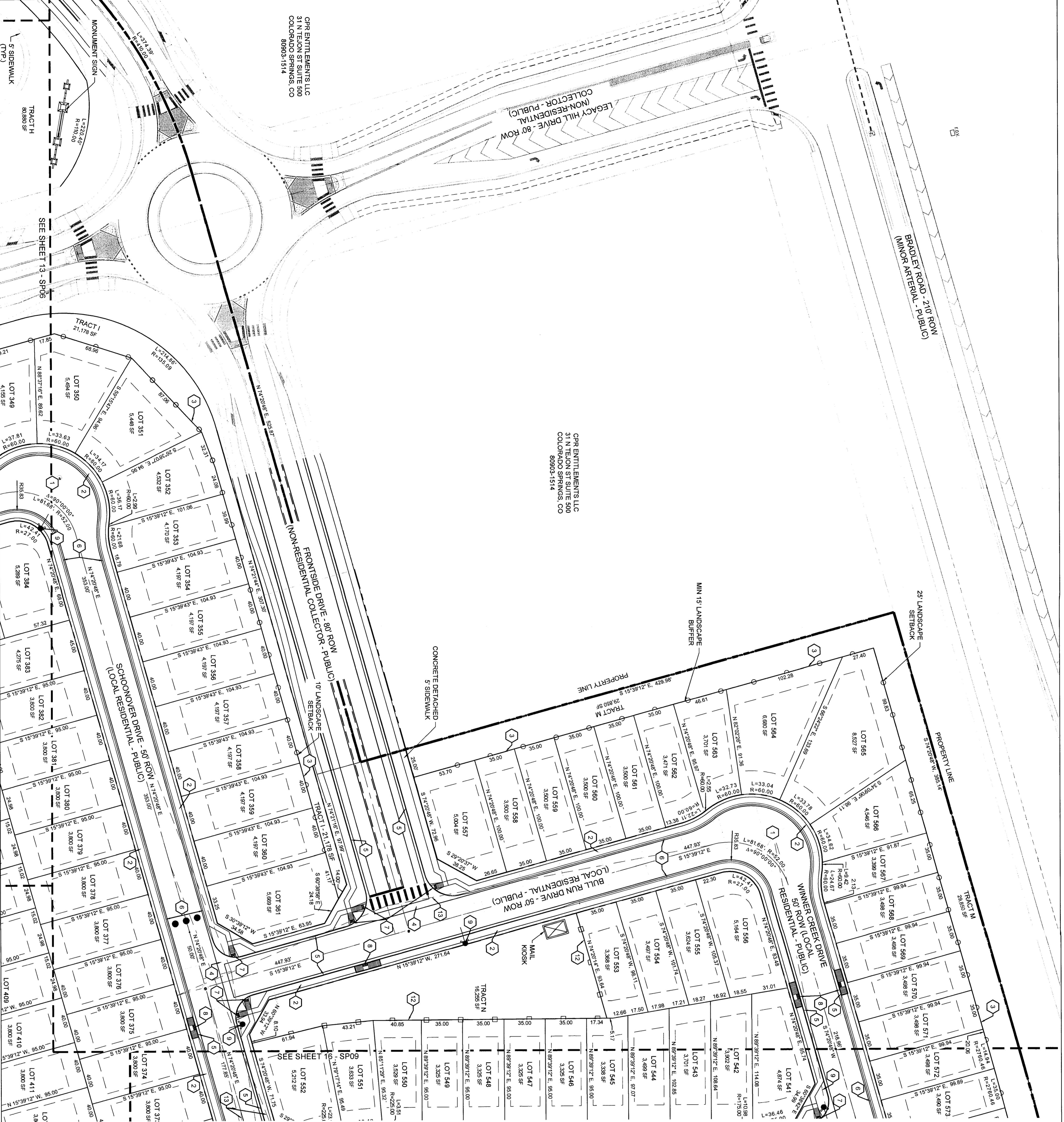
7-16-2021

22-1135788

7-16-2021

FILE NO: PUP-21-003

KEY MAP



CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

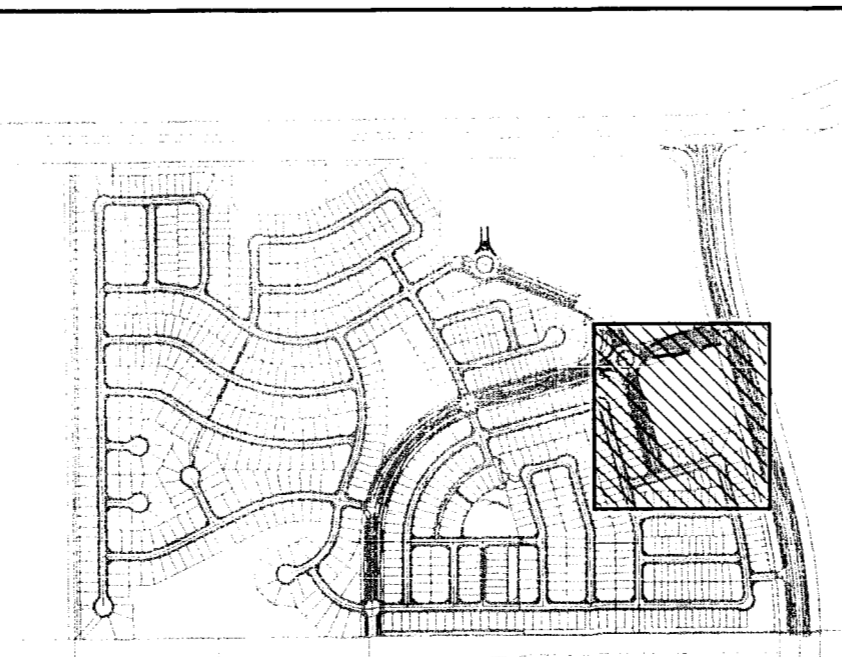
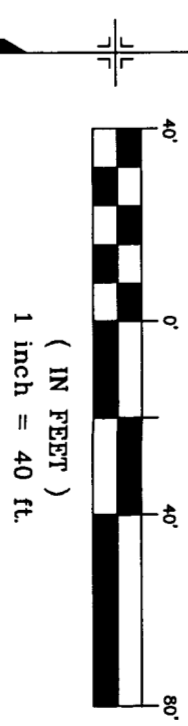
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- 8 PARALLEL PEDESTRIAN CURB RAMP
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 RETAINING WALL (SEE DT04 FOR DETAIL)
- 11 S SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
- 12 S VINYL FENCE (SEE DT04 FOR DETAIL)
- 13 SIGHT TRIANGLE

- PROPOSED EASEMENT
- LANDSCAPE SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- VINYL FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES

NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADI AT INTERSECTIONS ARE 20'.

GRAPHIC SCALE



PROJECT: TRAILS AT ASPEN RIDGE PUDSP AMENDMENT

EL PASO COUNTY, CO

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:	
PROJECT NO.	20 886.028
DRAWN BY:	LCB
CHECKED BY:	NMS
APPROVED BY:	NMS
SHEET TITLE:	

PRELIMINARY SITE PLAN

SP08

SHEET 15 OF 34

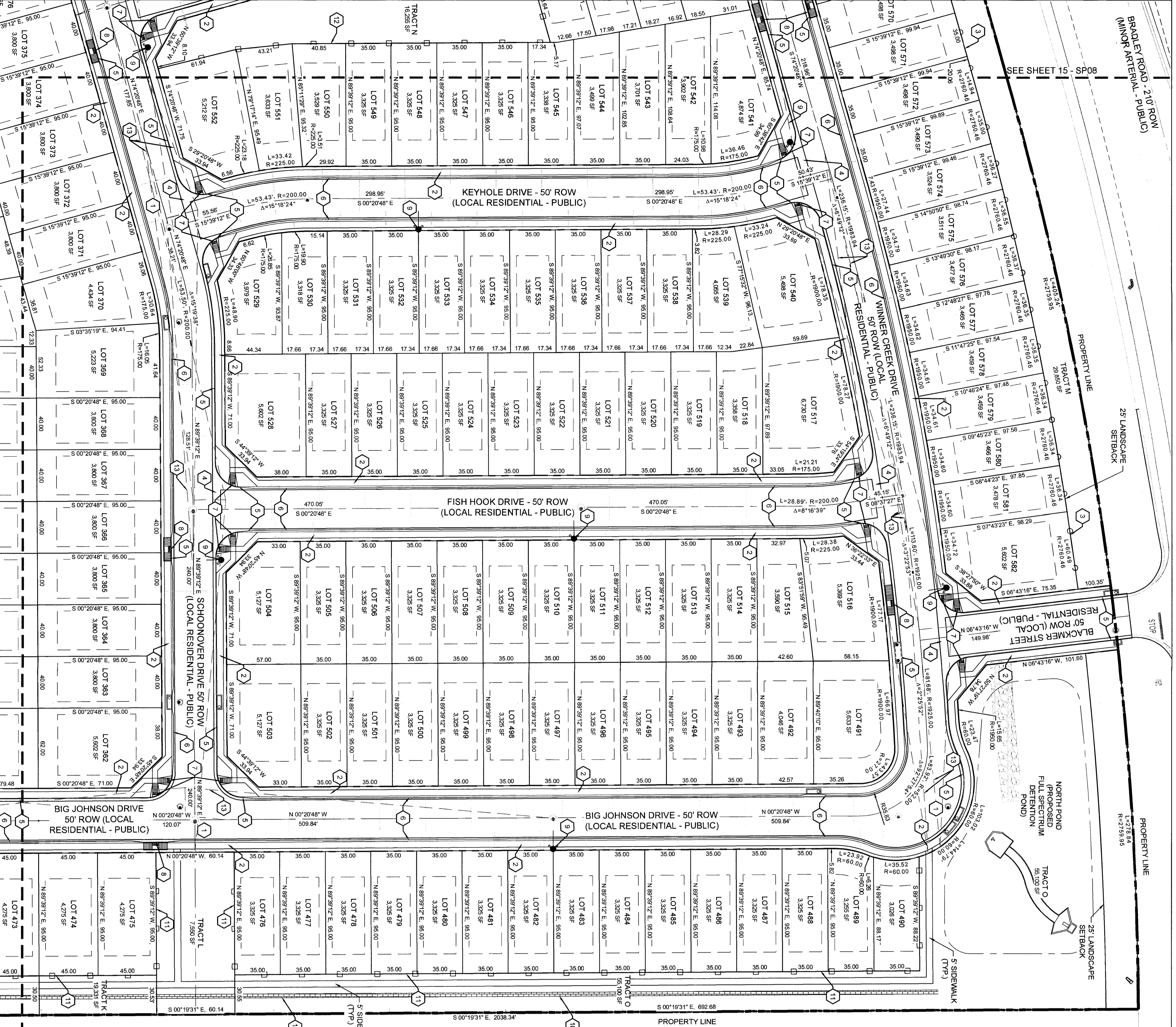
7-116-2021

22.1135.788

POD FILE NO: PUDSP-21-003

CONSULTANTS
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
Matrix
2465 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 585-5900
FAX: (719) 575-0298

OWNER/DEVELOPER
COLLA LLC
2555 MIDDLE CREEK PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 585-5900



SEE SHEET 14 - SP07

SEE SHEET 15 - SP08

SEE SHEET 16 - SP09

SEE SHEET 17 - SP10

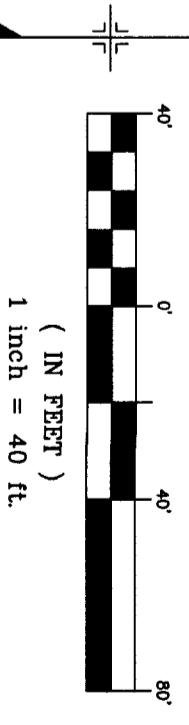
LEGEND

- 1 ASPHALT SURFACE (TYPICAL)
- 2 CONCRETE ATTACHED SIDEWALK (6" TYPICAL)
- 3 CONCRETE FENCE (SEE DT04 FOR DETAIL)
- 4 CONCRETE CROSSSPAN (6" TYPICAL)
- 5 CURB AND GUTTER (EPC TYPE A)
- 6 CURB AND GUTTER (EPC OPTIONAL TYPE C)
- 7 PEDESTRIAN CURB RAMP
- 8 PARALLEL PEDESTRIAN CURB RAMP
- 9 PROPOSED FIRE HYDRANT LOCATION
- 10 RETAINING WALL (SEE DT04 FOR DETAIL)
- 11 5' SPLIT RAIL VINYL FENCE (SEE DT04 FOR DETAIL)
- 12 5' VINYL FENCE (SEE DT04 FOR DETAIL)
- 13 SIGHT TRIANGLE

- PROPOSED EASEMENT
- LANDSCAPE SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- CONCRETE FENCE
- VINYL FENCE
- SIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES

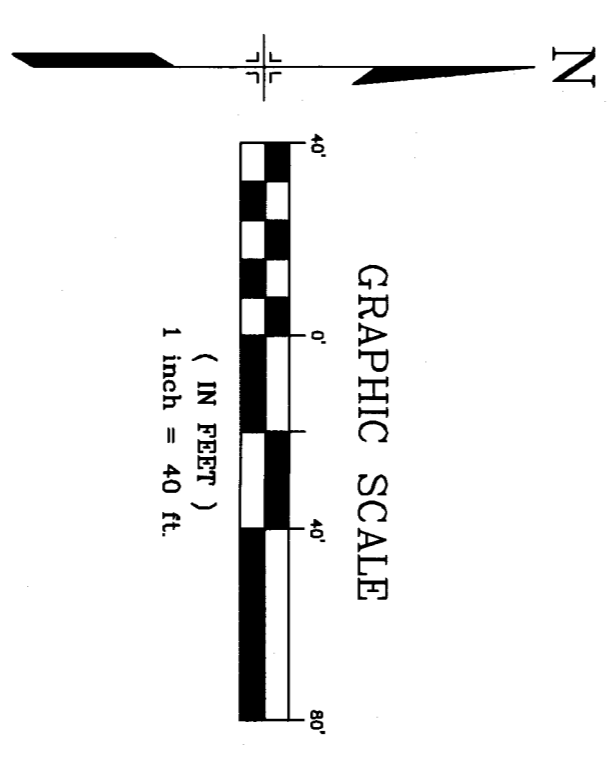
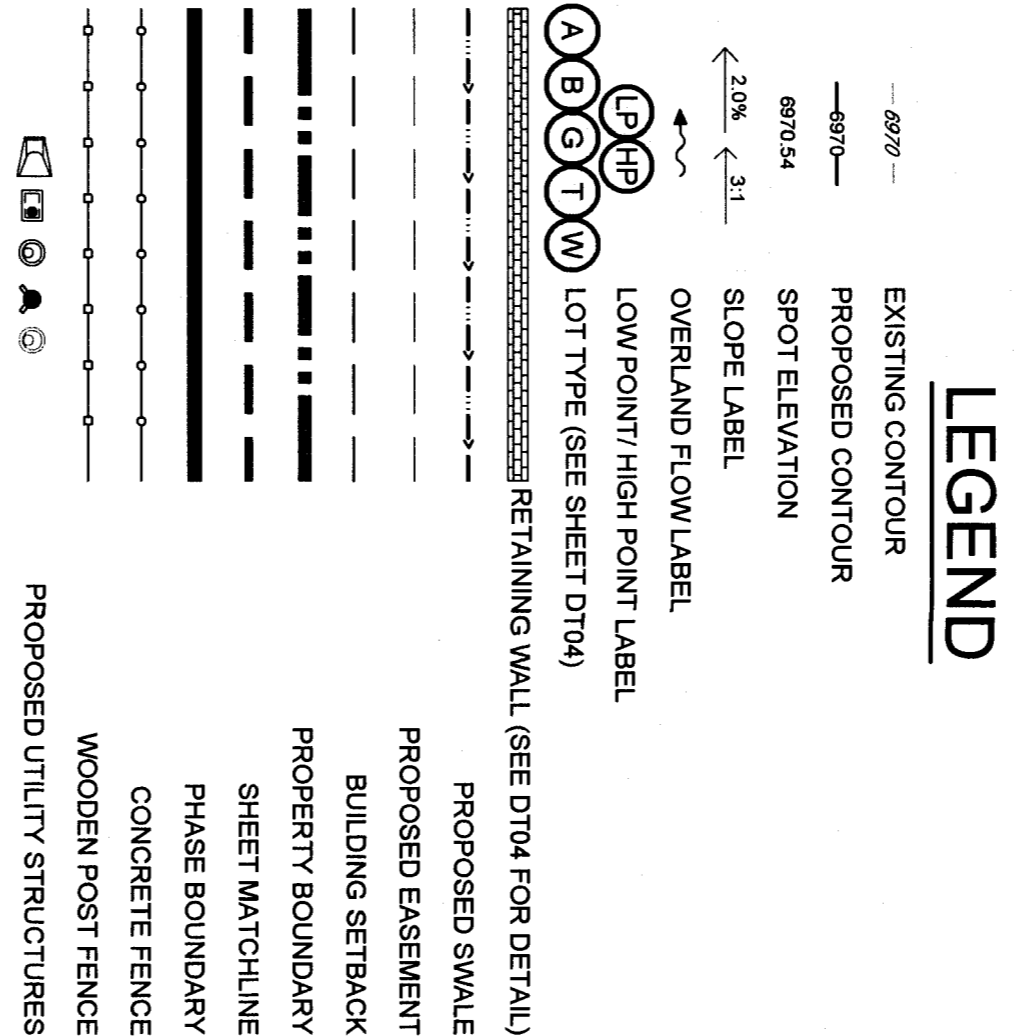
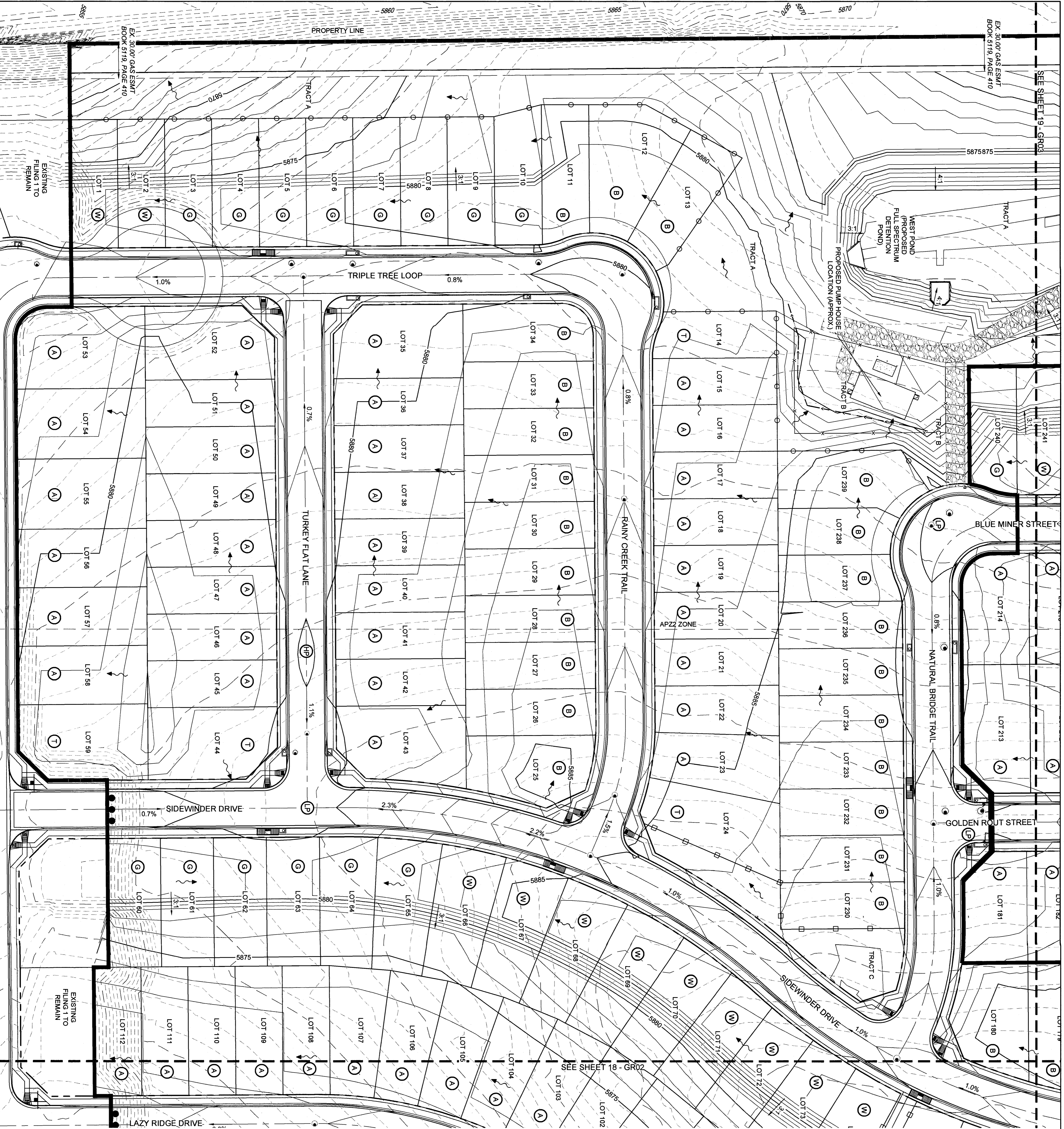
NOTE: UNLESS OTHERWISE STATED ALL CURB RETURN RADIUS AT INTERSECTIONS ARE 20'.

GRAPHIC SCALE

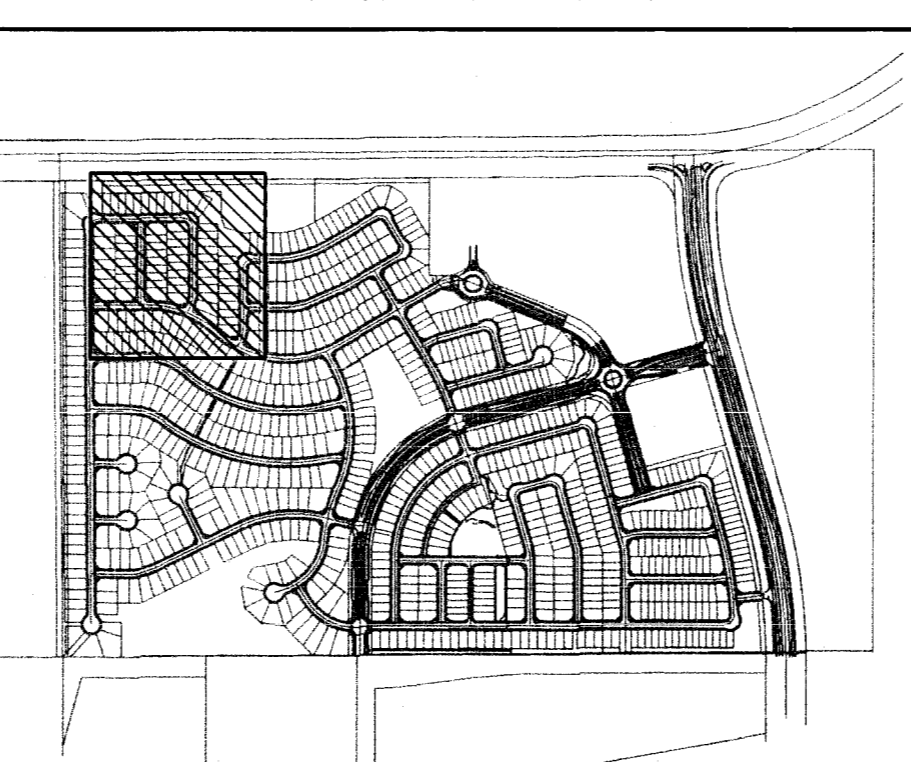


221(357)88
7-16-2021

<p>CONSULTANTS</p> <p>Matrix</p> <p>2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0208</p> <p>DESIGN DEVELOPER: COLLA LLC 555 MIDCREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 382-5433</p>			
<p>PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p>			
<p>EL PASO COUNTY, CO FEBRUARY 2021</p>			
NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	LCB
1	04/23/2021	SECOND CITY SUBMITTAL	LCB
3	06/17/2021	FOR SIGNATURE	NMS
<p>DRAWING INFORMATION:</p> <p>PROJECT NO: 20.886.028</p> <p>DRAWN BY: LCB</p> <p>CHECKED BY: NMS</p> <p>APPROVED BY: NMS</p> <p>SHEET TITLE</p>			
<p>PRELIMINARY SITE PLAN</p>			
<p>SP09</p>			
<p>SHEET 16 OF 34</p>			
<p>POD FILE NO.: PUDSP-21-003</p>			



CONSULTANTS
Matrix
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
 3435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 575-5010
 FAX: (719) 575-5289
 OWNER/DEVELOPER:
COLA LLC
 555 MIDDLE CREEK PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 582-2439



PROJECT:
TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

EL PASO COUNTY, CO
 FEBRUARY 2021
 REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	08/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
 PROJECT NO.: 20.886.028
 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

PRELIMINARY GRADING PLAN

GR01

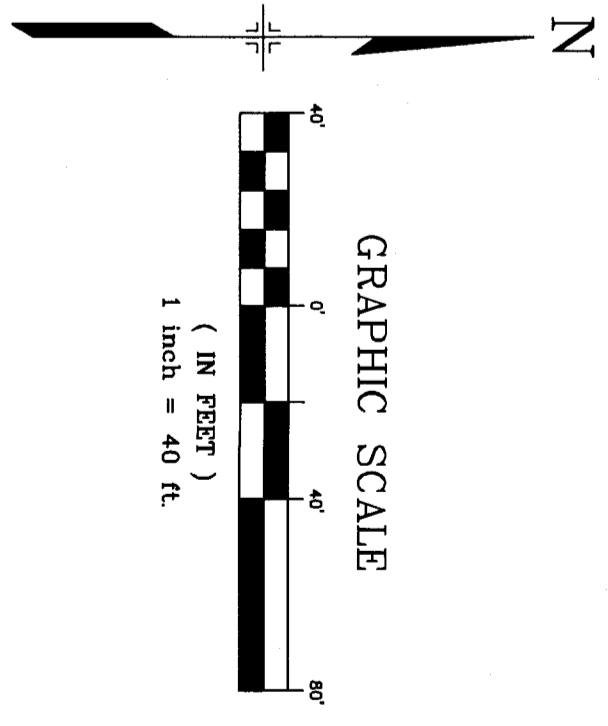
SHEET 17 OF 34

2-21-2021
 7-16-2021
 PUD-SP-21-003



LEGEND

- 6970 --- EXISTING CONTOUR
- 6970 --- PROPOSED CONTOUR
- 6970.94 SPOT ELEVATION
- ← 2.0% → SLOPE LABEL
- ← 3.1% → SLOPE LABEL
- LP HP OVERLAND FLOW LABEL
- LP HP LOW POINT/HIGH POINT LABEL
- (A) (B) (G) (T) (W) LOT TYPE (SEE SHEET D104)
- RETAINING WALL (SEE D104 FOR DETAIL)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



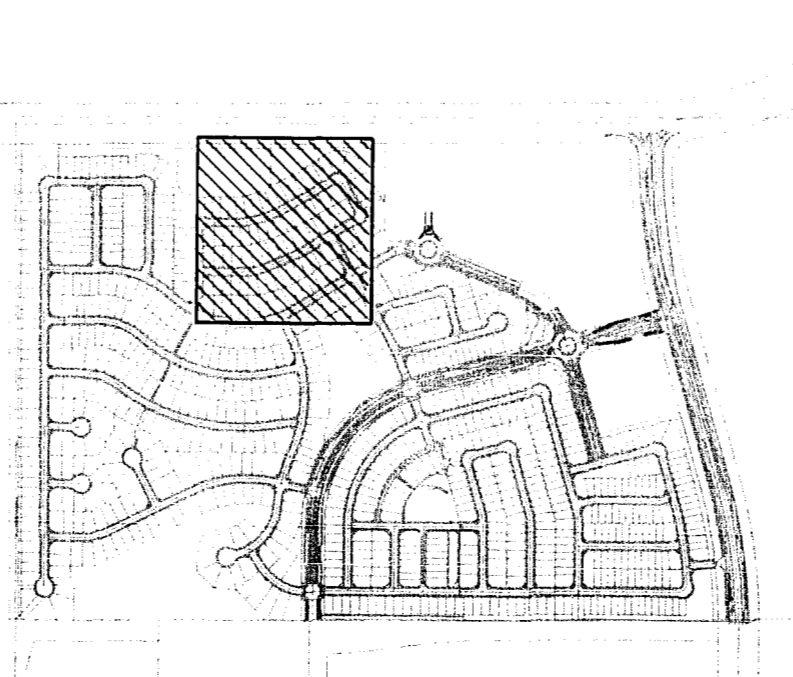
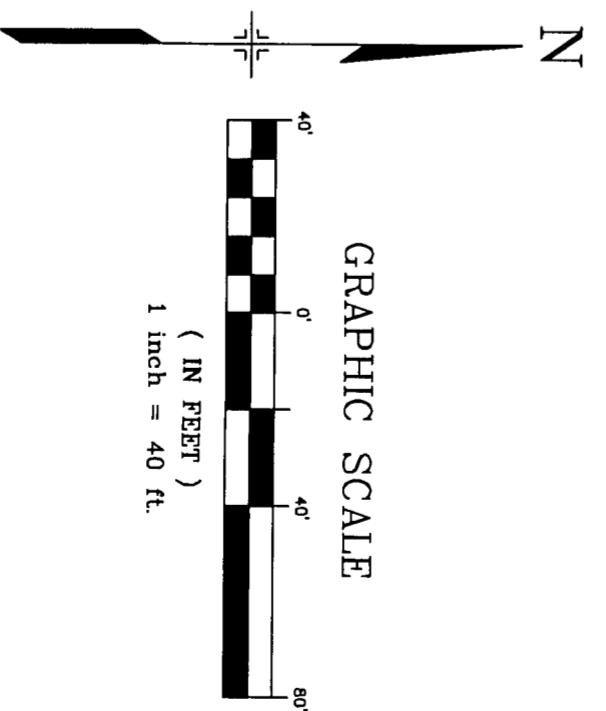
22\1135788
7-16-2021

<p>CONSULTANTS</p> <p>Matrix</p> <p>2455 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 575-0100 FAX: (719) 575-0208</p> <p>OWNER/DEVELOPER</p> <p>COLA LLC 555 MIDDLE CREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 382-9483</p>	<p>PROJECT:</p> <p>TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p> <p>EL PASO COUNTY, CO</p> <p>FEBRUARY 2021</p> <p>REVISION HISTORY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>06/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	06/17/2021	FOR SIGNATURE		<p>DRAWING INFORMATION:</p> <p>PROJECT NO.: 20.886.028</p> <p>DRAWN BY: LCB</p> <p>CHECKED BY: NMS</p> <p>APPROVED BY: NMS</p> <p>SHEET TITLE:</p>	<p>PRELIMINARY GRADING PLAN</p> <p style="font-size: 24pt; font-weight: bold;">GR02</p> <p>SHEET 18 OF 34</p> <p>PUD/SP-21-005</p>	<p>REF. MAP:</p>
NO.	DATE	DESCRIPTION	BY																	
0	02/05/2021	FIRST CITY SUBMITTAL																		
1	04/23/2021	SECOND CITY SUBMITTAL																		
3	06/17/2021	FOR SIGNATURE																		



LEGEND

- 6970 EXISTING CONTOUR
- 6970.54 PROPOSED CONTOUR
- 6970.54 SPOT ELEVATION
- 2.0% SLOPE LABEL
- 3.1 OVERLAND FLOW LABEL
- HP LOW POINT HIGH POINT LABEL
- LP LOT TYPE (SEE SHEET DT04)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



2211357 88
7-16-2021

PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

EL PASO COUNTY, CO
FEBRUARY 2021

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	08/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
PROJECT NO: 20 886 028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

PRELIMINARY GRADING PLAN

GR03

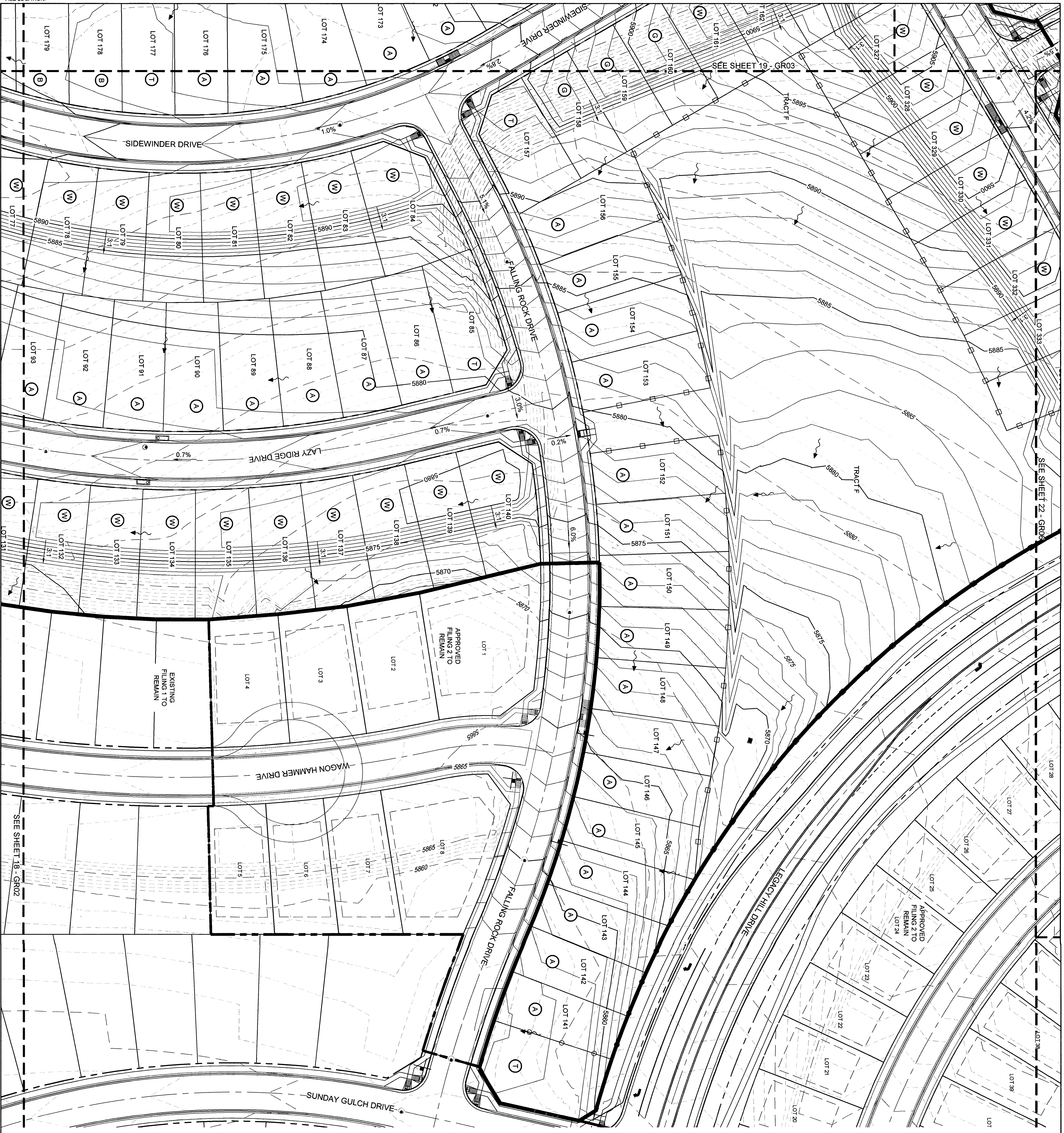
SHEET 19 OF 34
PUDSP-21-003

CONSULTANTS:
PLANNED LANDSCAPE ARCHITECT CIVIL ENGINEER

Mattix

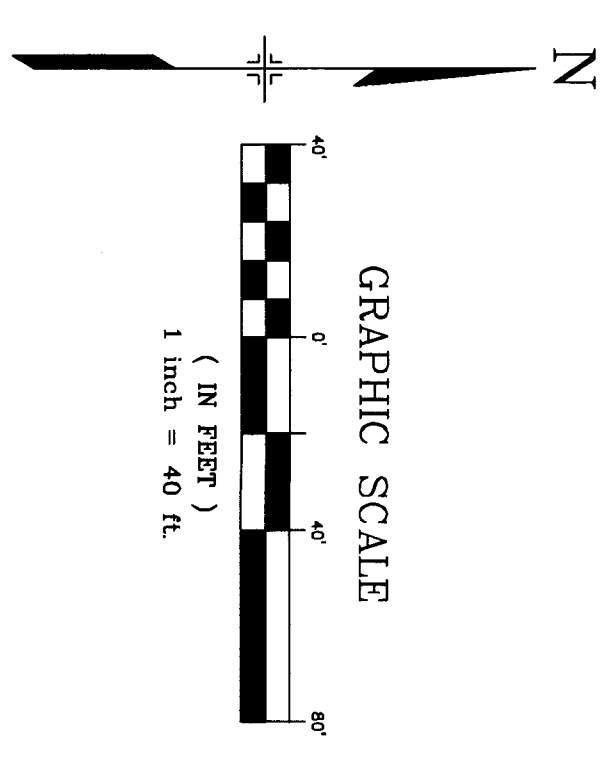
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 576-0288
FAX: (719) 576-0288

OWNER/ENGINEER:
COLA, LLC
559 MIDDLE GREEK HWY., SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 582-9433



LEGEND

- 0.0% --- EXISTING CONTOUR
- 0.0% --- PROPOSED CONTOUR
- 6870.54 SPOT ELEVATION
- ← 2.0% ← 3.1% SLOPE LABEL
- LP HP LOW POINT/HIGH POINT LABEL
- (A) (B) (G) (T) (W) LOT TYPE (SEE SHEET D104)
- RETAINING WALL (SEE D104 FOR DETAIL)
- PROPOSED SMALL
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



2 211 357 888
7-16-2021

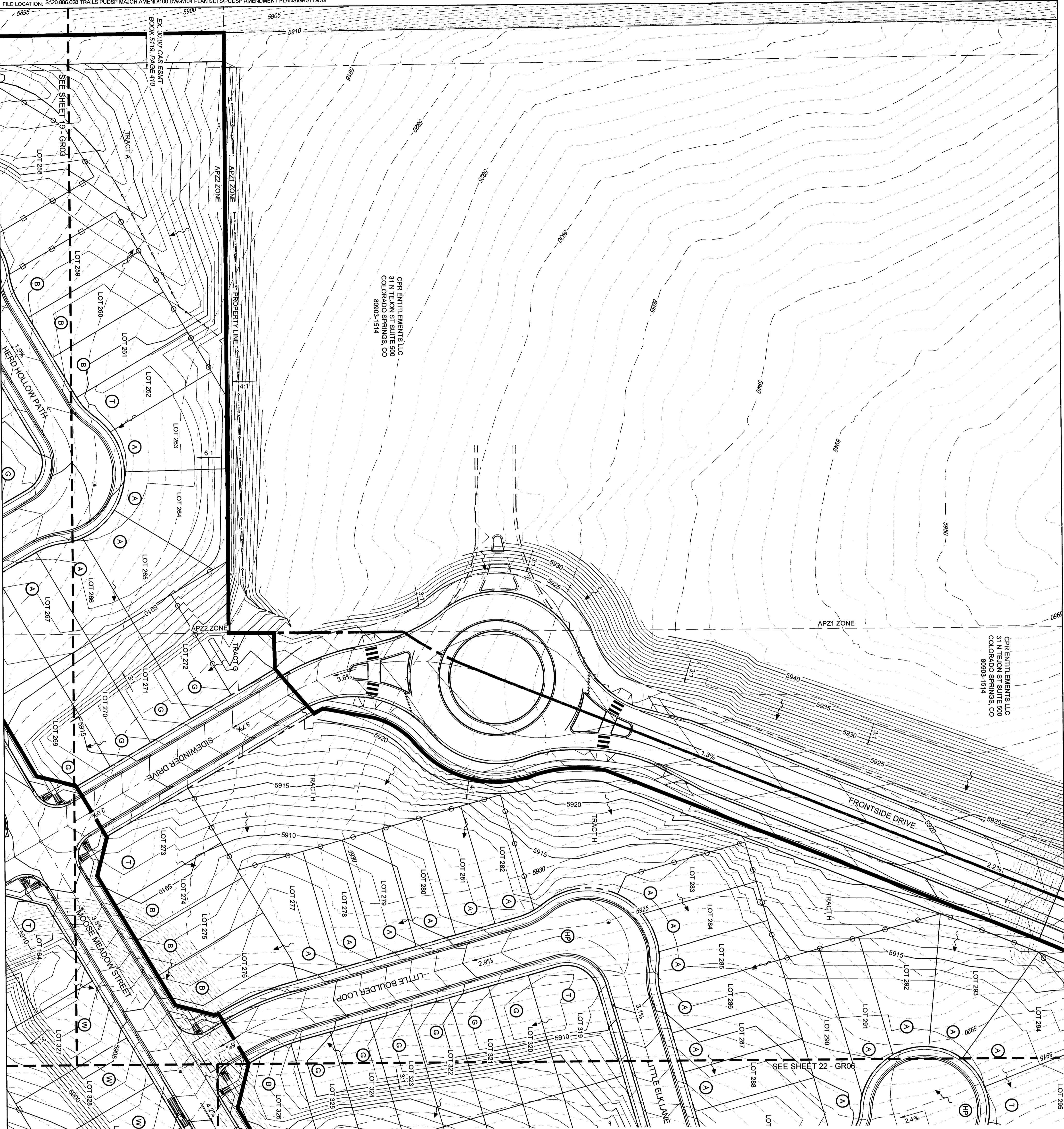
<p>CONSULTANTS Matrix PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 575-0100 FAX: (719) 575-0289</p>	<p>OWNER/DEVELOPER COLA LLC 555 MIDDLE CREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 582-3433</p>	<p>PROJECT TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p>	<p>EL PASO COUNTY, CO FEBRUARY 2021 REVISION HISTORY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>08/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	08/17/2021	FOR SIGNATURE		<p>DRAWING INFORMATION: PROJECT NO. 20.886.028 DRAWN BY: LCB CHECKED BY: NMS APPROVED BY: NMS SHEET TITLE</p>	<p>KEY MAP: </p>
NO.	DATE	DESCRIPTION	BY																		
0	02/05/2021	FIRST CITY SUBMITTAL																			
1	04/23/2021	SECOND CITY SUBMITTAL																			
3	08/17/2021	FOR SIGNATURE																			

PRELIMINARY GRADING PLAN

GR04

SHEET 20 OF 34

PUD FILE NO.: PUDSP-21-005



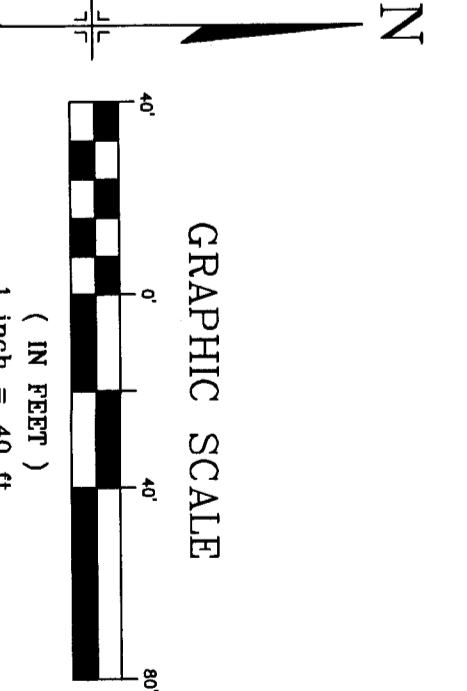
CPR ENTITLEMENTS, LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

CPR ENTITLEMENTS, LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 8970.54 SPOT ELEVATION
- ← 2.0% ← 3.1% SLOPE LABEL
- OVERLAND FLOW LABEL
- LOW POINT/HIGH POINT LABEL
- LOT TYPE (SEE SHEET DT04)
- RETAINING WALL (SEE DT04 FOR DETAIL)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES

GRAPHIC SCALE



221135788
7.16.2021

CONSULTANTS

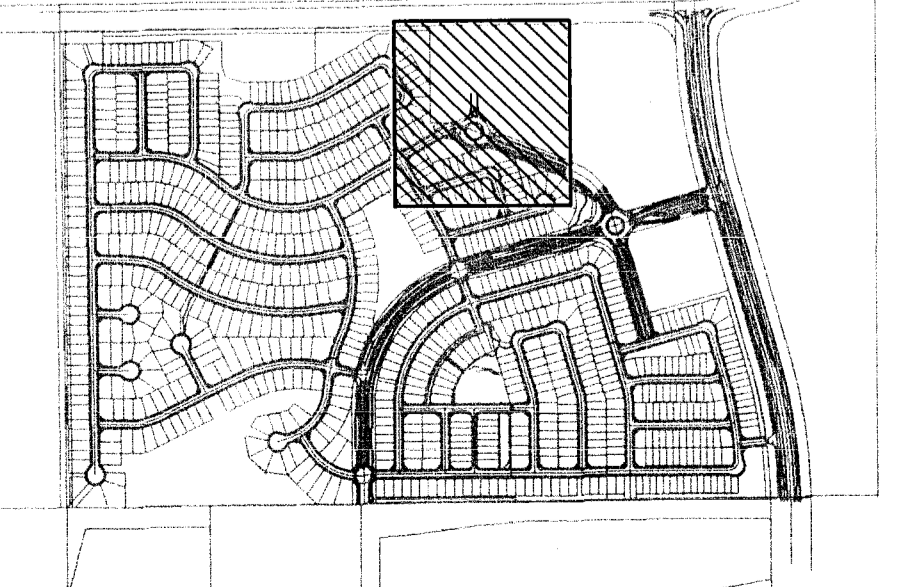
PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER
Matrix

2425 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER

COLLA LLC
555 WINDS GLENWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 382-9433

KEY MAP



PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/22/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

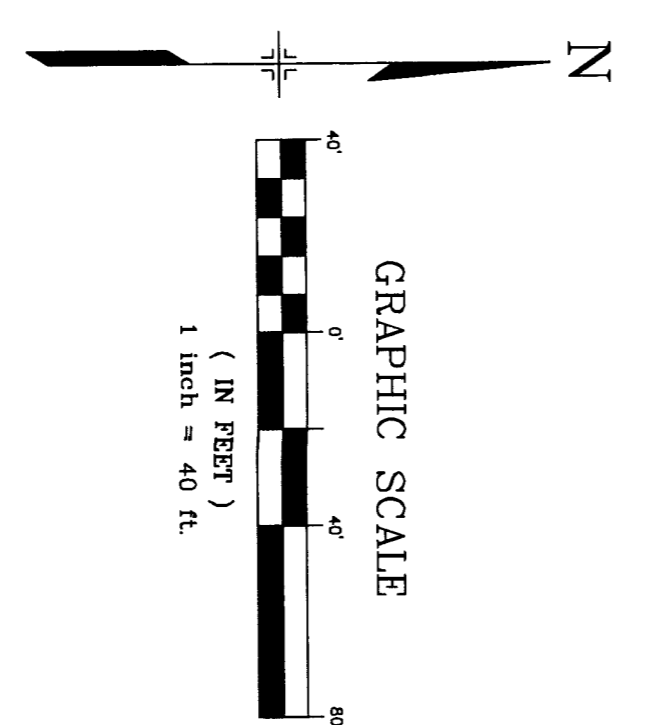
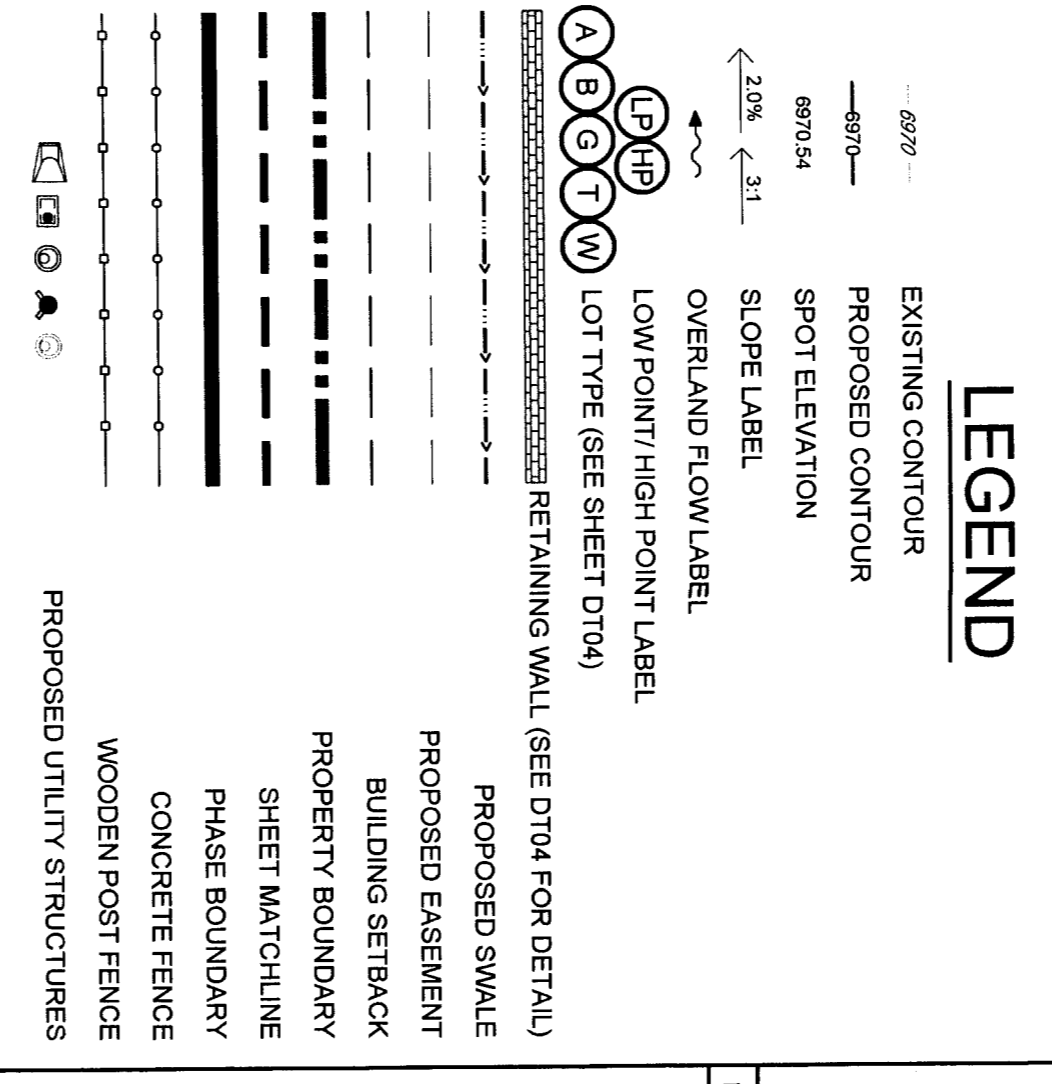
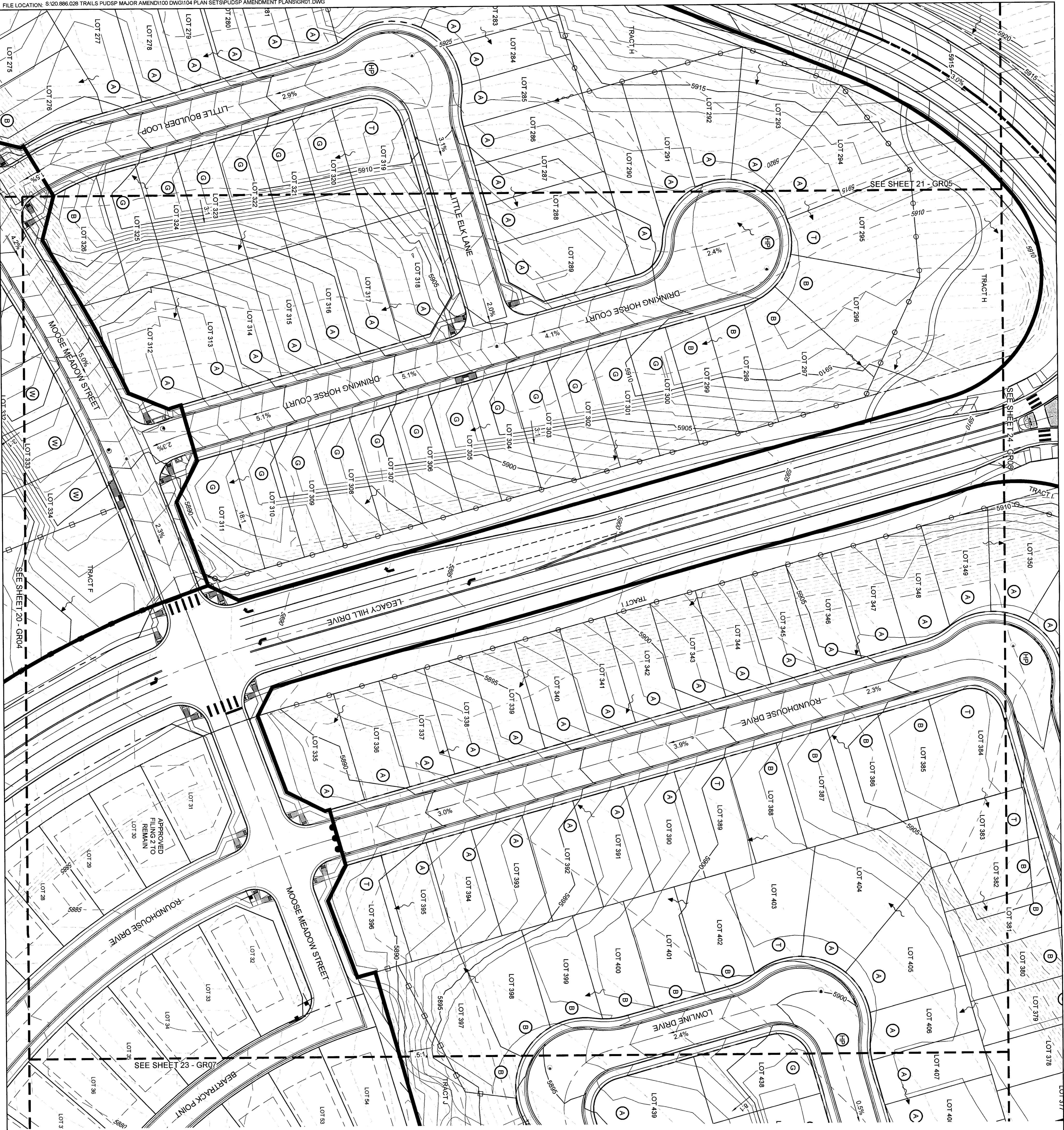
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PROJECT NO.	20.886.028
DRAWN BY:	LCB
CHECKED BY:	NMS
APPROVED BY:	NMS
SHEET TITLE:	

PRELIMINARY GRADING PLAN

GR05

SHEET 21 OF 34

POD FILE NO: PUDSP-21-005



2211357 98
7-16-2021

CONSULTANTS:
Matrix
 PLANNER LANDSCAPE ARCHITECTURAL CIVIL ENGINEER
 2435 RESEARCH PARKWAY, SUITE 300
 5550 WOODS SPRINGS, CO 80021
 PHONE: (719) 575-0100
 FAX: (719) 575-0208
 OWNER/DEVELOPER
COLLA LLC
 555 W. 9TH AVE./SUITE 300
 555 WOODS SPRINGS, CO 80021
 PHONE: (719) 382-9443

PROJECT:
 TRAILS AT ASPEN RIDGE PUD/SP
 AMENDMENT

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/22/2021	SECOND CITY SUBMITTAL	
3	08/17/2021	FOR SIGNATURE	

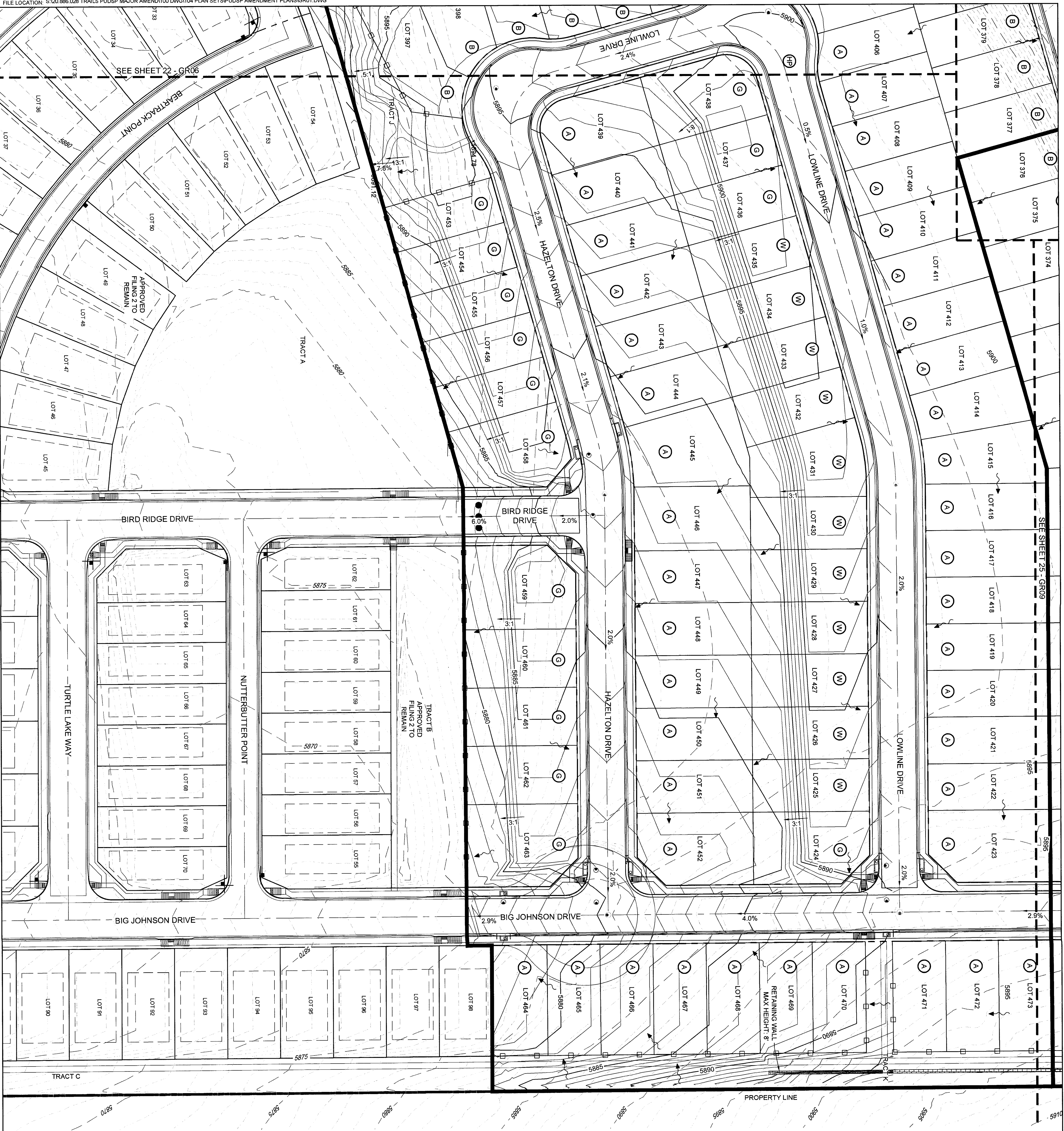
DRAWING INFORMATION:
 PROJECT NO: 20 886 028
 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

KEY MAP:

**PRELIMINARY
 GRADING PLAN**

GR06

SHEET 22 OF 34
 PUDSP - 21-003

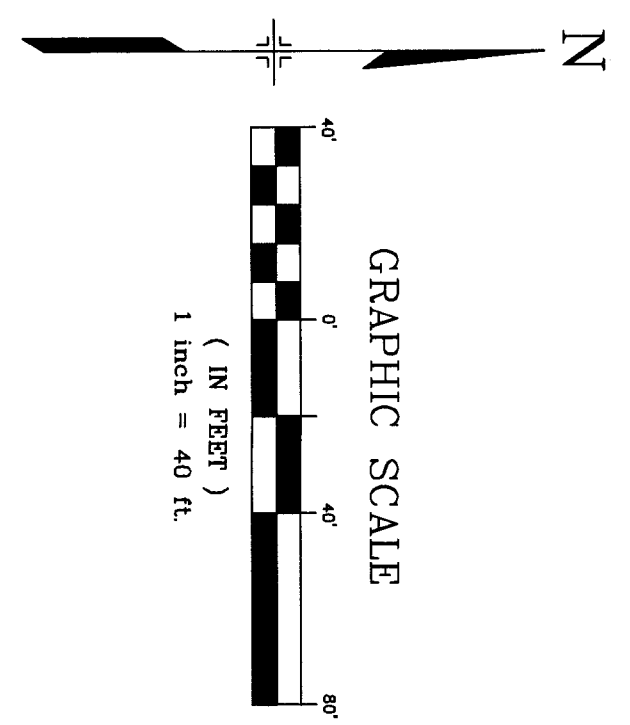


SEE SHEET 22 - GR06

SEE SHEET 25 - GR09

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- SLOPE LABEL
- OVERLAND FLOW LABEL
- LOW POINT/HIGH POINT LABEL
- RETAINING WALL (SEE SHEET D104)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



221135 788
7.16.2021

CONSULTANTS:
Matrix
PLANNERS/LANDSCAPE ARCHITECTS/CIVIL ENGINEERS
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0208
FAX: (719) 575-0208
OWNER/DEVELOPER:
COLLA LLC
255 MIDDLE CREEK PAVY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 382-9433

PRELIMINARY GRADING PLAN

GR07

SHEET 23 OF 34

PUDSP-21-005

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
PROJECT NO: 20 886.028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

PROJECT: TRAILS AT ASPEN RIDGE PUDSP AMENDMENT
EL PASO COUNTY, CO
PERMANENT 2021

REVISION HISTORY:

KEY MAP:

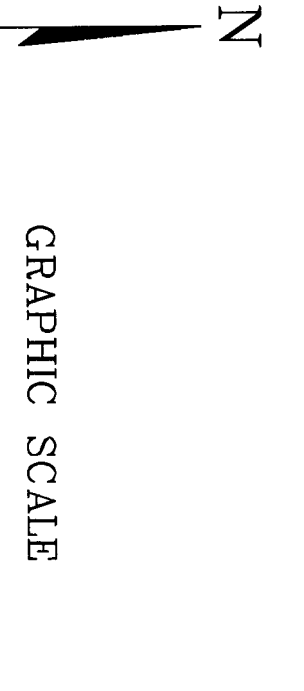


CFR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

CFR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

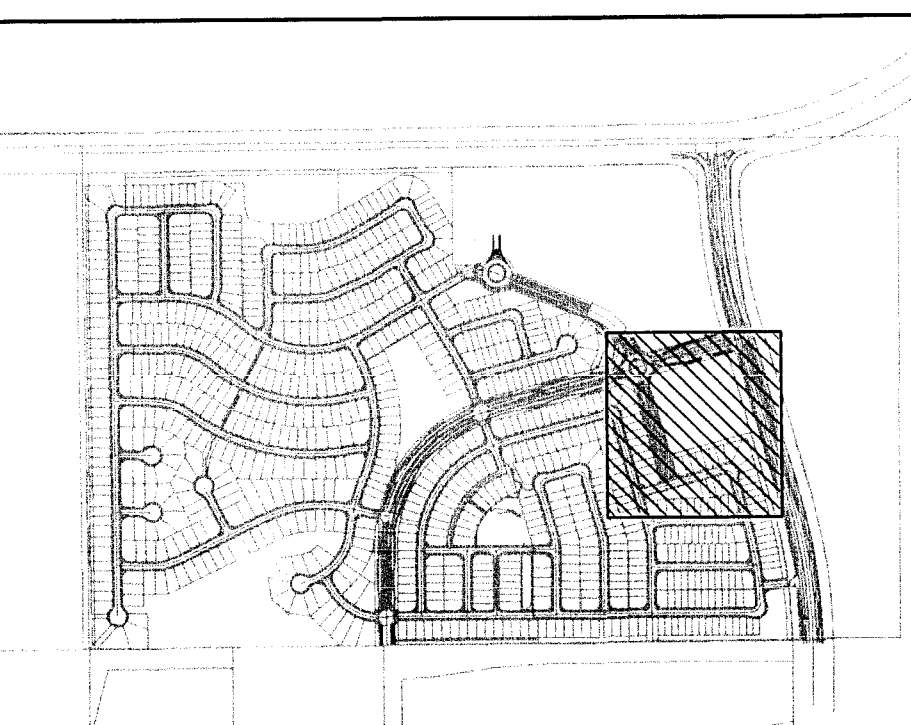
LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- SPOT ELEVATION
- ▲ SLOPE LABEL
- OVERLAND FLOW LABEL
- LOW POINT/HIGH POINT LABEL
- LOT TYPE (SEE SHEET DT04)
- RETAINING WALL (SEE DT04 FOR DETAIL)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES



2.21.135 788
7-16-2021

CONSULTANTS
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
Matrix
2425 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208
OWNER/DEVELOPER
COLLA, LLC
500 W. WYOMING AVE., SUITE 300
COLORADO SPRINGS, CO 80901
PHONE: (719) 323-9433



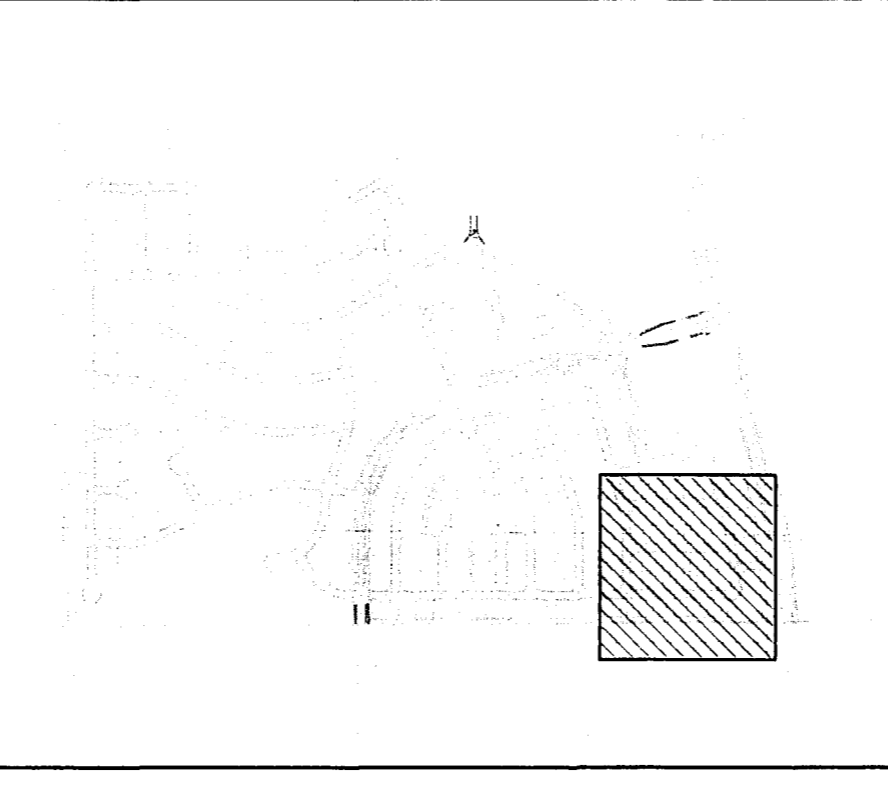
PROJECT:
TRAILS AT ASPEN RIDGE PUD/SP
AMENDMENT

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/22/2021	SECOND CITY SUBMITTAL	
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DRAWING INFORMATION
PROJECT NO. 20 886 028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:
**PRELIMINARY
GRADING PLAN**

GR08
SHEET 24 OF 34
PUDSP-11-003

KEY MAP



PROJECT:
TRAILS AT ASPEN RIDGE PUD/SP
AMENDMENT

EL PASO COUNTY, CO			
FEBRUARY 2021			
NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:	
PROJECT NO.	20 986 028
DRAWN BY:	LCB
CHECKED BY:	NMS
APPROVED BY:	NMS
SHEET TITLE:	

PRELIMINARY
GRADING PLAN

GR09

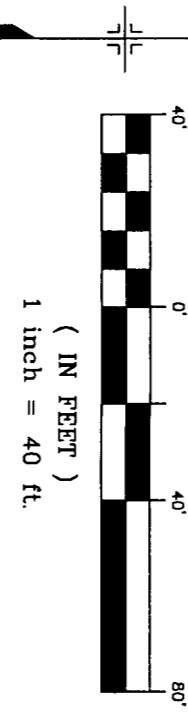
SHEET 25 OF 34

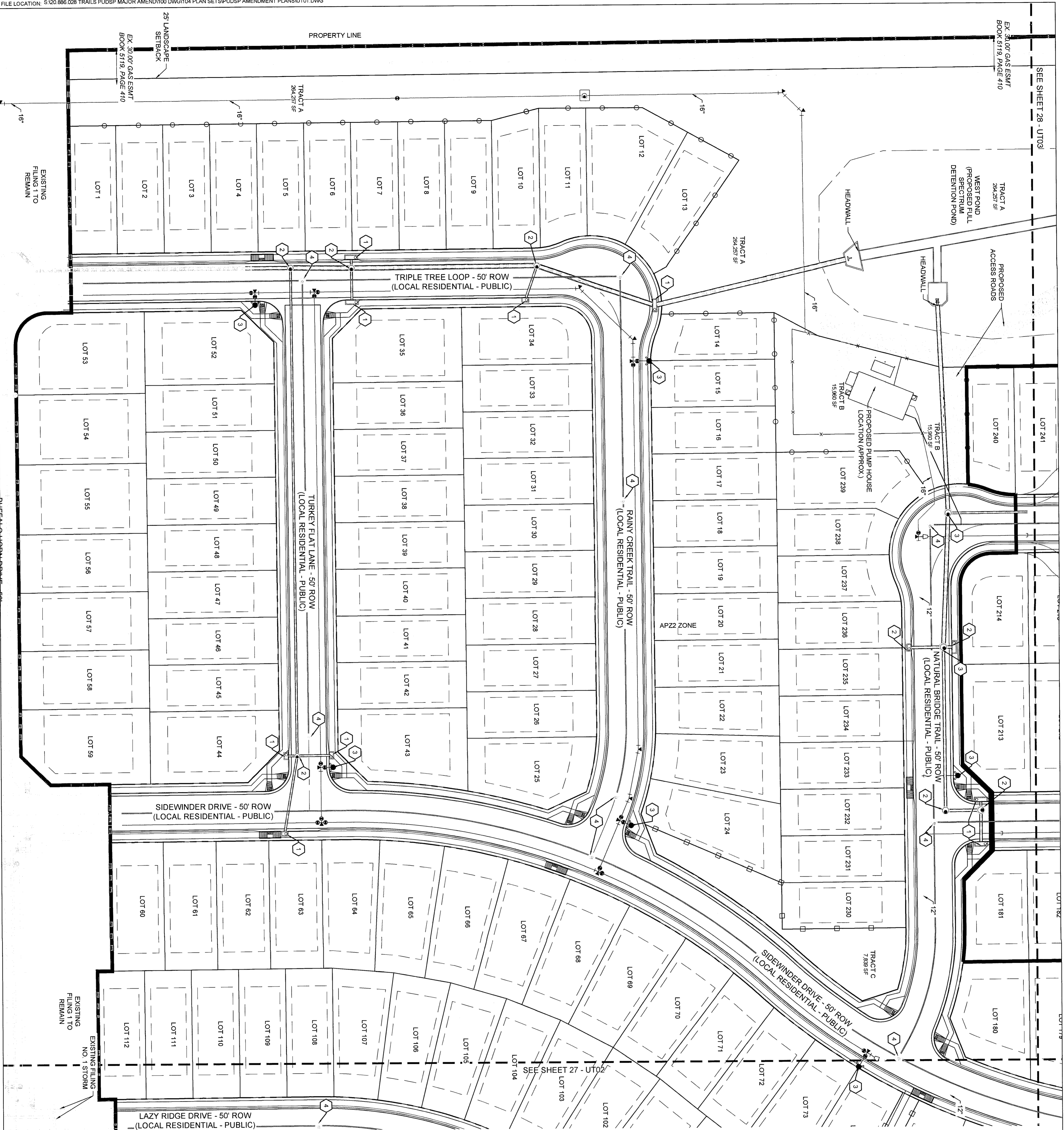
PDD FILE NO.: PUDSP-21-003

LEGEND

- 6970 EXISTING CONTOUR
- 6970 PROPOSED CONTOUR
- 6970.54 SPOT ELEVATION
- 2.0% SLOPE LABEL
- 3.1% SLOPE LABEL
- LP OVERLAND FLOW LABEL
- HP LOW POINT/HIGH POINT LABEL
- W LOT TYPE (SEE SHEET D704)
- PROPOSED RETAINING WALL (SEE D714 FOR DETAIL)
- PROPOSED SWALE
- PROPOSED EASEMENT
- BUILDING SETBACK
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY
- CONCRETE FENCE
- WOODEN POST FENCE
- PROPOSED UTILITY STRUCTURES

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.





SEE SHEET 28 - UT03

EX. 30.00' GAS ESWT
BOOK 5119 PAGE 410

EX. 30.00' GAS ESWT
BOOK 5119 PAGE 410

EXISTING
FILING 1 TO
REMAIN

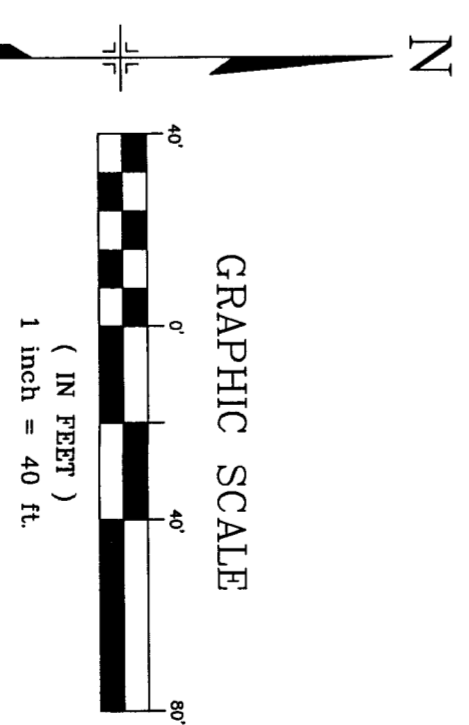
EXISTING FILING
NO. 1 STORM

EXISTING FILING
NO. 1 TO
REMAIN

LEGEND

- 1. EXISTING STORM SEWER
- 2. PROP. STORM SEWER
- 3. PROP. STORM INLETS
- 4. PROP. STORM MANHOLE
- 5. EXISTING WATER MAIN
- 6. PROP. PUBLIC PVC WATER MAIN
- 7. PROP. FIRE HYDRANT
- 8. PROP. PUBLIC PVC SANITARY SEWER MAIN
- 9. EXISTING SANITARY SEWER MAIN
- 10. PROP. SANITARY SEWER MANHOLE
- 11. PROP. EASEMENT
- 12. BUILDING SETBACK
- 13. VINYL FENCE (SEE DT03 FOR DETAIL)
- 14. CONCRETE FENCE (SEE DT03 FOR DETAIL)
- 15. SHEET MATCHLINE
- 16. PROPERTY BOUNDARY
- 17. PHASE BOUNDARY

NOTES:
1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
2. ALL STORM LINES SHOWN ARE HERGEN PUBLIC UNLESS NOTED OTHERWISE.
3. THE STORM LINES SHALL BE HOPE OR CLASS III RCP.
4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.

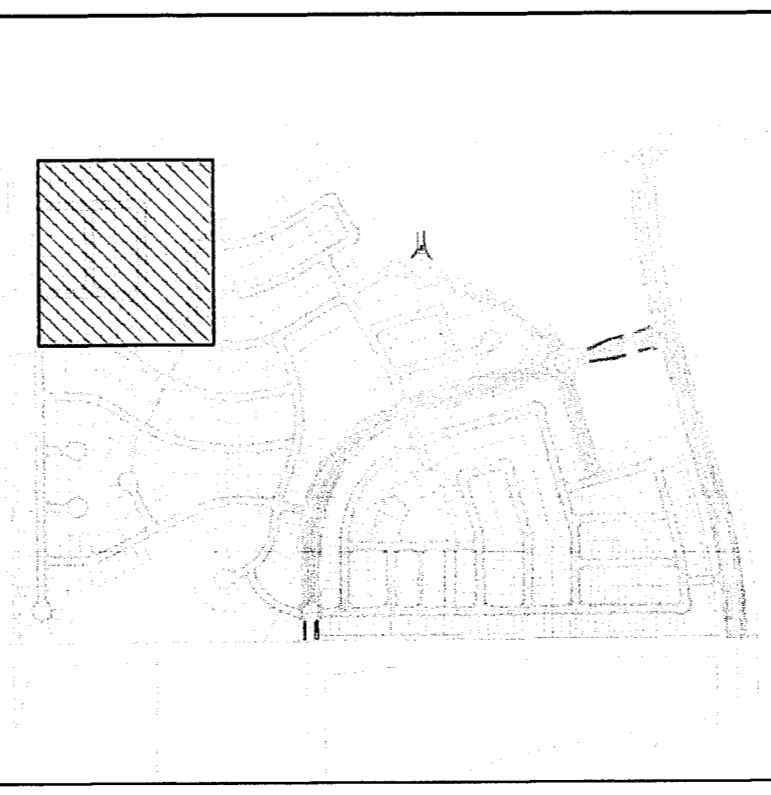


221135788
7.16.2021

CONSULTANTS:
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER

2435 RESEARCH PARKWAY, SUITE 300
PO BOX 919125
DENVER, CO 80291
PHONE: (719) 575-0208
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLLA LLC
655 MIDDLE CREEK PARKWAY, SUITE 900
DENVER, CO 80221
PHONE: (719) 303-9493



PROJECT:
TRAILS AT ASPEN RIDGE PUDSP
AMENDMENT

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

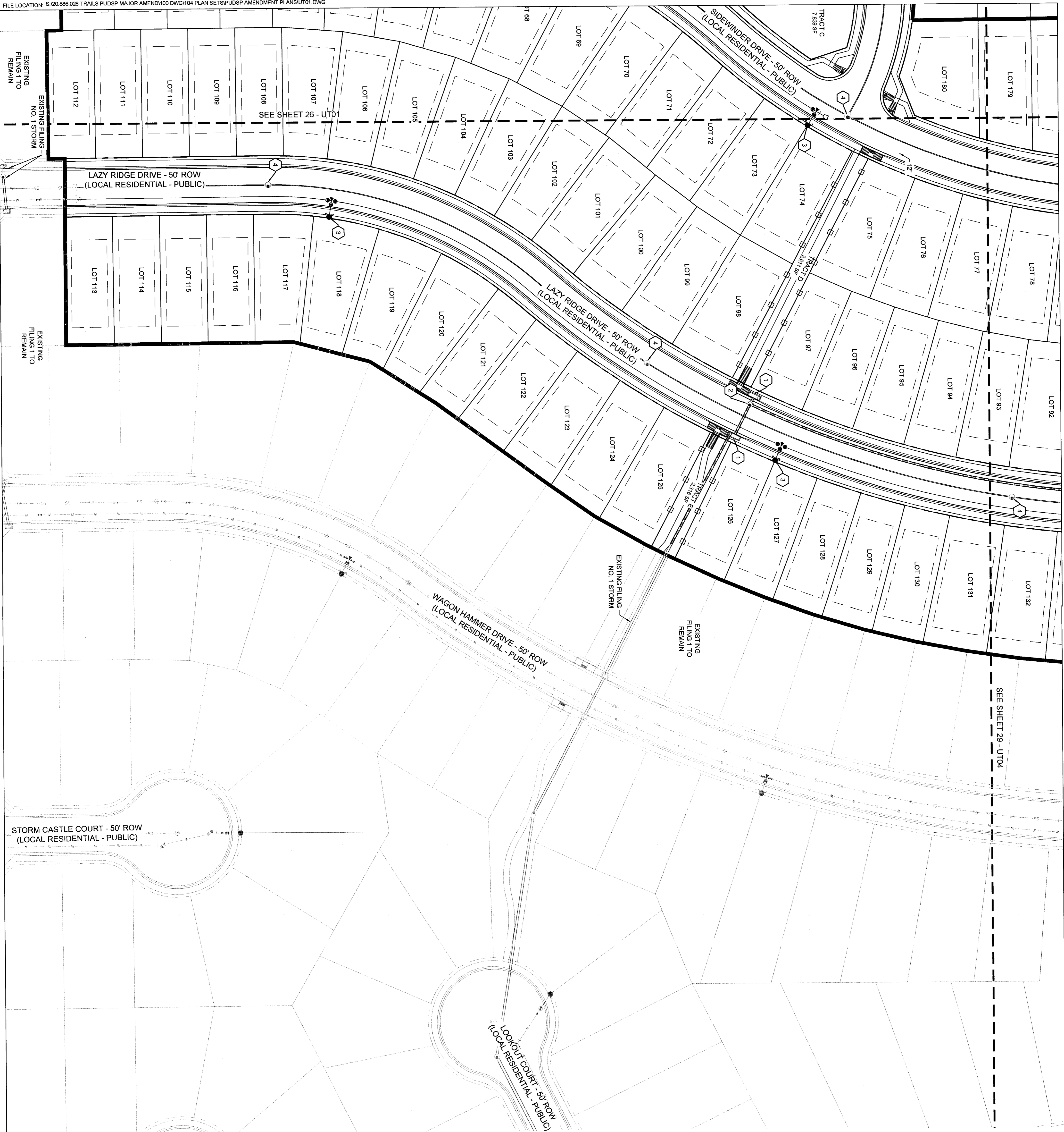
DRAWING INFORMATION:
PROJECT NO.: 20 886 028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT01

SHEET 26 OF 34

PDD FILE NO.: PUDSP-21-003

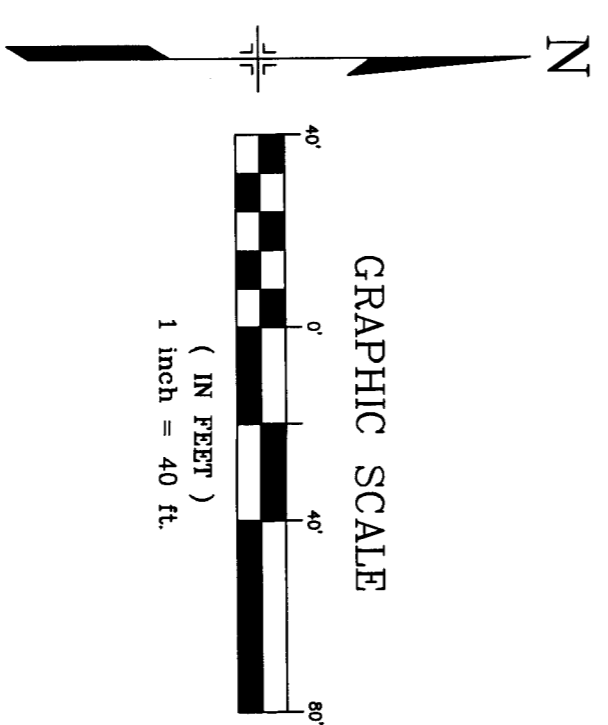


LEGEND

	EXISTING STORM SEWER
	PROP. STORM SEWER
	PROP. STORM INLETS
	PROP. STORM MANHOLE
	EXISTING WATER MAIN
	PROP. PUBLIC PVC WATER MAIN
	PROP. FIRE HYDRANT
	EXISTING SANITARY SEWER MAIN
	PROP. PUBLIC PVC SANITARY SEWER MAIN
	PROP. SANITARY SEWER MANHOLE
	PROP. EASEMENT
	BUILDING SETBACK
	VINYL FENCE (SEE DT03 FOR DETAIL)
	CONCRETE FENCE (SEE DT03 FOR DETAIL)
	PROPERTY BOUNDARY
	SHEET MATCHLINE
	PHASE BOUNDARY

NOTES:

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- ALL STORM LINES SHOWN ARE HEREOF PUBLIC UNLESS OTHERWISE NOTED.
- OTHERWISE NOTED, ALL LINES SHALL BE HOPE OR CLASS III ROP.
- ALL WATERLINES 8" UNLESS OTHERWISE NOTED.



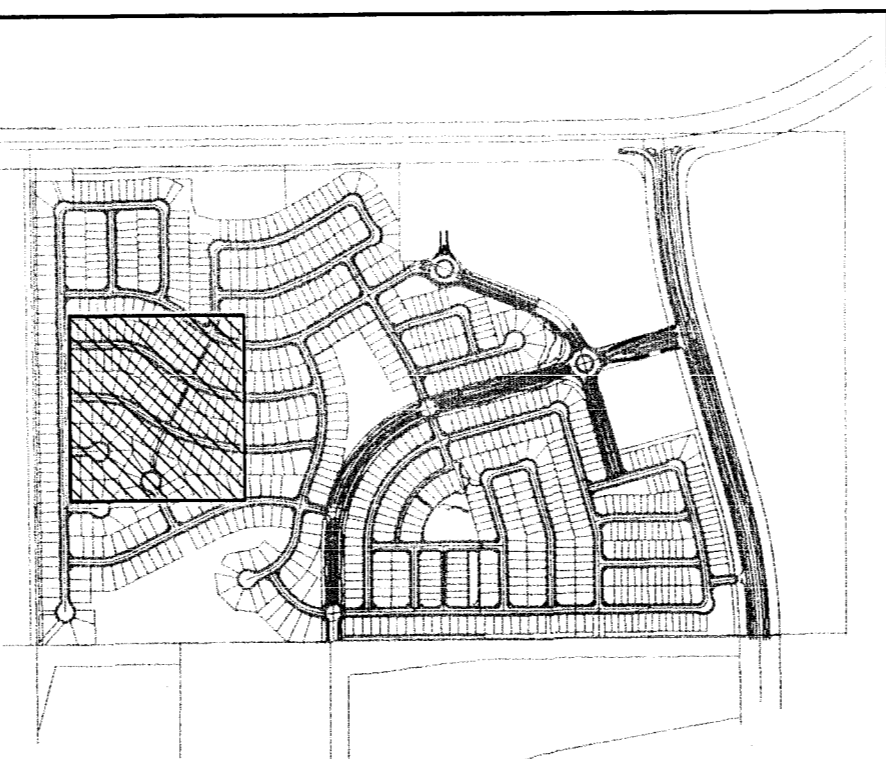
22-1135788
7/5/21

CONSULTANTS:
PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER

Matrix

2435 RESEARCH PARKWAY, SUITE 300
DENVER, CO 80202
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLLA LLC
655 MIDDLE CREEK PARKWAY, SUITE 900
DENVER, CO 80231
PHONE: (719) 303-9443



PROJECT:
TRAILS AT ASPEN RIDGE PUDSP AMENDMENT

EL PASO COUNTY, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
PROJECT NO.: 20.896.028
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CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT02

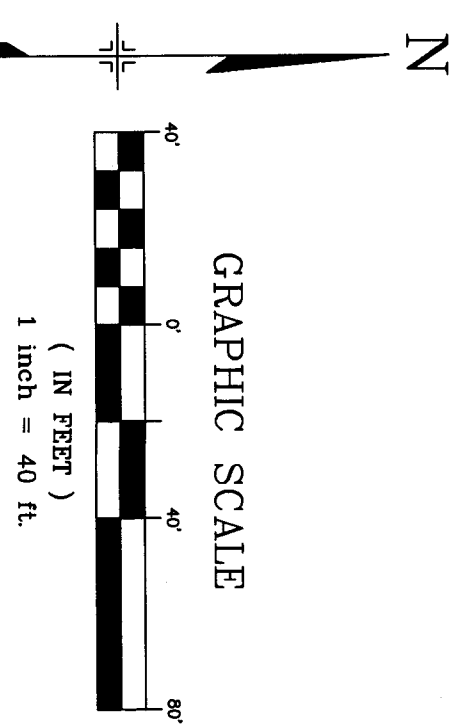
SHEET 27 OF 34



LEGEND

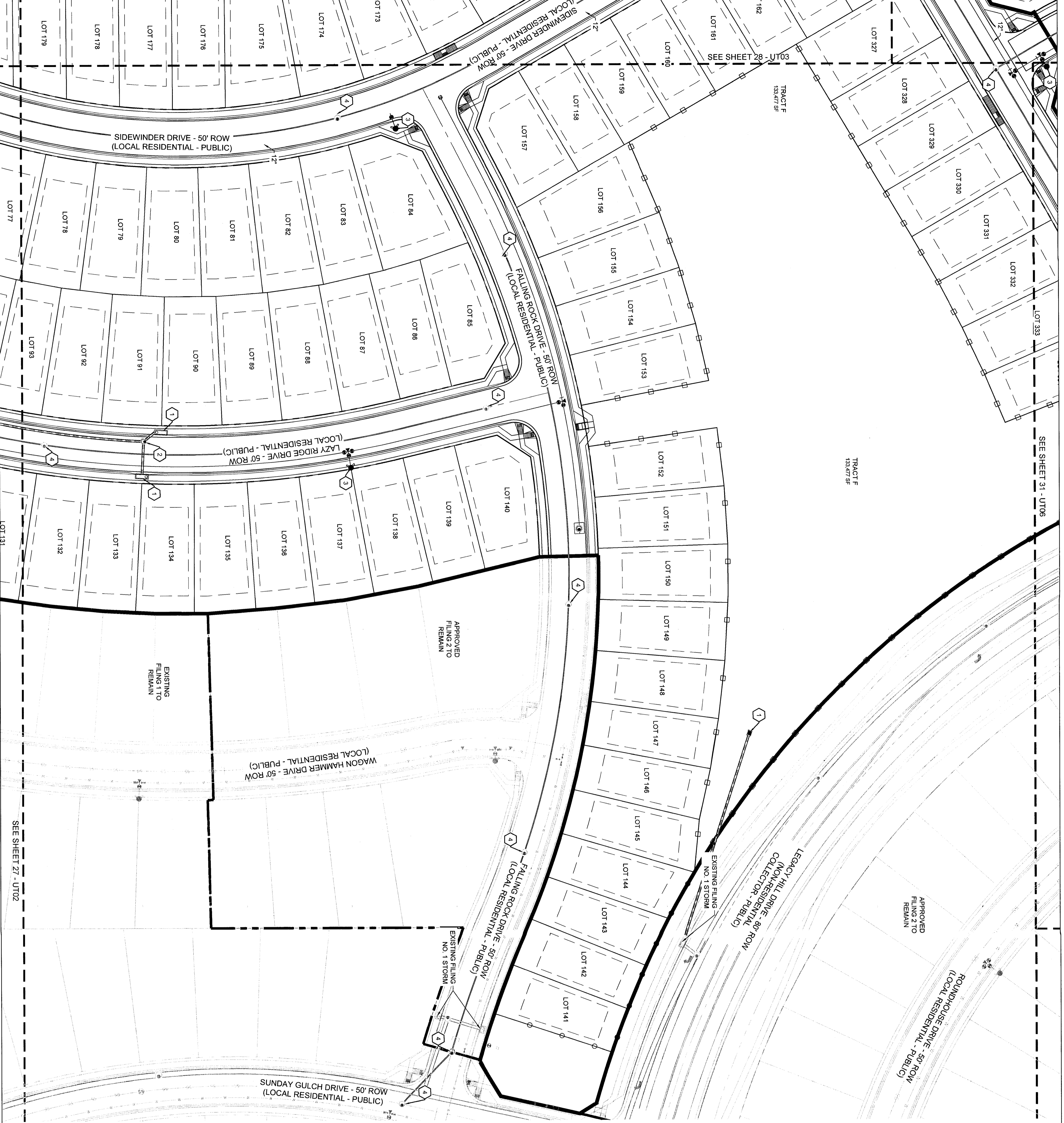
- EXISTING STORM SEWER
- PROP. STORM SEWER
- PROP. STORM INLETS
- PROP. STORM MANHOLE
- EXISTING WATER MAIN
- PROP. PUBLIC PVC WATER MAIN
- PROP. FIRE HYDRANT
- EXISTING SANITARY SEWER MAIN
- PROP. PUBLIC PVC SANITARY SEWER MAIN
- PROP. SANITARY SEWER MANHOLE
- PROP. SANITARY SEWER
- PROP. EASEMENT
- BUILDING SETBACK
- VINYL FENCE (SEE DT03 FOR DETAIL)
- CONCRETE FENCE (SEE DT03 FOR DETAIL)
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY

NOTES:
 1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
 2. ALL STORM LINES SHOWN ARE HERCORN PUBLIC UNLESS OTHERWISE NOTED.
 3. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.
 4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.



22115788
7-16-2021

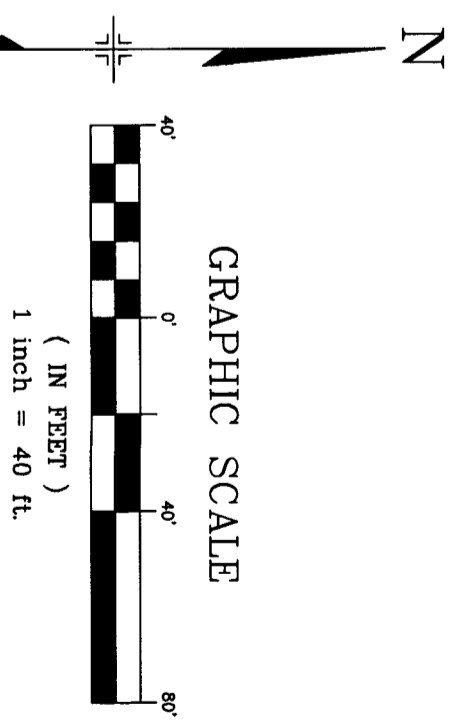
<p>CONSULTANTS:</p> <p>Matrix</p> <p>2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80920 PHONE: (719) 579-0208 FAX: (719) 579-0208</p> <p>OWNER/DEVELOPER:</p> <p>COALA LLC 655 MIDDLE CREEK PARKWAY, SUITE 900 COLORADO SPRINGS, CO 80921 PHONE: (719) 392-9493</p>	<p>PROJECT:</p> <p>TRAILS AT ASPEN RIDGE PUDSP AMENDMENT</p> <p>EL PASO COUNTY, CO RESIDENTIAL ZONE REVISION HISTORY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>10/25/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/22/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>09/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table> <p>DRAWING INFORMATION: PROJECT NO.: 20 886 028 DRAWN BY: LCB CHECKED BY: NMS APPROVED BY: NMS SHEET TITLE:</p>	NO.	DATE	DESCRIPTION	BY	0	10/25/2021	FIRST CITY SUBMITTAL		1	04/22/2021	SECOND CITY SUBMITTAL		3	09/17/2021	FOR SIGNATURE		<p>KEY MAP:</p>	<p>PRELIMINARY UTILITY PLAN</p> <p>UT03</p> <p>SHEET 28 OF 34</p> <p>PUDSP-21-003</p>
NO.	DATE	DESCRIPTION	BY																
0	10/25/2021	FIRST CITY SUBMITTAL																	
1	04/22/2021	SECOND CITY SUBMITTAL																	
3	09/17/2021	FOR SIGNATURE																	



LEGEND

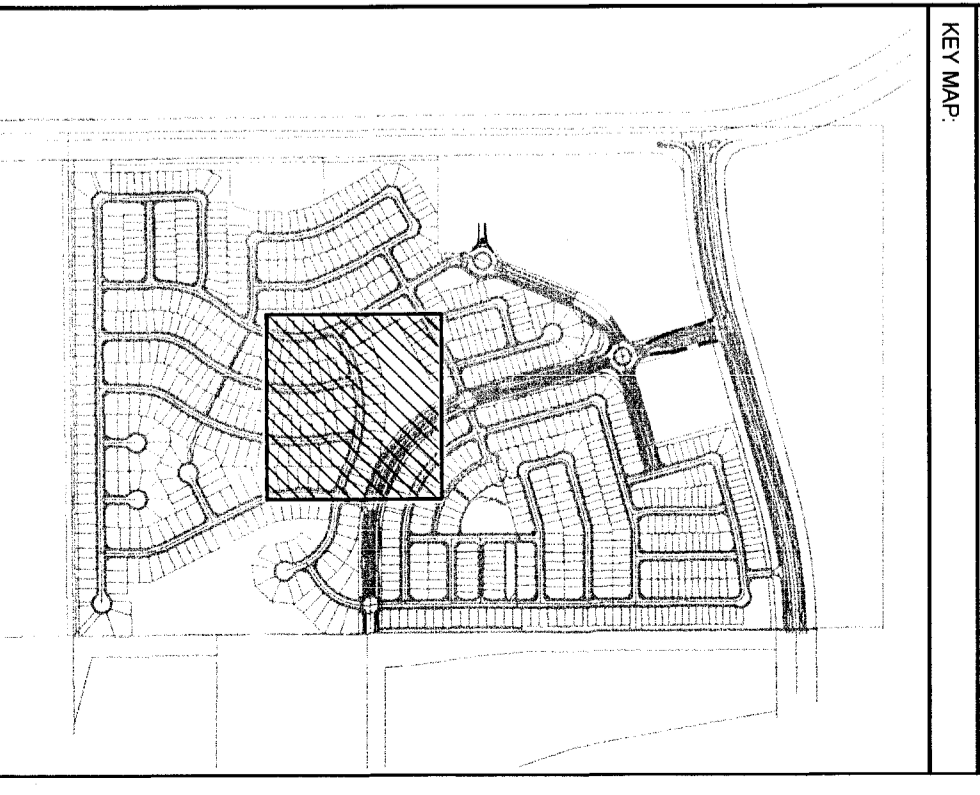
- EXISTING STORM SEWER
- PROP. STORM SEWER
- PROP. STORM INLETS
- PROP. STORM MANHOLE
- EXISTING WATER MAIN
- PROP. PUBLIC PVC WATER MAIN
- PROP. FIRE HYDRANT
- EXISTING SANITARY SEWER MAIN
- PROP. PUBLIC PVC SANITARY SEWER MAIN
- PROP. SANITARY SEWER MANHOLE
- PROP. EASEMENT
- BUILDING SETBACK
- VINYL FENCE (SEE DT03 FOR DETAIL)
- CONCRETE FENCE (SEE DT03 FOR DETAIL)
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY

NOTES:
 1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
 2. ALL STORM LINES SHOWN ARE HEREOF PUBLIC UNLESS OTHERWISE NOTED.
 3. ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.
 4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.



CONSULTANTS
Matrix
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER
 2438 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0289
 FAX: (719) 575-0288

OWNER/DEVELOPER:
 COALA LLC
 555 MIDDLE CREEK Pkwy, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 585-9439



PROJECT: TRAILS AT ASPEN RIDGE PUDSP AMENDMENT

EL PASO COUNTY, CO
FEBRUARY 2021

NO.	DATE	DESCRIPTION	BY
0	02/06/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:

PROJECT NO: 20 886 028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

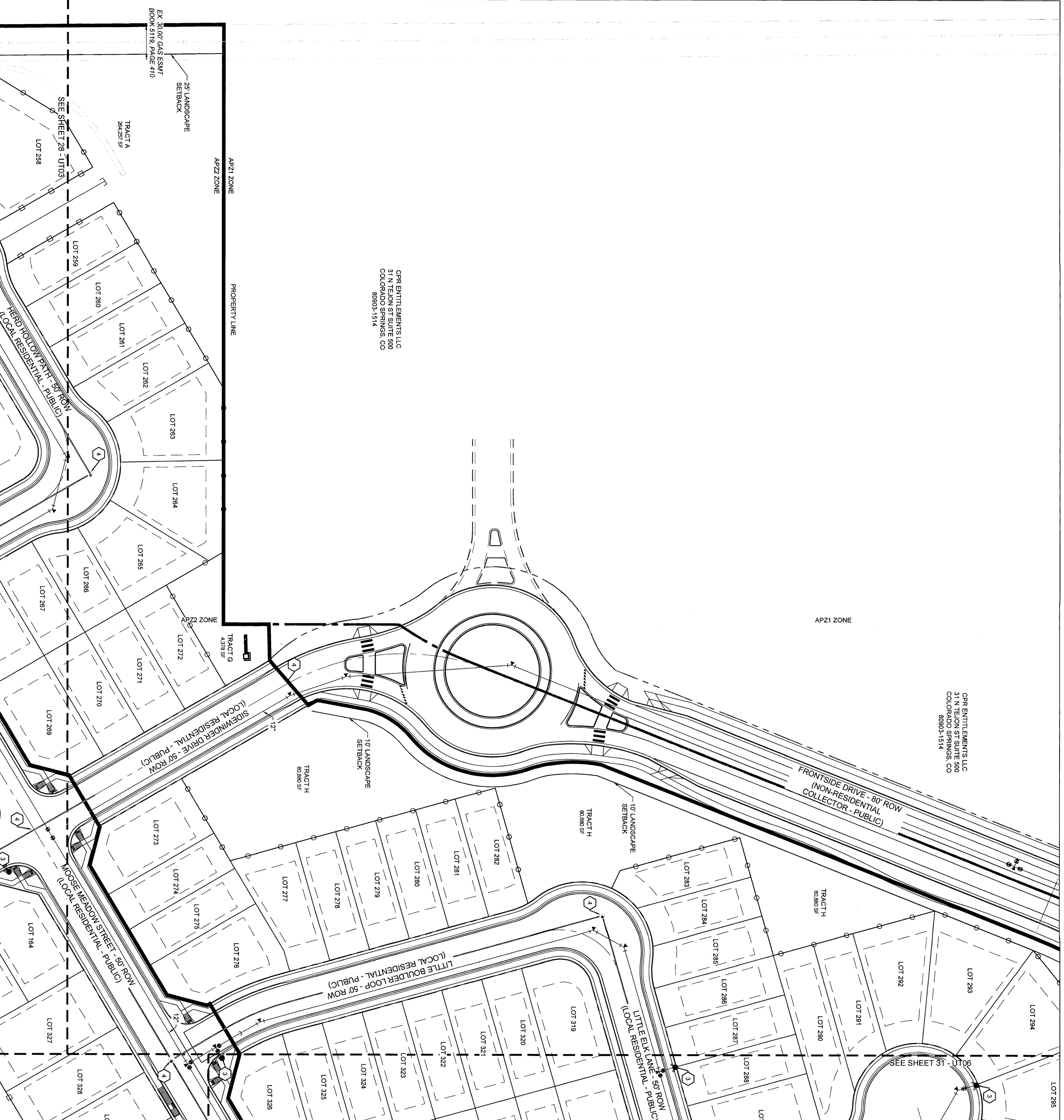
PRELIMINARY UTILITY PLAN

UT04

SHEET 29 OF 34

POD FILE NO: PUDSP-21-003

221155788
 7-16-2021



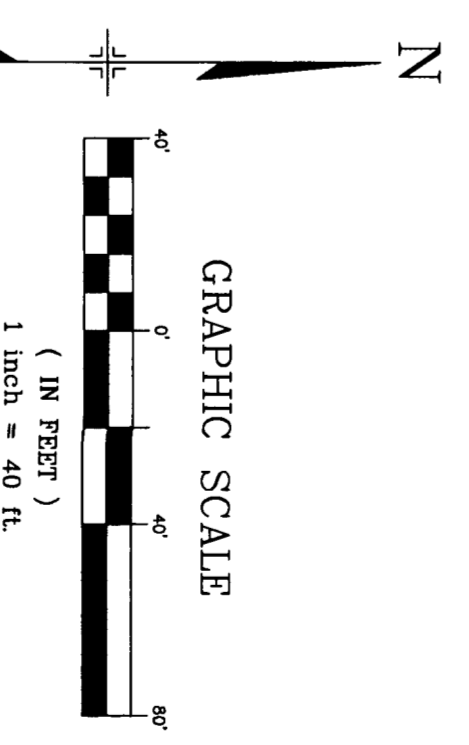
CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

CPR ENTITLEMENTS LLC
31 N TEJON ST SUITE 500
COLORADO SPRINGS, CO
80903-1514

LEGEND

- 1. EXISTING STORM SEWER
- 2. PROP. STORM SEWER
- 3. PROP. STORM INLETS
- 4. PROP. STORM MANHOLE
- 5. EXISTING WATER MAIN
- 6. PROP. PUBLIC PVC WATER MAIN
- 7. PROP. FIRE HYDRANT
- 8. EXISTING SANITARY SEWER MAIN
- 9. PROP. PUBLIC PVC SANITARY SEWER MAIN
- 10. PROP. SANITARY SEWER MANHOLE
- 11. PROP. EASEMENT
- 12. BUILDING SETBACK
- 13. VINYL FENCE (SEE DT03 FOR DETAIL)
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5. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.



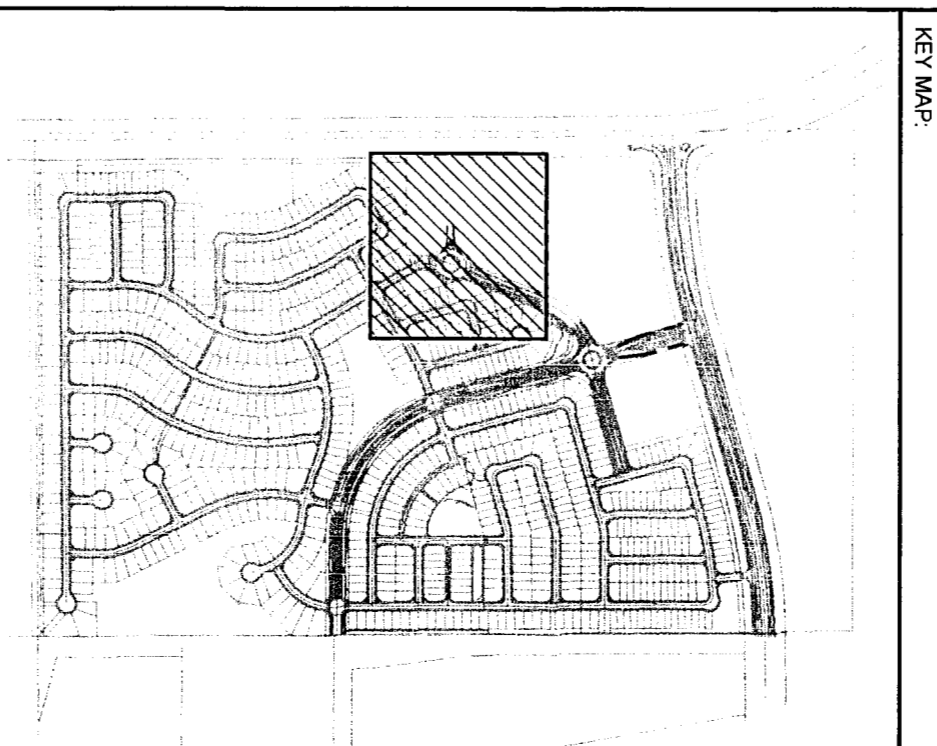
22135788
7-16-2021

CONSULTANTS:



2085 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
COLA, LLC
2085 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 382-5433



PROJECT:
TRAILS AT ASPEN RIDGE PUDSP
AMENDMENT

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/29/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	

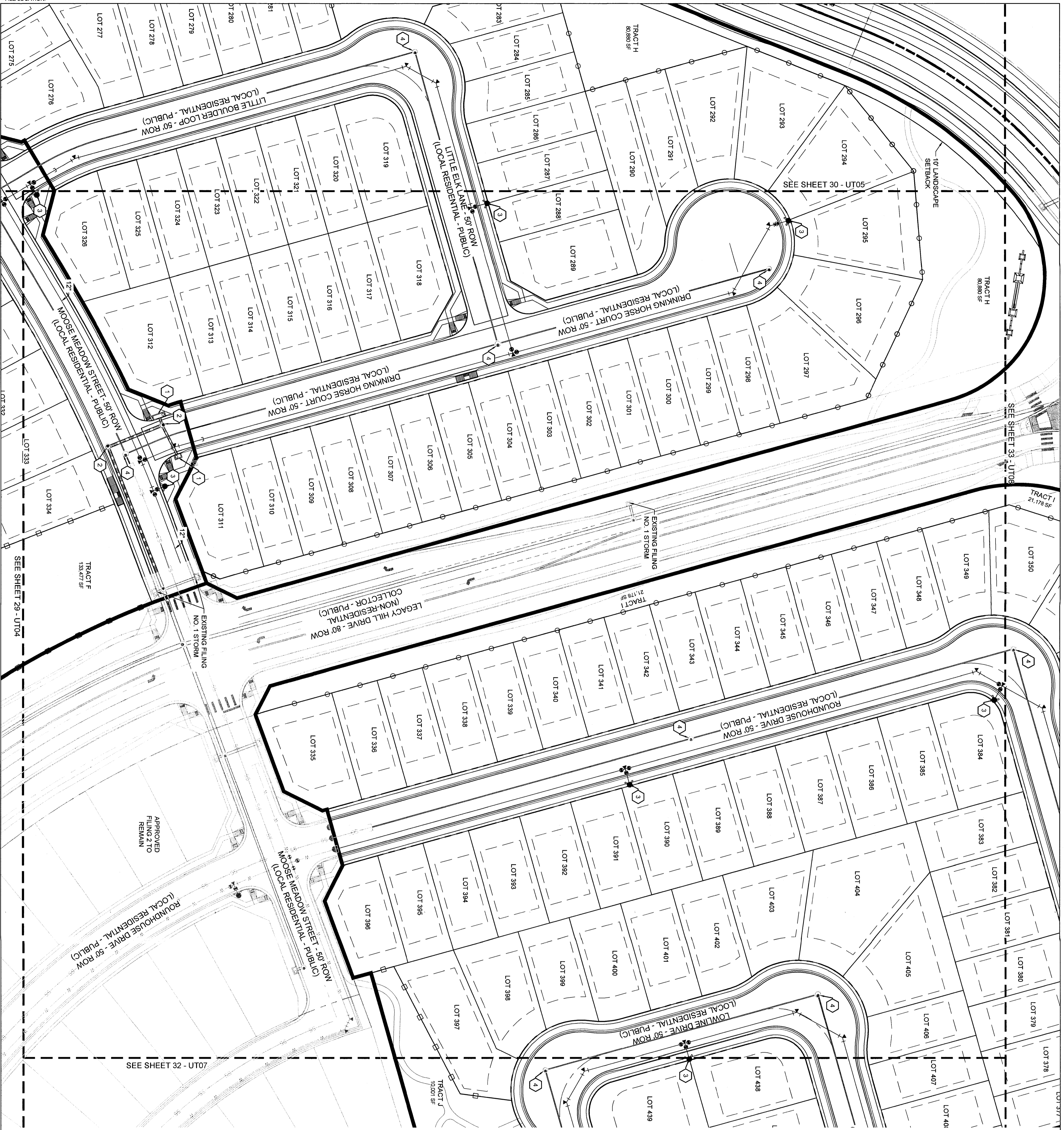
DRAWING INFORMATION:
PROJECT NO. 20 886 028
DRAWN BY: LCB
CHECKED BY: NMS
APPROVED BY: NMS
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT05

SHEET 30 OF 34

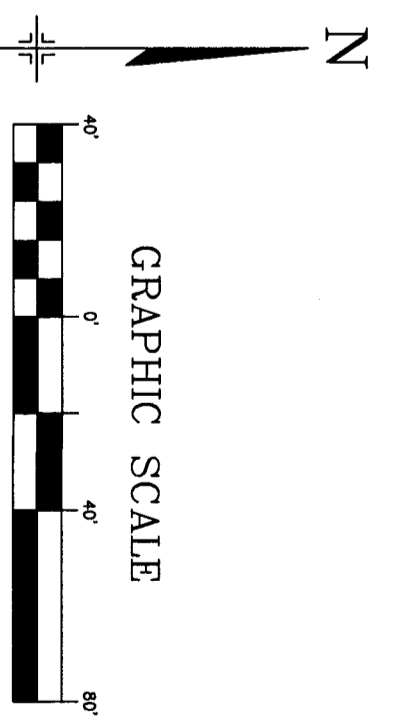
PCD FILE NO.: PUDSP-21-005



LEGEND

- EXISTING STORM SEWER
- PROP. STORM SEWER
- PROP. STORM INLETS
- PROP. STORM MANHOLE
- EXISTING WATER MAIN
- PROP. PUBLIC PVC WATER MAIN
- PROP. FIRE HYDRANT
- EXISTING SANITARY SEWER MAIN
- PROP. PUBLIC PVC SANITARY SEWER MAIN
- PROP. SANITARY SEWER MANHOLE
- PROP. EASEMENT
- BUILDING SETBACK
- VINYL FENCE (SEE DT03 FOR DETAIL)
- CONCRETE FENCE (SEE DT03 FOR DETAIL)
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- PHASE BOUNDARY

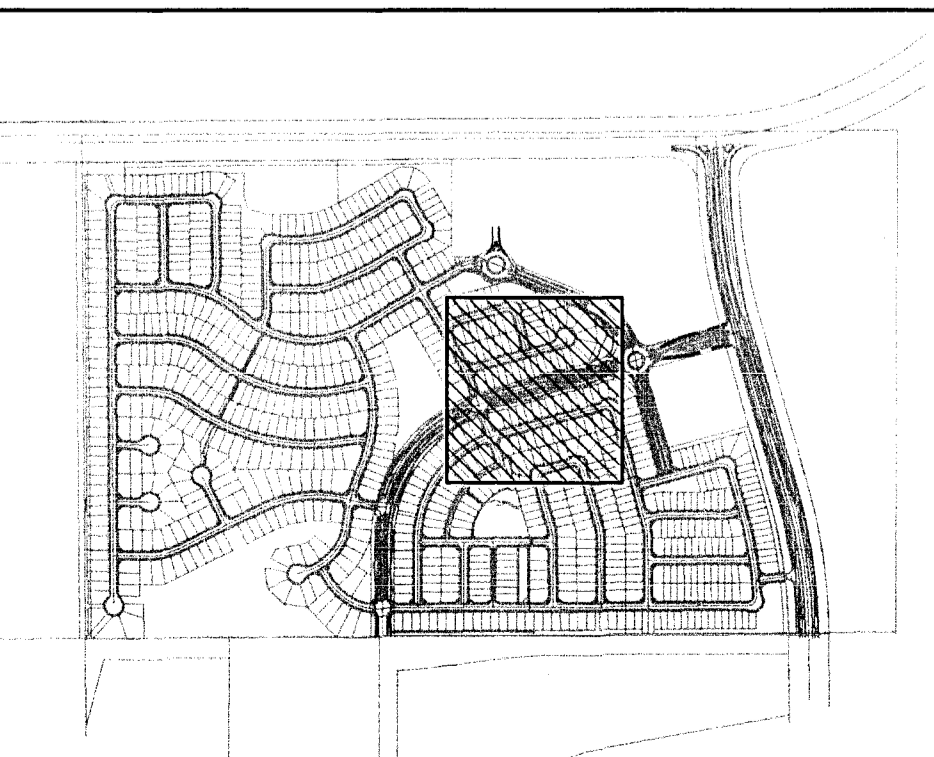
- NOTES:**
1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
 2. ALL STORM LINES SHOWN ARE HERON PUBLIC UNLESS OTHERWISE NOTED.
 3. ALL STORM LINES SHALL BE HOPE OR CLASS III RCP.
 4. ALL WATERLINES 8" UNLESS OTHERWISE NOTED.



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft

CONSULTANTS:
Matrix
 2425 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0288

OWNER/DEVELOPER:
 COLA LLC
 555 MIDDLE CREEK HWY., SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 382-9433



PROJECT:
 TRAILS AT ASPEN RIDGE PUD/SP
 AMENDMENT

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
 PROJECT NO: 20.886.028
 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE

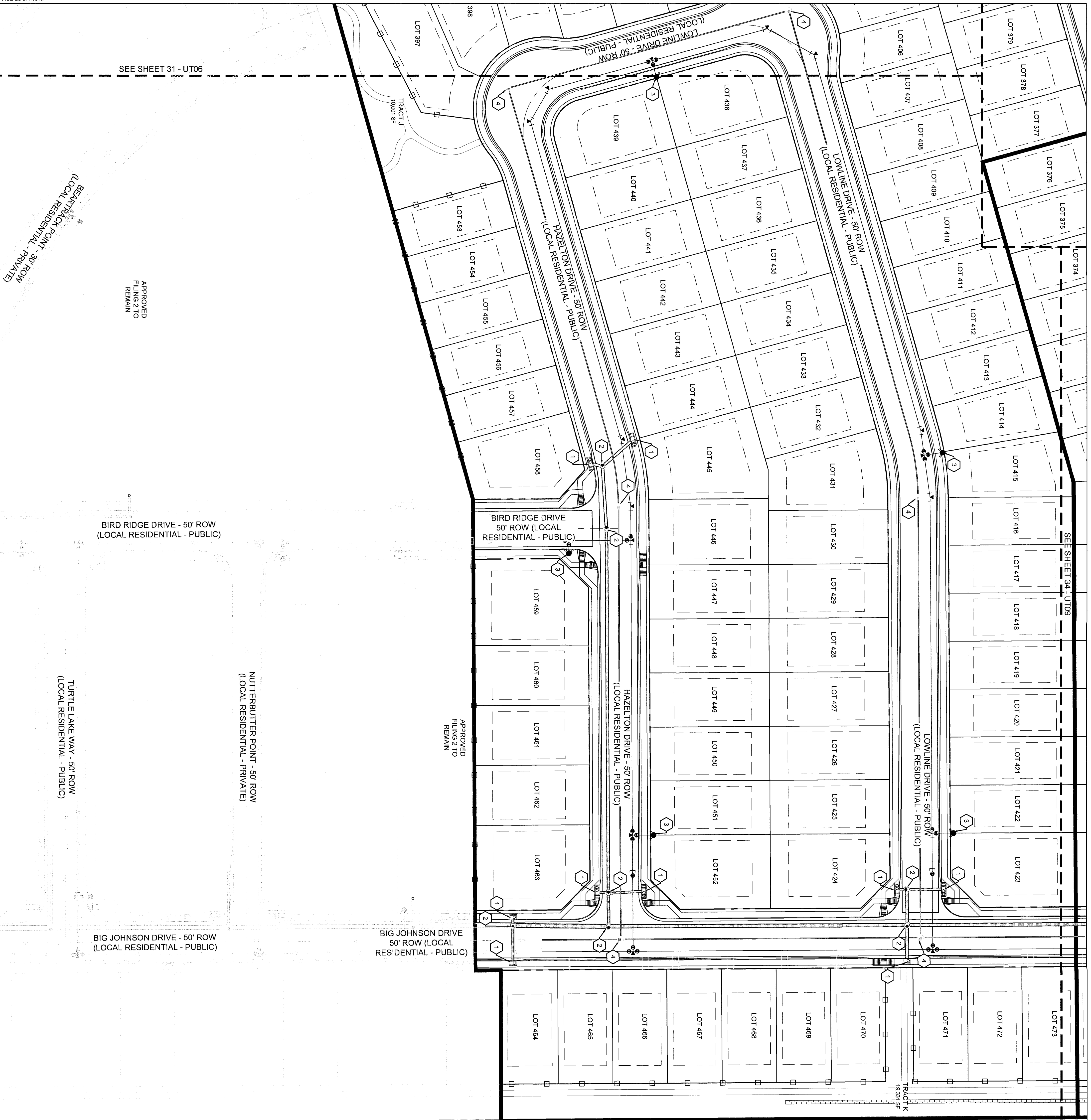
**PRELIMINARY
 UTILITY PLAN**

UT06

SHEET 31 OF 34

POD FILE NO: PUDSP-21-005

221135788
 7-16-2021



SEE SHEET 31 - UT06

SEE SHEET 34 - UT09

BIRD RIDGE DRIVE - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

BIRD RIDGE DRIVE
50' ROW (LOCAL
RESIDENTIAL - PUBLIC)

NUTTERBUTTER POINT - 50' ROW
(LOCAL RESIDENTIAL - PRIVATE)

TURTLE LAKE WAY - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

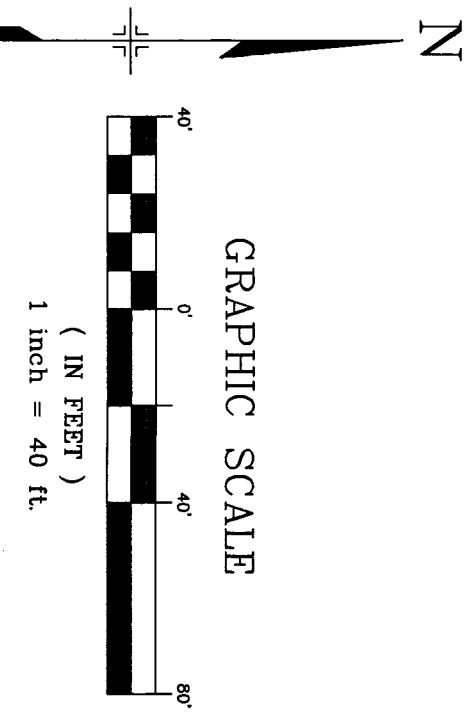
BIG JOHNSON DRIVE - 50' ROW
(LOCAL RESIDENTIAL - PUBLIC)

BIG JOHNSON DRIVE
50' ROW (LOCAL
RESIDENTIAL - PUBLIC)

PROPERTY LINE

LEGEND

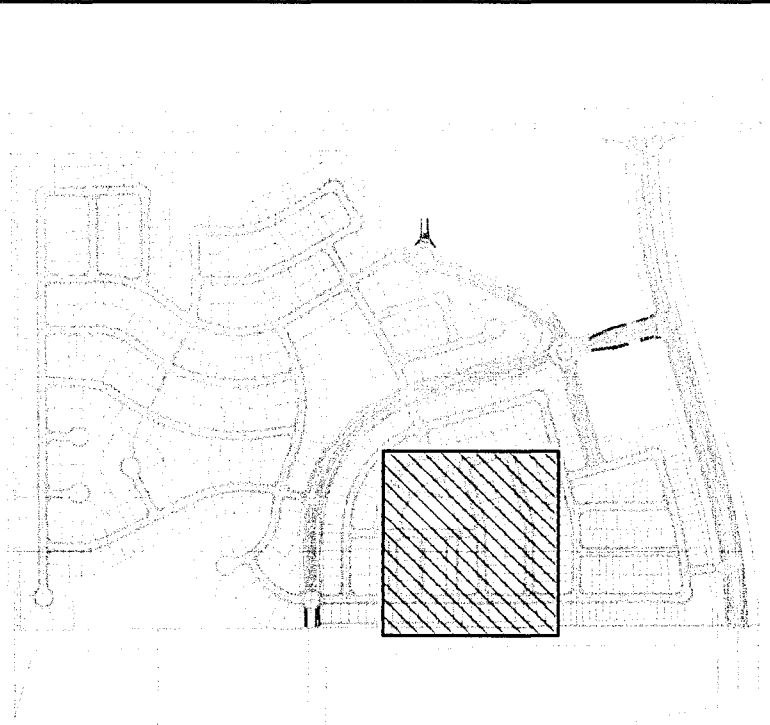
- EXISTING STORM SEWER
 - PROP. STORM SEWER
 - PROP. STORM INLETS
 - PROP. STORM MANHOLE
 - EXISTING WATER MAIN
 - PROP. PUBLIC PVC WATER MAIN
 - PROP. FIRE HYDRANT
 - EXISTING SANITARY SEWER MAIN
 - PROP. PUBLIC PVC SANITARY SEWER MAIN
 - PROP. SANITARY SEWER MANHOLE
 - PROP. EASEMENT
 - BUILDING SETBACK
 - VINYL FENCE (SEE DT03 FOR DETAIL)
 - CONCRETE FENCE (SEE DT03 FOR DETAIL)
 - PROPERTY BOUNDARY
 - SHEET MATCHLINE
 - PHASE BOUNDARY
- NOTES:
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 2. ALL STORM LINES SHOWN ARE HEREOF PUBLIC UNLESS OTHERWISE NOTED.
 3. ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.
 4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.



CONSULTANTS
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER

 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 575-0100
 FAX: (719) 575-0288

OWNER/DEVELOPER
 COLA LLC
 555 MIDCOTE CREEK HWY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 825-9493



PROJECT:
**TRAILS AT ASPEN RIDGE PUDSP
 AMENDMENT**

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
 PROJECT NO: 20.886.028
 DRAWN BY: LCB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

**PRELIMINARY
 UTILITY PLAN**

UT07

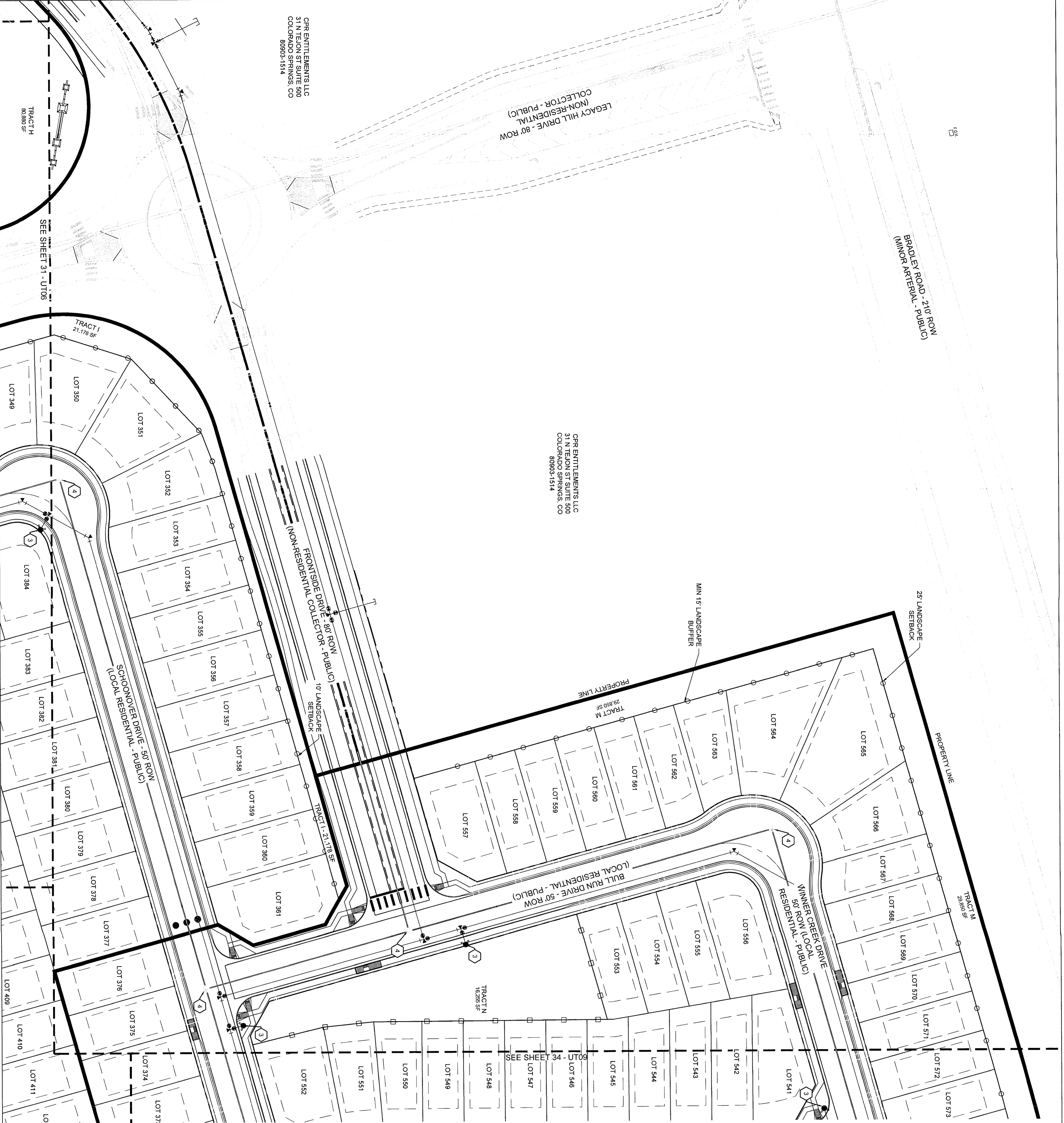
SHEET 32 OF 34

PUD FILE NO.: PUDSP-21-103

221135788
 7-16-2021

APPROVED
 FILING 2 TO
 REMAIN

APPROVED
 FILING 2 TO
 REMAIN



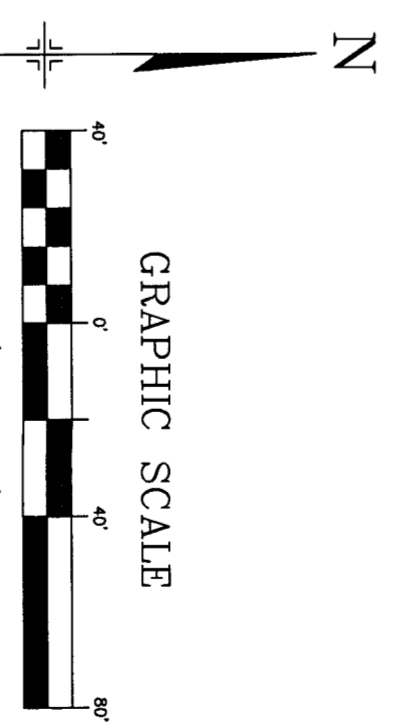
OPR ENTITLEMENTS, LLC
 31 N TEJON ST SUITE 500
 COLORADO SPRINGS, CO
 80903-1514

OPR ENTITLEMENTS, LLC
 31 N TEJON ST SUITE 500
 COLORADO SPRINGS, CO
 80903-1514

LEGEND

- 1 EXISTING STORM SEWER
- 2 PROP. STORM SEWER
- 3 PROP. STORM INLETS
- 4 PROP. STORM MANHOLE
- 5 PROP. PUBLIC WATER MAIN
- 6 PROP. FIRE HYDRANT
- 7 EXISTING SANITARY SEWER MAIN
- 8 PROP. PUBLIC PVC SANITARY SEWER MAIN
- 9 PROP. SANITARY SEWER MANHOLE
- 10 PROP. EASEMENT
- 11 BUILDING SETBACK
- 12 VINYL FENCE (SEE DT03 FOR DETAIL)
- 13 CONCRETE FENCE (SEE DT03 FOR DETAIL)
- 14 PROPERTY BOUNDARY
- 15 SHEET MATCHLINE
- 16 PROPERTY MATCHLINE
- 17 PHASE BOUNDARY

NOTES:
 1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
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 4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.



2011.05.18
 7 - 16.2021

CONSULTANTS
LANDSCAPE ARCHITECTS
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0288
 FAX: (719) 575-0288
 OWNER/DEVELOPER
COLLA LLC
 555 MIDDLE CREEK Pkwy, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 520-9453

NO.	DATE	DESCRIPTION	BY
0	10/26/2021	FIRST CITY SUBMITTAL	
1	04/29/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
 PROJECT NO.: 20 886 028
 DRAWN BY: COB
 CHECKED BY: NMS
 APPROVED BY: NMS
 SHEET TITLE:

PROJECT:
 TRAILS AT ASPEN RIDGE PUDDSP AMENDMENT

EL PASO COUNTY, CO
 FEBRUARY 2021

PRELIMINARY UTILITY PLAN

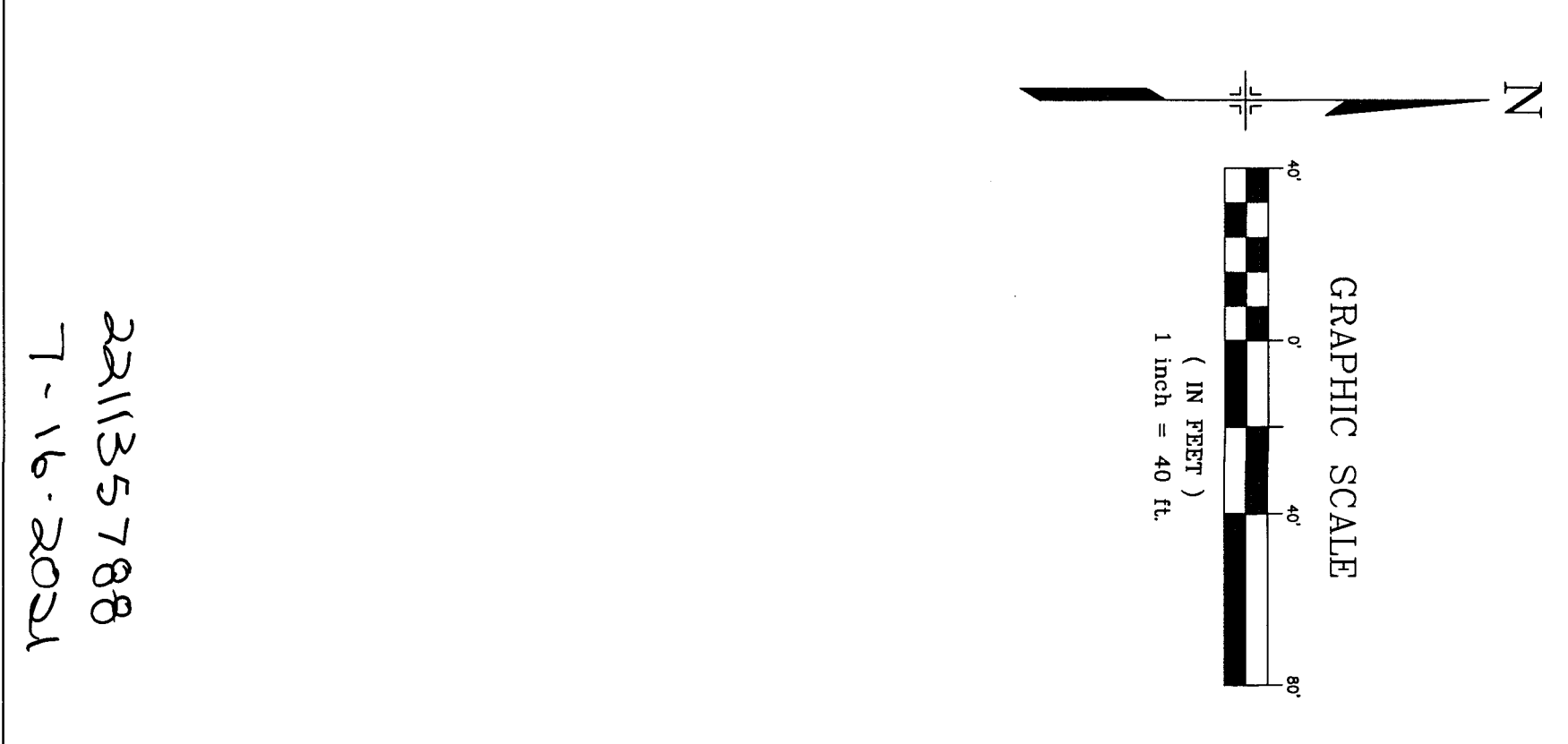
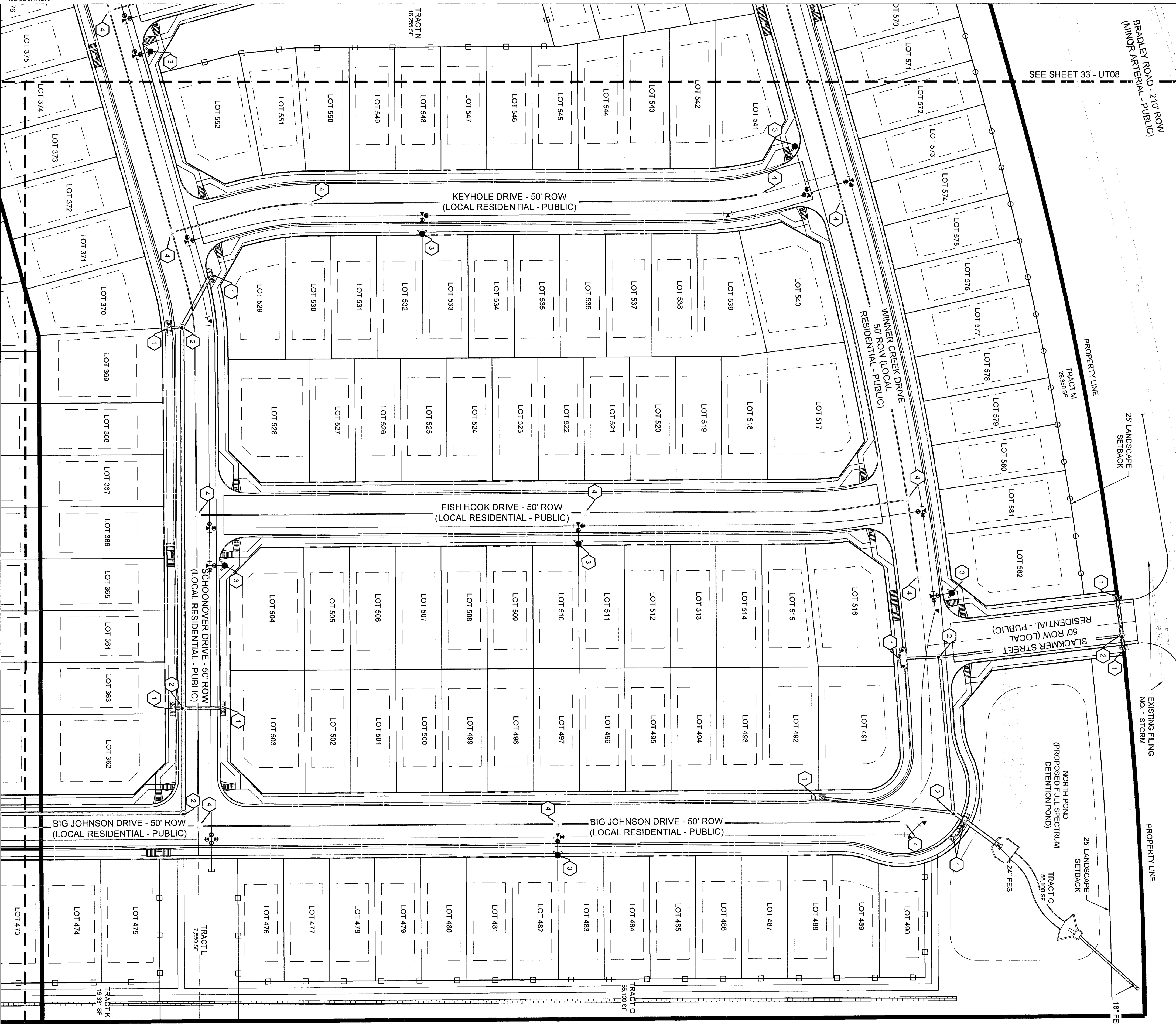
UT08

SHEET 33 OF 34

PDD FILE NO. PDDSP-21-005

LEGEND	
1	EXISTING STORM SEWER
2	PROP. STORM SEWER
3	PROP. STORM INLETS
4	PROP. STORM MANHOLE
5	EXISTING WATER MAIN
6	PROP. PUBLIC PVC WATER MAIN
7	PROP. FIRE HYDRANT
8	EXISTING SANITARY SEWER MAIN
9	PROP. PUBLIC PVC SANITARY SEWER MAIN
10	PROP. SANITARY SEWER MANHOLE
11	PROP. SANITARY SEWER MANHOLE
12	PROP. EASEMENT
13	BUILDING SETBACK
14	VINYL FENCE (SEE DT03 FOR DETAIL)
15	CONCRETE FENCE (SEE DT03 FOR DETAIL)
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NOTES:
 1. UNLESS OTHERWISE STATED, ALL SANITARY MAINS ARE PROPOSED AS PUBLIC.
 2. ALL STORM LINES SHOWN ARE HEREOF PUBLIC UNLESS OTHERWISE NOTED.
 3. ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.
 4. ALL WATER LINES 8" UNLESS OTHERWISE NOTED.




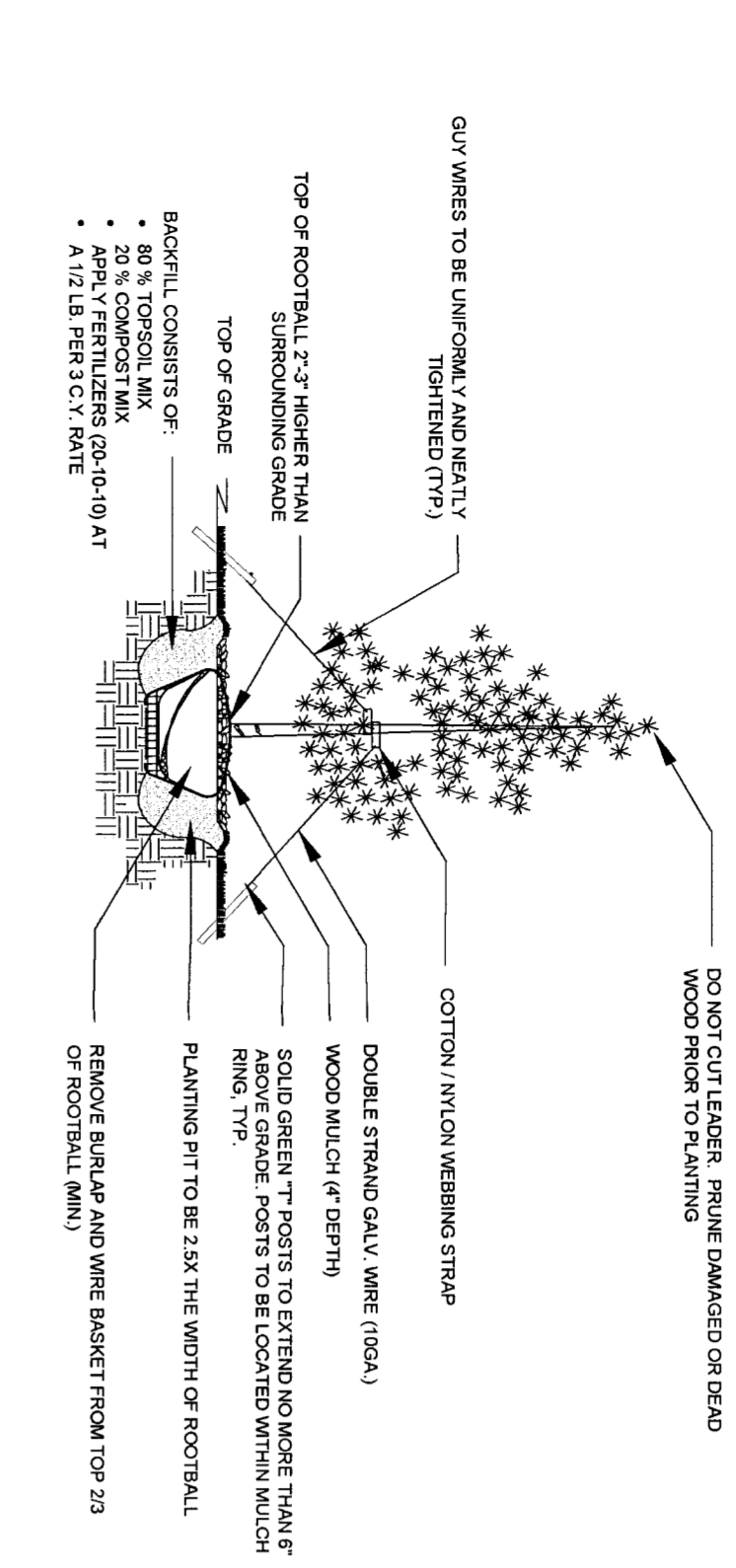
PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT			
EL PASO COUNTY, CO FEBRUARY 2021			
REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	09/17/2021	FOR SIGNATURE	
DRAWING INFORMATION:			
PROJECT NO.:	20 886 028		
DRAWN BY:	LCB		
CHECKED BY:	NMS		
APPROVED BY:	NMS		
SHEET TITLE			
PRELIMINARY UTILITY PLAN			
UT09			
SHEET 34 OF 34			
20135788			
7-16-2021			
PDD FILE NO.: PVDSP-21-0M3			

TRAILS AT ASPEN RIDGE

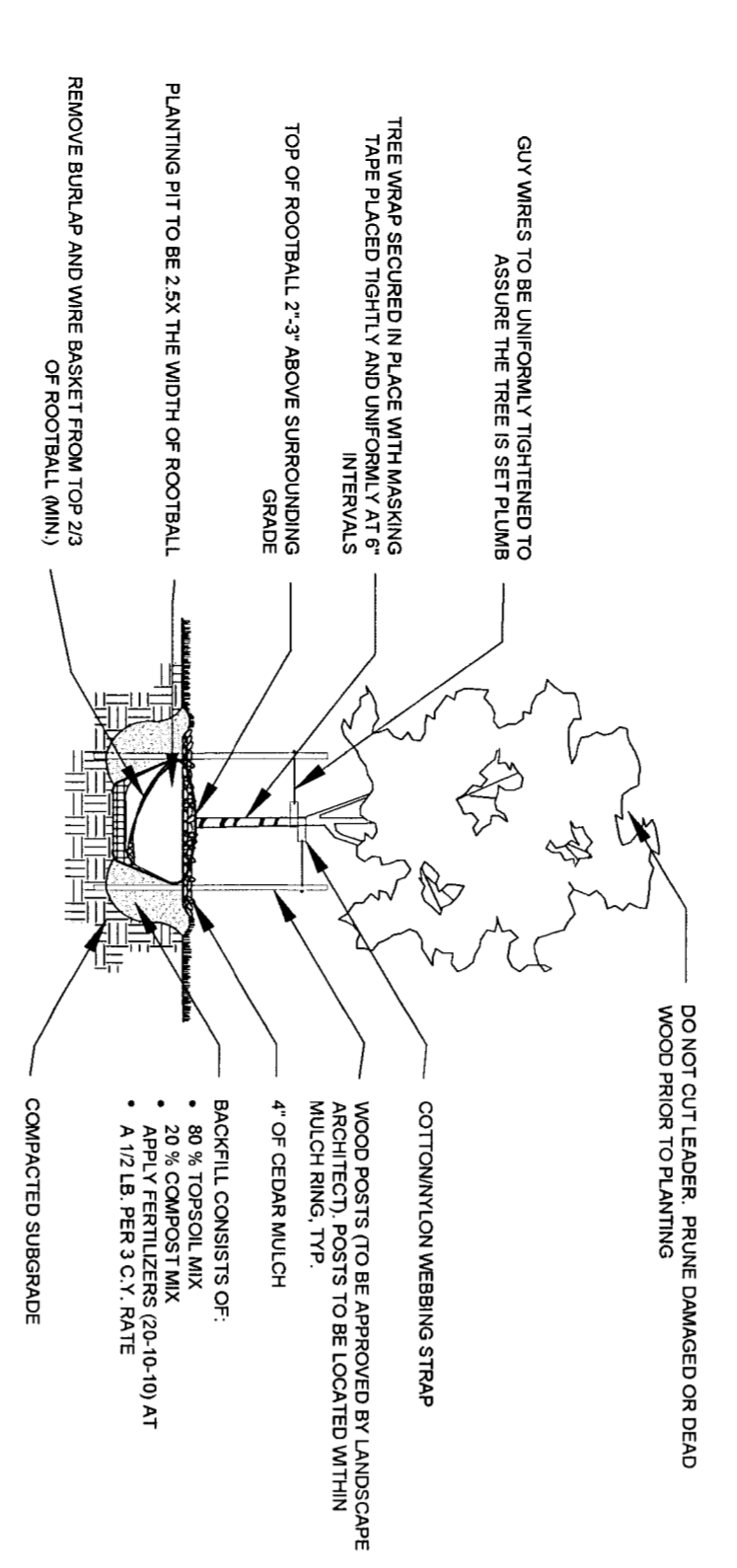
PUD/SP MAJOR AMENDMENT
 A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP 13
 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

SHEET INDEX:

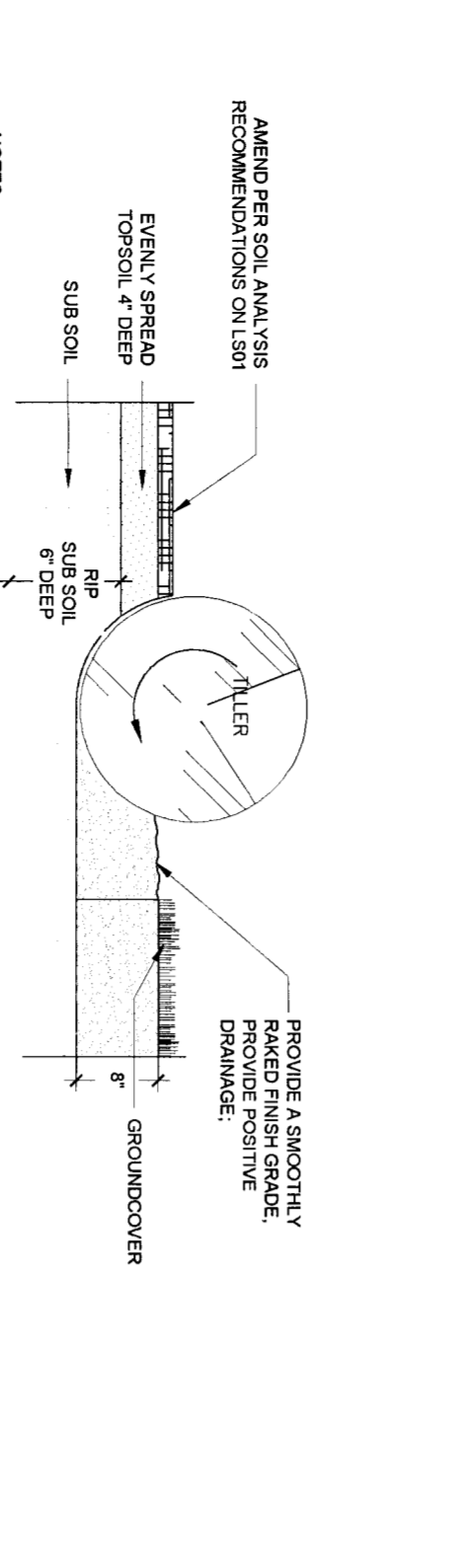
CONSULTANTS
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER

 2425 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 579-0100
 FAX: (719) 579-5289
 OWNER/DEVELOPER
 COLA LLC
 565 MIDDLE CREEK HWY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 522-9453



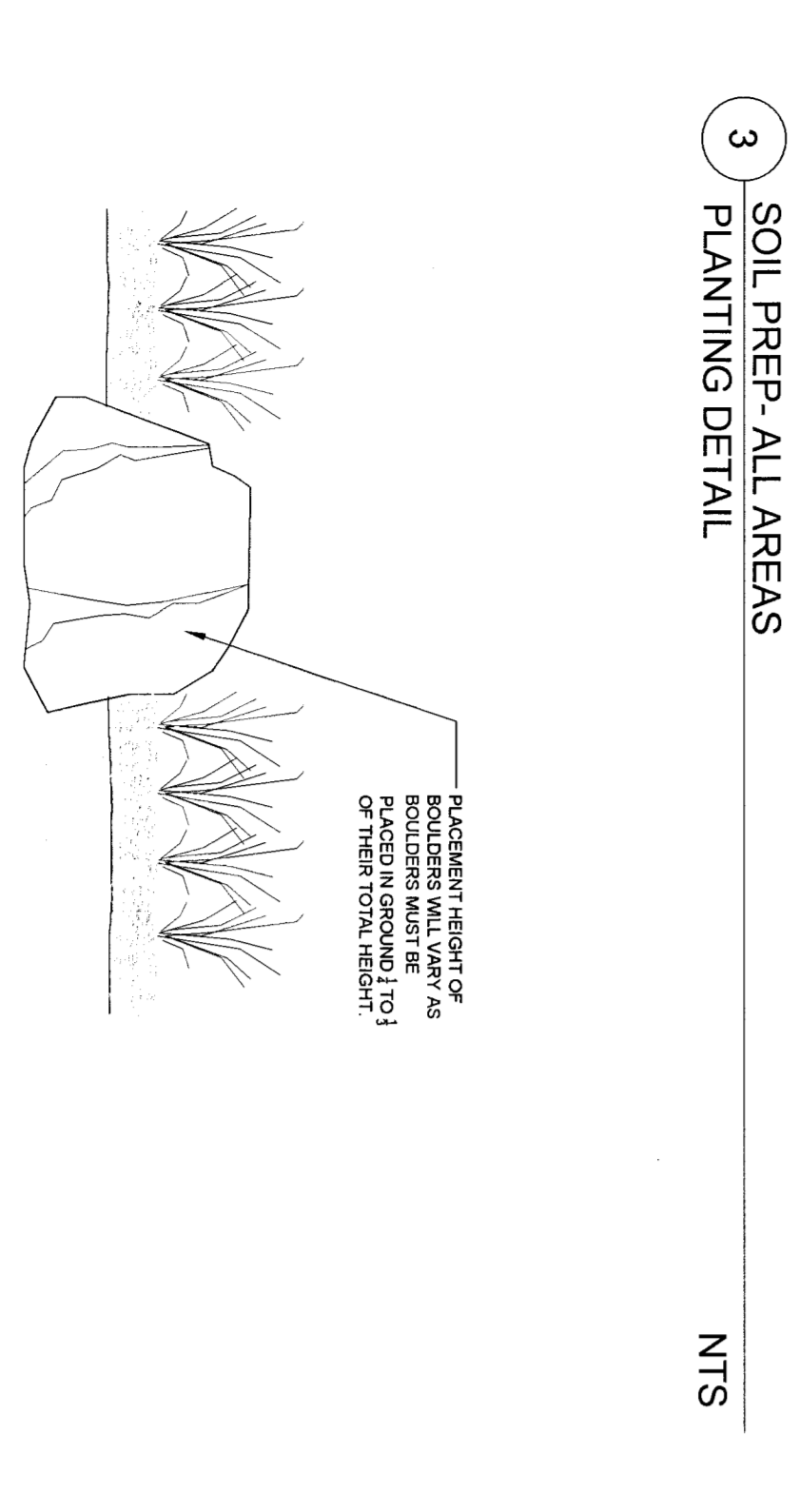
1 EVERGREEN TREE
 PLANTING DETAIL NTS



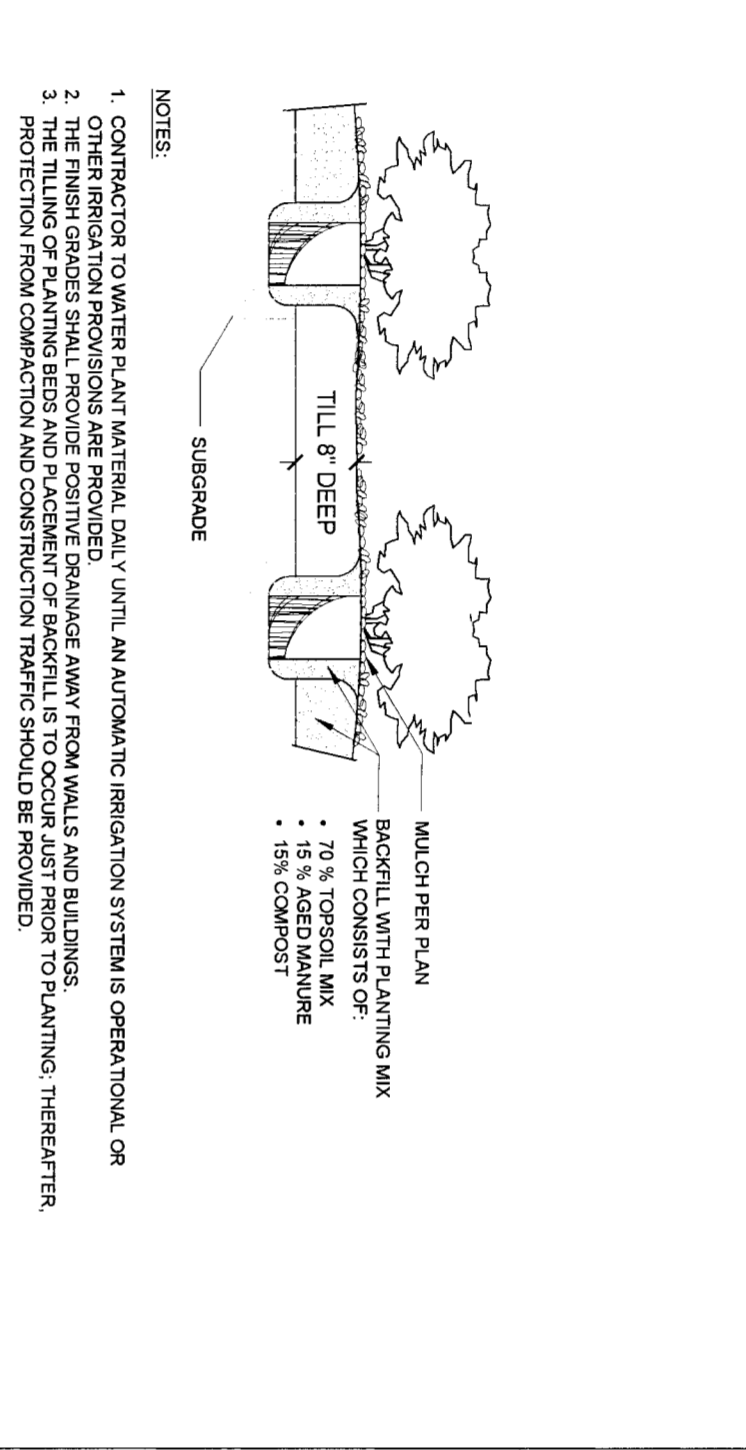
2 DECIDUOUS TREE
 PLANTING DETAIL NTS



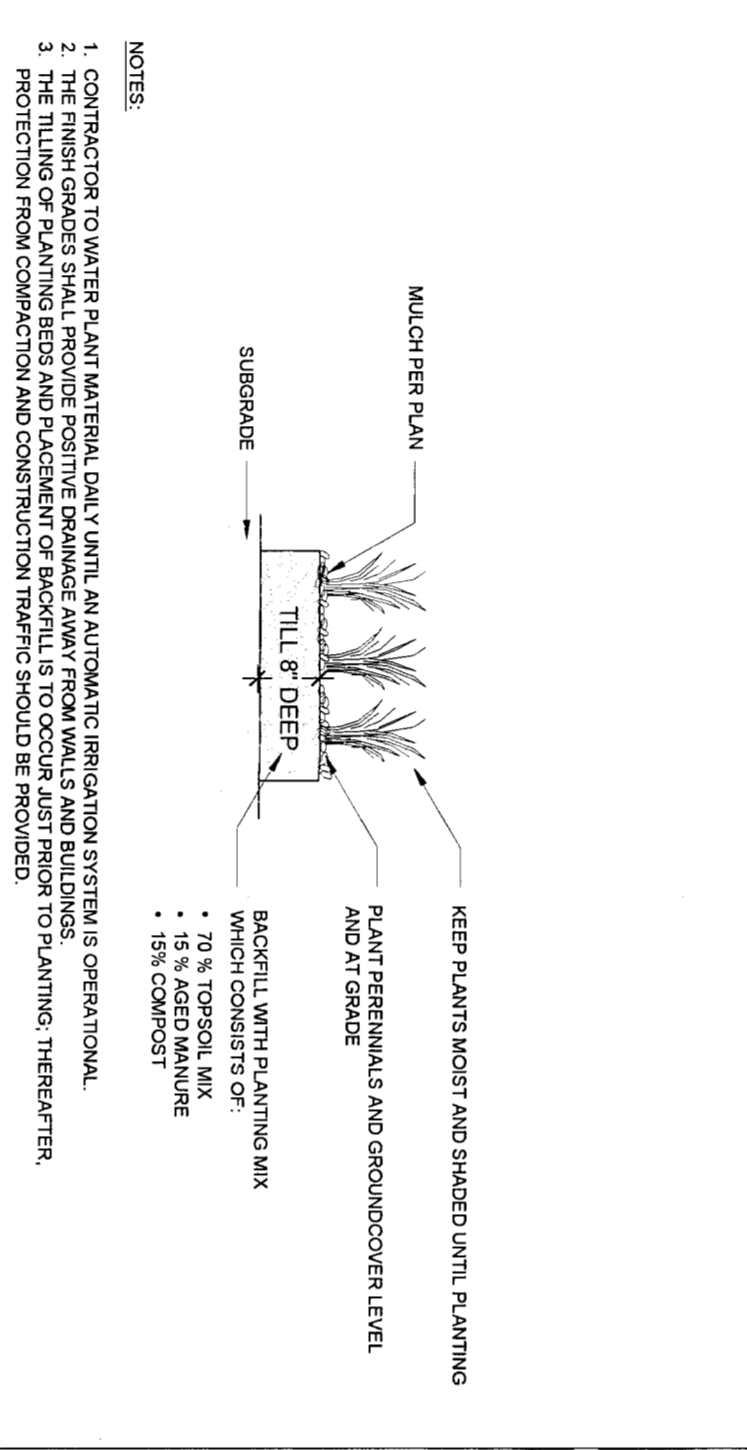
3 SOIL PREP - ALL AREAS
 PLANTING DETAIL NTS



4 BOULDERS
 INSTALLATION DETAIL NTS



5 SHRUBS
 PLANTING DETAIL NTS



6 GRASSES AND PERENNIALS
 PLANTING DETAIL NTS



7 OVERALL PHASING PLAN
 1" = 200'

PROJECT:		TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT
EL PASO COUNTY, CO		
REVISION HISTORY:		
NO.	DATE	DESCRIPTION
0	02/09/2021	FIRST CITY SUBMITTAL
1	04/29/2021	SECOND CITY SUBMITTAL
3	09/17/2021	FOR SIGNATURE
DRAWING INFORMATION:		
PROJECT NO.	20-0865-028	
DRAWN BY:	S/L/C	
CHECKED BY:	J/A	
APPROVED BY:	J/A	
SHEET TITLE:		
LANDSCAPE DETAILS & SHEET SET INDEX		
LS02		
SHEET 2 OF 8		
PUD/SP-21-003		

LANDSCAPE MATERIAL SCHEDULE

SYMBOL/CALCULT	LANDSCAPE MATERIAL SCHEDULE
SOD	SOD - To be 3/4"er Fescue Bluegrass Blend installed per details. Submit out sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED - To be P851 LOW GROW NATIVE MIX- seed blend (or approved equal) installed per supplier's specifications. Submit out sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED - To be P851 NATIVE PRAIRIE MIX- seed blend (or approved equal) installed per supplier's specifications. Submit out sheet for review and approval prior to installation.
NATIVE SEED	COBBLE A - 3/4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE A TO BE INSTALLED IN ALL PLANTING BEDS BEHIND SIDEWALK AND IN ALL OTHER PLANTING BEDS NOT DESIGNATED AS COBBLE B ON PLAN.
NATIVE SEED	COBBLE B - 2-4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE B TO BE INSTALLED IN 24" STRIP ADJACENT TO BACK OF CURBS AND ALL PLANTING BEDS ON STREET SIDE OF SIDEWALK. AS SHOWN ON PLAN.
NATIVE SEED	STEEL EDGE - Steel edge to be DUFRANCE 7" Thick x 5" Wide Rolled specifications.
NATIVE SEED	Top Steel Edge - Color to be Brown. Install per manufacturer's specifications.

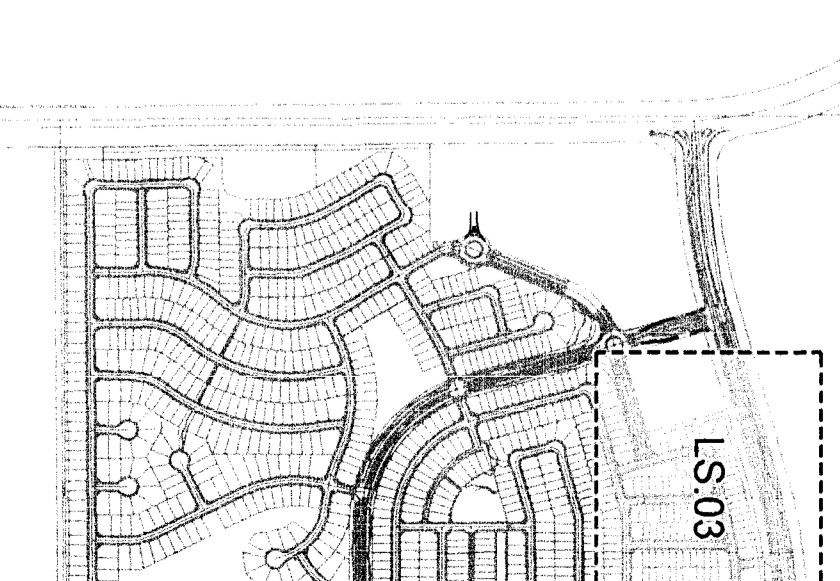


CONSULTANTS



PLANNING/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER
 2425 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0700
 FAX: (719) 575-0208
 DWGNO: 02/08/2021

COLLA LLC
 555 MIDCO CENTER PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 582-9463



PROJECT:

TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

MARKSHEFFEL-WOODMAN INVEST LLC ET AL
 102 E Pikes Peak Ave Ste 200
 COLORADO SPRINGS CO 80903-1818
 ZONED (PUD AO)
 AG. GRAZING LAND

NO.	DATE	DESCRIPTION	BY
0	02/09/2021	FIRST CITY SUBMITTAL	
1	04/29/2021	SECOND CITY SUBMITTAL	
3	08/17/2021	FOR SIGNATURE	

DRAWING INFORMATION	
PROJECT NO.	20-896-028
DRAWN BY:	SJC
CHECKED BY:	JA
APPROVED BY:	JA
SHEET TITLE	

LANDSCAPE PLAN

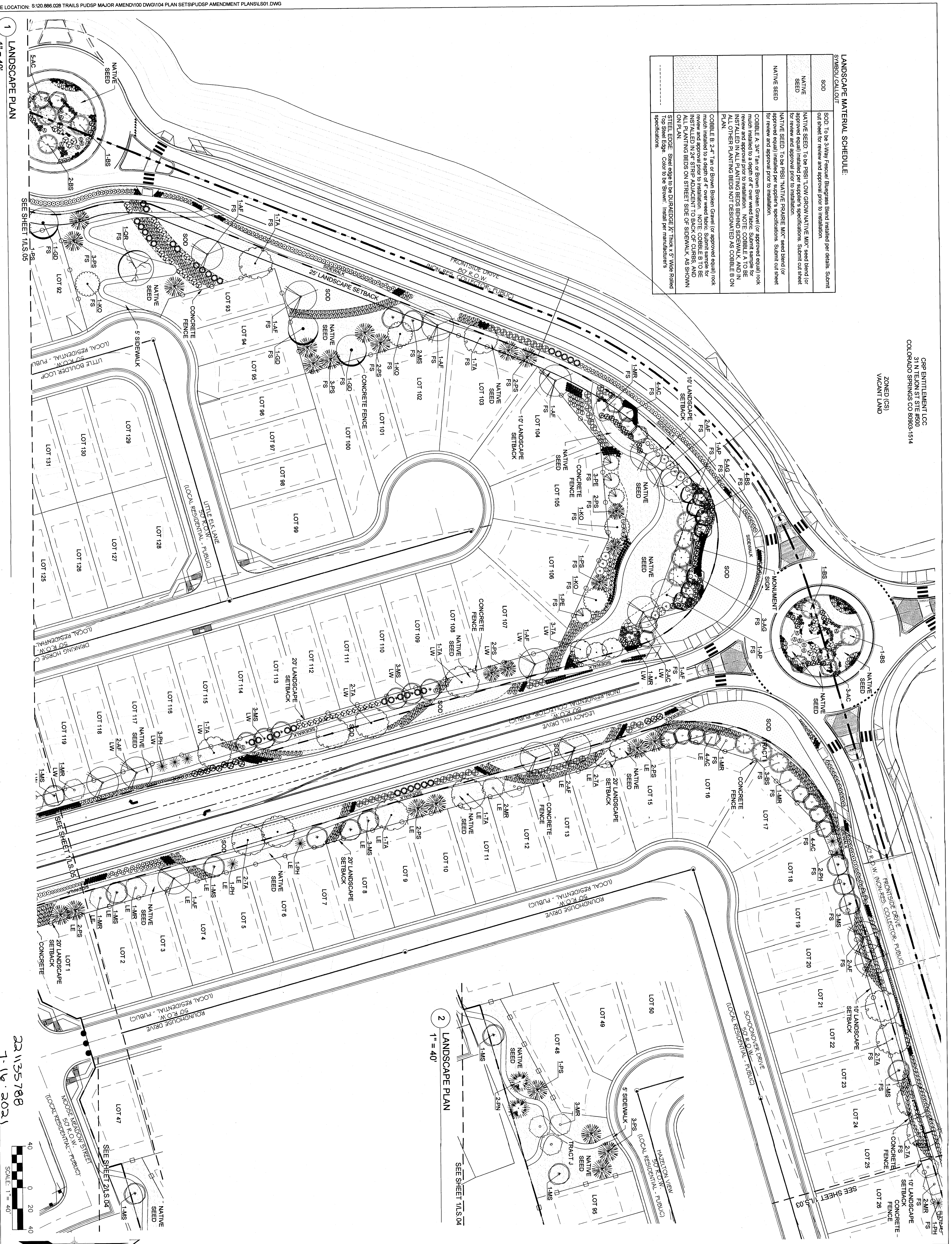
LS03

SHEET 3 OF 8

2-21-2021 3:57:88
 7-18-2021

LANDSCAPE MATERIAL SCHEDULE:

SYMBOL/CALCOUT	DESCRIPTION
SOD	SOD To be 3-Way Fescue/Bleugrass Blend installed per details. Submit out sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PRS1 1/4" O.D. GRN NATIVE LW* seed blend for review and approval prior to installation. Submit out sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PRS1 NATIVE PRARRIE MW* seed blend for review and approval prior to installation. Submit out sheet for review and approval prior to installation.
	COBBLE A, 3/4" Tan or Brown Broken Gravel (or approved equal) rock much installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE A TO BE INSTALLED IN ALL PLANTING BEDS BEHIND SIDEWALK AND IN ALL OTHER PLANTING BEDS NOT DESIGNATED AS COBBLE B ON PLAN.
	COBBLE B, 3/4" Tan or Brown Broken Gravel (or approved equal) rock much installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE B TO BE INSTALLED IN 24" STRIP ADJACENT TO BACK OF CURBS AND ALL PLANTING BEDS ON STREET SIDE OF SIDEWALK AS SHOWN ON PLAN.
	STEEL EDGE: Steel edge to be DURABEDGE 2" THICK, 5" WIDE Raked Top. Steel Edge Color to be Brown. Install per manufacturer's specifications.



1 LANDSCAPE PLAN
1" = 40'

2 LANDSCAPE PLAN
1" = 40'

22.11.35.788
1-16-2021
SCALE: 1" = 40'

PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT
SHEET 4 OF 8
RUPG-21-003

LANDSCAPE PLAN

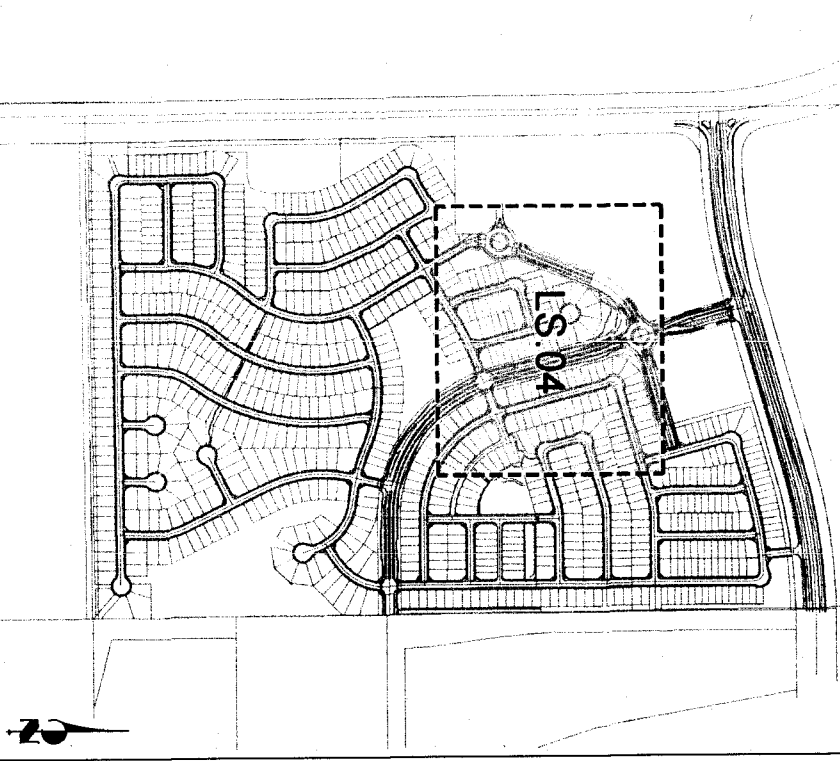
LS04

DRAWING INFORMATION

NO.	DATE	DESCRIPTION	BY
0	02/05/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	08/17/2021	FOR SIGNATURE	

PROJECT NO. 20.886.028
DRAWN BY: SJC
CHECKED BY: JA
APPROVED BY: JA
SHEET TITLE: LANDSCAPE PLAN

EL PASO COUNTY, CO
FEBRUARY 2021
REVISION HISTORY:



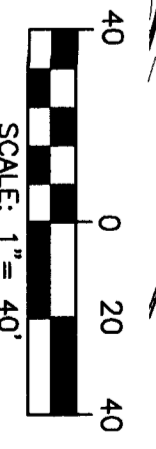
LANDSCAPE MATERIAL SCHEDULE:

SYMBOL/CALLOUT	DESCRIPTION
SOD	SOD To be 3-Way Fescue Bluegrass Blend installed per details. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PPS1 "LOW GROW NATIVE MIX" seed blend for approved equal) installed per applicant's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PPS1 "NATIVE PRAIRIE MIX" seed blend for approved equal) installed per applicant's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	COBBLE A: 3/4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE A TO BE INSTALLED IN 24" STRIP ADJACENT TO BACK OF CURBS AND ALL OTHER PLANTING BEDS ON STREET SIDE OF SIDEWALK, AS SHOWN ON PLAN.
STEEL EDGE	STEEL EDGE: Steel edge to be DURAGESE 2" Thick, 3" Wide Rolled Steel Edge Color to be Stone. Install per manufacturer's specifications.

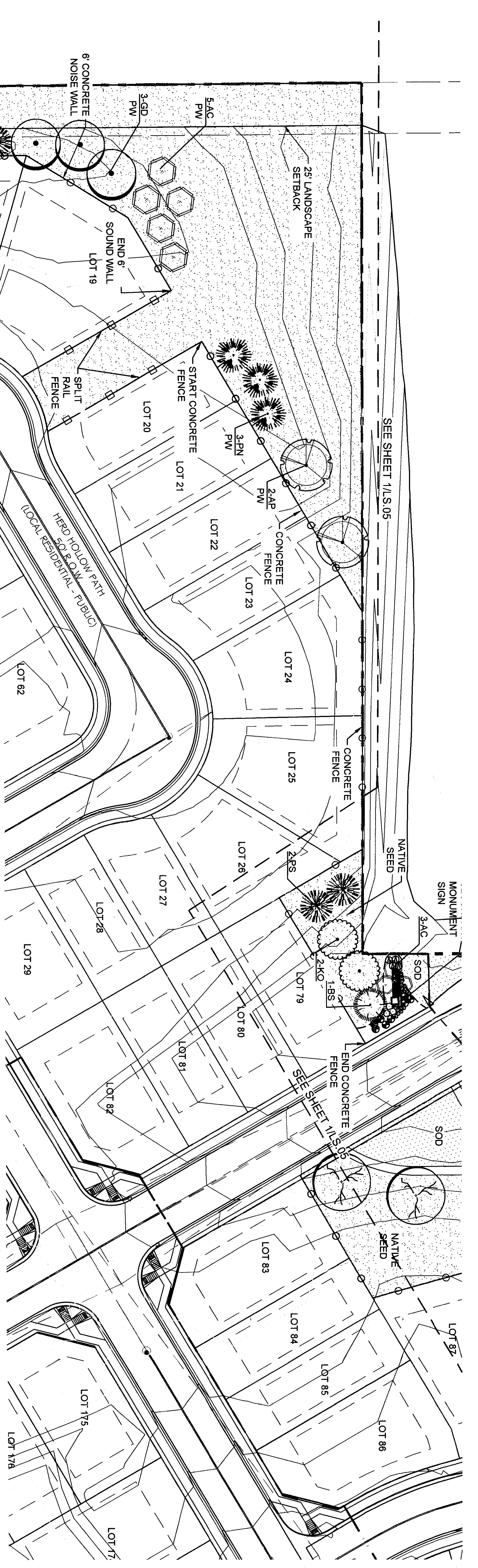


1 LANDSCAPE PLAN
1" = 40'

221135798
7-16-2021

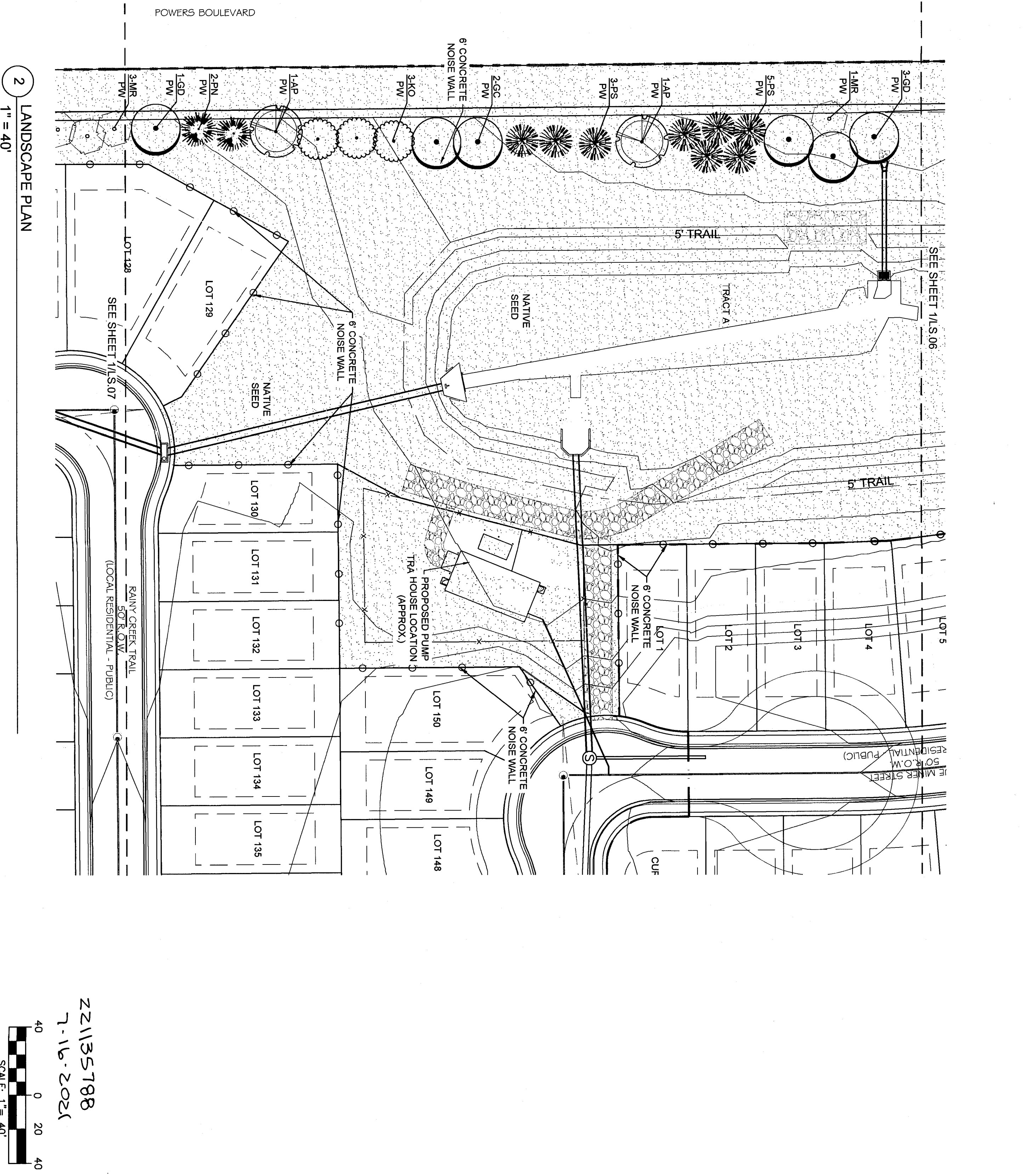
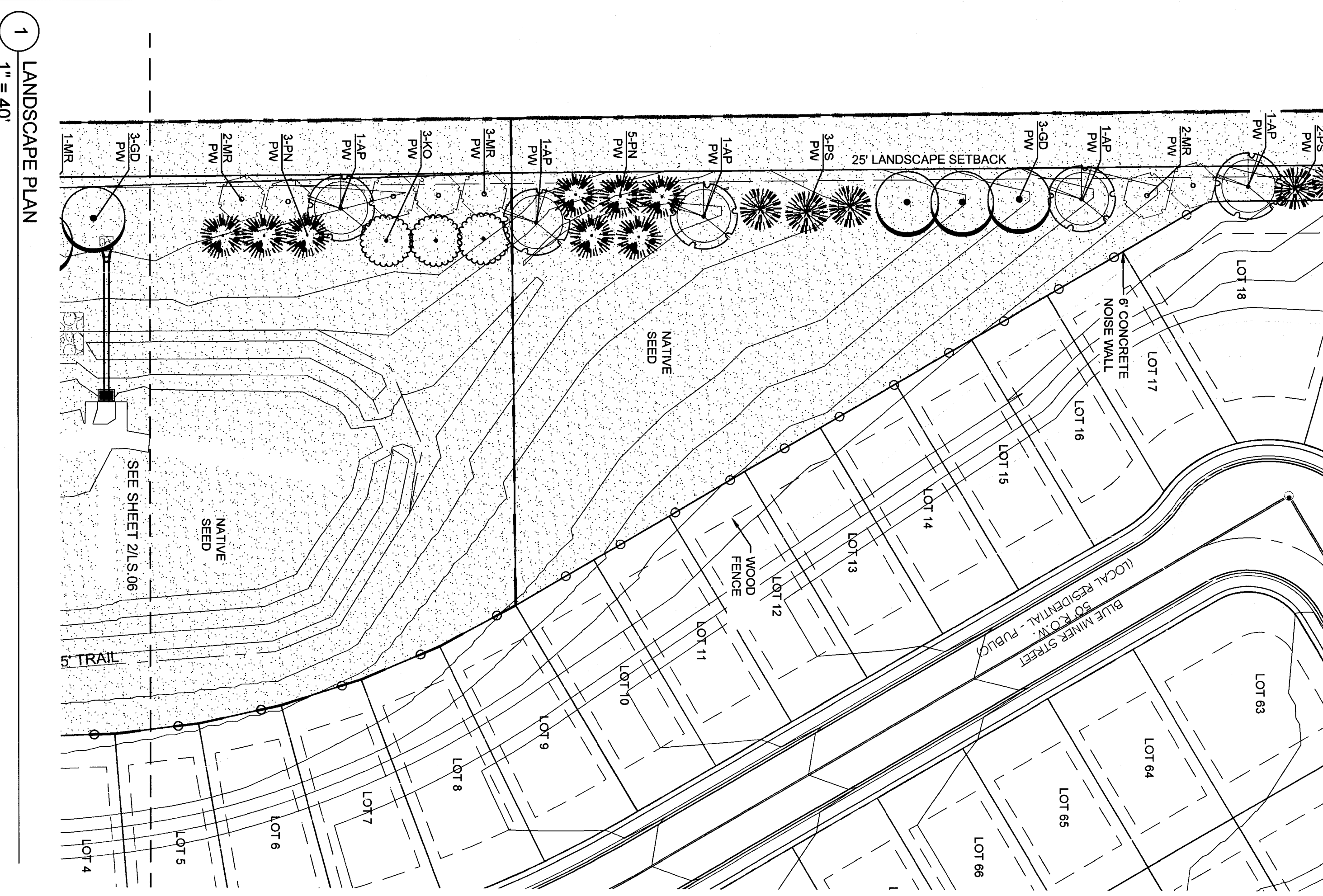


<p>CONSULTANTS: Matrix PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER 2435 RESEARCH PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 575-0100 FAX: (719) 575-0288</p>																	
<p>OWNER/DEVELOPER: COLA LLC 555 MIDDLE CREEK PARKWAY, SUITE 300 COLORADO SPRINGS, CO 80921 PHONE: (719) 825-9493</p>																	
<p>PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT</p>																	
<p>REV. MAP: </p>																	
<p>DRAWING INFORMATION:</p> <table border="1"> <tr> <td>PROJECT NO.</td> <td>20.886.028</td> </tr> <tr> <td>DRAWN BY:</td> <td>SJC</td> </tr> <tr> <td>CHECKED BY:</td> <td>JA</td> </tr> <tr> <td>APPROVED BY:</td> <td>JA</td> </tr> <tr> <td>SHEET TITLE:</td> <td>LANDSCAPE PLAN</td> </tr> </table>		PROJECT NO.	20.886.028	DRAWN BY:	SJC	CHECKED BY:	JA	APPROVED BY:	JA	SHEET TITLE:	LANDSCAPE PLAN						
PROJECT NO.	20.886.028																
DRAWN BY:	SJC																
CHECKED BY:	JA																
APPROVED BY:	JA																
SHEET TITLE:	LANDSCAPE PLAN																
<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/05/2021</td> <td>FIRST CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>04/23/2021</td> <td>SECOND CITY SUBMITTAL</td> <td></td> </tr> <tr> <td>3</td> <td>06/17/2021</td> <td>FOR SIGNATURE</td> <td></td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	0	02/05/2021	FIRST CITY SUBMITTAL		1	04/23/2021	SECOND CITY SUBMITTAL		3	06/17/2021	FOR SIGNATURE	
NO.	DATE	DESCRIPTION	BY														
0	02/05/2021	FIRST CITY SUBMITTAL															
1	04/23/2021	SECOND CITY SUBMITTAL															
3	06/17/2021	FOR SIGNATURE															



LANDSCAPE MATERIAL SCHEDULE:

SYMBOL CALLOUT	DESCRIPTION
SOD	SOD To be 3-Way Fescue/Bromegrass Blend installed per details. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PBS' LOW GROW NATIVE MIX seed blend for approved equal installed per supplier's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PBS' NATIVE PRAIRIE MIX seed blend for approved equal installed per supplier's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	COBBLE A 3/4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE A TO BE INSTALLED IN ALL PLANTING BEDS BEHIND SIDEWALK AND IN ALL OTHER PLANTING BEDS NOT DESIGNATED AS COBBLE B ON PLAN.
STEEL EDGE	STEEL EDGE: Steel edge to be DURAEDGE 1/2" Thick x 5" Wide Raised Top Steel Edge. Color to be Brown. Install per manufacturer's specifications.



CONSULTANTS
Matrix
 PLANNER/LANDSCAPE ARCHITECT CIVIL ENGINEER
 2426 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 579-0100
 FAX: (719) 579-0288

OWNER/DEVELOPER
COLA LLC
 655 MIDDLE CREEK HWY, SUITE 980
 COLORADO SPRINGS, CO 80921
 PHONE: (719) 525-5453

PROJECT
TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

EL PASO COUNTY, CO
 FEBRUARY 2021

NO.	DATE	DESCRIPTION	BY
0	02/02/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:
 PROJECT NO: 20.886.028
 DRAWN BY: SJC
 CHECKED BY: JA
 APPROVED BY: JA
 SHEET TITLE:

LANDSCAPE PLAN

LS06

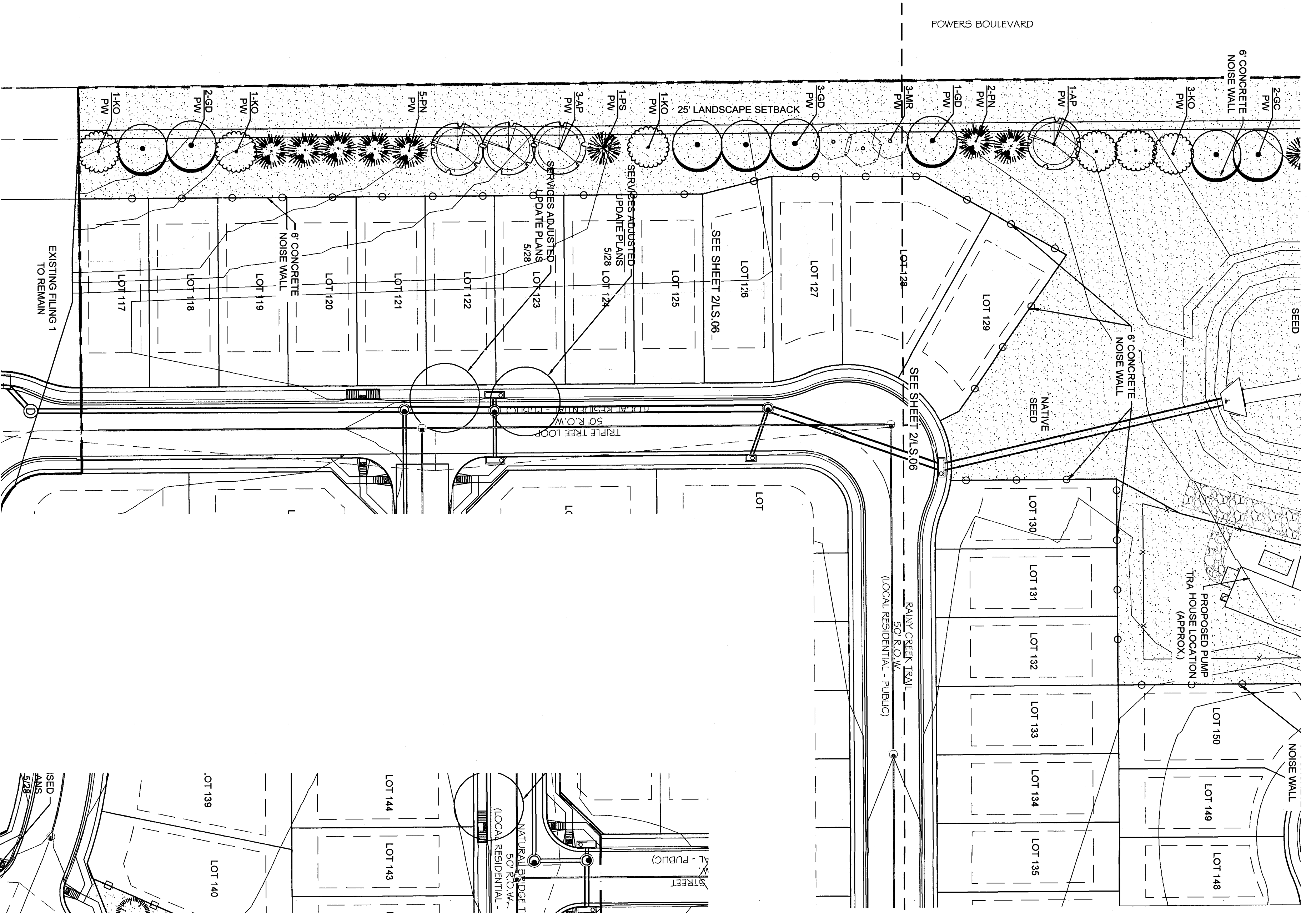
SHEET 6 OF 8

POC FILE NO.: PUDSP-21-013

ZZ1135188
 7-16-2021

40 0 20 40
 SCALE: 1" = 40'

KEY MAP



1 LANDSCAPE PLAN
1" = 40'

LANDSCAPE MATERIAL SCHEDULE:

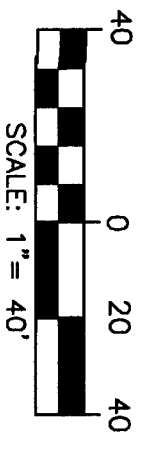
SYMBOL CALL OUT

SOD	SOD To be 3-Way Fescue Bluegrass Blend installed per details. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PPS1 LOW GROW/NATIVE MIX seed blend for approved equal installed per supplier's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	NATIVE SEED To be PPS1 NATIVE PRAIRIE MIX seed blend for approved equal installed per supplier's specifications. Submit cut sheet for review and approval prior to installation.
NATIVE SEED	COBBLE B A 3/4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE B TO BE INSTALLED IN 24" STRIP ADJACENT TO BACK OF CURBS AND IN PLANTING BEDS ON STREET SIDE OF SIDEWALK AS SHOWN ON PLAN.
NATIVE SEED	COBBLE B 2-4" Tan or Brown Broken Gravel (or approved equal) rock mulch installed to a depth of 4" over weed fabric. Submit sample for review and approval prior to installation. NOTE: COBBLE B TO BE INSTALLED IN ALL PLANTING BEDS BEHIND SIDEWALK AND IN ALL OTHER PLANTING BEDS NOT DESIGNATED AS COBBLE B ON PLAN.
STEEL EDGE	STEEL EDGE Steel edge to be DURAFLEX 2" Thick x 5" Wide Raised Top Steel Edge. Color to be Brown. Install per manufacturer's specifications.



2 LANDSCAPE PLAN
1" = 40'

2.2.11.357.08
7.16.2021



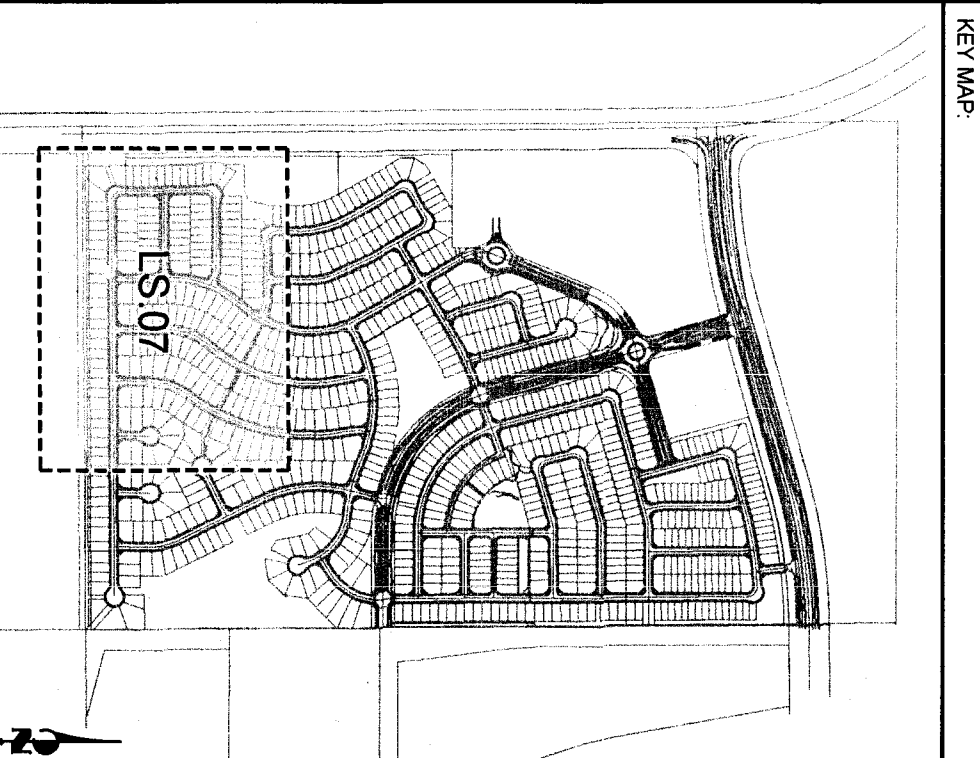
CONSULTANTS



2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 575-0100
FAX: (719) 575-0288

DRAWN/DEVELOPER

COLA LLC
655 MIDDLE CREEK PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80921
PHONE: (719) 825-9493



PROJECT: TRAILS AT ASPEN RIDGE PUD/SP AMENDMENT

EL PASO COUNTY, CO
FEBRUARY 2021

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	02/06/2021	FIRST CITY SUBMITTAL	
1	04/23/2021	SECOND CITY SUBMITTAL	
3	06/17/2021	FOR SIGNATURE	

DRAWING INFORMATION:

PROJECT NO: 20.886.028

DRAWN BY: SJC

CHECKED BY: JA

APPROVED BY: JA

SHEET TITLE:

LANDSCAPE PLAN

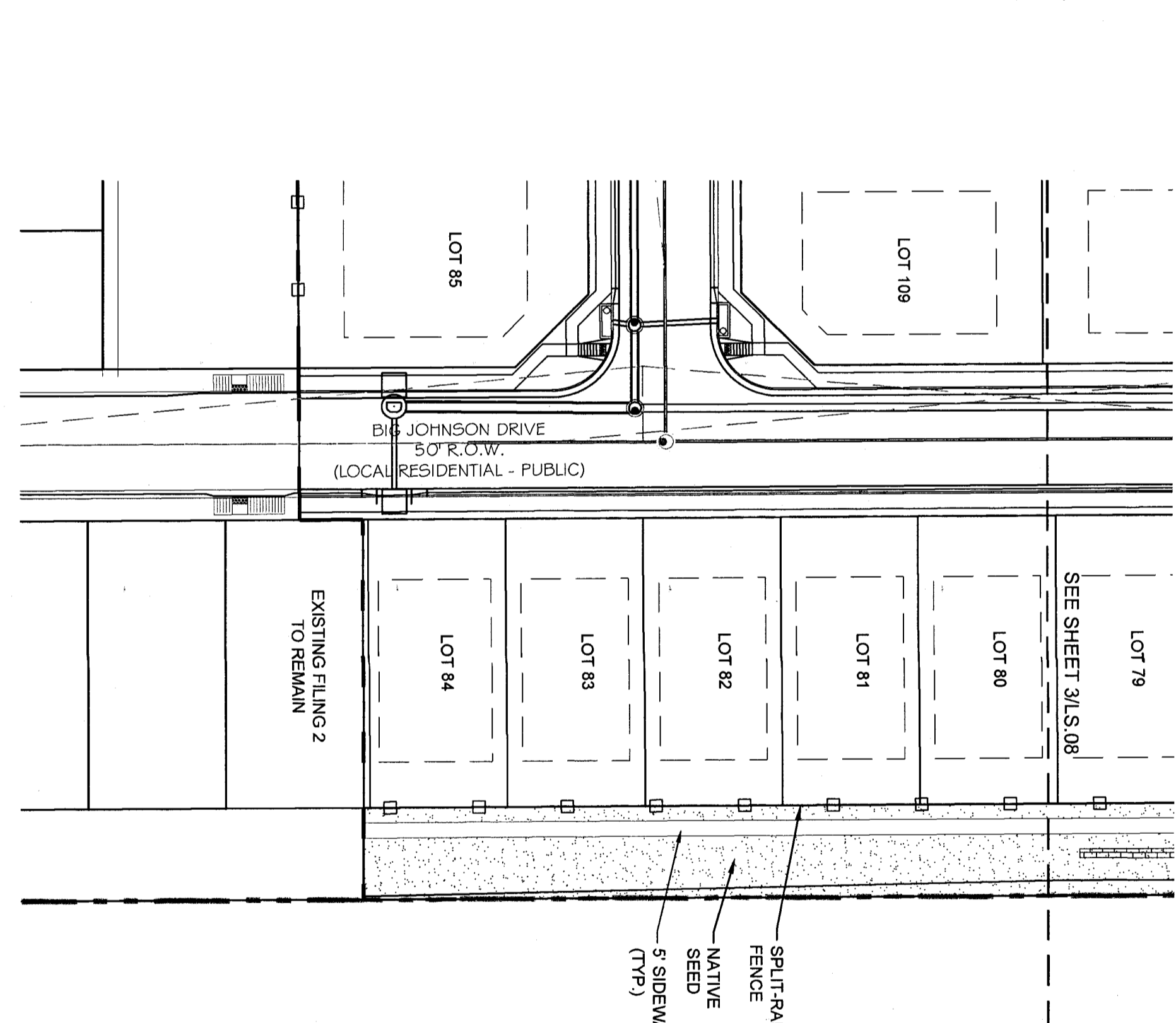
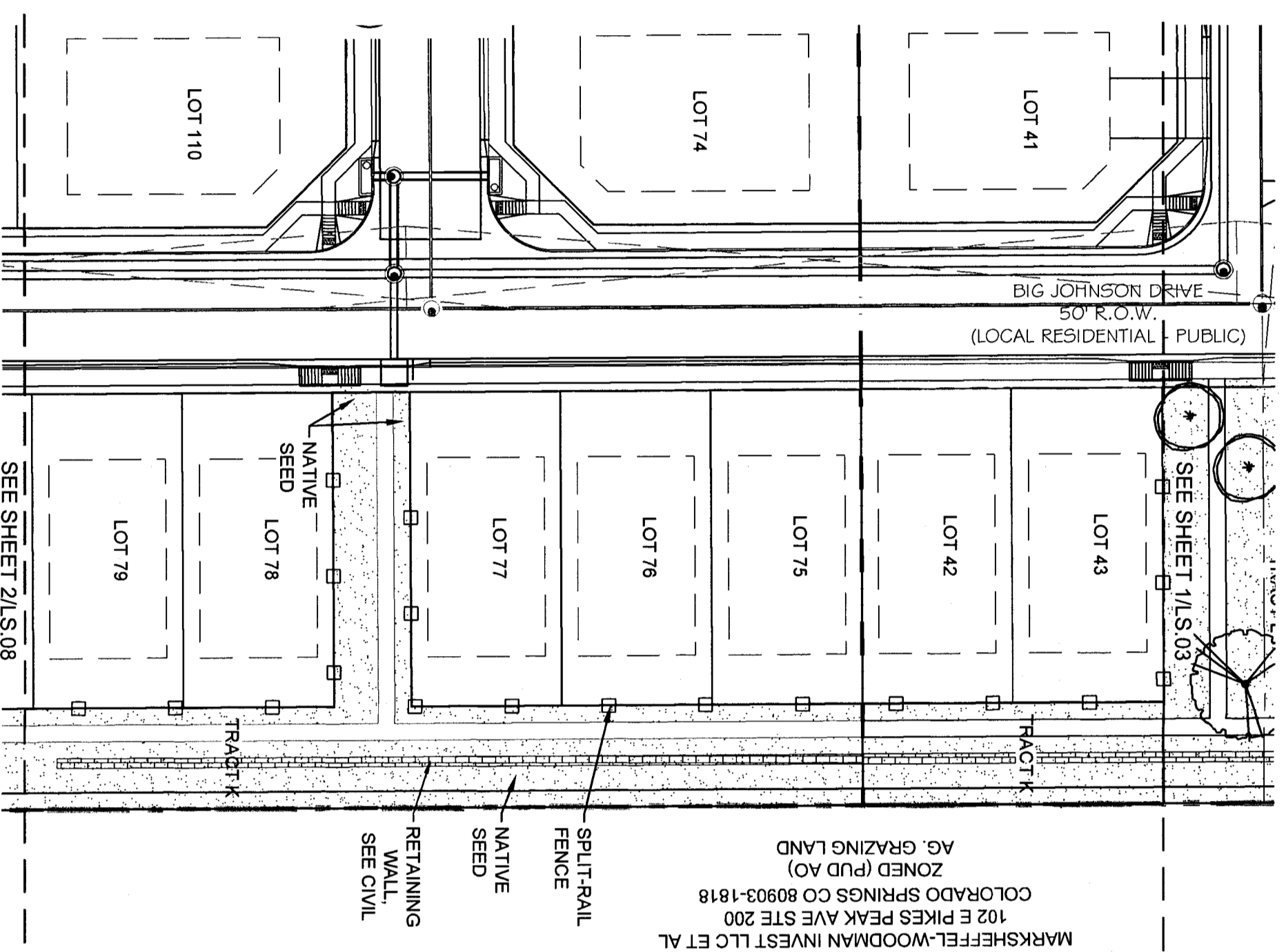
LS07

SHEET 7 OF 8

PDD FILE NO: PVDSP-21-003

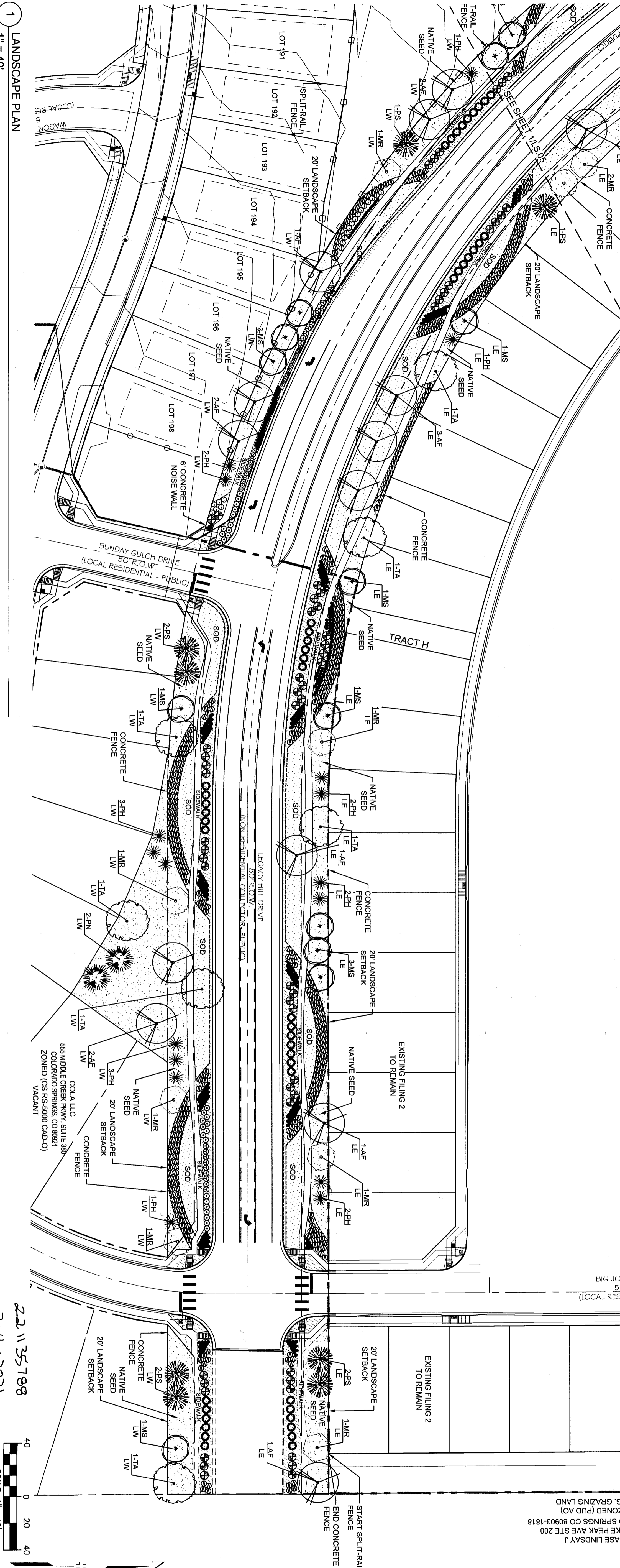
LANDSCAPE MATERIAL SCHEDULE:

SYMBOL/CALCULOT	DESCRIPTION	NOTES
SOD	SOD - To be 3-Way Fescue Bluegrass Blend installed per details. Submit cut sheet for review and approval prior to installation.	
NATIVE SEED	NATIVE SEED - 1.5 lb bags 1" CW GROW NATIVE MIX seed blend for (see schedule for details) landscape. Submit cut sheet for review and approval prior to installation.	
NATIVE SEED	NATIVE SEED - 1.5 lb bags NATIVE PRARIE MIX seed blend for (see schedule for details) landscape. Submit cut sheet for review and approval prior to installation.	
NATIVE SEED	COBBLE A - 3/4" Tan or Brown Broken Gravel (or approved equal) rock for (see schedule for details) landscape. Submit cut sheet for review and approval prior to installation. NOTE: COBBLE A TO BE INSTALLED IN ALL PLANTING BEDS BEHIND SIDEWALK AND IN ALL OTHER PLANTING BEDS NOT DESIGNATED AS COBBLE B ON PLAN.	
NATIVE SEED	COBBLE B - 2-4" Tan or Brown Broken Gravel (or approved equal) rock for (see schedule for details) landscape. Submit cut sheet for review and approval prior to installation. NOTE: COBBLE B TO BE INSTALLED IN 24" STRIP ADJACENT TO BACK OF CURBS AND ALL PLANTING BEDS ON STREET SIDE OF SIDEWALK AS SHOWN ON PLAN.	
NATIVE SEED	STEEL EDGE - Steel edge to be DURABEDGE 7" Thick x 3" Wide Rolled Steel Edge. Color to be Silver. Install per manufacturer's specifications.	



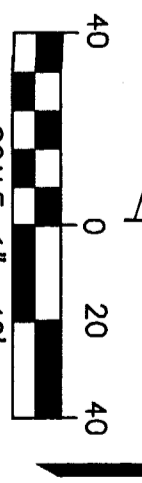
3 LANDSCAPE PLAN
1" = 40'

2 LANDSCAPE PLAN
1" = 40'



1 LANDSCAPE PLAN
1" = 40'

221135788
7.16.2021



CONSULTANTS



2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-2100
FAX: (719) 575-2438

OWNERS/DEVELOPERS

COLLA LLC
555 MIDCREEK PARKWAY, SUITE 900
COLORADO SPRINGS, CO 80921
PHONE: (719) 325-9433

PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER

PROJECT: TRAILS AT ASPEN RIDGE PUD/ISP AMENDMENT
EL PASO COUNTY, CO
REVISION HISTORY:
01 FEBRUARY 2021
NO. DATE DESCRIPTION BY
1 02/02/2021 FIRST CITY SUBMITTAL
2 04/22/2021 SECOND CITY SUBMITTAL
3 06/17/2021 FOR SIGNATURE

DRAWING INFORMATION:
PROJECT NO: 20-088-028
DRAWN BY: SJC
CHECKED BY: JA
APPROVED BY: JA
SHEET TITLE: LANDSCAPE PLAN

LANDSCAPE PLAN
LS08

SHEET 8 OF 8
RUPSP 21.003

FILE LOCATION: S:\20-088-028 TRAILS PUDSP MAJOR AMEND\100 DWG\104 PLAN SETS\PUDSP AMENDMENT PLANS\LS01.DWG

