PROJECT BENCHMARK STATEMENT NGS MONUMENT T 395 BEING AN ALUMINUM CAP STAMPED 395 1983" ON A STAINLESS STEEL ROD LOCATED 0.8 MILES NORTH OF THE JUNCTION OF STATE HIGHWAY 105 AND INTERSTATE 25, AND 56 FEET EAST OF THE CENTERLINE OF THE NORTHBOUND LANES OF INTERSTATE 25. HAVING AN

AN ORANGE PLASTIC CAP STAMPED "CLSI PLS 32439" ON A REBAR LOCATED AT THE NORTHEAST CORNER OF THE BLACK FOREST LUTHERAN CHURCH SUBDIVISION, BEING ON THE WESTERLY RIGHT-OF-WAY OF KNOLLWOOD DRIVE, 1,040 FEET SOUTHERLY OF THE INTERSECTION OF STATE HIGHWAY 105 AND

ADMINISTRATIVE REVIEW BY THE TOWN OF MONUMENT:

TO FACILITATE DEVELOPMENT AND REVIEW OF FUTURE PHASES THE FOLLOWING MODIFICATIONS

ZONING ORDINANCE FOR THE PURPOSE OF THE VILLAGE CENTER FILING NO. 4:

IF THE OVERALL DENSITY DOES NOT EXCEED A .20 F.A.R. IN THE AGGREGATE.

ARE MADE TO SECTION 17.40.220 "MINOR AMENDMENT REQUESTS" OF THE TOWN OF MONUMENT

1. DENSITY: CHANGES IN DENSITY OF THE THE PD SHALL BE CONSIDERED A MINOR AMENDMENT

SHALL BE CONSIDERED A MINOR ADJUSTMENT IF THEY DO NOT VARY FROM THE PRINCIPALS

CONTAINED IN THE DESIGN GUIDELINES FOR THE VILLAGE CENTER FILING NO. 4, MAINTAIN THE

2. BUILDING LOCATION: CHANGES, MODIFICATIONS, OR ADJUSTMENTS OF BUILDING LOCATIONS

GENERAL BUILDING LOCATIONS AND FOLLOW THE INTENT OF THE OVERALL SITE PLAN.

3. OFF-STREET PARKING: CHANGES AFFECTING OFF-STREET PARKING SHALL BE CONSIDERED A MINOR AMENDMENT SO LONG AS THE PARKING PROVIDED FOR EACH USE OR TENANT MEETS THE MINIMUM REQUIREMENTS OF THE GOVERNING DOCUMENTS.

4. FINISHED GRADE AND DRAINAGE SYSTEM: CHANGES TO THE PROPOSED FINISHED GRADE AND

NOT CHANGE SIGNIFICANTLY WITH RESPECT TO MINIMUM OR MAXIMUM DESIGN GRADES,

FINISHED FLOOR ELEVATIONS AND RELATIONSHIPS TO ADJACENT PROPERTIES.

DRAINAGE SYSTEM SHALL BE CONSIDERED A MINOR AMENDMENT IF THEY DO NOT RESULT IN

SIGNIFICANT CHANGES TO THE PUBLIC, DETENTION OR OUTFALL PORTIONS OF THE DRAINAGE

SYSTEM AS DEFINED IN THE DRAINAGE STUDY, AND IF FINISHED GRADES ON SURFACES DO

KNOLLWOOD DRIVE. HAVING AN ELEVATION OF 7066.38 FEET

VILLAGE CENTER FILING NO. 4

OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

PRELIMINARY PD SITE PLAN

a portion of the SW 1/4, section 13 and the SE 1/4, section 14, t11s, r67w of the 6th P.M.

NAMES & ADDRESSES:

OWNER: MAG II MONUMENT, LLC

ST. LOUIS, MO 63141

CENTENNIAL, CO 80112

815 NORTH WEBER STREET

516 NORTH TEJON STREET COLORADO SPRINGS, CO 80903

COVER SHEET

SITE PLAN

SHEET INDEX:

USES PERMITTED BY RIGHT: SEE SITE DATA TABLE HERE IN

REVIEW ALLOWED

DEVELOPMENT

DEVELOPMENT

USE AREA CATEGORY LABELING.

NONRESIDENTIAL USES: NO MAXIMUM

MAXIMUM BUILDING HEIGHT: 35 FEET

CENTER DESIGN STANDARDS

SEE SITE DATA TABLE HERE IN

MAXIMUM BUILDING COVERAGE: NO MAXIMUM

PROVISIONS SHALL REMAIN IN FULL FORCE AND EFFECT

USES PERMITTED BY SPECIAL REVIEW: NO USES BY SPECIAL

MAXIMUM GROSS DENSITY: NOT APPLICABLE TO COMMERCIAL

MAXIMUM FAR (FLOOR AREA RATIO) OR FLOOR AREA RATIO FOR

OTHER DEVELOPMENT STANDARDS: VILLAGE CENTER COMMUNITY

MINIMUM SETBACKS: 25 FEET HIGHWAY 105, KNOLLWOOD AND

SEVERABILITY OF PROVISIONS. IN THE EVENT THAT ANY PROVISION

HEREOF SHALL BE DETERMINED TO BE ILLEGAL OR VOID BY THE FINAL

ORDER OF ANY COURT OF COMPETENT JURISDICTION, THE REMAINING

MINIMUM LOT AREA: NOT APPLICABLE TO COMMERCIAL

GOLD CANYON. INTERNAL SETBACKS: 10 FEET

COLORADO SPRINGS, CO 80903

JASON ALWINE (719) 633-9700

721 EMERSON ROAD, SUITE 100

LEE WELANSKY (314) 576-8600

1626 EAST PIKES PEAK AVENUE

COLORADO SPRINGS, CO 80909

JOHN NELSON (719) 632-3384

PLAN PREPARER, ENGINEER, LAND SURVEYOR: JR ENGINEERING, LLC

KEVAN KUHNEL, P.E. (303) 740-9393

TRANSPORTATION ENGINEER:
LSC TRANSPORTATION CONSULTANTS, INC.

JEFFERY HODSDON, P.E. (719) 633-2868

PRELIMINARY GRADING PLAN

EROSION CONTROL PLAN

AND STRIPING PLAN

LS1-LS3 PRELIMINARY LANDSCAPE PLAN A1.0-A1.1 REFERENCE BUILDING ELEVATIONS

PRELIMINARY UTILITY PLAN

PRELIMINARY INTERNAL SIGNING

7200 S. ALTON WAY, SUITE C100

LANDSCAPE ARCHITECT:
WILLIAM GUMAN & ASSOCIATES, LTD.

ARCHITECT, LAND PLANNER:
JOHN P. NELSON ASSOCIATES

JUNE 2010

HIGHWAY 105

DODMOOR ACRES DR

OPEN SPACE (TRACT A) = 0.504 ACRES STREET R.O.W.s FOR HIGHWAY 105, KNOLLWOOD DR., AND GOLD CANYON = 0.4916 ACRES TOTAL THIS SUBDIVISION = 21.555 ACRES

LAND USE COMMERCIAL AREA = 20.5598 ACRES WATER DEMAND

ENGINEERIN

SHEET 1 OF **9** JOB NO. **29949.04**

CERTAIN LANDS KNOWN HEREIN AS THE "VILLAGE CENTER FILING NO. 4" PD IN THE

RETAIL STORES (SMALL, CONVENIENCE) = 12,804 SF @ 0.21 GPD/SF = 2,689 GPD

WATER RIGHTS OWNED BY THE WOODMOOR WATER AND SANITATION DISTRICT.

= 3,600 SF @ 0.13 GPD/SF = 468 GPD = 78,800 SF @ 0.21 GPD/SF = 16,548 GPD

= 14,000 SF @ 0.59 GPD/SF = 8,260 GPD

= 27.200 SF @ 0.07 GPD/SF = 1,904 GPD

TOTAL THIS SUBDIVISION = 29,869 GPD

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE "VILLAGE CENTER FILING NO. 4" PD IN THE TOWN OF MONUMENT. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON AT PACE EL PASO COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THE DOCUMENT:

OFFICE/RETAIL BUILDINGS

WAREHOUSES

RESTAURANTS/FAST FOOD

(30% OFFICE/70% WAREHOUSE)

LIENHOLDER SUBORDINATION CERTIFICATE:

STATE OF MANAGE COUNTY OF COOK

OWNERSHIP CERTIFICATION:

COUNTY OF St. LASS S

THE EOREGOINS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF

WITNESS MY HAND AND OFFICIAL SEAL: "OFFICIAL SEAL" MY COMMISSION EXPIRES: May 3, 2013 Marianne C. Flanagan **NOTARY PUBLIC, STATE OF ILLINOIS** TITLE CERTIFICATES MAY 03, 2013 _, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE , A TITLE INSURANCE COMPANY

LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND SIGNED THIS 25 DAY OF JUNE . 2010
BY AS OFFICER OF LAND TITLE COMPANY

BY AS OFFICER OFFICER

STATE OF BLONDO COUNTY OF EL PASS

MOTARY WATNESSOMY HAND AND OFFICIAL SEAL: STATE OF COLORADO MY COMMISSION EXPIRES: 315 2014

SURVEYOR'S STATEMENT: I Deak Brown A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY STATE THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE "VILLAGE CENTER FILING NO. 4" PD WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT

PROFESSIONAL LAND SURVEYOR TOWN CERTIFICATION:

PLANNING COMMISSION RECOMMENDATION: THE PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS FOR THE "VILLAGE CENTER FILING NO. 4" PD WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF MONUMENT, COLORADO, ON THE DAY OF

Thrues A. Wassawan 8/12/10 DIRECTOR OF DEVELOPMENT SERVICES

BOARD OF TRUSTEES APPROVAL: THE PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS FOR THE "VILLAGE CENTER FILING NO. 4" PD WERE APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MONUMENT, COLORADO, ON THE ________, 20_10

STATE OF COLORADO COUNTY OF EL PASO

HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT 580'CLOCK H.M., THIS 3 DAY OF 2010 A.D. AND IS DULY RECORDED AT RECEPTION NO. 210078375 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

SITE NOTES:

LOCATION: SOUTH OF HIGHWAY 105 & EAST OF KNOLLWOOD BLVD. ADDRESS: EXISTING AND PROPOSED ADDRESS UNKNOWN

TAX SCHEDULE NUMBERS: 7113300016

ELEVATION OF 7111.32 FEET (NAVD 88).

SIZE: 21.555 ACRES

EXISTING ZONING: PD (PLANNED DEVELOPMENT DISTRICT)

PROPOSED ZONING: PD (PLANNED DEVELOPMENT DISTRICT) (THE VILLAGE CENTER COMMUNITY CENTER DESIGN STANDARDS, ARE A PART OF THE "VILLAGE CENTER FILING NO. 4 PD MAJOR AMENDMENT", DATED JUNE 2010)

EXISTING LAND USE: VACANT LANG

PROPOSED LAND USE: COMMERCIAL

THERE IS NO TOXIC WASTE BEING USED OR GENERATED ON THIS SITE.

THE SITE IS COVERED IN NATIVE GRASSES.

SETBACKS:

HIGHWAY 105: 25' FROM RIGHT-OF-WAY LINE EAST PROPERTY LINE LOTS 9 & 10: 40' FROM PROPERTY LINE SOUTH PROPERTY LINE: 25' FROM PROPERTY LINE KNOLLWOOD BLVD: 25' FROM RIGHT-OF-WAY LINE

GOLD CANYON ROAD: 25' FROM RIGHT-OF-WAY LINE

ACCESS: NO DIRECT ACCESS FROM STATE HIGHWAY 105 TO AN INDIVIDUAL LOT WILL BE PERMITTED.

FLOODPLAIN: THIS SITE IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, COLORADO, COMMUNITY PANEL NUMBERS 08041C0278F AND 08041C0279F, EFFECTIVE DATE MARCH 17. 1997

EASEMENTS: UTILITY AND DRAINAGE EASEMENTS AS SHOWN ON THE PLAN

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THAT PROPERTY DESCRIBED IN SPECIAL WARRANTY DEED AS RECORDED UNDER RECEPTION NO. 205201997 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 13 AND THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS: BASIS OF BEARINGS: THE EASTERLY LINE OF BLACK FOREST LUTHERAN CHURCH SUBDIVISION DESCRIBED IN PLAT BOOK B-4 AT PAGE 99 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE, MONUMENTED AT BOTH THE NORTHERLY AND SOUTHERLY ENDS BY A REBAR WITH AN ORANGE PLASTIC CAP

STAMPED CLSI PLS 32439. BEING ASSUMED TO BEAR NOO'27'08E A DISTANCE OF 346.66 FEET. COMMENCING AT THE SOUTHWESTERLY CORNER OF THAT PROPERTY DESCRIBED IN SPECIAL WARRANTY DEED AS RECORDED UNDER RECEPTION NO. 205201997, THENCE ON THE WESTERLY LINE OF SAID PROPERTY ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF KNOLLWOOD DRIVE, NO0°27'08"E A DISTANCE OF 408.53 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING ON SAID EASTERLY RIGHT-OF-WAY LINE, NO0'27'08"E A DISTANCE OF 643.08 FEET, TO THE NORTHWESTERLY CORNER OF SAID PROPERTY, BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 105 AS RECORDED UNDER RECEPTION NO. 207047417; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING SIX (6) COURSES:

S89°53'37"E A DISTANCE OF 626.43 FEET; N86"11'22"E A DISTANCE OF 134.50 FEET

S89'45'17"E A DISTANCE OF 536.39 FEET S86°04'15"E A DISTANCE OF 122.95 FEET S89'34'04"E A DISTANCE OF 377.64 FEET

\$87'09'52"E A DISTANCE OF 5.42 FEET, TO THE WESTERLY RIGHT-OF-WAY LINE OF GOLD CANYON ROAD PLATTED IN VILLAGE CENTER AT WOODMOOR FILING NO. 3 RECORDED UNDER RECEPTION NO. 206712452; THENCE ON SAID WESTERLY AND SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

SOO'08'16"W A DISTANCE OF 290.14 FEET, TO A POINT OF NON-TANGENT CURVE; ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS \$24'29'35"E, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 240'01'56" AND AN ARC LENGTH OF 251.36 FEET. TO A POINT OF NON-TANGENT: S89°22'07"E A DISTANCE OF 59.03 FEET, TO A POINT OF NON-TANGENT CURVE:

THENCE ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S00'37'53"W, HAVING A RADIUS OF 65.00 FEET, A CENTRAL ANGLE OF 52'36'14" AND AN ARC LENGTH OF 59.68 FEET, TO A POINT OF REVERSE CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 81.50 FEET, A CENTRAL ANGLE OF 146*28'53" AND AN ARC LENGTH OF 208.36 FEET. TO A POINT OF NON-TANGENT:

THENCE N89°32'52"W A DISTANCE OF 70.75 FEET, TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 40°39'13" AND AN ARC LENGTH OF 70.95 FEET, TO A POINT OF NON-TANGENT:

THENCE S00°27'08"W A DISTANCE OF 168.83 FEET: THENCE N89'32'52"W A DISTANCE OF 1378.91 FEET:

THENCE S00°27'08"W A DISTANCE OF 186.67 FEET THENCE N89'32'52"W A DISTANCE OF 236.00 FEET, TO THE POINT OF BEGINNING CONTAINING A CALCULATED AREA OF 856,135 SQUARE FEET OR 19.6541 ACRES.

A PARCEL OF LAND BEING A PORTION OF THAT PROPERTY DESCRIBED IN SPECIAL WARRANTY DEED AS RECORDED UNDER RECEPTION NO. 205201997 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 13. TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EASTERLY LINE OF BLACK FOREST LUTHERAN CHURCH SUBDIVISION DESCRIBED IN PLAT BOOK B-4 AT PAGE 99 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE, MONUMENTED AT BOTH THE NORTHERLY AND SOUTHERLY ENDS BY A REBAR WITH AN ORANGE PLASTIC CAP STAMPED CLSI PLS 32439, BEING ASSUMED TO BEAR NO0'27'08"E A DISTANCE OF 346.66 FEET. COMMENCING AT THE SOUTHWESTERLY CORNER OF THAT PROPERTY DESCRIBED IN SPECIAL WARRANTY DEED AS RECORDED UNDER RECEPTION NO. 205201997, THENCE ON THE WESTERLY LINE OF SAID PROPERTY ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF KNOLLWOOD DRIVE, NOO"27"O8"E A DISTANCE OF 1,051.61 FEET, TO THE NORTHWESTERLY CORNER OF SAID PROPERTY, BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 105 AS RECORDED UNDER

RECEPTION NO. 207047417: THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING SEVEN (7) COURSES:

\$89.53'37"E A DISTANCE OF 626.43 FEET; N86"11'22"E A DISTANCE OF 134.50 FEET;

COVENANTS ONCE CREATED BY THE DEVELOPER.

S89'45'17"E A DISTANCE OF 536.39 FEET; S86°04'15"E A DISTANCE OF 122.95 FEET S89'34'04"E A DISTANCE OF 377.64 FEET

S87'09'52"E A DISTANCE OF 5.42 FEET;

\$87'09'52"E A DISTANCE OF 60.07 FEET. TO THE POINT OF BEGINNING

THENCE CONTINUING ON SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES: S87°09'52"E A DISTANCE OF 21.61 FEET;

S89°38'19"E A DISTANCE OF 285.12 FEET, TO THE EASTERLY LINE OF SAID PROPERTY; THENCE ON SAID EASTERLY LINE THE FOLLOWING TWO (2) COURSES:

S02"11"55"E A DISTANCE OF 95.60 FEET; S17'07'18"W A DISTANCE OF 200.49 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF GOLD CANYON ROAD PLATTED IN VILLAGE CENTER AT WOODMOOR FILING NO. 3 RECORDED UNDER RECEPTION NO. 206712452;

THENCE ON SAID NORTHERLY AND EASTERLY RIGHT-OF-WAY LINES OF GOLD CANYON ROAD THE FOLLOWING THREE (3) COURSES: N89°22'07"W A DISTANCE OF 202.48 FEET, TO A POINT OF CURVE; ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 89'30'23" AND AN ARC LENGTH OF 78.11 FEET. TO A POINT OF TANGENT;

NOO'08'16"E A DISTANCE OF 237.65 FEET, TO THE POINT OF BEGINNING. CONTAINING A CALCULATED AREA OF 82,819 SQUARE FEET OR 1.9013 ACRES.

THE VILLAGE CENTER COMMUNITY CENTER DESIGN STANDARDS, THE ANNEXATION AND DEVELOPMENT AGREEMENT WAHLBORG ANNEXATION & VILLAGE CENTER, THE VILLAGE CENTER FILING NO. 4 PD MAJOR AMENDMENT, AND ANY CONDITIONS OF APPROVAL BY THE TOWN BOARD OF TRUSTEES SHALL

GOVERN THE CONDITIONS OF THE DEVELOPMENT OF THIS SITE. THE SIGNAGE LOCATION(S) SHOWN ON THE PLANS ARE FOR ILLUSTRATION ONLY. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY.

SERVICE AREAS FOR THE COMMERCIAL BUILDINGS MUST BE SCREENED FROM THE VIEW OF THE ADJACENT PROPERTIES' USERS, RESIDENTIAL AREAS,

AND STREETS. 4. ALL TRASH DUMPSTERS SHALL BE STORED WITHIN TRASH ENCLOSURES.
5. THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY JR ENGINEERING, LLC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, OR VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY OR TITLE OF RECORD, JR ENGINEERING, LLC. RELIED UPON TITLE COMMITMENT NO.

SC55022363. PREPARED BY LAND TITLE GUARANTEE COMPANY EFFECTIVE DATE MAY 8, 2008 AT 5:00 P.M.

6. STAFF MAY APPROVE MINOR MODIFICATIONS TO THE SITE PLAN. THIS INCLUDES, BUT IS NOT LIMITED TO MINOR DENSITY CHANGES AND MINOR CHANGES OR RELOCATION OF THE BUILDINGS, STREETS, SIDEWALKS, PARKING LOTS, GRADING, DRAINAGE, UTILITIES, LANDSCAPING, SIGNAGE, AND THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR

FLIGHT TRAINING PURPOSES. THIS NOTICE SHALL RUN WITH THE LAND. 8. RIGHT OF WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALI PRIVATE ROADWAYS AND FIRE LANES NOW AND HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. 9. A CROSS ACCESS EASEMENT IS HEREBY DEDICATED BY PRELIMINARY/FINAL PLAT VILLAGE CENTER FILING NO. 4 OVER LOTS 1 THROUGH 16 AND TRACT A FOR THE PURPOSE OF INGRESS AND EGRESS. IN ADDITION, SHARED PARKING WILL ONLY BE PERMITTED AS OUTLINED IN THE HOA

ROBERT C. "BOB" BALINK El Paso County, CO Page Rec \$156.00 1 of 15 210078375



600 300 0 ORIGINAL SCALE: 1" = 600' VICINITY MAP SCALE 1"=600' USE AREA CATEGORIES AND DENSITY CAPS. SEE LOT DATA FOR COMMERCIAL AREA TABLE HERE IN. USE AREA CATEGORIES REGULATIONS.

BOWSTRING RD.

GENERAL PROVISIONS

ADOPTION/AUTHORIZATION. THE BOARD OF TRUSTEES HAS ADOPTED THE VILLAGE CENTER FILING NO. 4 PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS PURSUANT TO CHAPTER 17.40.160 OF THE MONUMENT MUNICIPAL CODE AFTER APPROPRIATE PUBLIC NOTICE AND HEARING.

APPLICABILITY. THE VILLAGE CENTER FILING NO. 4 PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS SHALL RUN WITH THE LAND AND BIND ALL LANDOWNERS OF RECORD, THEIR SUCCESSORS, HEIRS, OR ASSIGNS OF THE LAND AS APPROVED BY THE MONUMENT BOARD OF TRUSTEES.

MAXIMUM LEVEL OF DEVELOPMENT. THE TOTAL COMMERCIAL, INDUSTRIAL

OR OTHER NONRESIDENTIAL FLOOR AREA APPROVED FOR DEVELOPMENT

WITHIN THE ESTABLISHED USE AREAS IS THE MAXIMUM ALLOWED FOR PLATTING AND DEVELOPMENT. SEE LOT DATA FOR COMMERCIAL AREA TABLE HERE IN. RELATIONSHIP TO TOWN REGULATIONS. THE PROVISIONS OF THIS PRELIMINARY PD SITE PLAN AND THESE ZONING REGULATIONS SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE VILLAGE CENTER FILING NO. 4 PD: PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS

PRELIMINARY PD SITE PLAN AND THESE ZONING REGULATIONS DO NOT

ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE

APPLICABLE PROVISIONS OF THIS CODE SHALL BE APPLICABLE. **DEFINITIONS.** IN ADDITION TO THE STANDARD DEFINITIONS FOUND IN THE TOWN CODE CHAPTER 17, THE FOLLOWING DEFINITIONS OF TERMS SHALL APPLY TO THIS PLANNED DEVELOPMENT:

ZONING ORDINANCE OF THE TOWN, AS AMENDED, OR ANY OTHER

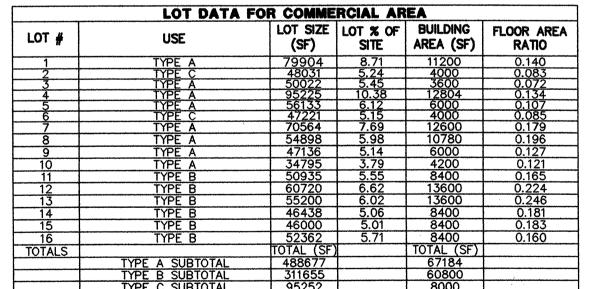
THERE ARE NO ADDITIONAL DEFINITIONS. OVERALL PROJECT STANDARDS. THE STANDARD ZONING REQUIREMENTS OF THE TOWN CODE CHAPTER 17 INCLUDING OFF-STREET PARKING. LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, AND USE BY SPECIAL REVIEW SHALL APPLY TO THIS PD, EXCEPT AS

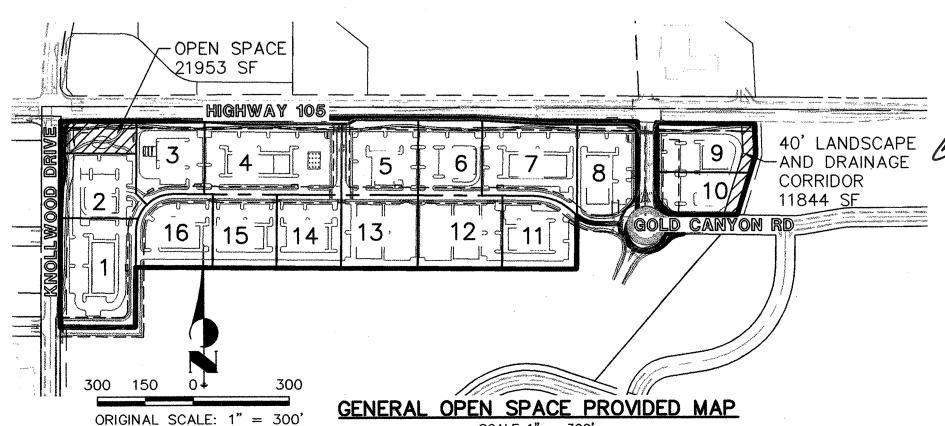
MODIFIED BY THE FOLLOWING: VILLAGE CENTER COMMUNITY CENTER DESIGN STANDARDS AS APPROVED WITH THIS DOCUMENT.

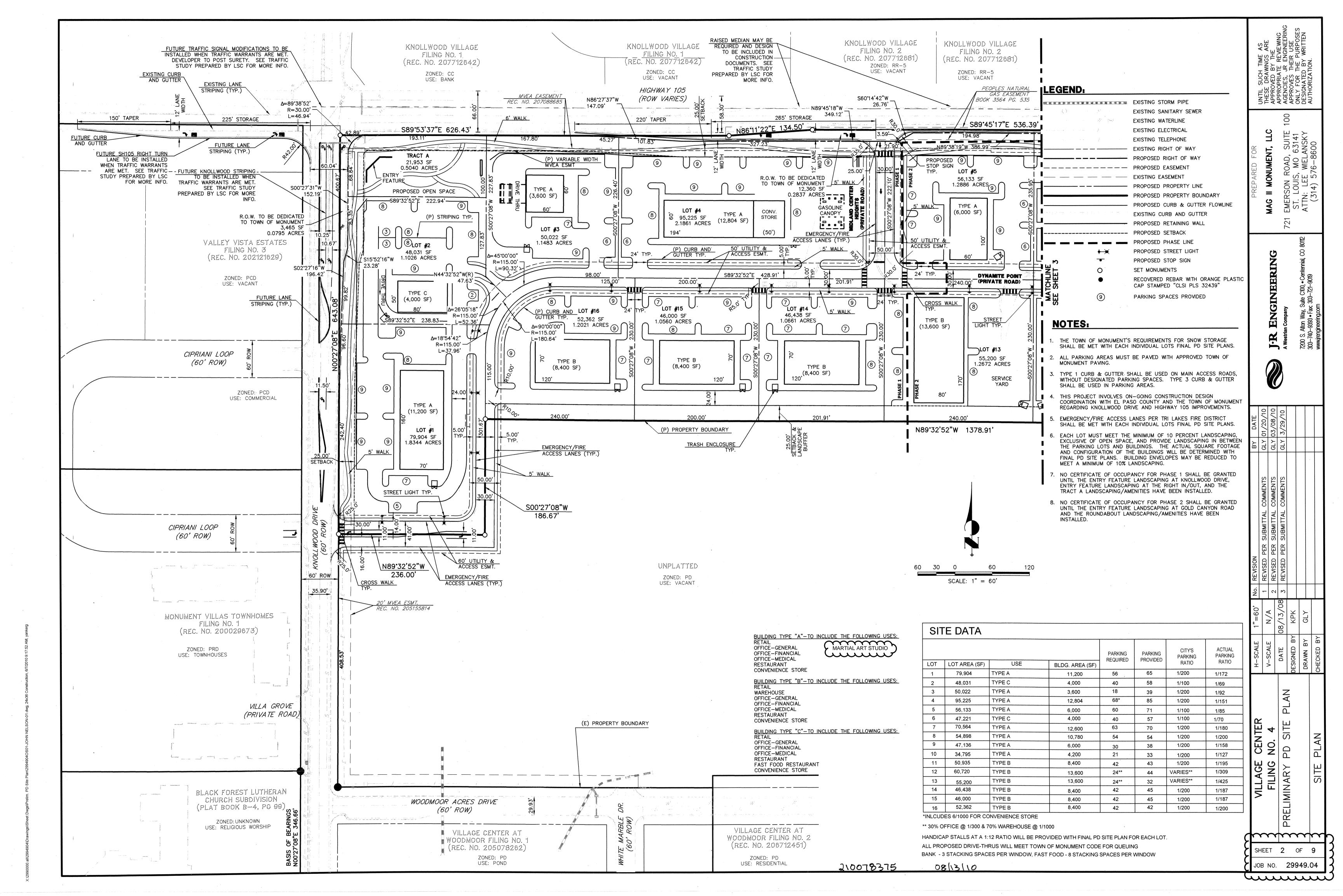
 THE ANNEXATION AND DEVELOPMENT AGREEMENT WAHLBORG ANNEXATION & VILLAGE AT WOODMOOR. VILLAGE CENTER FILING NO. 4 PD MAJOR AMENDMENT

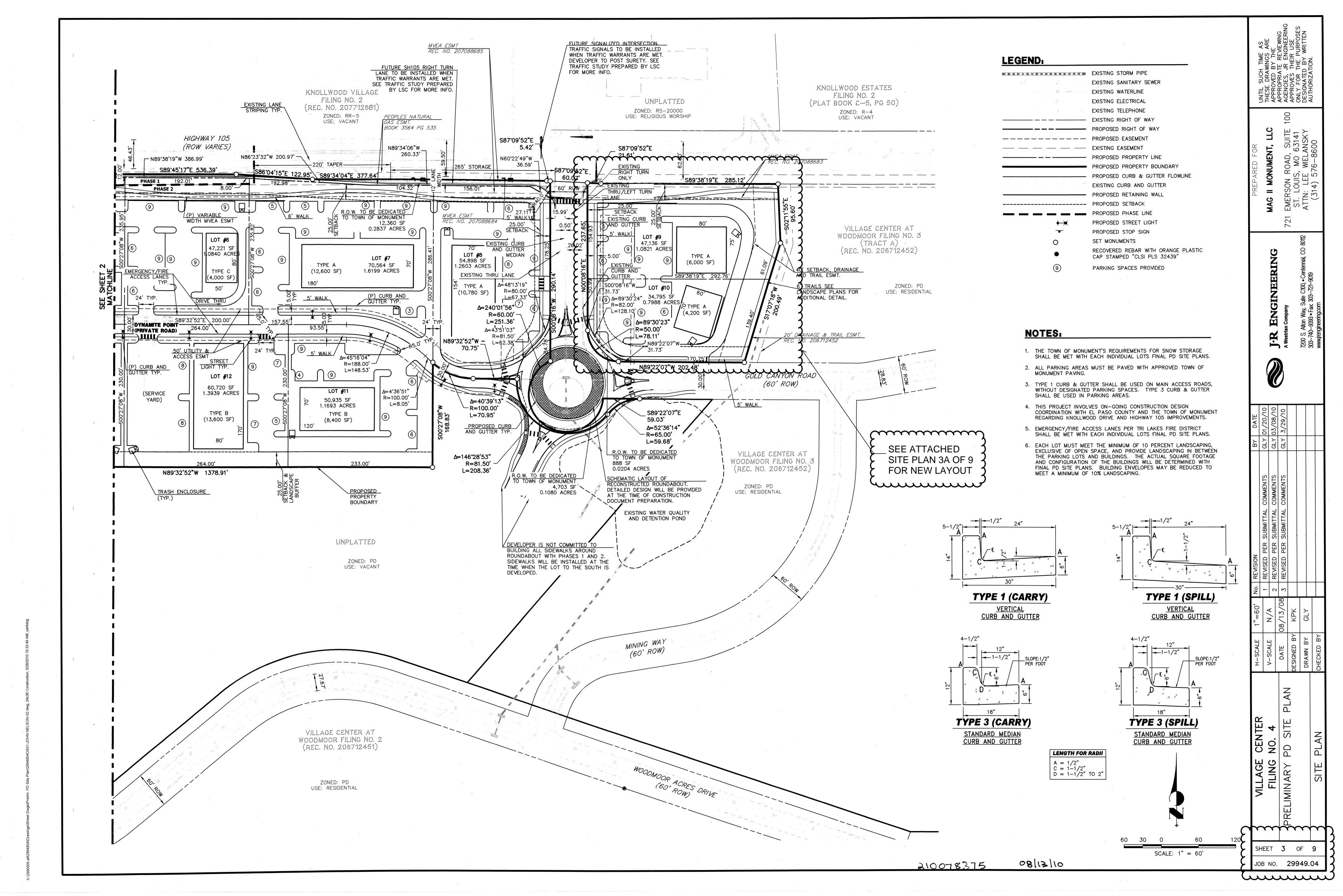
 VILLAGE CENTER FILING NO. 4 PRELIMINARY PD SITE PLAN LOT DATA FOR COMMERCIAL AREA LOT SIZE LOT % OF | BUILDING | FLOOR AREA SITE AREA (SF)

GOLD CANYON RD.



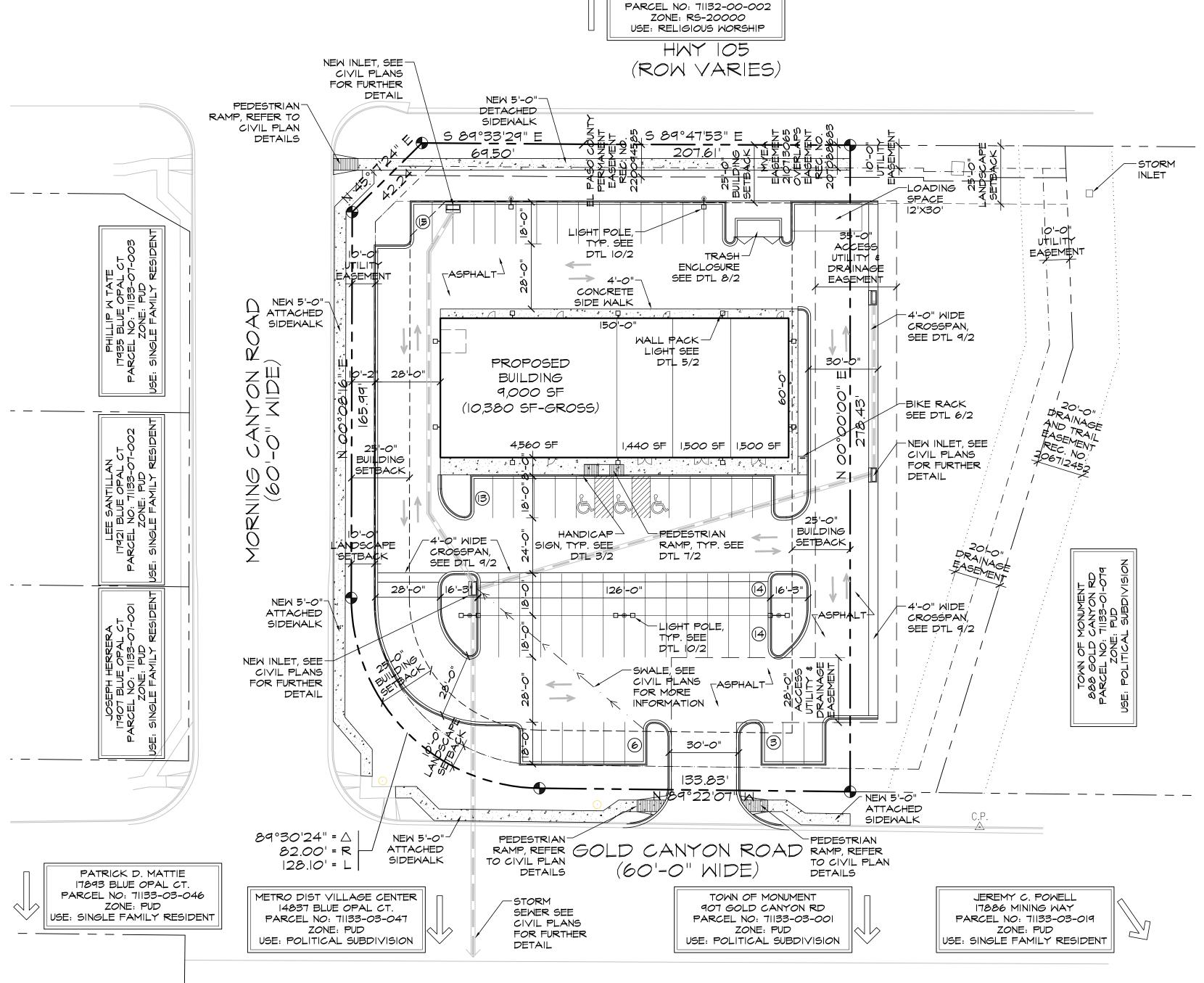






GENERAL SITE NOTES

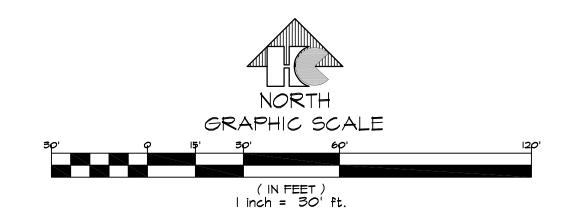
- REFER TO LANDSCAPE DRAWINGS FOR DECORATIVE PAVING, LANDSCAPING AND IRRIGATION.
- REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES AND HORIZONTAL CONTROL DIMENSIONS.
- REFER TO ELECTRICAL DRAWINGS FOR TRANSFORMER, SITE LIGHTING, SWITCH GEAR AND ALL OTHER RELATED ELECTRICAL INFORMATION AND DETAILS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS.
 REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES
- REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
 CONCRETE WALKS SHALL RECEIVE CONTROL JOINTS AT 5'-O" O.C. BETWEEN EXPANSION JOINTS UNLESS NOTED OTHERWISE.
- PROVIDE EXPANSION JOINTS AT 50'-0" ON WALKS AND 100'-0" AT CURBS. - REFER TO SOILS REPORT FOR PERIMETER DRAIN REQUIREMENTS.
- REPER TO SOILS REPORT FOR PERIMETER DRAIN REQUIREMENTS. - SIGNS TO BE APPROVED SEPARATELY VIA SIGN PERMIT SUBMITTED TO THE
- DEVELOPMENT SERVICES DEPARTMENT

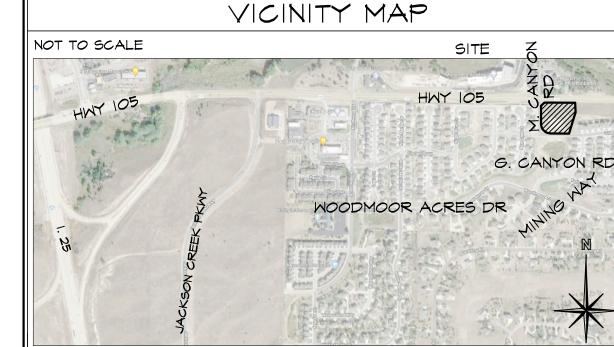


LDS CHURCH-REAL EST DIV

950 W HIGHWAY 105







PROJECT INFORMATION

PROPERTY INFORMATION CW MONUMENT 2013 LLC OWNER NAME:... 4675 MACARTHUR CT., STE 1270 NEWPORT BEACH, CA 92660 LEGAL DESCRIPTION: LOTS 9, 10 VILLAGE CENTER AT WOODMOOR FIL NO 4 TO BE PLATTED AS VILLAGE CENTER AT WOODMOOR FILING NO 4B, LOT I PARCEL NUMBERS: 71133-01-080/ 71133-01-065 ZONING: PD LOT SIZE: 57.782 SF (1.32 ACRES) CURRENT USE: VACANT FLOODPLAIN STATEMENT: ZONE X (MAP NO: 08041C0278G, DATED DECEMBER 7, 2018) BUILDING INFORMATION GROSS BUILDING AREA 10,380 SF BUILDING FOOTPRINT: 9,000 SF BUILDING OCCUPANCY: M/A-3 TYPE OF CONSTRUCTION: II-B FIRE SYSTEMS: NONE AREA SEPARATION WALLS:. NONE ZONING CODE STUDY RETAIL/ MARTIAL ARTS SCHOOL PROPOSED PRINCIPAL USE: STRUCTURAL COVERAGE OF LOT ... 15% PAVEMENT COVERAGE: NEW BUILDING STRUCTURAL HEIGHT:.. . 31'-0" (35'-0" MAX) FRONT YARD SETBACK: 25'-0" SIDE YARD SETBACK: 25'-O" REAR YARD SETBACK: 25'-O"

REQUIRED PARKING SPACES RETAIL-(I SPACE/300 SF)

DEVELOPMENT SCHEDULE

CONSTRUCTION: WINTER 2022

LANDSCAPING: SPRING 2023

DEVELOPMENT APPLICANT

COMPANY:

HAMMERS CONSTRUCTION, INC.

1411 WOOLSEY HEIGHTS

COLO. SPGS., CO 80915

PHONE NUMBER:

(719)-570-1008

APPLICANT NAME: LISA PETERSON
APPLICANT E-MAIL: Ipeterson@hammersconstruction.com

SITE LEGEND

PROPERTY LINE
RIGHT OF WAY
BUILDING SETBACK
LANDSCAPE SETBACK
UTILITY EASEMENT
DRAINAGE EASEMENT
STORM SEWER LINE
RETAINING WALL
NEW SIDEWALK LOCATIONS
W CONTROL JOINTS @ 5'-O" O.C.
PROPERTY
SIGN
EXISTING
FIRE HYDRANT

PROPERTY
CORNER

TRAFFIC FLOW

WALL PACK
LIGHTING

MH MANHOLE

ELECTRICAL
TRANSFORMER

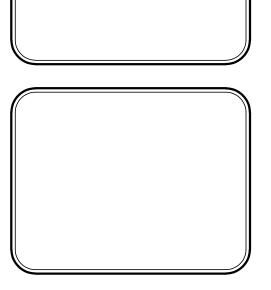
PROPOSED FIRE HYDRANT COMMERCIAL GENERAL CONTRACTORS SPECIALIZIN

PRESIDENT: STEVE
VICE PRES: DAVID
1411 WOOLSEY
COLORADO SPRING
(719) 570-1599 FAX

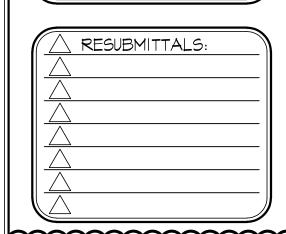
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4CAD. MARTIAL AR NEW BUILDING 480 GOLD CANYON ROAD MONUMENT, CO 80132

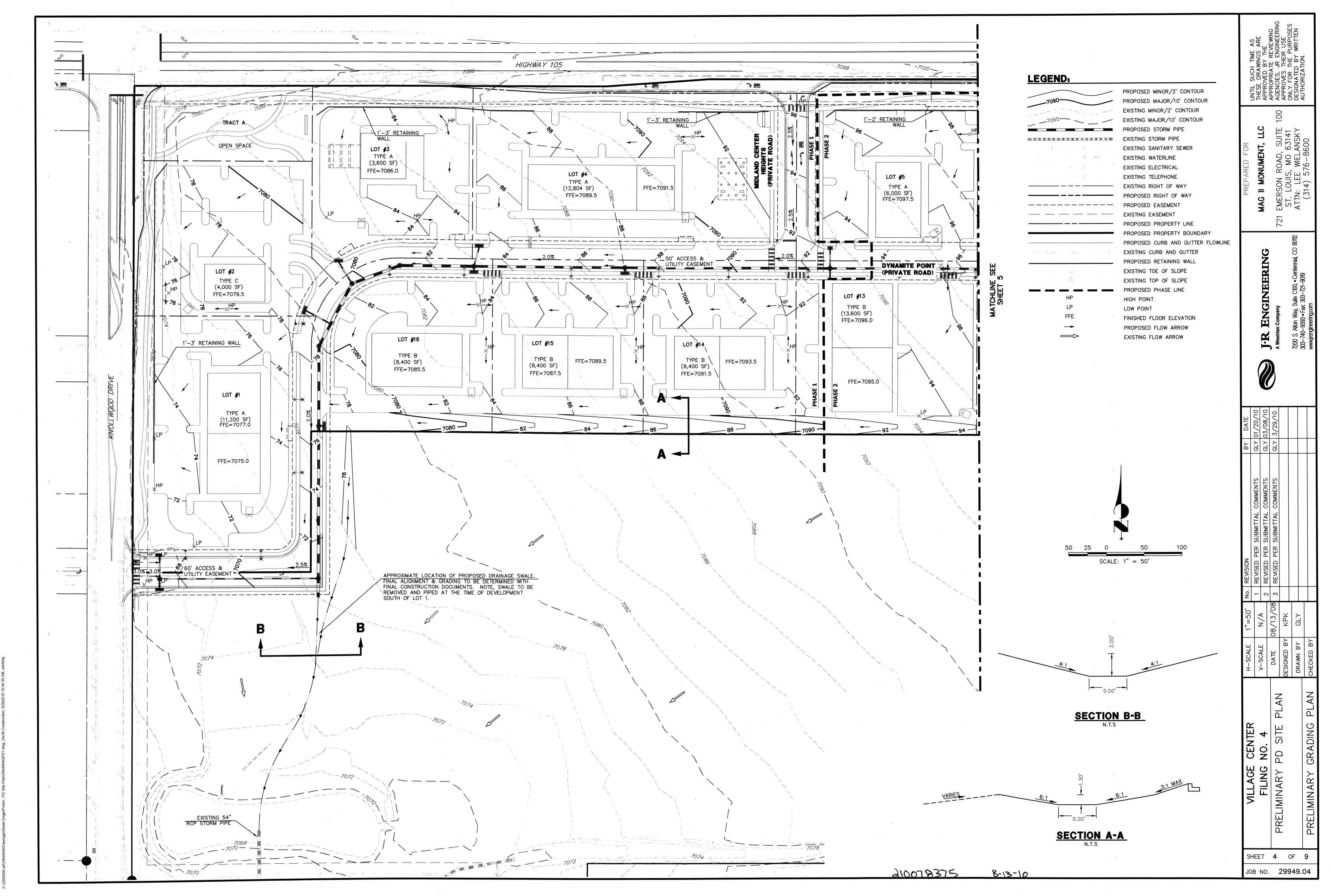


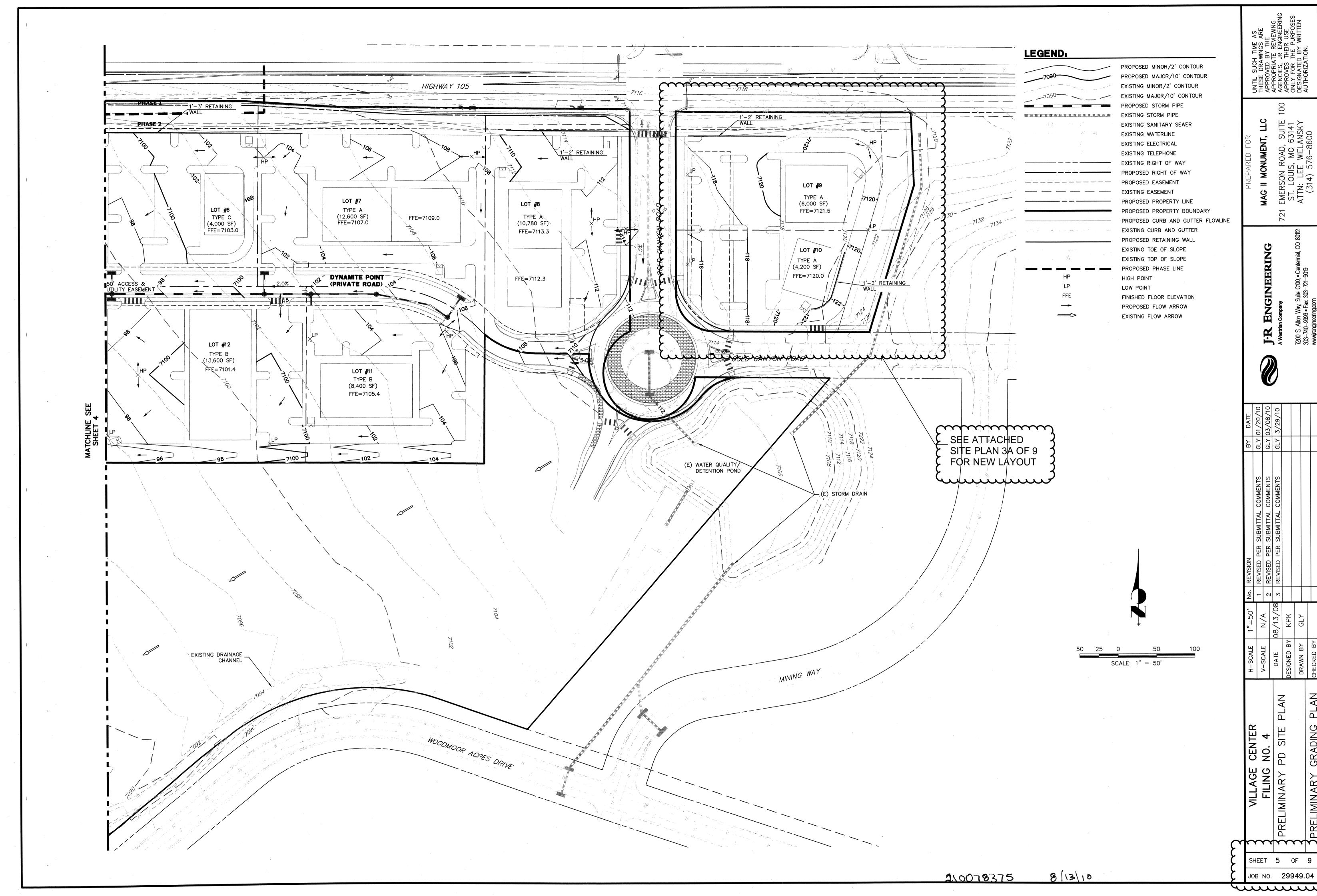
DATE: SEPT. 2, 2022
DRAWN BY: W. VENEROS
PROJ. MNGR: E. SMITH
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1295

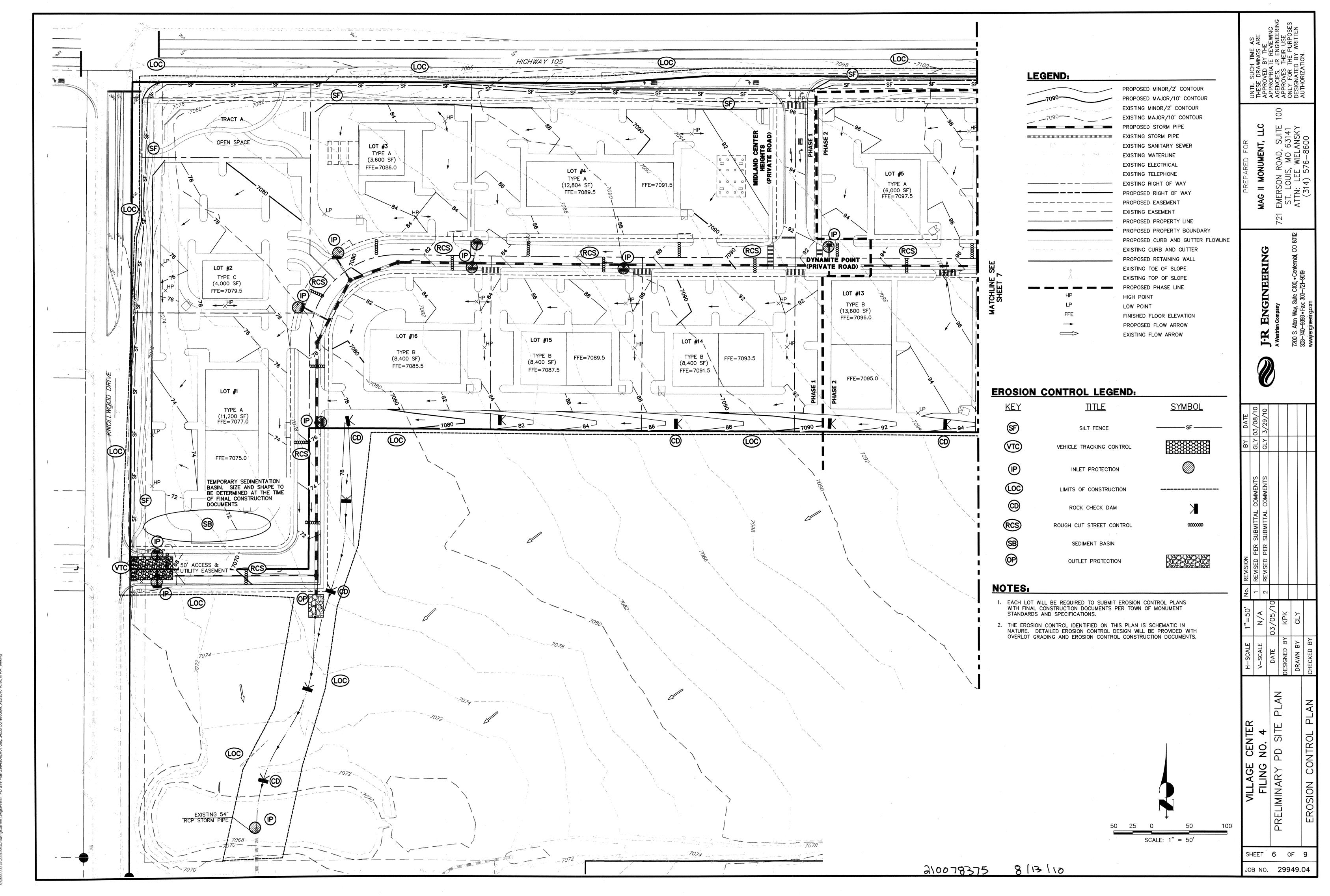


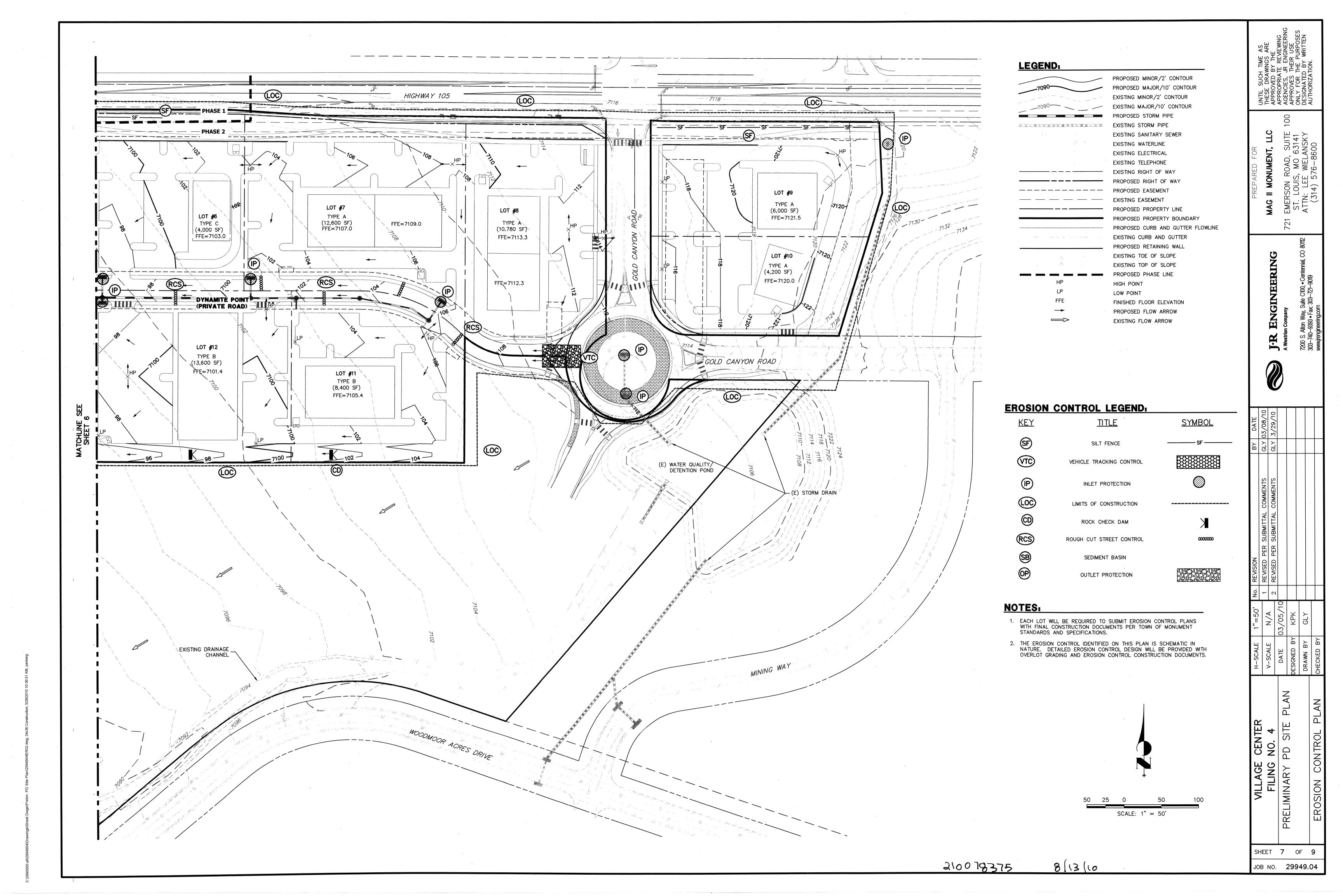
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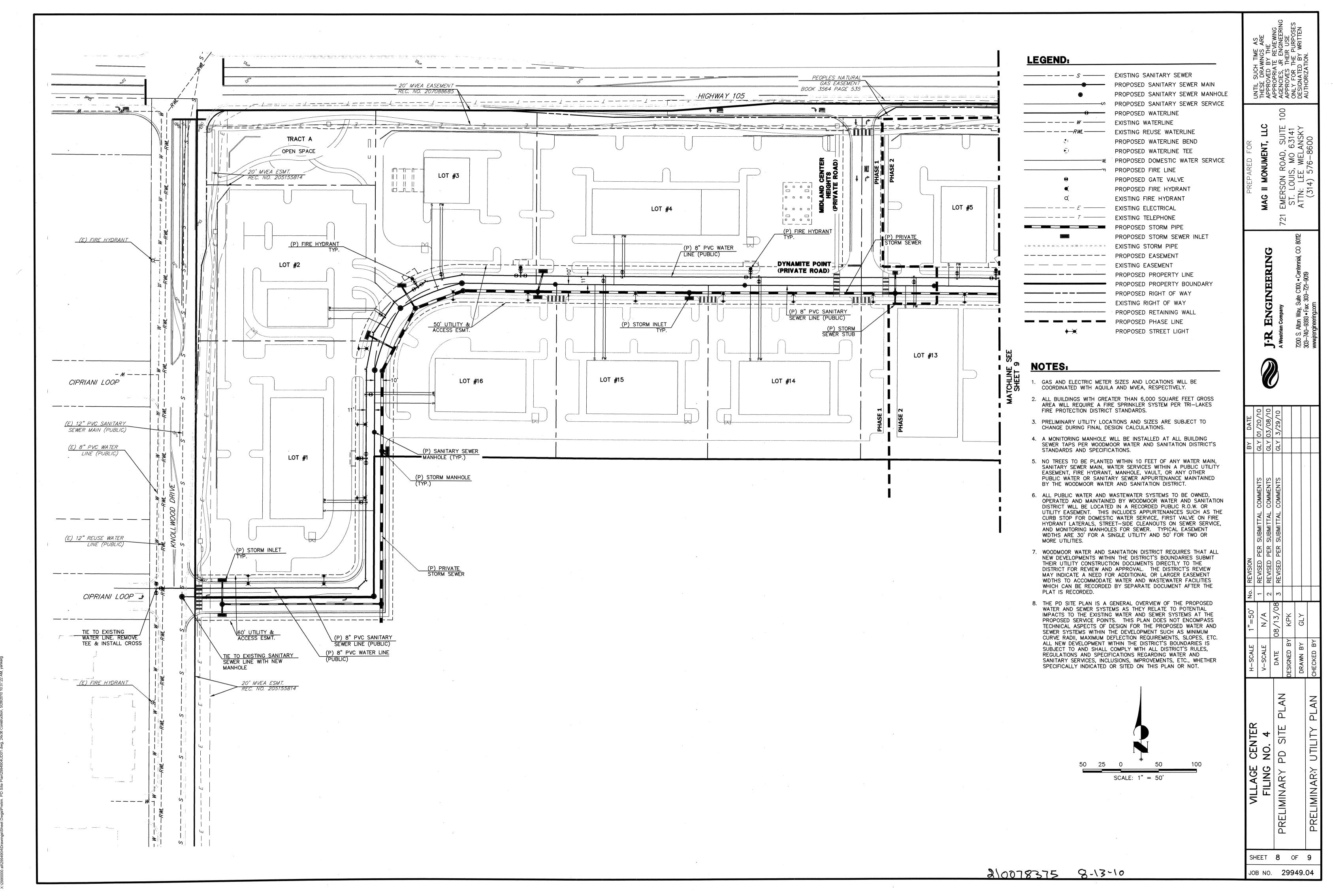
SITE PLAN

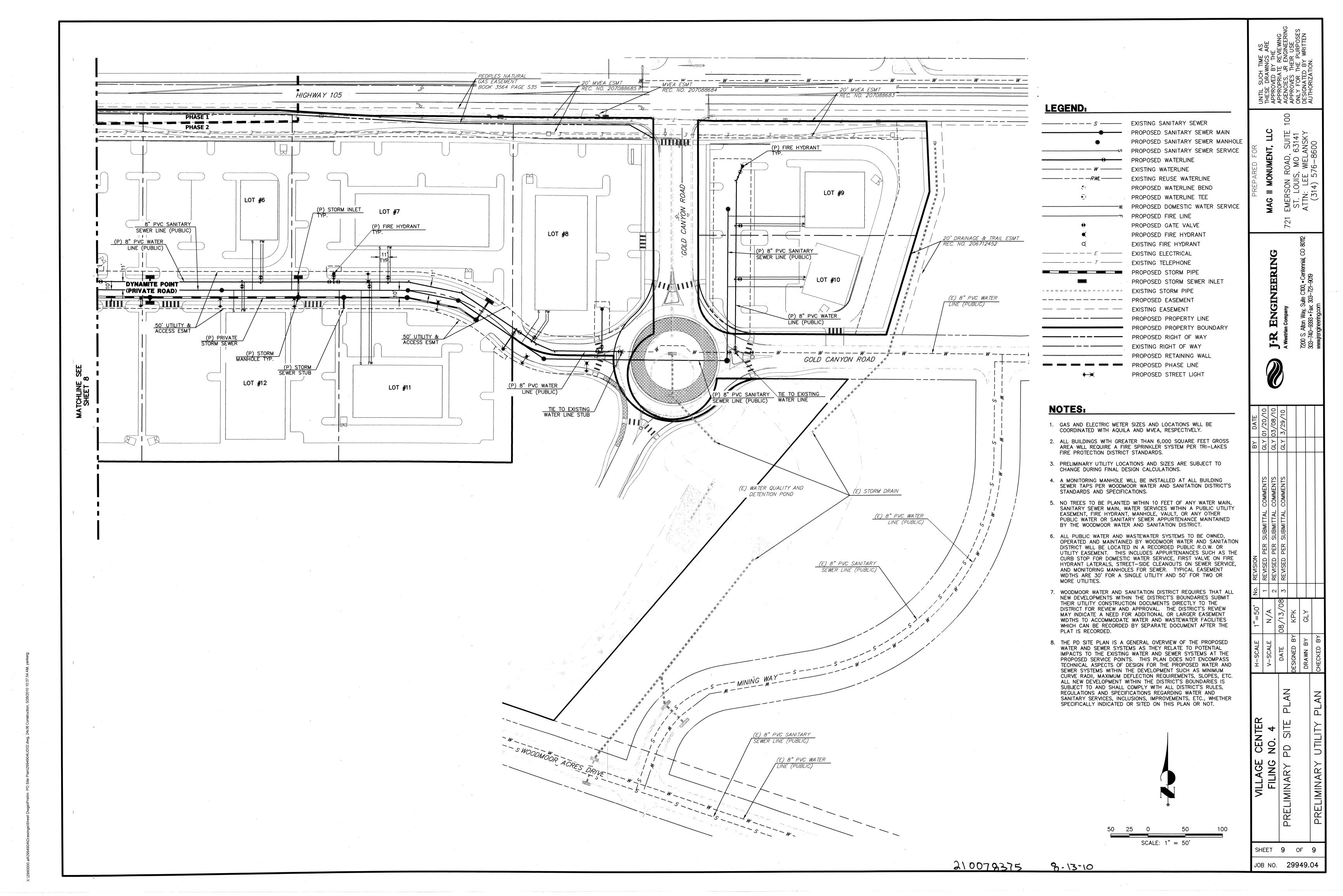


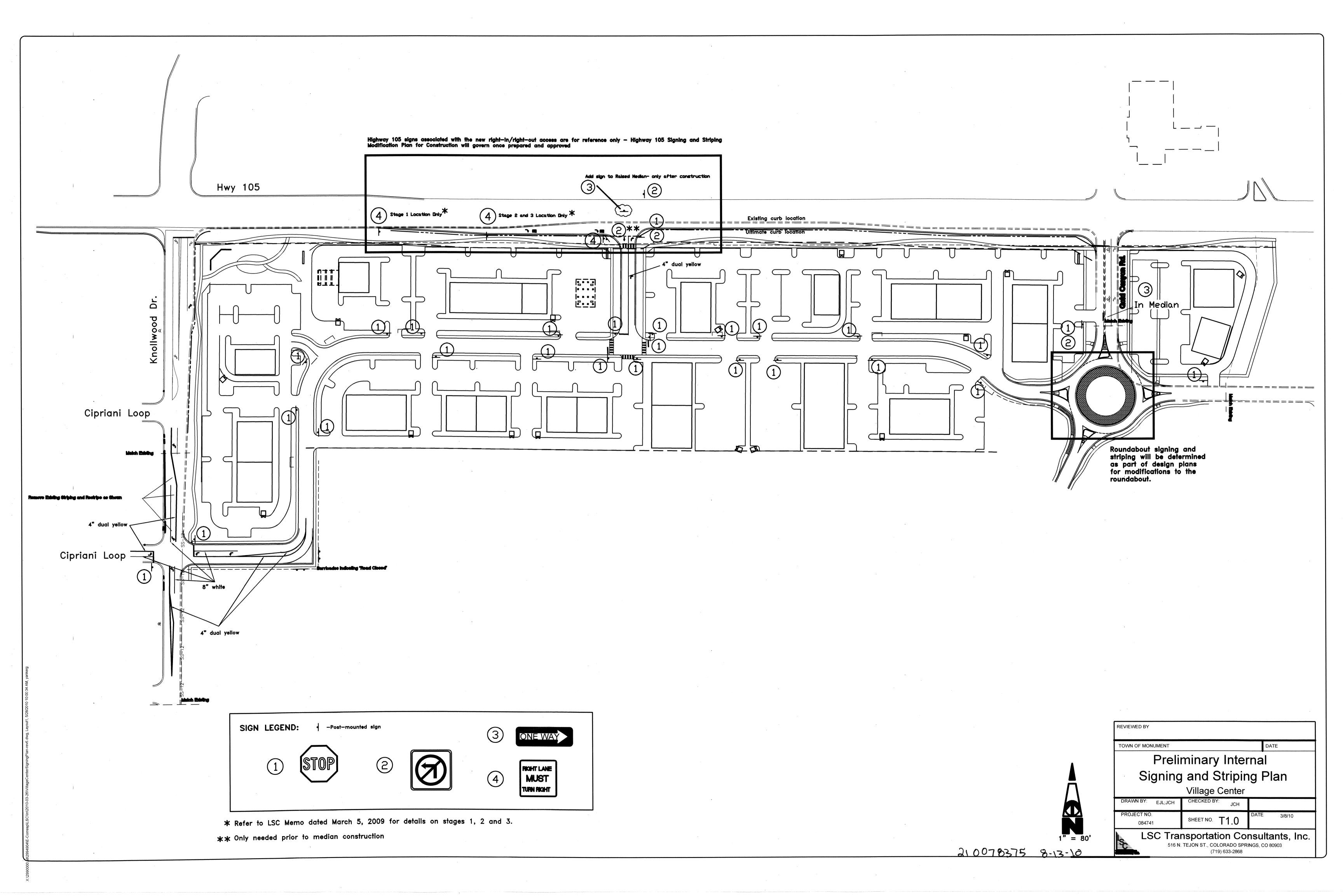












KEY MAP:

. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO

WEAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE,

TO PLANTING.

10. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

OT TWINE.

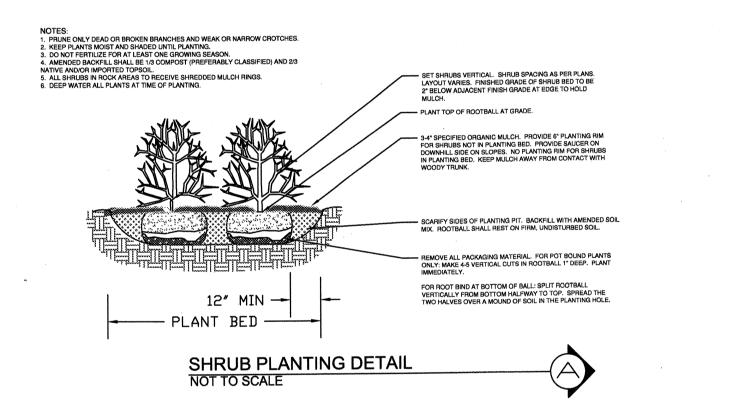
COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR

5. REEP PLANTS MOIST AND STANDED WITE PLANTING.
6. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
7. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR

PROWING SEASONS.

KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

1. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



--- REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING. SPRAY WITH WILT PRUF OR EQUAL (IF LEAFED OUT).

ORANGE FLUORESCENT FLAGGING ON WIRE FOR

SET TREE VERTICAL, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING. SET STAKES IN MINIMUM 18" FIRM SOLL. REMOYE STAKE.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL.

AKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKE

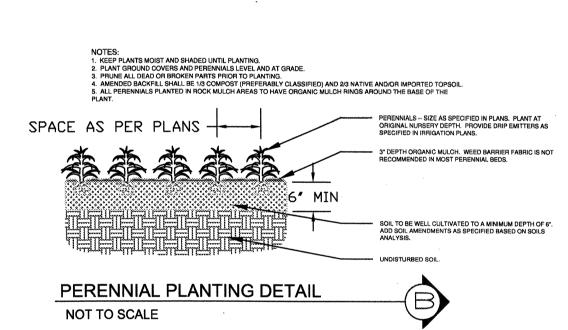
• 3.4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOOD'N TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.

- AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

MIN 2 X ROOTBALL

NOT TO SCALE

DECIDUOUS TREE PLANTING DETAIL



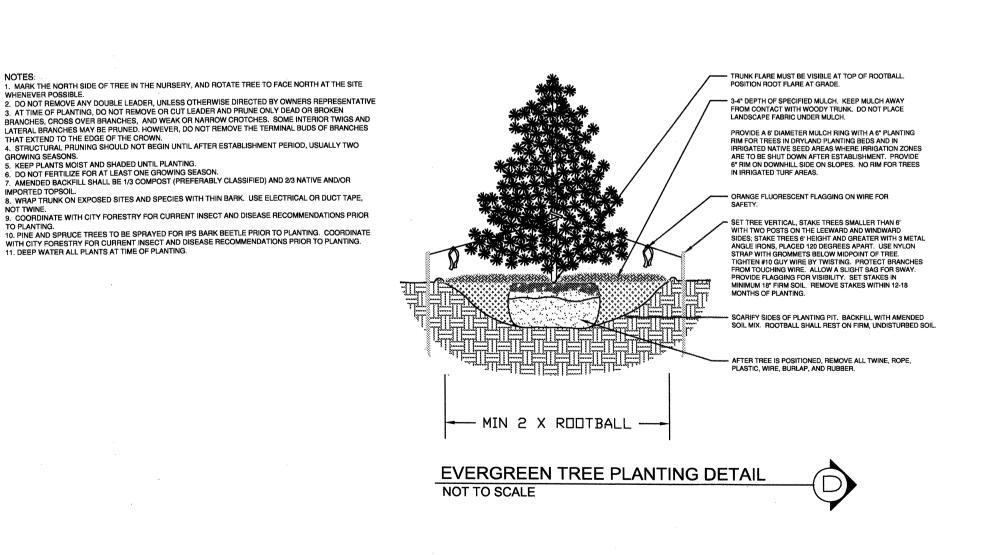
SITE CATEGORY CALCULATION FORMATS:

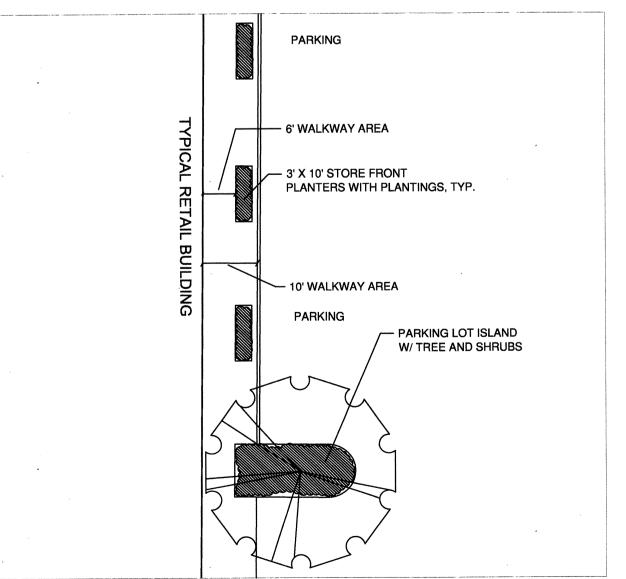
HIGHWAY 105 LANDSCAPE STREETSCAPE REQUIREMENTS

		vviatn (in π.)	Linear	rree/reet	No. of frees	
Lot Number/ Parcel	Street Name	Req./Prov.	<u>Footage</u>	Required	Req./ Prov.	
No-Build Easement	HWY 105	25'/ 25'	236'	1 / 30'	8/8	
Lot 3	HWY 105	25'/ 25'	213'	1 / 30'	7/7	
Lot 4	HWY 105	25'/ 25'	427'	1 / 30'	14 / 14	
Lot 5	HWY 105	25'/ 25'	247'	1 / 30'	8/8	
Lot 6	HWY 105	25'/ 25'	200'	1 / 30'	7/7	
Lot 7	HWY 105	25'/ 25'	297'	1 / 30'	10 / 10	
Lot 8	HWY 105	25'/ 25'	188'	1 / 30'	6/6	
Lot 9	HWY 105	25'/ 25'	307'	1 / 30'	10 / 10	
KNOLLWOOD RD. LAN	IDSCAPE STREETSCAPE	REQUIREMENTS				
	•	Width (in ft.)	Linear	Tree/Feet	No. of Trees	
Lot Number/ Parcel	Street Name	Req./Prov.	<u>Footage</u>	Required	Req./ Prov.	
No-Build Easement	Knollwod Rd.	25'/ 25'	100'	1 / 30'	3/3	
Lot 1	Knollwod Rd.	25'/ 25'	338'	1 / 30'	11 / 11	
Lot 2	Knollwod Rd.	25'/ 25'	204'	1 / 30'	7/7	•
EAST LANDSCAPE PE	RIMETER REQUIREMENT	S ·				
		Width (in ft.)	Linear	Tree/Feet	No. of Trees	Evergreen Trees
Lot Number/ Parcel	Perimeter Boundary	Req./Prov.	Footage	Required	Req./ Prov.	(1/3) Req./ Prov.
Lot 1	East	25'/ 25'	187'	1 / 40'	5/5	2/2
Lot 9	East	40'/ 40'	157'	1 / 40'	4/4	1/3
Lot 10	East	40'/ 40'	139'	1 / 40'	3/3	1/2
Lot 11	East	25'/ 25'	171'	1 / 40'	4 / 4	1/2
SOUTH LANDSCAPE P	PERIMETER REQUIREMEN					
		Width (in ft.)	Linear	Tree/Feet	No. of Trees	Evergreen Trees
Lot Number/ Parcel	Perimeter Boundary	Req./Prov.	<u>Footage</u>	Required	Req./ Prov.	(1/3) Req./ Prov.
Lot 1	South	25'/ 25'	236'	1 / 40'	6/6	2/2
Lot 11	South	25'/ 25'	233'	1 / 40'	6/6	2/3
Lot 12	South	25'/ 25'	264'	1 / 40'	7/7	2/4
Lot 13	South	25'/ 25'	240'	1 / 40'	6/6	2/3
Lot 14	South	25'/ 25'	202'	1 / 40'	5/5	2/3
Lot 15	South	25'/ 25'	200'	1 / 40'	5/5	2/3
Lot 16	South	25'/ 25'	240'	1 / 40'	6/6	2/3
	•					
INTERNAL LOT LANDS	SCAPE REQUIREMENTS	\A/i-alaba /i-a ft \	Linear	Tree/Feet	No. of Trees	
Lat Number/ Danel	Davimatar Baundan	Width (in ft.)		Required	Req./ Prov.	
Lot Number/ Parcel	Perimeter Boundary	Req./Prov.	<u>Footage</u>			•
Lot 4	East	0'/ 0'	222'	1 / 30'	7 / 7 7 / 7	
Lot 5	West	0'/ 0'	222' 287'	1 / 30' 1 / 30'	10 / 10	
Lot 8	Gold Canyon Rd.	0'/ 0'	267 155'	1 / 30'	5/5	
Lot 9	Gold Canyon Rd.	0'/ 0'	122'	1 / 30'	4/4	
Lot 10	Gold Canyon Rd.	0'/ 0'	166	1 / 50	7/7	

GENERAL NOTES:

- 1. All Tree and Shrub Calculations and Requirements shall be per the Village Center Design Guidelines
- 2. All interior landscape requirements per individual lot shall meet the landscape requirements as illustrated in the Village Center Design
- 3. All lots will be required to provide a minimum 10% of each lot for landscape area. The current site layout is schematic in nature and will be finalized with the Final Site Development Plan. All minimum landscape areas will be determined and provided with future Final Site Development Plans.
- 4. A copy of the Village Center Design Guidelines was submitted to the Town of Monument as a supplemental package to the Preliminary SD Plan. 5. All tree, shrub, and ornamental grass species shown are recommended for use throughout the Village Center development. Additional species may be utilized with approval from the Town of Monument. Perennial species shall be selected and utilized on a per lot basis with approval from the Town of Monument. Consult the Town of Monument Landscape Guidelines Recommended Plant Materials List for a partial species list.
- All mulches, cobble, and groundcover to meet the requirements and specifications of the Village Center Design Guidelines. All tree and shrub locations are conceptual in nature and subject to change pending approval by Town of Monument. Detailed landscape and irrigation design will be provided during the Final Site Plan, Final Landscape Plans, and Construction Documents
- No trees to be planted within 10' of any water main, sanitary sewer main, water service within a public utility easement, fire hydrant, manhole, vault, or any other public water or sanitary sewer appurtenance maintained by the Woodmoor Water and Sanitation District.
- 10. All trees to be located a minimum 7' from all electrical lines, measured from the outside edge of the electric line to the centerline of the proposed tree as required by Mountain View Electric Association (MVEA). Prior to installation, contractor to verify underground electric line locations and flag the minimum 7' clearance.
- 11. All electric transformers and junction boxes to have a minimum 10' clearance at all doors and enclosure openings. No trees or shrubs shall be
- permitted within this 10' clearance area. 12. No certificate of occupancy for Phase 1 shall be granted until the entry feature landscaping at Knollwood Drive, entry feature landscaping at the Right In/ Right Out, and the Tract A landscaping/ amenities have been installed. Amenities may include but are not limited to statuary, artwork,
- and fountains. The exact amenities and features will be determined with the Final Site Development Plan. 13. No certificate of occupancy for Phase 2 shall be granted until the entry feature landscaping at Gold Canyon Road and the roundabout landscaping/ amenities have been installed. Amenities may include but are not limited to statuary, artwork, and fountains. The exact amenities and features will be determined with the Final Site Development Plan.





1. PLANTERS SHOWN ARE CONCEPTUAL IN NATURE AND ARE REPRESENTATIVE OF PLANTER STYLE TO BE REQUIRED FOR ALL STOREFRONTS. 2. EXACT QUANTITY AND LAYOUT TO BASED UPON FINAL BUILDING AND LOT DESIGN ON A PER LOT BASIS PER APPROVAL FROM THE TOWN OF MONUMENT.

CONCEPTUAL STOREFRONT PLANTER

LANDSCAPE SCHEDULE: Planting Schedule:

SYM.	CODE	QTY.	BOTANICAL/COMMON NAME	(app. B)	MATURE HT./WD.	PLANTING SIZE	NOTES
			SPECIES TO BE USED THROUGHOUT T SSTITUTIONS SHALL BE USED WITH APP	HE VILLAGE			
ZW.	AC		WHITE FIR (Abies Concolor)		40-60' 20-30'	6.0' HT	B&B Nursery Grown. Size to meet or exceed AAN. min. si
8 N. S.	СО		WESTERN HACKBERRY (Celtis Occidentalis)		30-40' 20-30'	2.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. si
A	GD		KENTUCKY COFFEE TREE (Gymnocladus dioicus)		50-60' 40-50'	2.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. si
0	JS		ROCKY MOUNTAIN JUNIPER (Juniperus scopulorum)		20-30' 8-12'	6.0' HT	B&B Nursery Grown. Size to meet or exceed AAN. min. s
*	MP		PRAIRIFIRE FLOWERING CRAB (Malus spp 'Prairifire')		15-20' 15-20'	1.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. si
£ 1,74	PP		BLUE SPRUCE (Picea pungens)		40-60' 20-30'	6.0' HT	B&B Nursery Grown. Size to meet or exceed AAN. min. s
0	QR		AMERICAN LINDEN (Tilia americana)		40-50' 30-40'	2.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. s
()	тс		LITTLELEAF LINDEN (Tilia Cordata 'Greenspire')		30-40' 20-30'	2.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. s
8	AG		FLAME AMUR MAPLE (Acer ginnala 'Flame')		15-20' 15-20'	1.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. s
	GТ		SKYLINE HONEYLOCUST (Gleditsia tricanthos inermis 'Skyline')		40-50' 30-40'	2.5" CAL	B&B Nursery Grown. Size to meet or exceed AAN. min. s
	PN		AUSTRIAN PINE		40-60'	6 O' HT	B&B Nursery Grown. Size to

RECOMMENDED SHRUB SPECIES TO BE USED THROUGHOUT THE VILLAGE CENTER DEVELOPMENT. ADDITIONAL SHRUB SPECIES AND/ OR SUBSTITUTIONS SHALL BE USED WITH APPROVAL FROM THE TOWN OF MONUMENT

втс	CRIMSON PYGMY BARBERRY (Berberis thunbergii 'Crimson Pygmy')	1-2' 1-2'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
ВТ	ROSE GLOW BARBERRY (Berberis thundergii 'Rose Glow')	3-5' 5-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
CSI	ISANTI REDTWIG DOGWOOD (Cornus stolonifera 'Isanti')	4-6" 4-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
CA	CRANBERRY COTONEASTER (Cotoneaster apiculatus)	18-24" 4-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
CDC	CORAL BEAUTY COTONEASTER (Cotoneaster dammeri 'Coral Beauty')	1-2' 4-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
CD	SPREADING COTONEASTER (Cotoneaster divaricatus)	4-6' 6-8'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
FAP	APACHE PLUME (Fallugia paradoxa)	3-6' 3-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
JHH	HUGHES JUNIPER (Juniperus horizontalis 'Hughes')	12-18" 6-8'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
JHW	WILTONII JUNIPER (Juniperus horizontalis 'Wiltonii')	6-8" 6-8'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
JSS	SAVIN JUNIPER (Juniperus sabina)	3-4' 6-8'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
PA	RUSSIAN SAGE (Perovskia atriplicifolia)	3-4' 3-4'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
PP	DWARF GLOBE BLUE SPRUCE (Picea pungens 'Globosa')	3-5' 5-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
РВ	WESTERN SAND CHERRY (Prunus besseyi)	4-6' 4-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
PBP	CREEPING WESTERN SAND CHERRY (Prunus besseyi 'Pawnee Buttes')	15-18" 4-6'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
RG	ROCKY MOUNTAIN SUMAC (Rhus glabra)	2-3' 2-3'	5 gal.	Container Grown. Size to meet or exceed AAN. min.
	ORNAMENTAL GRASS SPECIES TO BE USED T NAMENTAL GRASS SPECIES AND/ OR SUBSTIT			
CAK	FEATHER REED GRASS (Calamagrostis acutiflora 'Karl Foerster')	4-5' 18-24"	Min. 3 gal.	Container Grown. Size to meet or exceed AAN. min.
	BLUE FESCUE	8-12"		Container Grown, Size to

8-12" Min. 3 gal. (Festuca glauca) BLUE AVENA GRASS (BLUE OA' Container Grown. Size to meet or exceed AAN. min. size Container Grown. Size to Min. 3 gal. (Miscanthis sinensis 'Gracillimu 1-2' 12-18" Min. 3 gal. (Pennisetum alopecuroides 'Har

Symbol Key:

	SYMBOL	DESCRIPTION/REMARKS
١	PER	WOOD MULCH: Shall be Gorilla Hair Shredded Wood Mulch to a depth of 4" in shrub beds as indicated and with
1	NOTES	all tree rings

SE- GREEN RYERSON ROLLED TOP GALVANIZED STEEL EDGE 4"x1/8" pinned at 24"

SOD: KENTUCKY BLUEGRASS/ TALL FESCUE BLEND

WETLAND SEED MIX: American Sloughgrass 10%; Canada Wildrye 12%; Switchgrass 12%; Alkali Bulrush 12%; Soft stem Bulrush 10%; Prairie Cordgrass 10%; Meadow Sedge 8%; Creeping Spikerush 6%; Threesquare Bulrush 6%; Small fruited Bulrush 5%; Small winged Sedge 4%; Fowl Mannagrass 2%; Arrowgrass 2%; Nebraska Sedge .5%; Baltic Rush .25%; Torrey Rush .25%

NATIVE SEED MIX: 30% Regar-Meadow Brome, 25% Bronc-Orchardgrass, 25% Potomac-Orchardgrass, 20% Tetrapoloid, Perennial Ryegrass. **COBBLE:** to be Horizon 2-4" to a depth of four inches (4"). Submit sample for approval prior to installation.

DECORATIVE ROCK: to be Horizon 1 1/2" in size and uniformly placed to a 3" depth with fabric underneath. Submit sample for approval prior to installation ROCK MOSS LANDSCAPE BOULDER of various heights and widths to be hand selected, stockpiled, and placed

GENERAL LANDSCAPE NOTES:

- Drawings are diagrammatic; precise placement of components may not be possible as indicated. Consult project Town of Monumen Inspection for approval prior to making random field changes which may alter design intent. 2. Quantities are provided for reference only; verify all quantities prior to submitting cost proposal. In the event of a conflict between scheduled, implied, or expressed quantities, those quantities which can be determined graphically from the drawings will prevail in
- 3. The contractor is responsible for inspection and verification of all field conditions and resolving conflicts pertaining to dimensions, layout, etc., which may affect the landscape installation. Mobilizing shall be construed as acceptance of conditions. Coordinate all work indicated on these drawings with work of other trades.
- All trees and shrubs to receive 4" shredded cedar wood mulch. All trees to have 36" diameter mulch ring in rock mulch areas.
- There shall be a 3 foot clear space maintained around the circumference around all fire hydrants. 7. Erosion control blanket to be applied on all seeded areas on slopes over 25%. See civil drawings for slopes over 25%.
- 3. Contractor to utilize stockpiled topsoil from grading operation as available. If the amount of topsoil needed to complete final grading is not available, the contractor shall import the amount of soil needed. Till into the top 6" of soil. 9. All parking lot islands and medians not proposed as water quality swales to be tilled to a depth of 30" prior to soil amendment and

SOIL AMENDMENTS:

- . A-1 ORGANICS CLASS I 'BIO-COMP' organic matter for all plant bed areas. Add 3 CY per 1,000 SF for all sodded and shrub bed areas. Add 2 CY per 1,000 SF of OM to all irrigated native seed and wetland seed areas. Add 4 lbs. of P2O5 per 1,000 s.f. for shrub bed area. Add 3 lbs. N for trees/ shrubs per 1,000 s.f.
- Fertilizer (for all seeded, and plant areas): 8-12-8 Analysis with Gelscape and Hydrowet Nutralene, DAP, Sulfate of Potash, Triple Superphosphate, and Milorgranite, or equal. Application rates as stated or per manufacturer specifications.

IRRIGATION PLAN:

- An automatic irrigation system will designed for all landscape and plant materials. An automatic controller and rain sensor will be included as part of the irrigation system.
- Trees and Shrubs shall be irrigated with a drip system. All turf areas shall be irrigated with either pop-up spray heads or

gear driven rotors.

A watering schedule will be created using matching precipitation rates, run time, and irrigation requirements.

CONCEPT PLAN ONLY

NOT FOR CONSTRUCTION

SIGNATURE BLOCK

The undersigned owner/developer understands that all improved land must conform to the regulations set forth in the Chapter 13 of the Monument Municipal Code. The owner/developer agrees to abide by these regulations and to improve and maintain the land as indicated on the approved landscaping plan.

(Ord. 13-97 (part): prior code - 13.13.030)



TRUE NORTH

210078375 8-13-10 Preliminary / PD Site Plan



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DATE: 01/21/2010 DRAWN: JRA

CHECKED: WFG

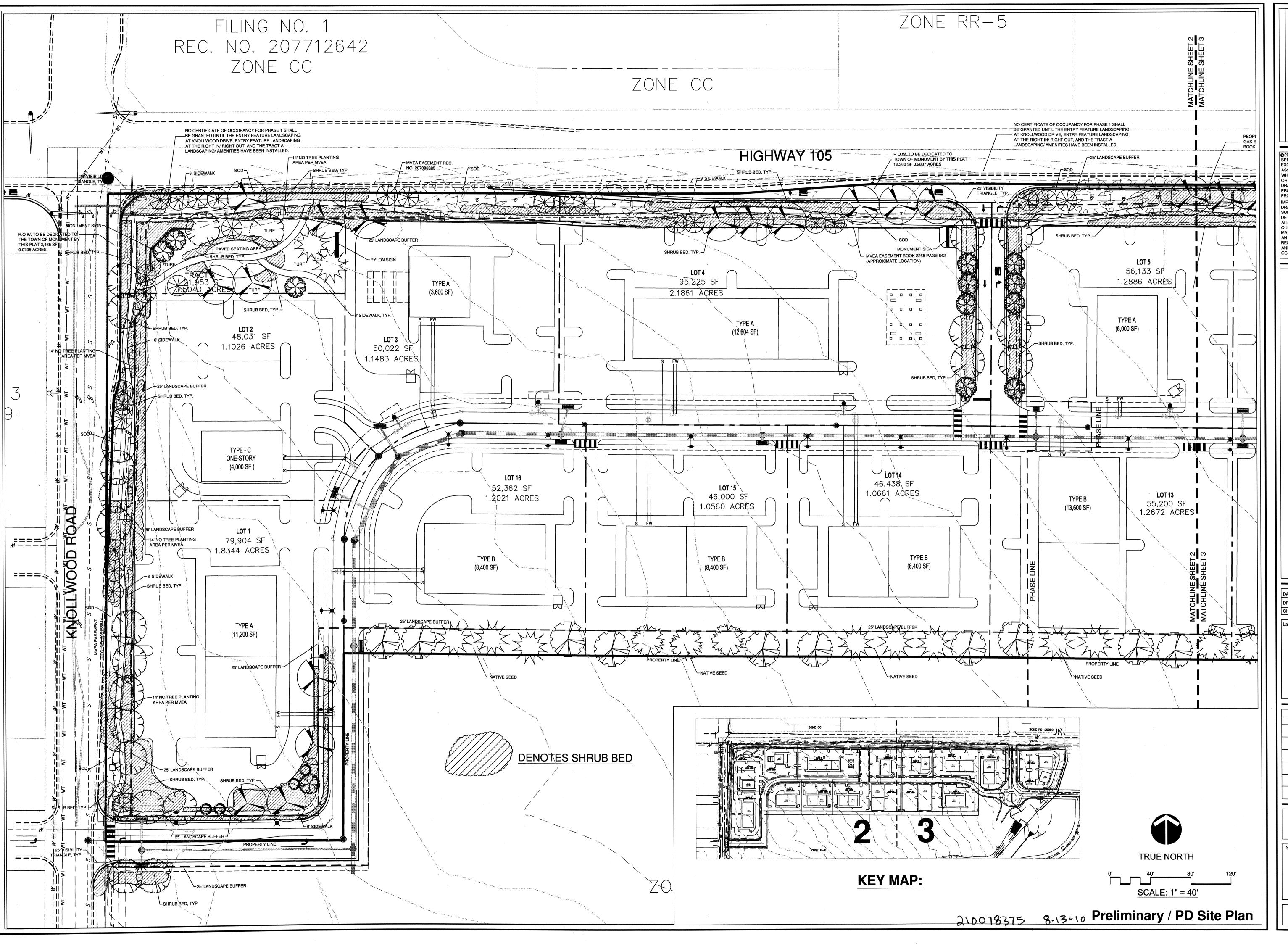
Landscape Architect Signature/ Stamp Block

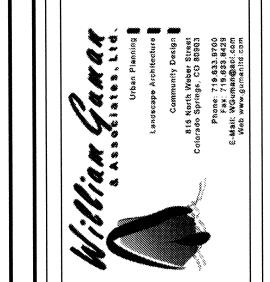
REVISIONS: COMMENTS: TOWN COMMENTS TOWN COMMENTS 3/25/10 PLAN REVISIONS 5/25/10

> PRELIMINARY LANDSCAPE PLAN

SHEET NO.

SHEETS





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/ILLAGE CENTER reliminary PD Plan

DATE: 01/21/2010
DRAWN: JRA
CHECKED: WFG

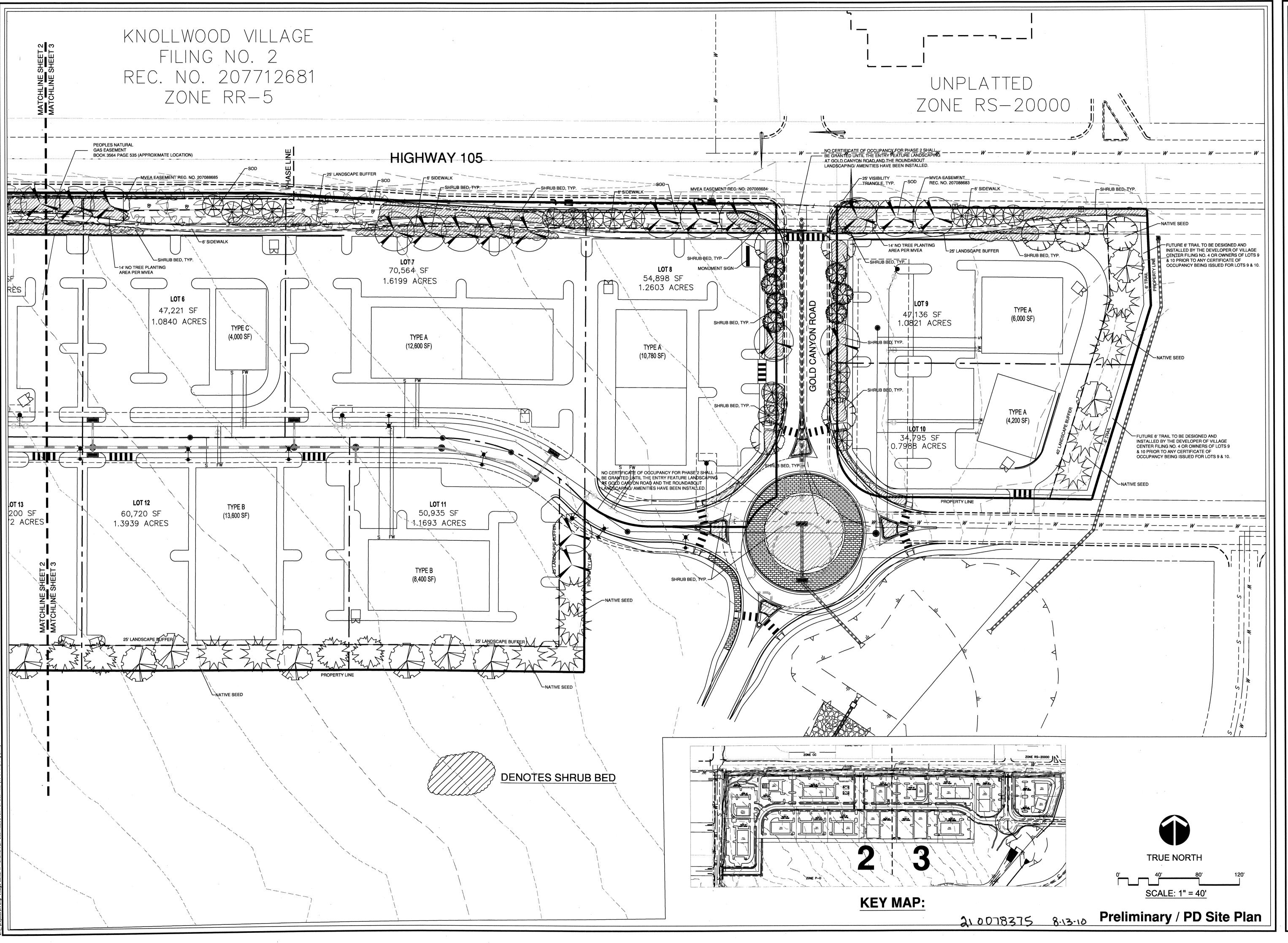
Landscape Architect Signature/ Stamp Block

REVISIONS:				
DATE:	BY:	COMMENTS:		
3/5/10	JRA	TOWN COMMENTS		
3/25/10	JRA	TOWN COMMENTS		
5/25/10	JRA	PLAN REVISIONS		
10%				

PRELIMINARY LANDSCAPE PLAN

LS2

OF SHEET





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Preliminary PD Plan

DATE: 01/21/2010

CHECKED: WFG

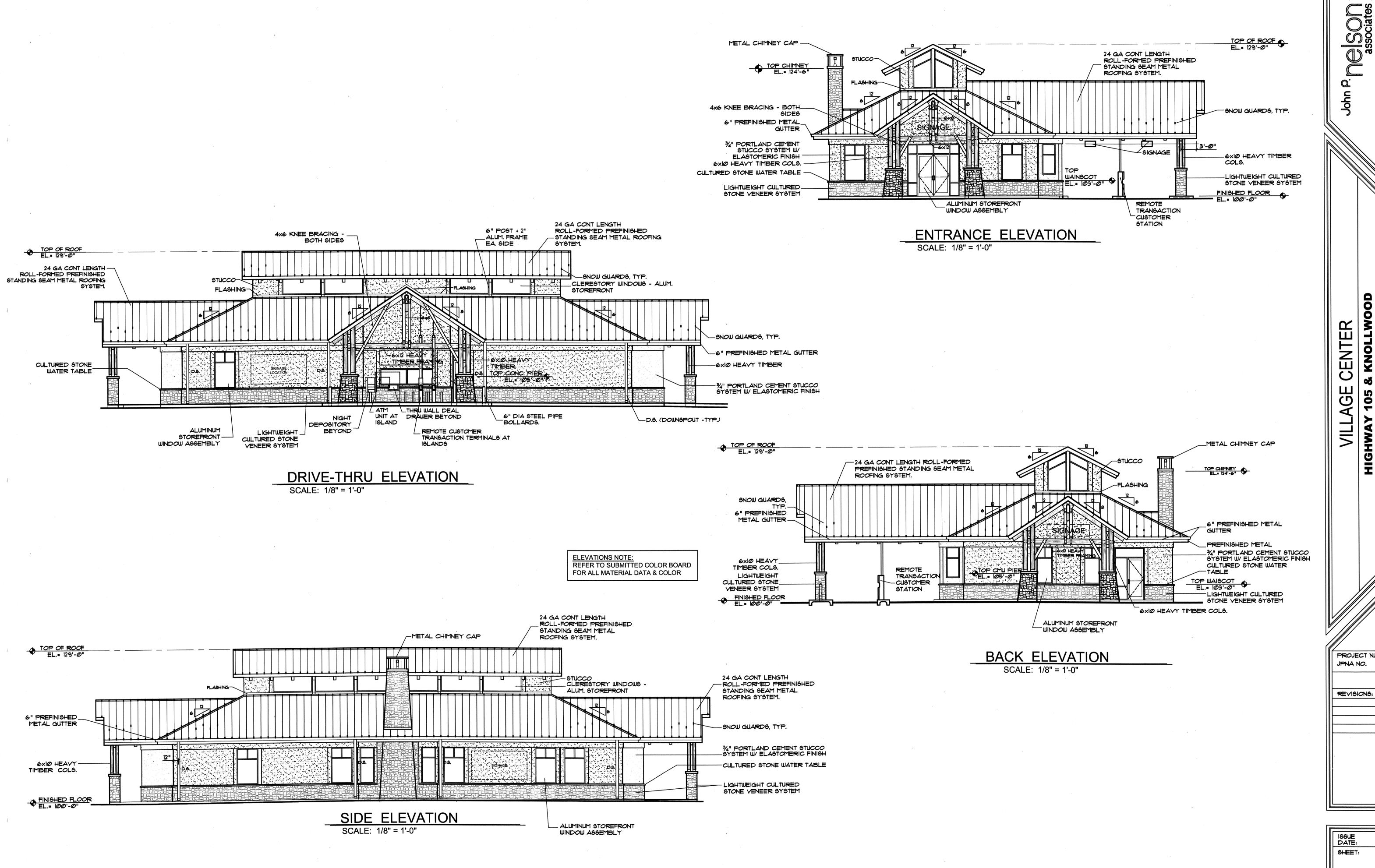
Landscape Architect Signature/ Stamp Block

PRELIMINARY LANDSCAPE

SHEET NO.

LS3

OF SHEETS

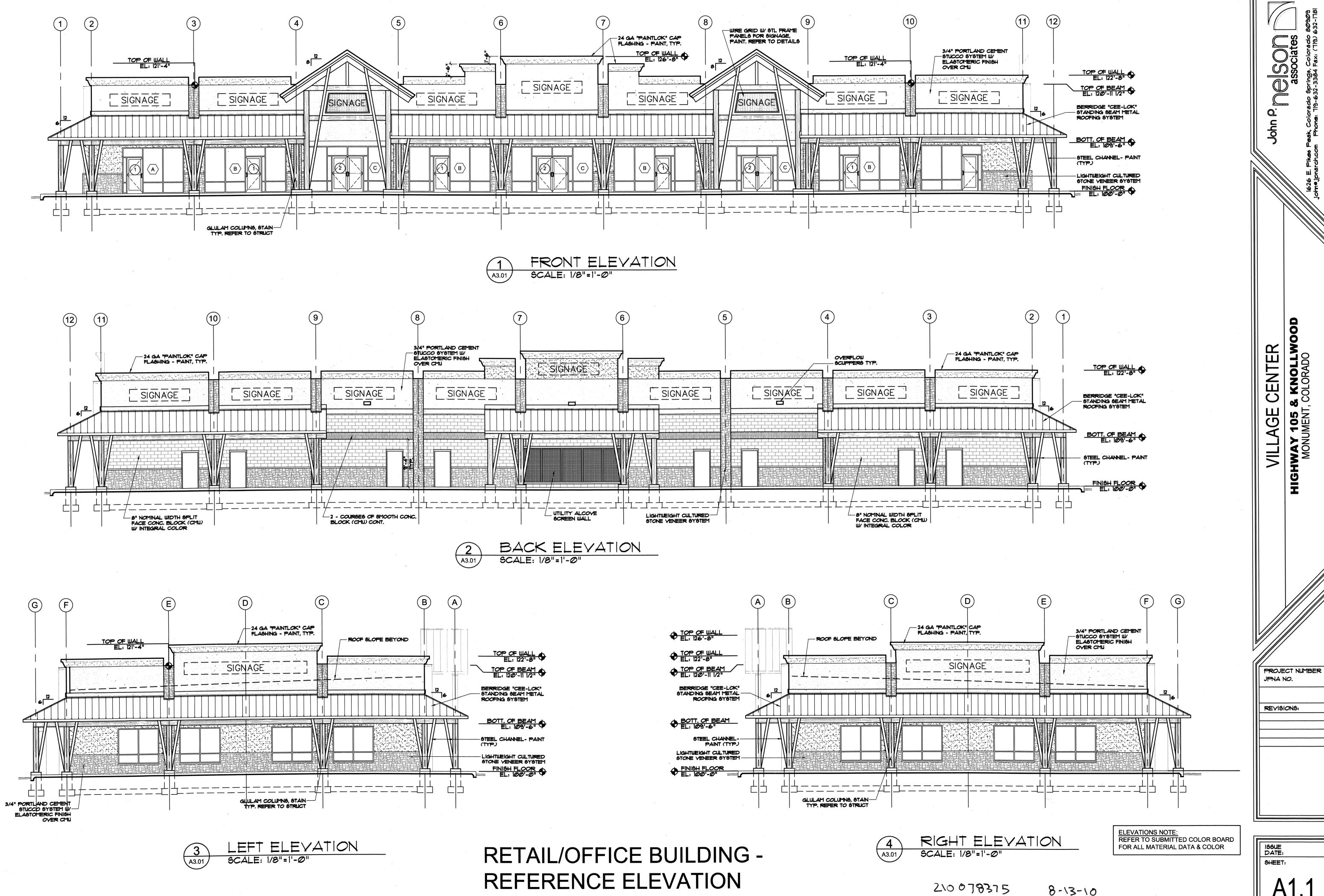


BRANCH BANK - REFERENCE ELEVATION

PROJECT NUMBER REVISIONS:

210078375

8-13-10



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