

- ### LEGEND:
- EXISTING STORM PIPE
 - EXISTING SANITARY SEWER
 - EXISTING WATERLINE
 - EXISTING ELECTRICAL
 - EXISTING TELEPHONE
 - EXISTING RIGHT OF WAY
 - PROPOSED RIGHT OF WAY
 - PROPOSED EASEMENT
 - PROPOSED PROPERTY LINE
 - PROPOSED PROPERTY BOUNDARY
 - PROPOSED CURB & GUTTER FLOWLINE
 - EXISTING CURB AND GUTTER
 - PROPOSED RETAINING WALL
 - PROPOSED SETBACK
 - PROPOSED PHASE LINE
 - PROPOSED STREET LIGHT
 - PROPOSED STOP SIGN
 - SET MONUMENTS
 - RECOVERED REBAR WITH ORANGE PLASTIC CAP STAMPED "CLSI PLS 32439"
 - PARKING SPACES PROVIDED

- ### NOTES:
1. THE TOWN OF MONUMENT'S REQUIREMENTS FOR SNOW STORAGE SHALL BE MET WITH EACH INDIVIDUAL LOTS FINAL PD SITE PLANS.
 2. ALL PARKING AREAS MUST BE PAVED WITH APPROVED TOWN OF MONUMENT PAVING.
 3. TYPE 1 CURB & GUTTER SHALL BE USED ON MAIN ACCESS ROADS, WITHOUT DESIGNATED PARKING SPACES. TYPE 3 CURB & GUTTER SHALL BE USED IN PARKING AREAS.
 4. THIS PROJECT INVOLVES ON-GOING CONSTRUCTION DESIGN COORDINATION WITH EL PASO COUNTY AND THE TOWN OF MONUMENT REGARDING KNOLLWOOD DRIVE AND HIGHWAY 105 IMPROVEMENTS.
 5. EMERGENCY/FIRE ACCESS LANES PER TRI LAKES FIRE DISTRICT SHALL BE MET WITH EACH INDIVIDUAL LOTS FINAL PD SITE PLANS.
 6. EACH LOT MUST MEET THE MINIMUM OF 10 PERCENT LANDSCAPING, EXCLUSIVE OF OPEN SPACE, AND PROVIDE LANDSCAPING IN BETWEEN THE PARKING LOTS AND BUILDINGS. THE ACTUAL SQUARE FOOTAGE AND CONFIGURATION OF THE BUILDINGS WILL BE DETERMINED WITH FINAL PD SITE PLANS. BUILDING ENVELOPES MAY BE REDUCED TO MEET A MINIMUM OF 10% LANDSCAPING.
 7. NO CERTIFICATE OF OCCUPANCY FOR PHASE 1 SHALL BE GRANTED UNTIL THE ENTRY FEATURE LANDSCAPING AT KNOLLWOOD DRIVE, ENTRY FEATURE LANDSCAPING AT THE RIGHT IN/OUT, AND THE TRACT A LANDSCAPING/AMENITIES HAVE BEEN INSTALLED.
 8. NO CERTIFICATE OF OCCUPANCY FOR PHASE 2 SHALL BE GRANTED UNTIL THE ENTRY FEATURE LANDSCAPING AT GOLD CANYON ROAD AND THE ROUNDABOUT LANDSCAPING/AMENITIES HAVE BEEN INSTALLED.

SITE DATA

LOT	LOT AREA (SF)	USE	BLDG. AREA (SF)	PARKING REQUIRED	PARKING PROVIDED	CITY'S PARKING RATIO	ACTUAL PARKING RATIO
1	79,904	TYPE A	11,200	56	65	1/200	1/172
2	48,031	TYPE C	4,000	40	58	1/100	1/69
3	50,022	TYPE A	3,600	18	39	1/200	1/92
4	95,225	TYPE A	12,804	68*	85	1/200	1/151
5	56,133	TYPE A	6,000	60	71	1/100	1/85
6	47,221	TYPE C	4,000	40	57	1/100	1/70
7	70,564	TYPE A	12,800	63	70	1/200	1/180
8	54,898	TYPE A	10,780	54	54	1/200	1/200
9	47,136	TYPE A	6,000	30	38	1/200	1/158
10	34,795	TYPE A	4,200	21	33	1/200	1/127
11	50,935	TYPE B	8,400	42	43	1/200	1/195
12	60,720	TYPE B	13,600	24**	44	VARIES**	1/309
13	55,200	TYPE B	13,600	24**	32	VARIES**	1/425
14	46,438	TYPE B	8,400	42	45	1/200	1/187
15	46,000	TYPE B	8,400	42	45	1/200	1/187
16	52,362	TYPE B	8,400	42	42	1/200	1/200

*INCLUDES 6/1000 FOR CONVENIENCE STORE
 ** 30% OFFICE @ 1/300 & 70% WAREHOUSE @ 1/1000
 HANDICAP STALLS AT A 1:12 RATIO WILL BE PROVIDED WITH FINAL PD SITE PLAN FOR EACH LOT.
 ALL PROPOSED DRIVE-THRUS WILL MEET TOWN OF MONUMENT CODE FOR QUEUING
 BANK - 3 STACKING SPACES PER WINDOW, FAST FOOD - 8 STACKING SPACES PER WINDOW

- BUILDING TYPE "A" - TO INCLUDE THE FOLLOWING USES:**
 RETAIL
 OFFICE - GENERAL
 OFFICE - FINANCIAL
 OFFICE - MEDICAL
 RESTAURANT
 CONVENIENCE STORE
- BUILDING TYPE "B" - TO INCLUDE THE FOLLOWING USES:**
 RETAIL
 WAREHOUSE
 OFFICE - GENERAL
 OFFICE - FINANCIAL
 OFFICE - MEDICAL
 RESTAURANT
 CONVENIENCE STORE
- BUILDING TYPE "C" - TO INCLUDE THE FOLLOWING USES:**
 RETAIL
 OFFICE - GENERAL
 OFFICE - FINANCIAL
 OFFICE - MEDICAL
 RESTAURANT
 FAST FOOD RESTAURANT
 CONVENIENCE STORE

MARTIAL ART STUDIO

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE TOWN ENGINEER OR APPROVED BY THE TOWN ENGINEER ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
MAG II MONUMENT, LLC
 721 EMERSON ROAD, SUITE 100
 ST. LOUIS, MO 63141
 ATTN: LEE WELANSKY
 (314) 576-8600

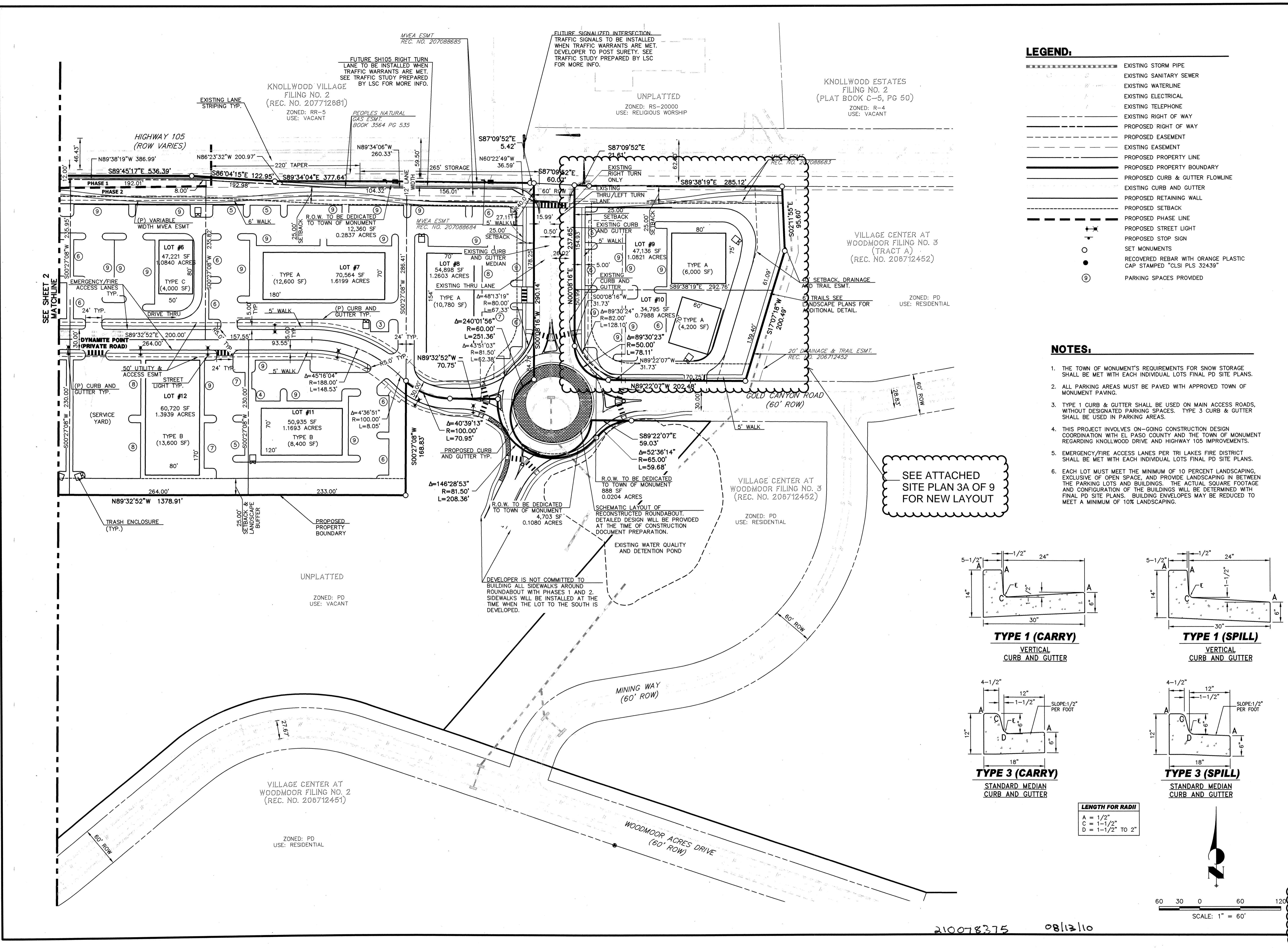
J-R ENGINEERING
 A Western Company
 7200 S. Alton Way, Suite C100 • Centennial, CO 80122
 303-740-9983 • Fax: 303-721-9919
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NO.	REVISION	DATE
1	REVISED PER SUBMITTAL COMMENTS	01/20/10
2	REVISED PER SUBMITTAL COMMENTS	03/08/10
3	REVISED PER SUBMITTAL COMMENTS	3/29/10

DESIGNED BY: KPK
 DRAWN BY: GLY
 CHECKED BY:

VILLAGE CENTER
 FILING NO. 4
 PRELIMINARY PD SITE PLAN
 SHEET 2 OF 9
 JOB NO. 29949.04

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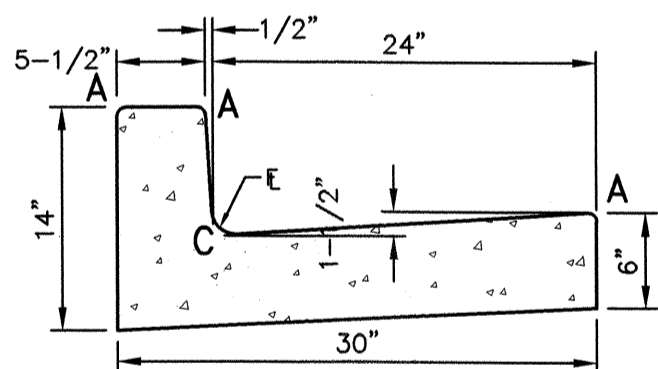
LEGEND:

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- EXISTING SANITARY SEWER
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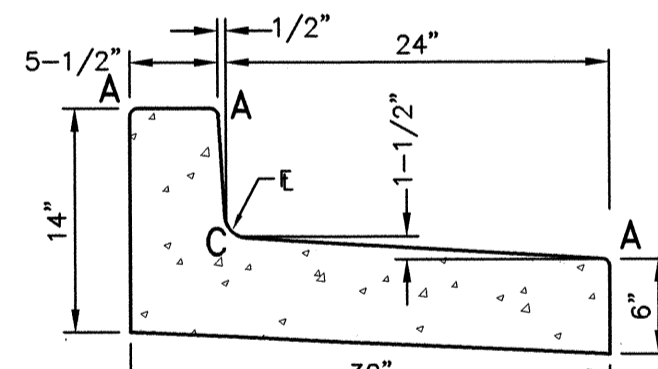
NOTES:

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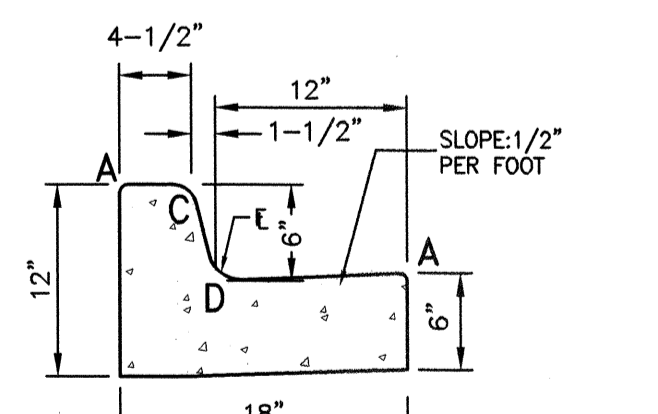
SEE ATTACHED
SITE PLAN 3A OF 9
FOR NEW LAYOUT



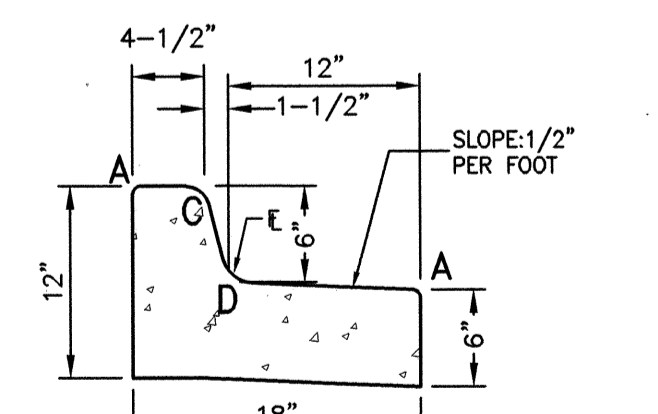
TYPE 1 (CARRY)
VERTICAL
CURB AND GUTTER



TYPE 1 (SPILL)
VERTICAL
CURB AND GUTTER

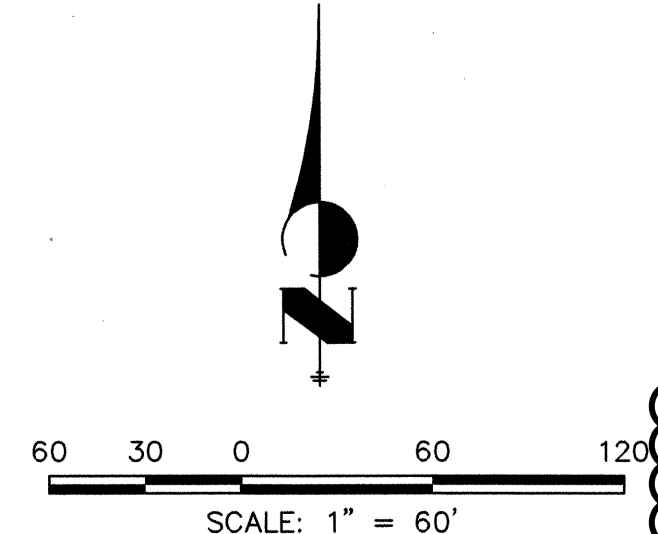


TYPE 3 (CARRY)
STANDARD MEDIAN
CURB AND GUTTER



TYPE 3 (SPILL)
STANDARD MEDIAN
CURB AND GUTTER

LENGTH FOR RADII
A = 1/2"
C = 1-1/2"
D = 1-1/2" TO 2"



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PREPARED FOR
MAG II MONUMENT, LLC
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No.	REVISION	DATE	BY	
			DATE	DATE
1	REVISED PER SUBMITTAL COMMENTS	01/20/10	GLY	01/20/10
2	REVISED PER SUBMITTAL COMMENTS	03/08/10	GLY	03/08/10
3	REVISED PER SUBMITTAL COMMENTS	3/29/10	GLY	3/29/10

H-SCALE	1" = 60"
V-SCALE	N/A
DATE	08/13/08
DESIGNED BY	KPK
DRAWN BY	GLY
CHECKED BY	

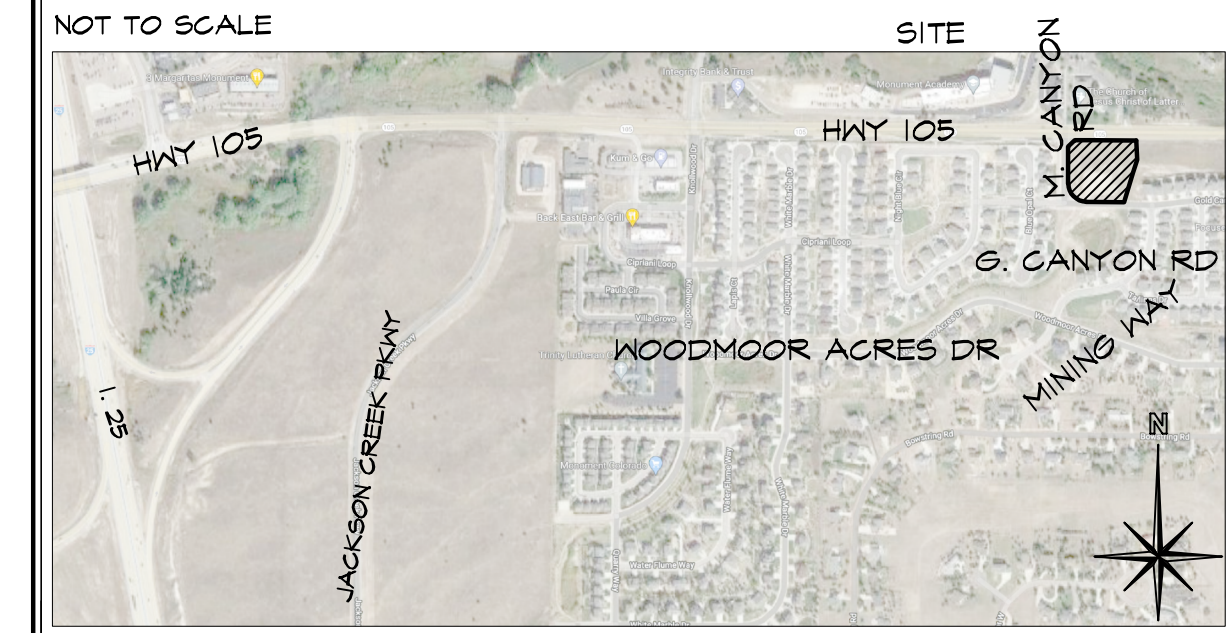
VILLAGE CENTER
FILING NO. 4
PRELIMINARY PD SITE PLAN
SITE PLAN

210078375 08/13/10

GENERAL SITE NOTES

- REFER TO LANDSCAPE DRAWINGS FOR DECORATIVE PAVING, LANDSCAPING AND IRRIGATION.
- REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES AND HORIZONTAL CONTROL DIMENSIONS.
- REFER TO ELECTRICAL DRAWINGS FOR TRANSFORMER, SITE LIGHTING, SWITCH GEAR AND ALL OTHER RELATED ELECTRICAL INFORMATION AND DETAILS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- CONCRETE WALKS SHALL RECEIVE CONTROL JOINTS AT 5'-0" O.C. BETWEEN EXPANSION JOINTS UNLESS NOTED OTHERWISE.
- PROVIDE EXPANSION JOINTS AT 50'-0" ON WALKS AND 100'-0" AT CURBS.
- REFER TO SOILS REPORT FOR PERIMETER DRAIN REQUIREMENTS.
- SIGNS TO BE APPROVED SEPARATELY VIA SIGN PERMIT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT

VICINITY MAP



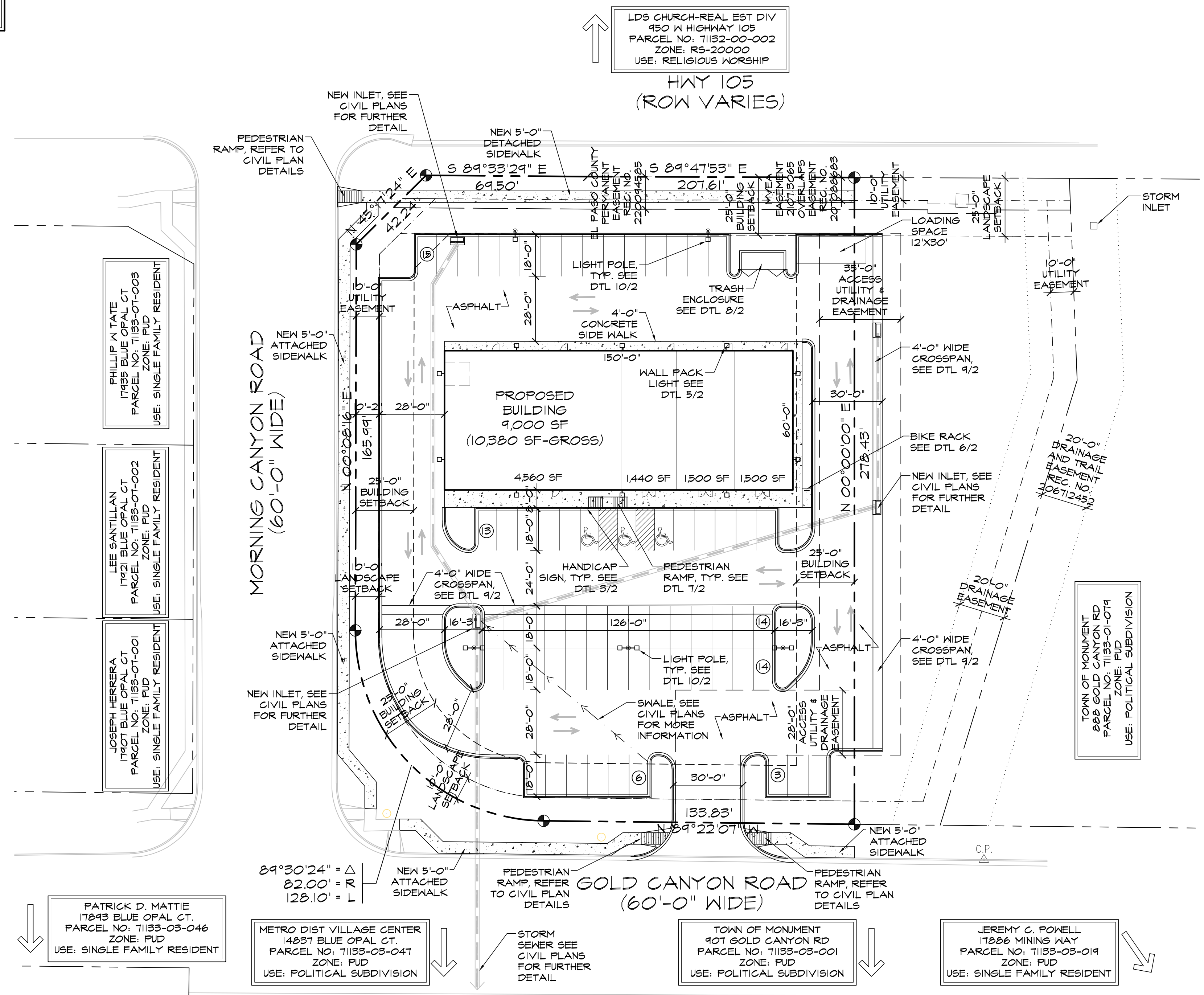
PROJECT INFORMATION

PROPERTY INFORMATION	OWNER NAME: CW MONUMENT 2013 LLC
	4675 MACARTHUR CT, STE 1270
	NEWPORT BEACH, CA 92660
LEGAL DESCRIPTION:	LOTS 9, 10 VILLAGE CENTER AT WOODMOOR FILING NO 4 TO BE PLATTED AS VILLAGE CENTER AT WOODMOOR FILING NO 4B, LOT 1
PARCEL NUMBERS:	71133-01-080/ 71133-01-065
ZONING:	FD
LOT SIZE:	57,182 SF (1.32 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041022186, DATED DECEMBER 7, 2018)
BUILDING INFORMATION	GROSS BUILDING AREA: 10,380 SF
	BUILDING FOOTPRINT: 9,000 SF
	BUILDING OCCUPANCY: M/A-3
	TYPE OF CONSTRUCTION: 11-B
	FIRE SYSTEMS: NONE
	AREA SEPARATION WALLS: NONE
ZONING CODE STUDY	PROPOSED PRINCIPAL USE: RETAIL/ MARTIAL ARTS SCHOOL
	STRUCTURAL COVERAGE OF LOT: 15%
	PAVEMENT COVERAGE: 74%
	NEW BUILDING STRUCTURAL HEIGHT: 31'-0" (35'-0" MAX)
	FRONT YARD SETBACK: 25'-0"
	SIDE YARD SETBACK: 25'-0"
	REAR YARD SETBACK: 25'-0"
REQUIRED PARKING SPACES	RETAIL (1 SPACE/300 SF) 4440 / 300 SF 15
	RECREATION CENTER/ MEZZANINE (1 SPACE/150 SF) 5940 / 150 SF 40
	H.C. (TOTAL PARKS 51-75=3 PARKS) 3
	TOTAL PARKING SPACES REQUIRED: 58
	TOTAL PARKING PROVIDED: 65
	NEW STANDARD SPACES PROVIDED: 5
	H.C. SPACES PROVIDED (SEE DETAIL 1/2 FOR DIMENSIONS)
	LOADING SPACE PROVIDED: 1 (12'X30')
DEVELOPMENT SCHEDULE	CONSTRUCTION: WINTER 2022
	LANDSCAPING: SPRING 2023
DEVELOPMENT APPLICANT	COMPANY: HAMMERS CONSTRUCTION, INC.
	1411 WOOLSEY HEIGHTS
	COLO SPRGS, CO 80415
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

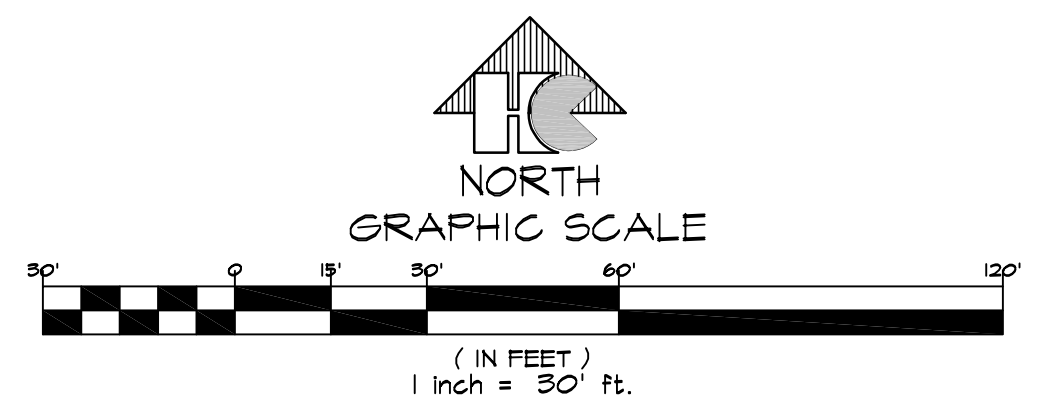
HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 WOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1599 FAX (719) 570-7008
 www.hammersconstruction.com

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ACAD. MARTIAL ARTS
 NEW BUILDING
 980 GOLD CANYON ROAD
 MONUMENT, CO 80132
 EL PASO COUNTY, COLORADO



SITE PLAN
 SCALE: 1"=30'-0"



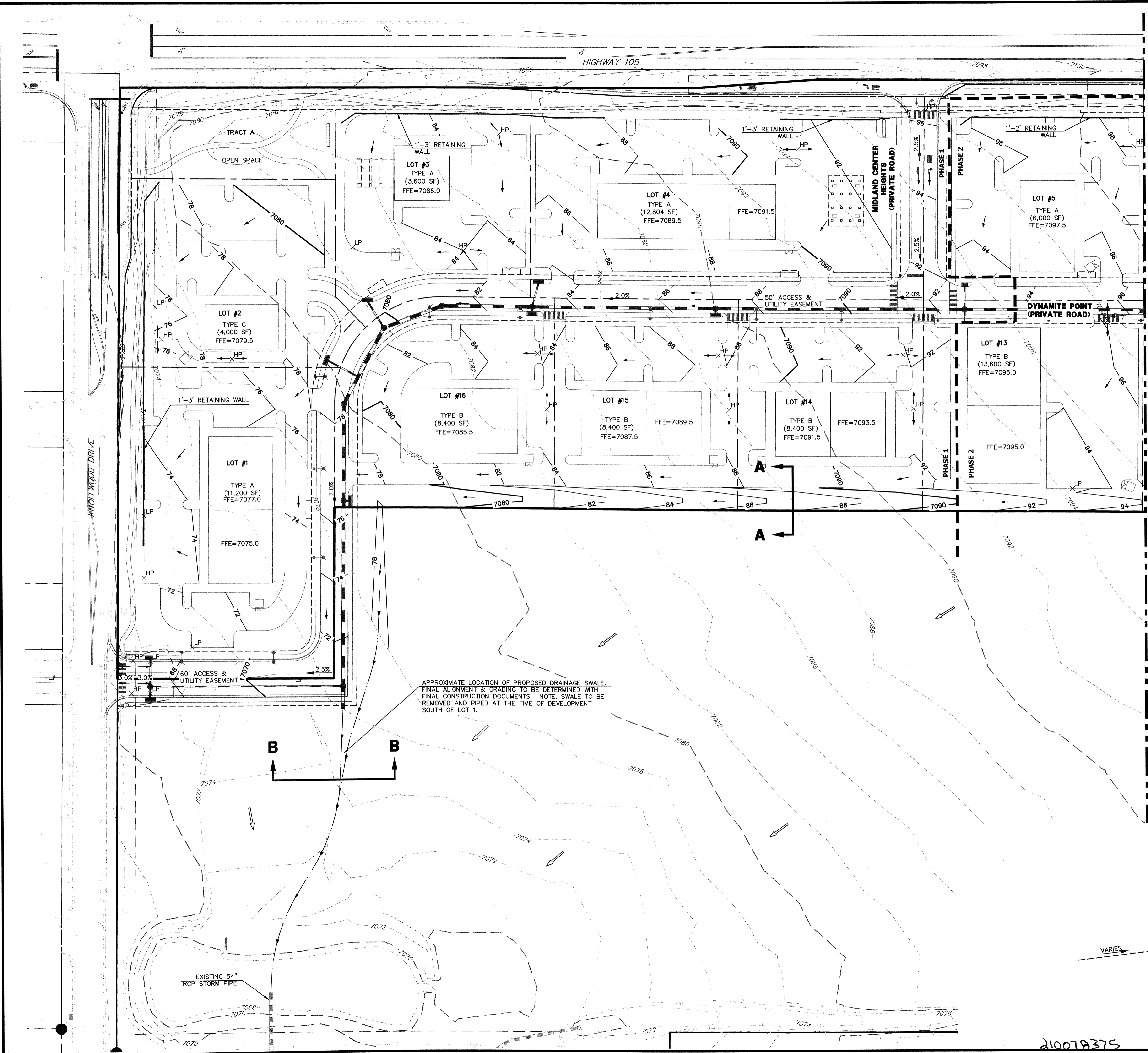
SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY EASEMENT
---	DRAINAGE EASEMENT
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
—	SIGN
○	EXISTING FIRE HYDRANT
○	TRAFFIC FLOW
○	MANHOLE
○	PROPOSED FIRE HYDRANT
□	WALL PACK LIGHTING
□	ELECTRICAL TRANSFORMER

DATE: SEPT. 2, 2022
 DRAWN BY: W. VENEROS
 PROJ. MGR: E. SMITH
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1295

RESUBMITTALS:

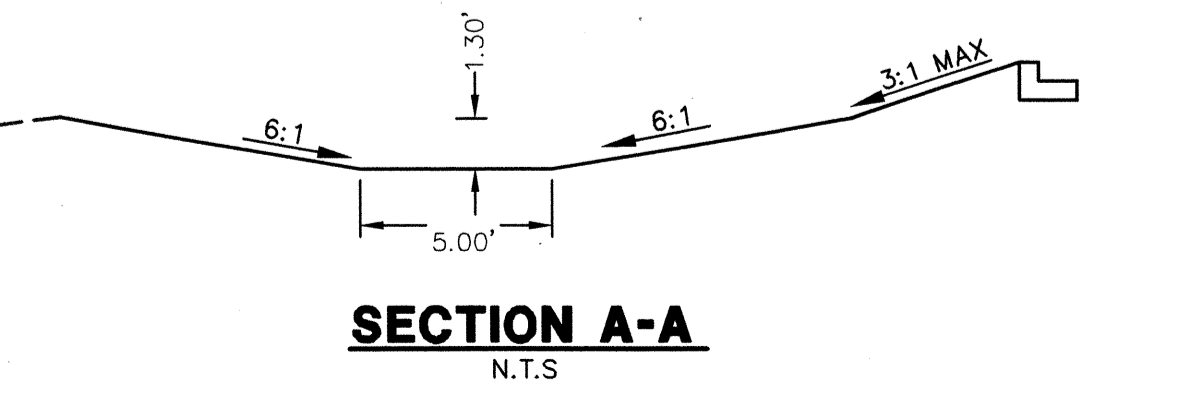
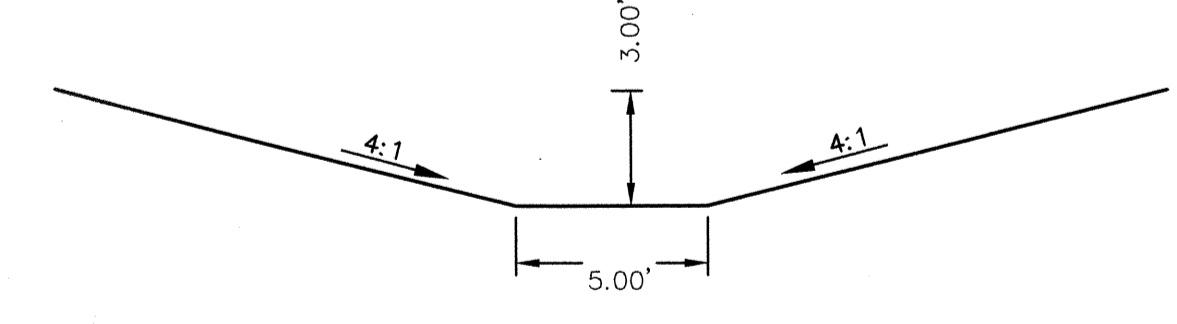
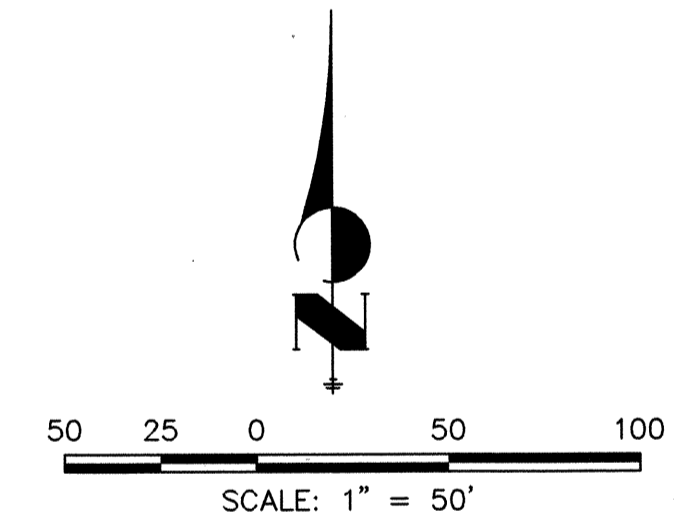
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LEGEND:

	PROPOSED MINOR/2' CONTOUR
	PROPOSED MAJOR/10' CONTOUR
	EXISTING MINOR/2' CONTOUR
	EXISTING MAJOR/10' CONTOUR
	PROPOSED STORM PIPE
	EXISTING STORM PIPE
	EXISTING SANITARY SEWER
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	PROPOSED CURB AND GUTTER FLOWLINE
	EXISTING CURB AND GUTTER
	PROPOSED RETAINING WALL
	EXISTING TOE OF SLOPE
	EXISTING TOP OF SLOPE
	PROPOSED PHASE LINE
	HIGH POINT
	LOW POINT
	FINISHED FLOOR ELEVATION
	PROPOSED FLOW ARROW
	EXISTING FLOW ARROW

MATCHLINE SEE SHEET 5



APPROXIMATE LOCATION OF PROPOSED DRAINAGE SWALE. FINAL ALIGNMENT & GRADING TO BE DETERMINED WITH FINAL CONSTRUCTION DOCUMENTS. NOTE, SWALE TO BE REMOVED AND PIPED AT THE TIME OF DEVELOPMENT SOUTH OF LOT 1.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE ENGINEERING OFFICE, THESE DRAWINGS APPROVE THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
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721 EMERSON ROAD, SUITE 100
ST. LOUIS, MO 63141
ATTN: LEE WIELANSKY
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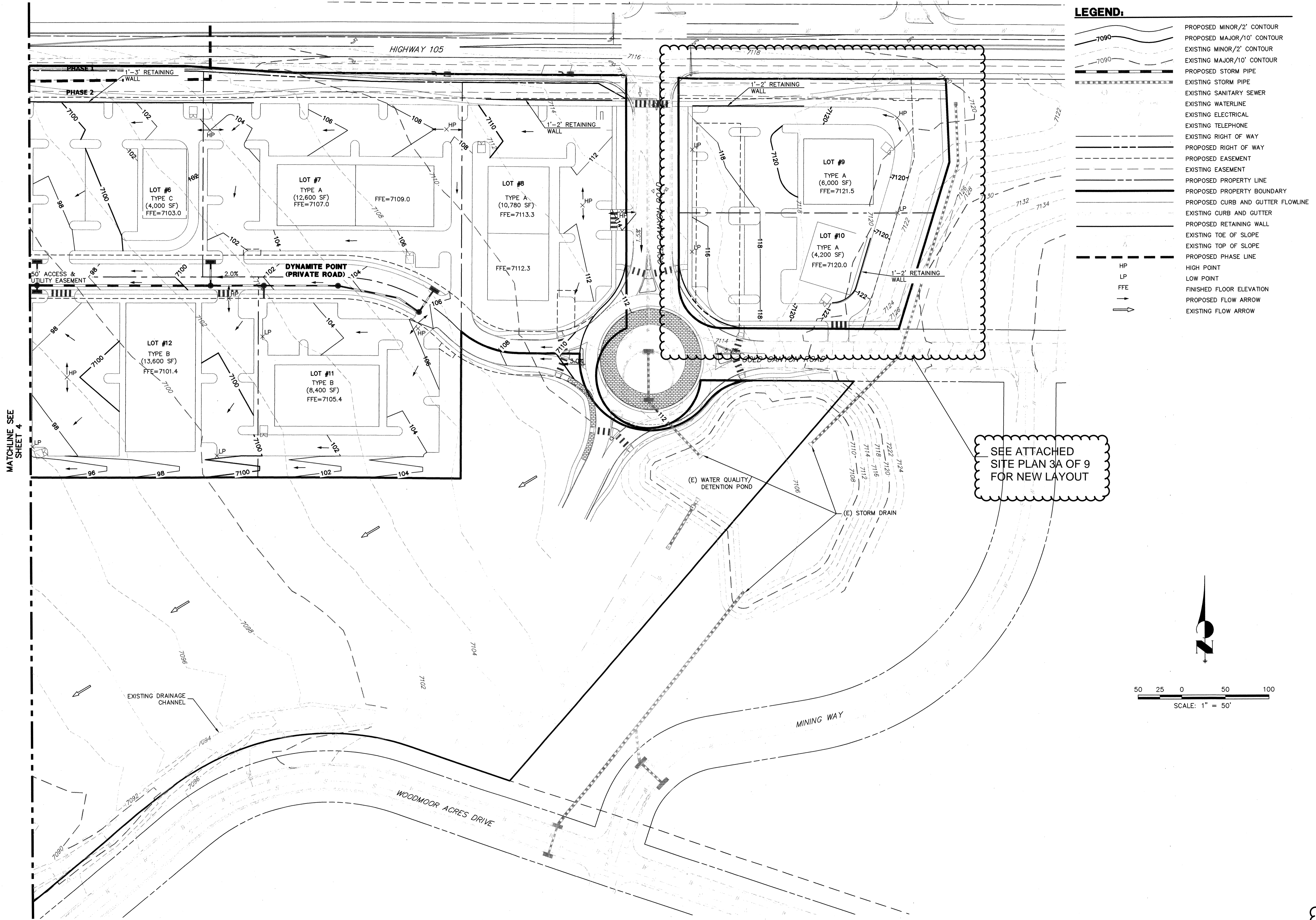
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VILLAGE CENTER
FILING NO. 4
PRELIMINARY PD SITE PLAN
PRELIMINARY GRADING PLAN

210078375 8-13-10

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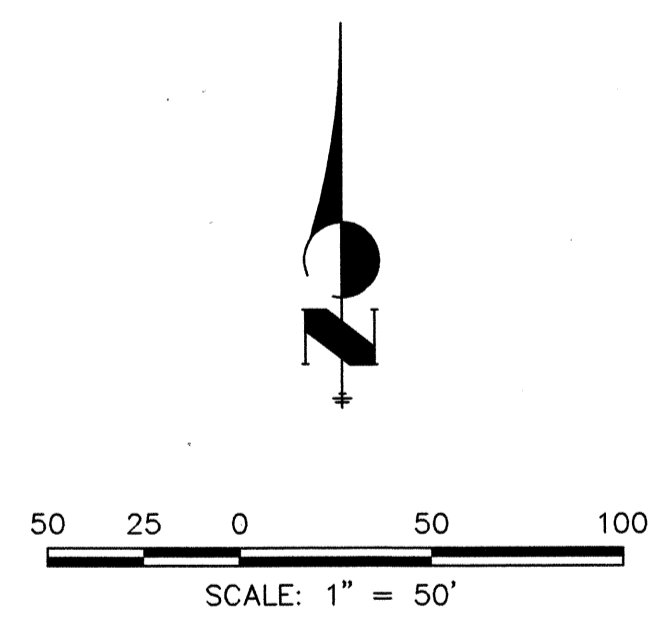


LEGEND:

	PROPOSED MINOR/2' CONTOUR
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	PROPOSED PHASE LINE
	HIGH POINT
	LOW POINT
	FINISHED FLOOR ELEVATION
	PROPOSED FLOW ARROW
	EXISTING FLOW ARROW

MATCHLINE SEE SHEET 4

SEE ATTACHED SITE PLAN 3A OF 9 FOR NEW LAYOUT



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BY	DATE	REVISION	No.	REVISION	COMMENTS
GLY	01/20/10	1	REVISED PER SUBMITTAL	COMMENTS	
GLY	03/08/10	2	REVISED PER SUBMITTAL	COMMENTS	
GLY	3/29/10	3	REVISED PER SUBMITTAL	COMMENTS	

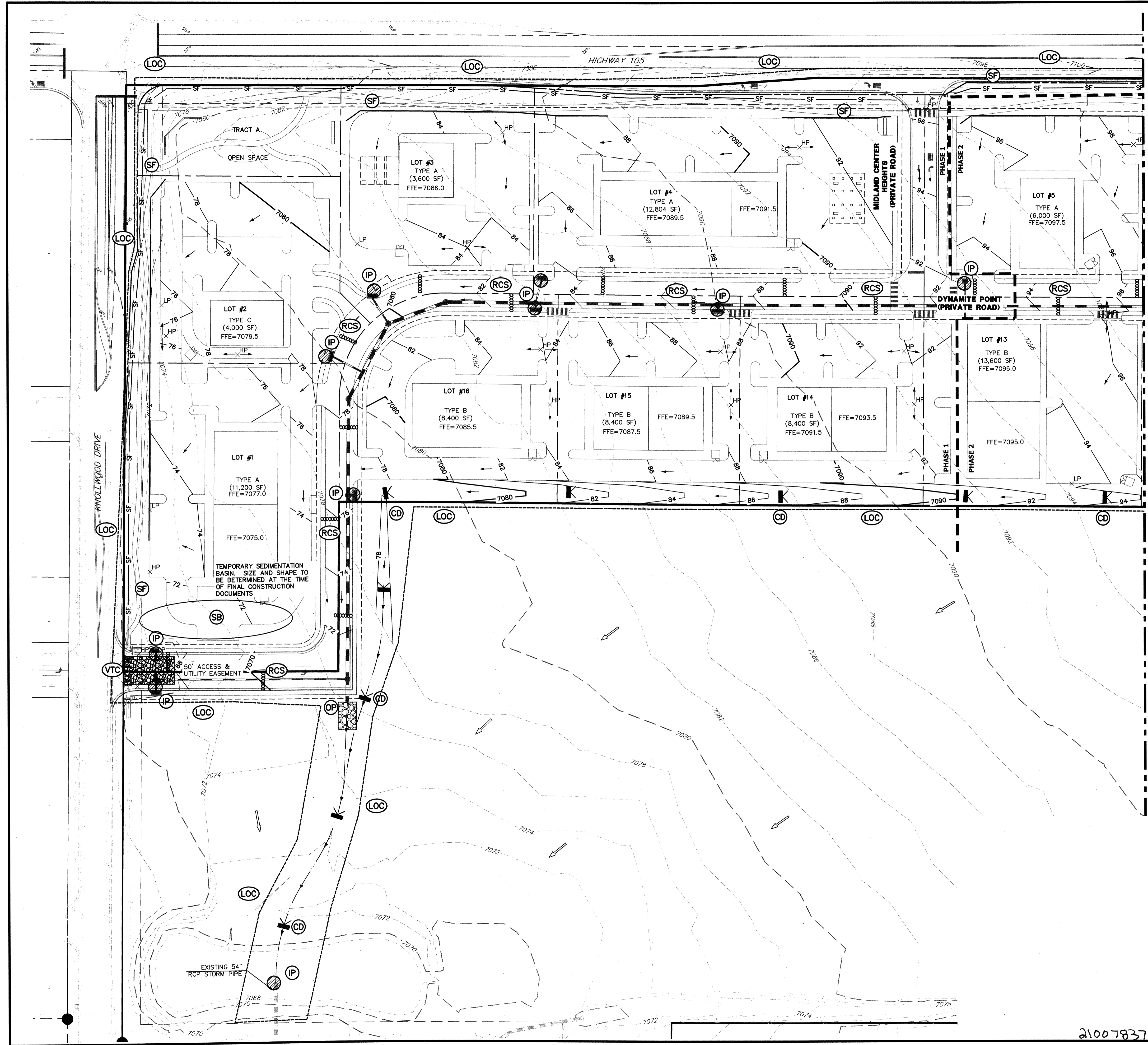
H-SCALE	1" = 50'
V-SCALE	N/A
DATE	08/13/08
DESIGNED BY	KPK
DRAWN BY	GLY
CHECKED BY	

VILLAGE CENTER
FILING NO. 4
PRELIMINARY PD SITE PLAN
PRELIMINARY GRADING PLAN

SHEET 5 OF 9
JOB NO. 29949.04

210070375 8/13/10

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LEGEND:

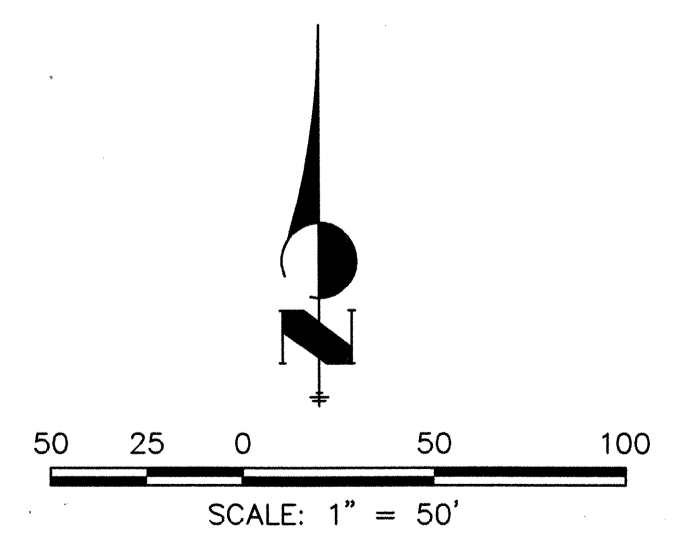
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	PROPOSED FLOW ARROW
	EXISTING FLOW ARROW

MATCHLINE SEE SHEET 7

EROSION CONTROL LEGEND:

KEY	TITLE	SYMBOL
	SILT FENCE	SF
	VEHICLE TRACKING CONTROL	
	INLET PROTECTION	
	LIMITS OF CONSTRUCTION	
	ROCK CHECK DAM	
	ROUGH CUT STREET CONTROL	
	SEDIMENT BASIN	
	OUTLET PROTECTION	

- NOTES:**
- EACH LOT WILL BE REQUIRED TO SUBMIT EROSION CONTROL PLANS WITH FINAL CONSTRUCTION DOCUMENTS PER TOWN OF MONUMENT STANDARDS AND SPECIFICATIONS.
 - THE EROSION CONTROL IDENTIFIED ON THIS PLAN IS SCHEMATIC IN NATURE. DETAILED EROSION CONTROL DESIGN WILL BE PROVIDED WITH OVERLOT GRADING AND EROSION CONTROL CONSTRUCTION DOCUMENTS.



210078375 8/13/10

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PREPARED FOR
MAG II MONUMENT, LLC
 721 EMERSON ROAD, SUITE 100
 ST. LOUIS, MO 63141
 ATTN: LEE WIELANSKY
 (314) 576-8600

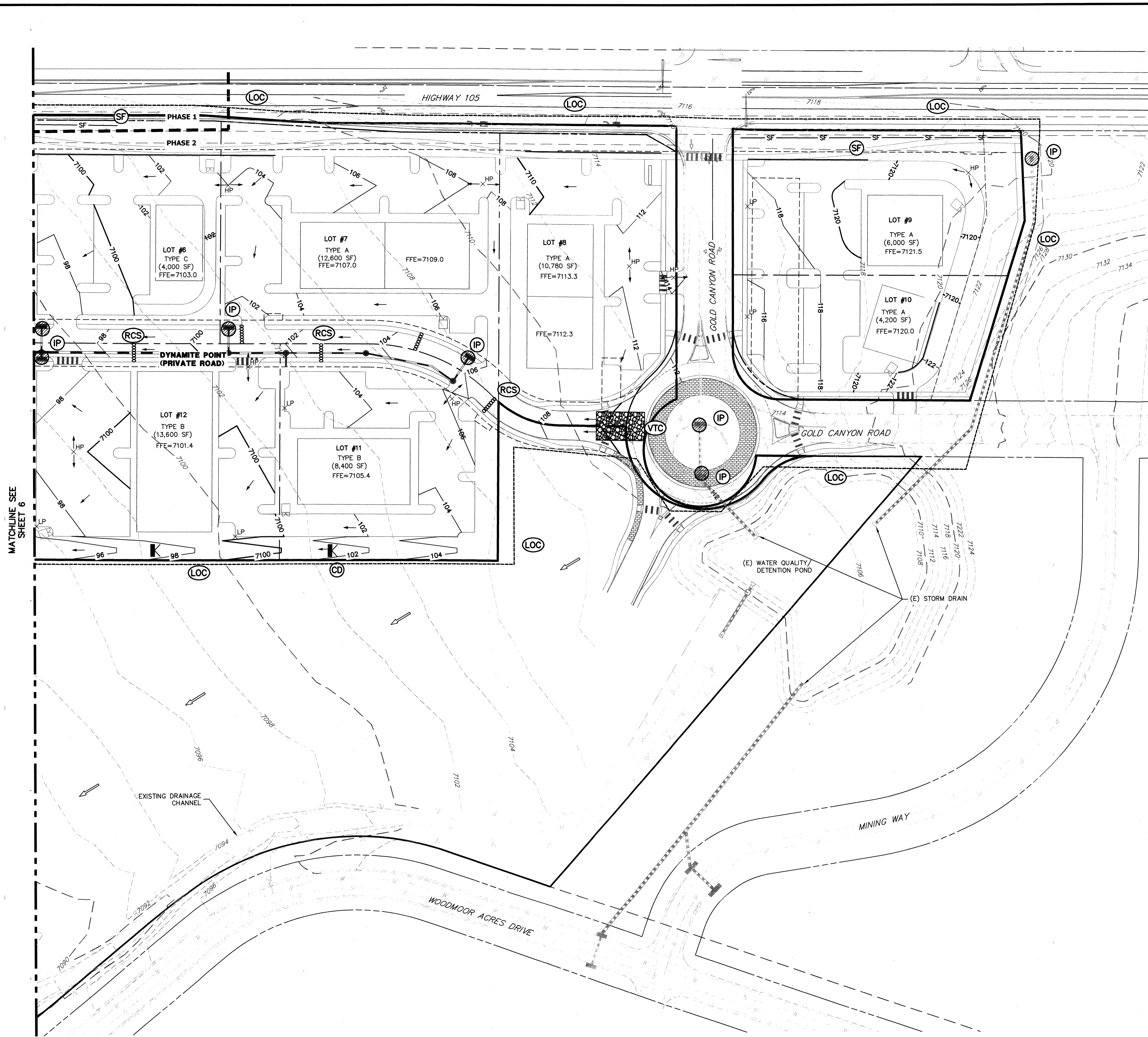
J-R ENGINEERING
 A Western Company
 7200 S. Alton Way, Suite C100, Centennial, CO 80112
 303-740-9883 • Fax 303-721-9089
 www.jrengineering.com

NO.	REVISION	1" = 50'	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1	REVISED PER SUBMITTAL COMMENTS	N/A			03/05/10	KPK	GLY	
2	REVISED PER SUBMITTAL COMMENTS							

VILLAGE CENTER
 FILING NO. 4
 PRELIMINARY PD SITE PLAN
 EROSION CONTROL PLAN

SHEET 6 OF 9
 JOB NO. 29949.04

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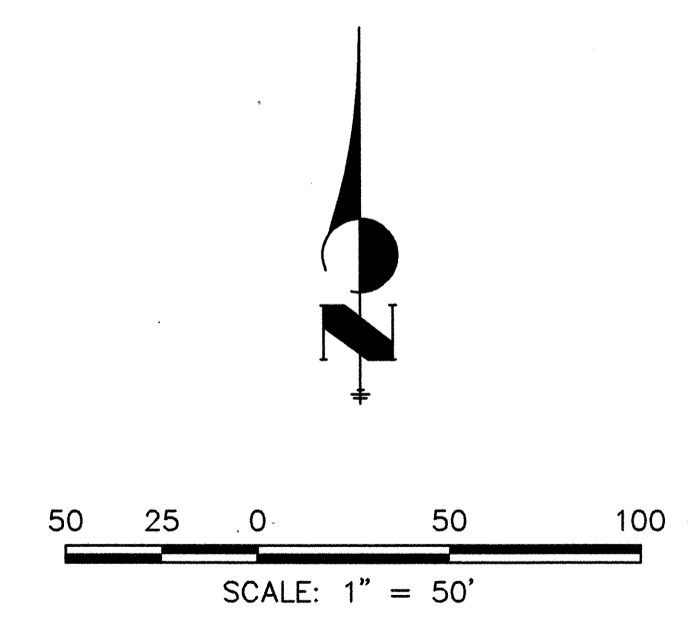
LEGEND:

- PROPOSED MINOR/2' CONTOUR
- PROPOSED MAJOR/10' CONTOUR
- EXISTING MINOR/2' CONTOUR
- EXISTING MAJOR/10' CONTOUR
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING ELECTRICAL
- EXISTING TELEPHONE
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED PROPERTY BOUNDARY
- PROPOSED CURB AND GUTTER FLOWLINE
- EXISTING CURB AND GUTTER
- PROPOSED RETAINING WALL
- EXISTING TOE OF SLOPE
- EXISTING TOP OF SLOPE
- PROPOSED PHASE LINE
- HIGH POINT
- LOW POINT
- FINISHED FLOOR ELEVATION
- PROPOSED FLOW ARROW
- EXISTING FLOW ARROW

EROSION CONTROL LEGEND:

KEY	TITLE	SYMBOL
(SF)	SILT FENCE	SF
(VTC)	VEHICLE TRACKING CONTROL	
(IP)	INLET PROTECTION	
(LOC)	LIMITS OF CONSTRUCTION	
(CD)	ROCK CHECK DAM	
(RCS)	ROUGH CUT STREET CONTROL	
(SB)	SEDIMENT BASIN	
(OP)	OUTLET PROTECTION	

- NOTES:**
- EACH LOT WILL BE REQUIRED TO SUBMIT EROSION CONTROL PLANS WITH FINAL CONSTRUCTION DOCUMENTS PER TOWN OF MONUMENT STANDARDS AND SPECIFICATIONS.
 - THE EROSION CONTROL IDENTIFIED ON THIS PLAN IS SCHEMATIC IN NATURE. DETAILED EROSION CONTROL DESIGN WILL BE PROVIDED WITH OVERLOT GRADING AND EROSION CONTROL CONSTRUCTION DOCUMENTS.



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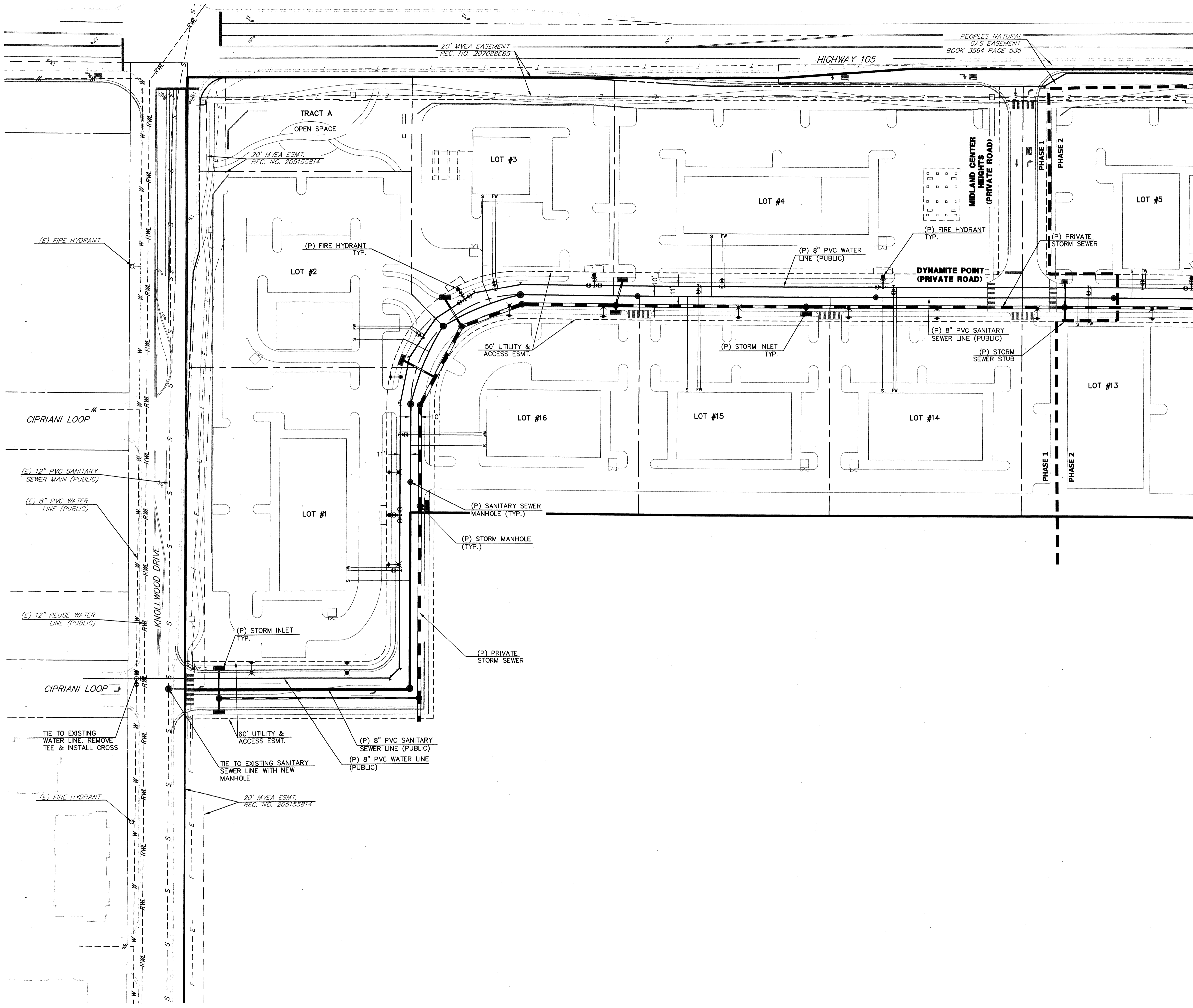
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2	REVISED PER SUBMITTAL COMMENTS	03/29/10	GLY

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=50'	N/A	03/05/10	KPK	GLY	

VILLAGE CENTER
 FILING NO. 4
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 EROSION CONTROL PLAN

SHEET 7 OF 9
 JOB NO. 29949.04

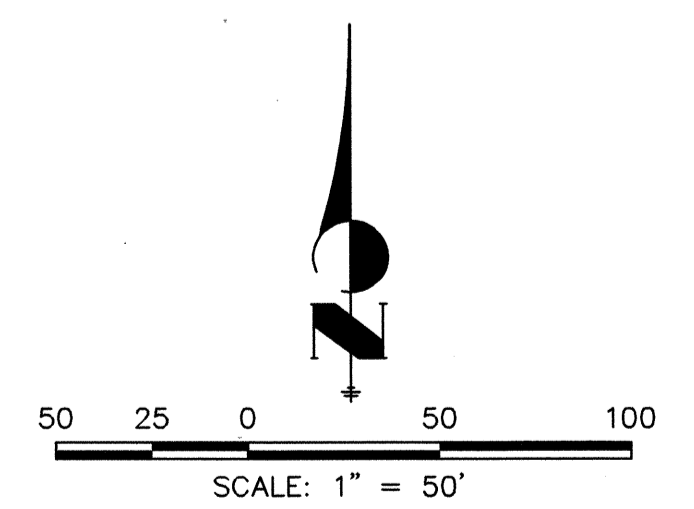
210078375 8/13/10



- LEGEND:**
- - - S - - - EXISTING SANITARY SEWER
 - - - S - - - PROPOSED SANITARY SEWER MAIN
 - - - - PROPOSED SANITARY SEWER MANHOLE
 - - - S - - - PROPOSED SANITARY SEWER SERVICE
 - - - W - - - PROPOSED WATERLINE
 - - - W - - - EXISTING WATERLINE
 - - - W - - - EXISTING REUSE WATERLINE
 - - - W - - - PROPOSED WATERLINE BEND
 - - - W - - - PROPOSED WATERLINE TEE
 - - - W - - - PROPOSED DOMESTIC WATER SERVICE
 - - - W - - - PROPOSED FIRE LINE
 - - - - PROPOSED GATE VALVE
 - - - - PROPOSED FIRE HYDRANT
 - - - - EXISTING FIRE HYDRANT
 - - - E - - - EXISTING ELECTRICAL
 - - - T - - - EXISTING TELEPHONE
 - - - S - - - PROPOSED STORM PIPE
 - - - S - - - PROPOSED STORM SEWER INLET
 - - - S - - - EXISTING STORM PIPE
 - - - S - - - PROPOSED EASEMENT
 - - - S - - - EXISTING EASEMENT
 - - - S - - - PROPOSED PROPERTY LINE
 - - - S - - - PROPOSED RIGHT OF WAY
 - - - S - - - EXISTING RIGHT OF WAY
 - - - S - - - PROPOSED RETAINING WALL
 - - - S - - - PROPOSED PHASE LINE
 - ✕ - - - PROPOSED STREET LIGHT

- NOTES:**
- GAS AND ELECTRIC METER SIZES AND LOCATIONS WILL BE COORDINATED WITH AQUILA AND MVEA, RESPECTIVELY.
 - ALL BUILDINGS WITH GREATER THAN 6,000 SQUARE FEET GROSS AREA WILL REQUIRE A FIRE SPRINKLER SYSTEM PER TRI-LAKES FIRE PROTECTION DISTRICT STANDARDS.
 - PRELIMINARY UTILITY LOCATIONS AND SIZES ARE SUBJECT TO CHANGE DURING FINAL DESIGN CALCULATIONS.
 - A MONITORING MANHOLE WILL BE INSTALLED AT ALL BUILDING SEWER TAPS PER WOODMOOR WATER AND SANITATION DISTRICT'S STANDARDS AND SPECIFICATIONS.
 - NO TREES TO BE PLANTED WITHIN 10 FEET OF ANY WATER MAIN, SANITARY SEWER MAIN, WATER SERVICES WITHIN A PUBLIC UTILITY EASEMENT, FIRE HYDRANT, MANHOLE, VAULT, OR ANY OTHER PUBLIC WATER OR SANITARY SEWER APPURTENANCE MAINTAINED BY THE WOODMOOR WATER AND SANITATION DISTRICT.
 - ALL PUBLIC WATER AND WASTEWATER SYSTEMS TO BE OWNED, OPERATED AND MAINTAINED BY WOODMOOR WATER AND SANITATION DISTRICT WILL BE LOCATED IN A RECORDED PUBLIC R.O.W. OR UTILITY EASEMENT. THIS INCLUDES APPURTENANCES SUCH AS THE CURB STOP FOR DOMESTIC WATER SERVICE, FIRST VALVE ON FIRE HYDRANT LATERALS, STREET-SIDE CLEANOUTS ON SEWER SERVICE, AND MONITORING MANHOLES FOR SEWER. TYPICAL EASEMENT WIDTHS ARE 30' FOR A SINGLE UTILITY AND 50' FOR TWO OR MORE UTILITIES.
 - WOODMOOR WATER AND SANITATION DISTRICT REQUIRES THAT ALL NEW DEVELOPMENTS WITHIN THE DISTRICT'S BOUNDARIES SUBMIT THEIR UTILITY CONSTRUCTION DOCUMENTS DIRECTLY TO THE DISTRICT FOR REVIEW AND APPROVAL. THE DISTRICT'S REVIEW MAY INDICATE A NEED FOR ADDITIONAL OR LARGER EASEMENT WIDTHS TO ACCOMMODATE WATER AND WASTEWATER FACILITIES WHICH CAN BE RECORDED BY SEPARATE DOCUMENT AFTER THE PLAT IS RECORDED.
 - THE PD SITE PLAN IS A GENERAL OVERVIEW OF THE PROPOSED WATER AND SEWER SYSTEMS AS THEY RELATE TO POTENTIAL IMPACTS TO THE EXISTING WATER AND SEWER SYSTEMS AT THE PROPOSED SERVICE POINTS. THIS PLAN DOES NOT ENCOMPASS TECHNICAL ASPECTS OF DESIGN FOR THE PROPOSED WATER AND SEWER SYSTEMS WITHIN THE DEVELOPMENT SUCH AS MINIMUM CURVE RADII, MAXIMUM DEFLECTION REQUIREMENTS, SLOPES, ETC. ALL NEW DEVELOPMENT WITHIN THE DISTRICT'S BOUNDARIES IS SUBJECT TO AND SHALL COMPLY WITH ALL DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS REGARDING WATER AND SANITARY SERVICES, INCLUSIONS, IMPROVEMENTS, ETC., WHETHER SPECIFICALLY INDICATED OR SITED ON THIS PLAN OR NOT.

MATCHLINE SEE SHEET 9



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No.	REVISION	DATE	BY	
			DATE	BY
1	REVISED PER SUBMITTAL COMMENTS	07/20/10	GLY	
2	REVISED PER SUBMITTAL COMMENTS	03/08/10	GLY	
3	REVISED PER SUBMITTAL COMMENTS	3/29/10	GLY	

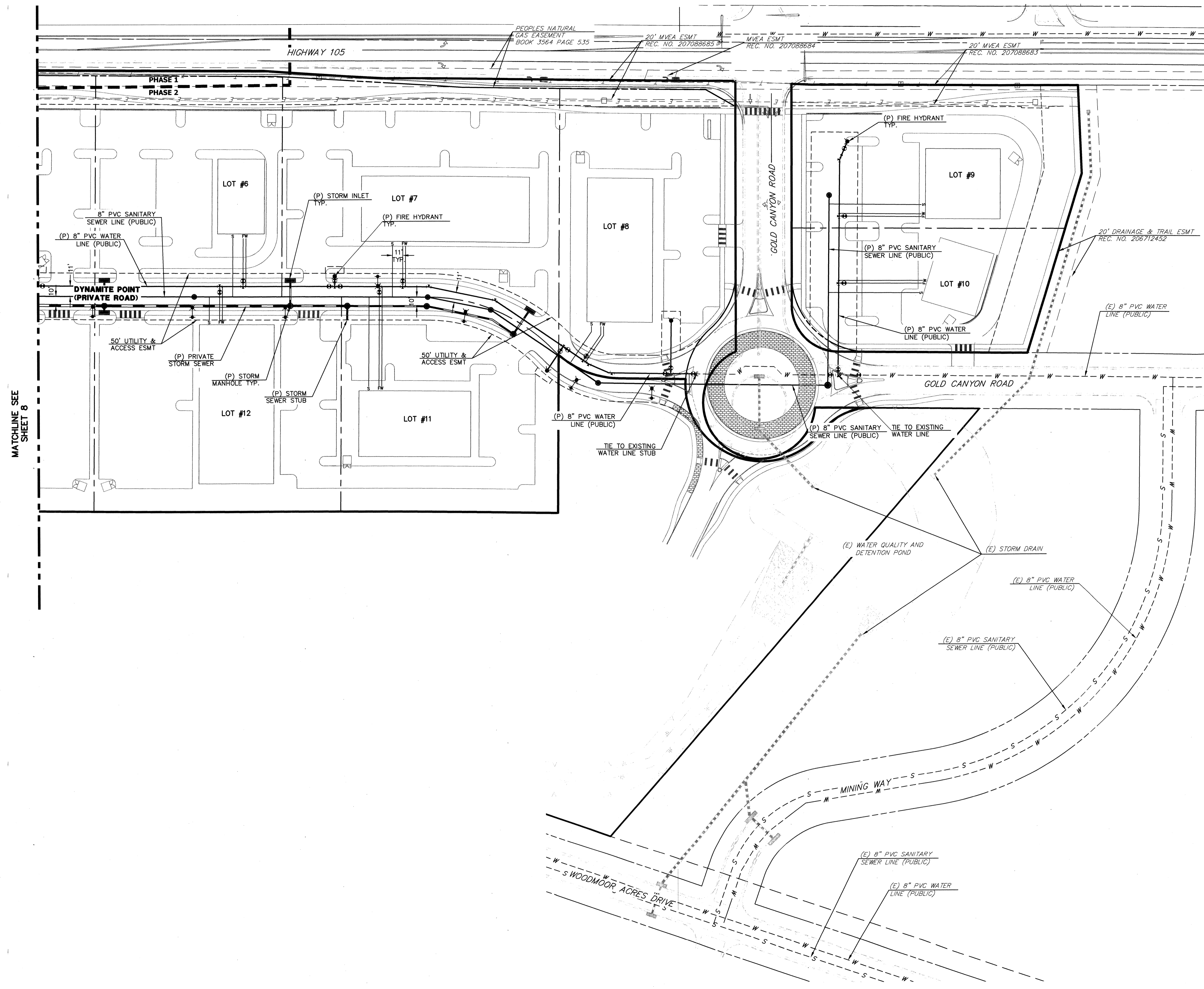
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1"=50'	N/A	08/13/08	KPK	GLY	

VILLAGE CENTER
 FILING NO. 4
 PRELIMINARY PD SITE PLAN
 PRELIMINARY UTILITY PLAN

SHEET 8 OF 9
 JOB NO. 29949.04

210078375 8-13-10

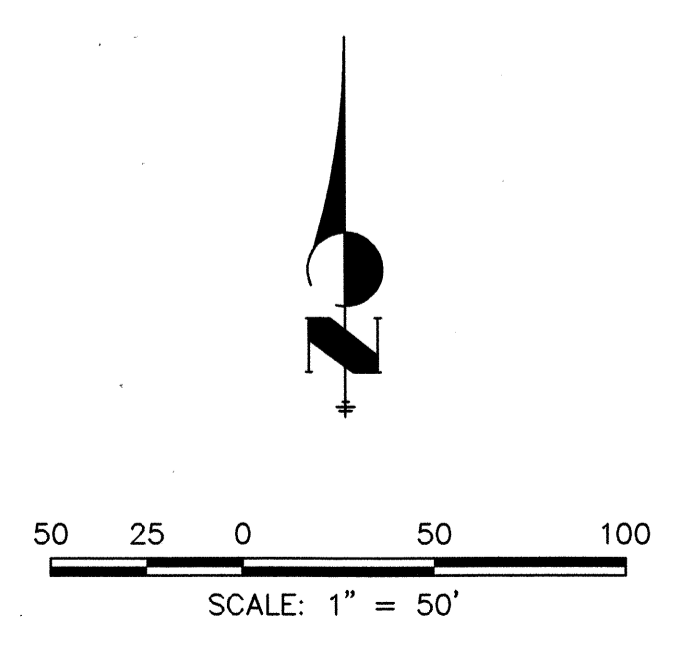
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MATCHLINE SEE SHEET 8

- LEGEND:**
- S — EXISTING SANITARY SEWER
 - S — PROPOSED SANITARY SEWER MAIN
 - PROPOSED SANITARY SEWER MANHOLE
 - S — PROPOSED SANITARY SEWER SERVICE
 - W — PROPOSED WATERLINE
 - W — EXISTING WATERLINE
 - RW — EXISTING REUSE WATERLINE
 - ⊕ PROPOSED WATERLINE BEND
 - ⊕ PROPOSED WATERLINE TEE
 - W — PROPOSED DOMESTIC WATER SERVICE
 - F — PROPOSED FIRE LINE
 - ⊕ PROPOSED GATE VALVE
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ EXISTING FIRE HYDRANT
 - E — EXISTING ELECTRICAL
 - E — EXISTING TELEPHONE
 - S — PROPOSED STORM PIPE
 - S — PROPOSED STORM SEWER INLET
 - S — EXISTING STORM PIPE
 - S — PROPOSED EASEMENT
 - S — EXISTING EASEMENT
 - S — PROPOSED PROPERTY LINE
 - S — PROPOSED PROPERTY BOUNDARY
 - S — PROPOSED RIGHT OF WAY
 - S — EXISTING RIGHT OF WAY
 - S — PROPOSED RETAINING WALL
 - S — PROPOSED PHASE LINE
 - S — PROPOSED STREET LIGHT

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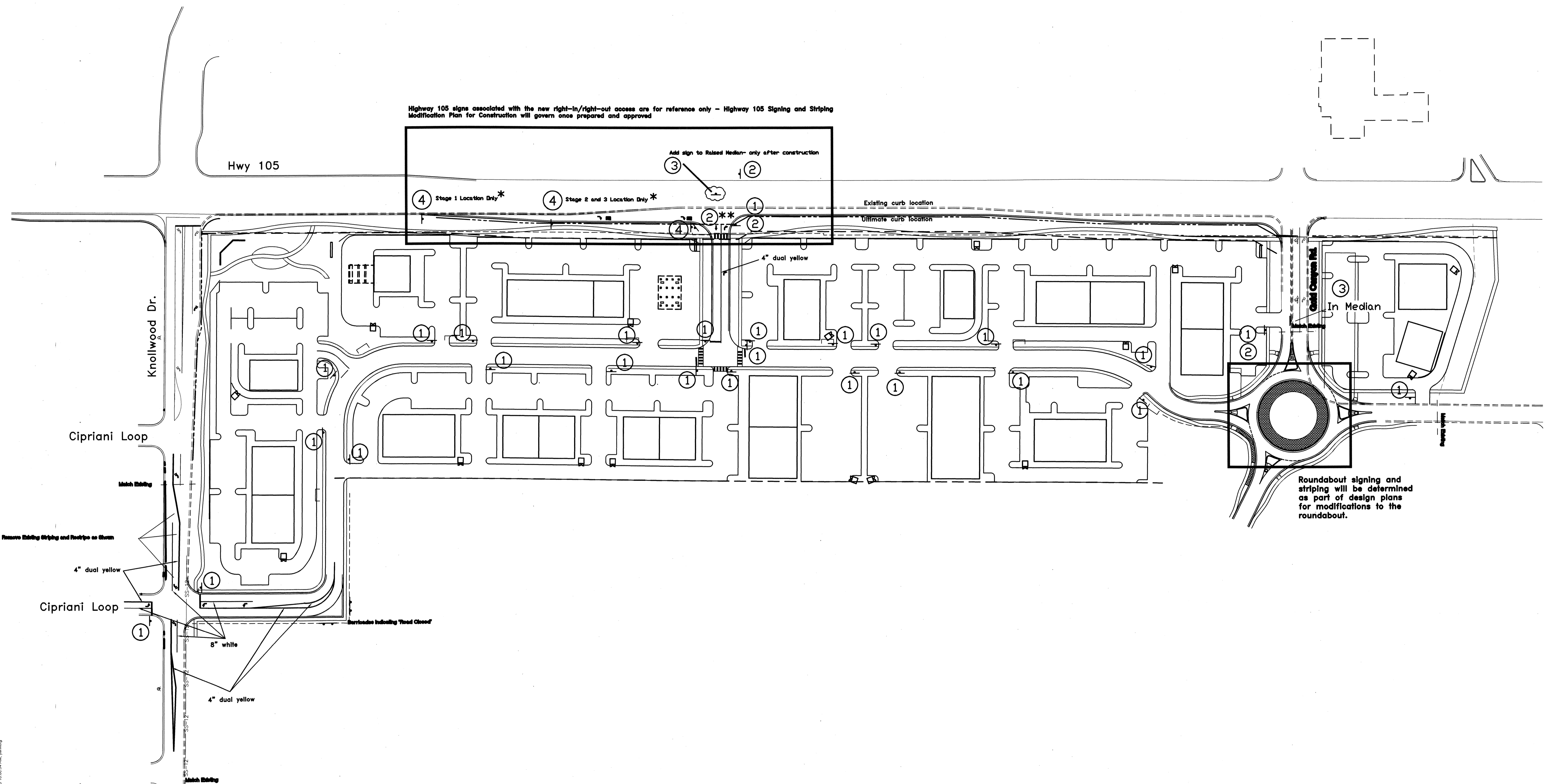
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GLY	03/08/10	REVISED PER SUBMITTAL COMMENTS	2								
GLY	3/29/10	REVISED PER SUBMITTAL COMMENTS	3								

VILLAGE CENTER
FILING NO. 4
PRELIMINARY PD SITE PLAN
PRELIMINARY UTILITY PLAN

SHEET 9 OF 9
JOB NO. 29949.04

210079375 8-13-10

Highway 105 signs associated with the new right-in/right-out access are for reference only - Highway 105 Signing and Striping Modification Plan for Construction will govern once prepared and approved

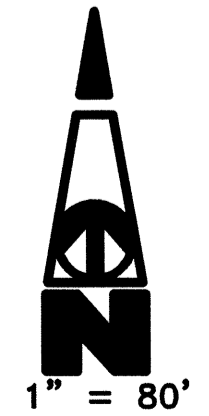


Roundabout signing and striping will be determined as part of design plans for modifications to the roundabout.

SIGN LEGEND: | --Post-mounted sign

①		②		③	
		④			

* Refer to LSC Memo dated March 5, 2009 for details on stages 1, 2 and 3.
 ** Only needed prior to median construction



REVIEWED BY		DATE	
TOWN OF MONUMENT		DATE	
Preliminary Internal Signing and Striping Plan Village Center			
DRAWN BY: E.JL/JCH	CHECKED BY: JCH	DATE: 3/8/10	
PROJECT NO. 084741	SHEET NO. T1.0		
LSC Transportation Consultants, Inc. <small>516 N. TEJON ST., COLORADO SPRINGS, CO 80903 (719) 633-2868</small>			

210078375 8-13-10

X:\2009\0001\084741\084741\084741_VillageCenterSigningPlan.dwg, Layer1, 6/26/2010 10:02:34 AM, jch

SITE CATEGORY CALCULATION FORMATS:

HIGHWAY 105 LANDSCAPE STREETSCAPE REQUIREMENTS

Table with 6 columns: Lot Number/Parcel, Street Name, Width (in ft.), Linear Req./Prov., Tree/Feet Required, No. of Trees Req./Prov.

KNOLLWOOD RD. LANDSCAPE STREETSCAPE REQUIREMENTS

Table with 6 columns: Lot Number/Parcel, Street Name, Width (in ft.), Linear Req./Prov., Tree/Feet Required, No. of Trees Req./Prov.

EAST LANDSCAPE PERIMETER REQUIREMENTS

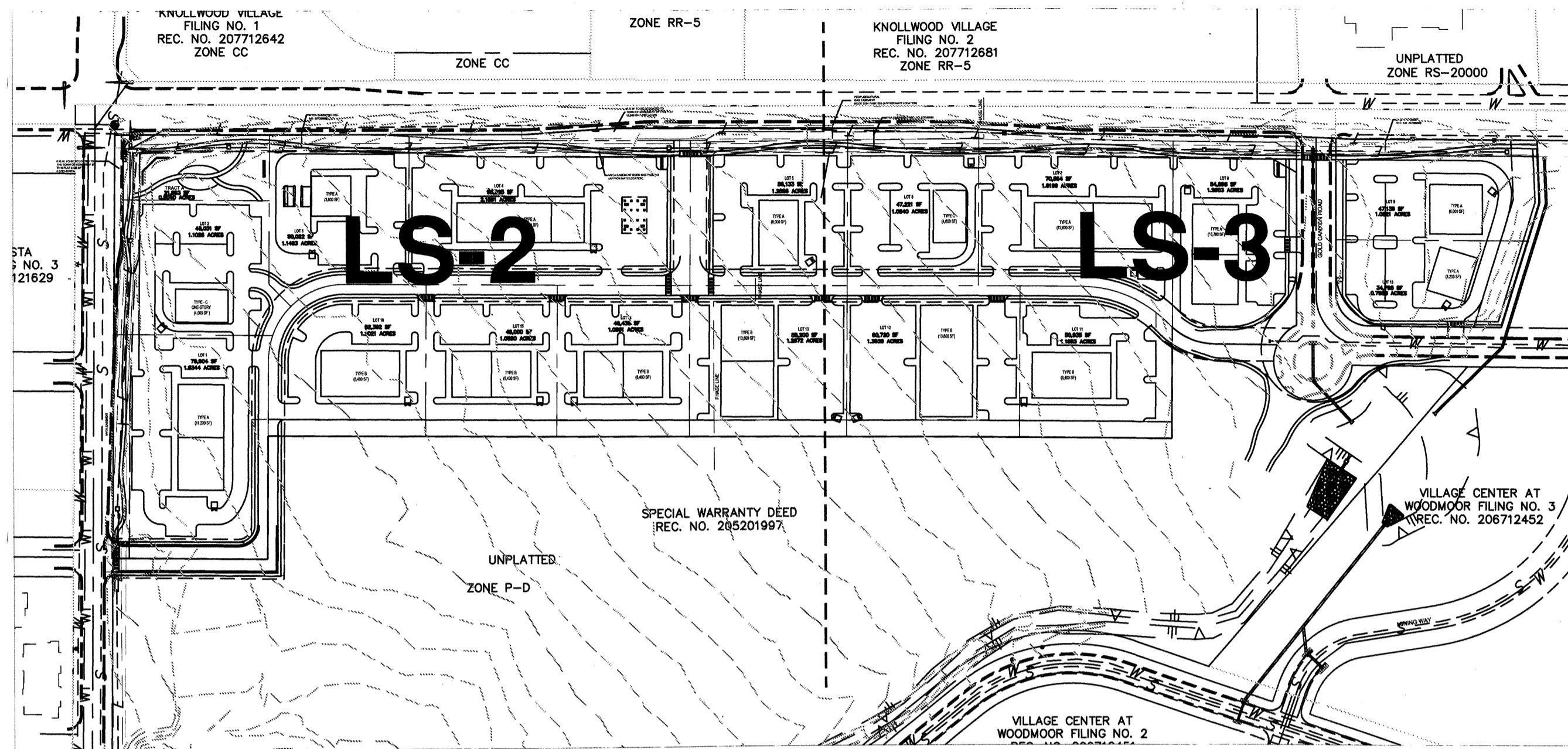
Table with 7 columns: Lot Number/Parcel, Perimeter Boundary, Width (in ft.), Linear Req./Prov., Tree/Feet Required, No. of Trees Req./Prov., Evergreen Trees (1/3) Req./Prov.

SOUTH LANDSCAPE PERIMETER REQUIREMENTS

Table with 7 columns: Lot Number/Parcel, Perimeter Boundary, Width (in ft.), Linear Req./Prov., Tree/Feet Required, No. of Trees Req./Prov., Evergreen Trees (1/3) Req./Prov.

INTERNAL LOT LANDSCAPE REQUIREMENTS

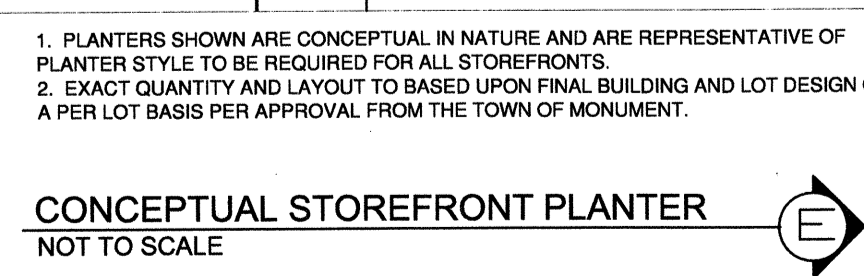
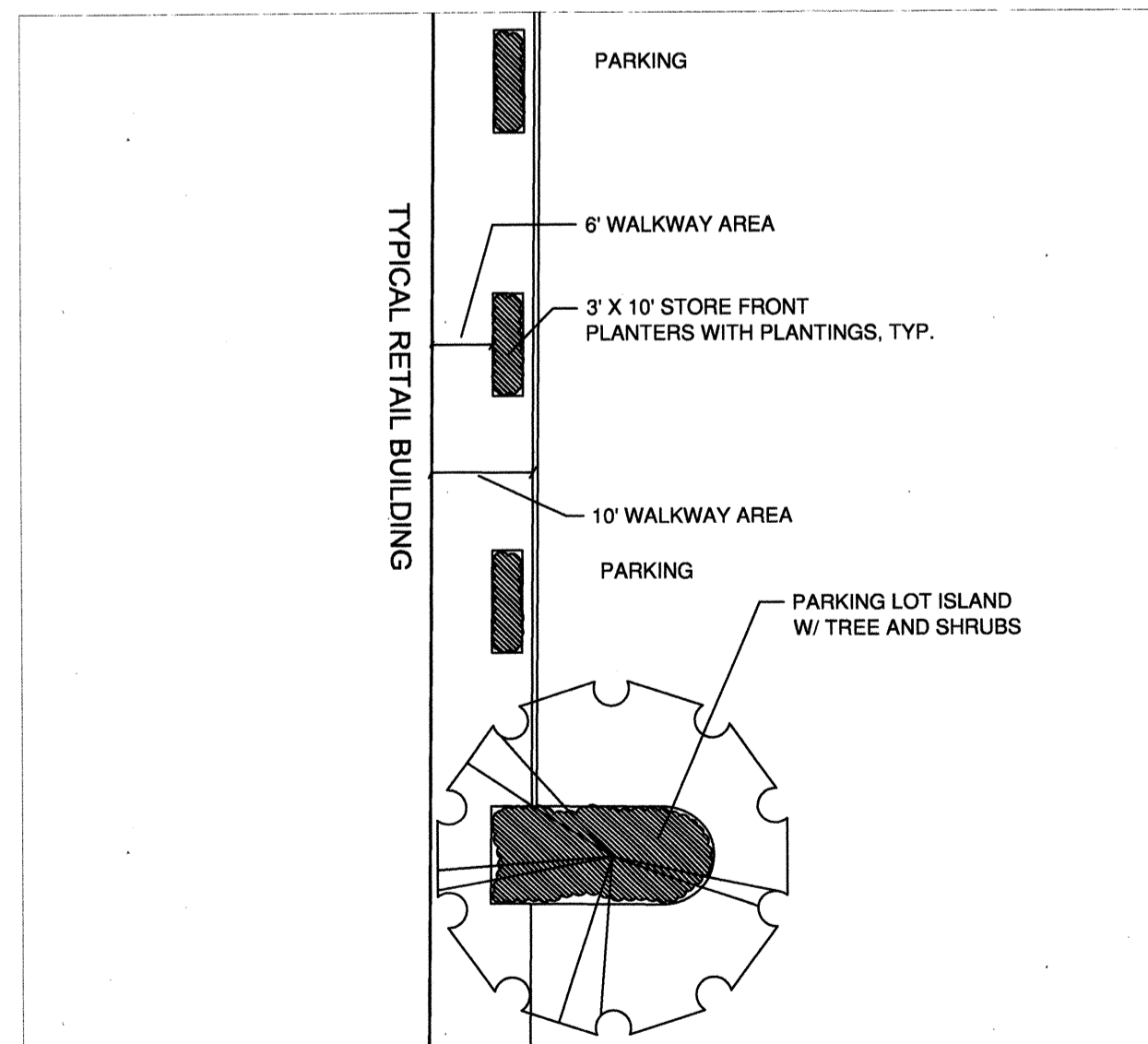
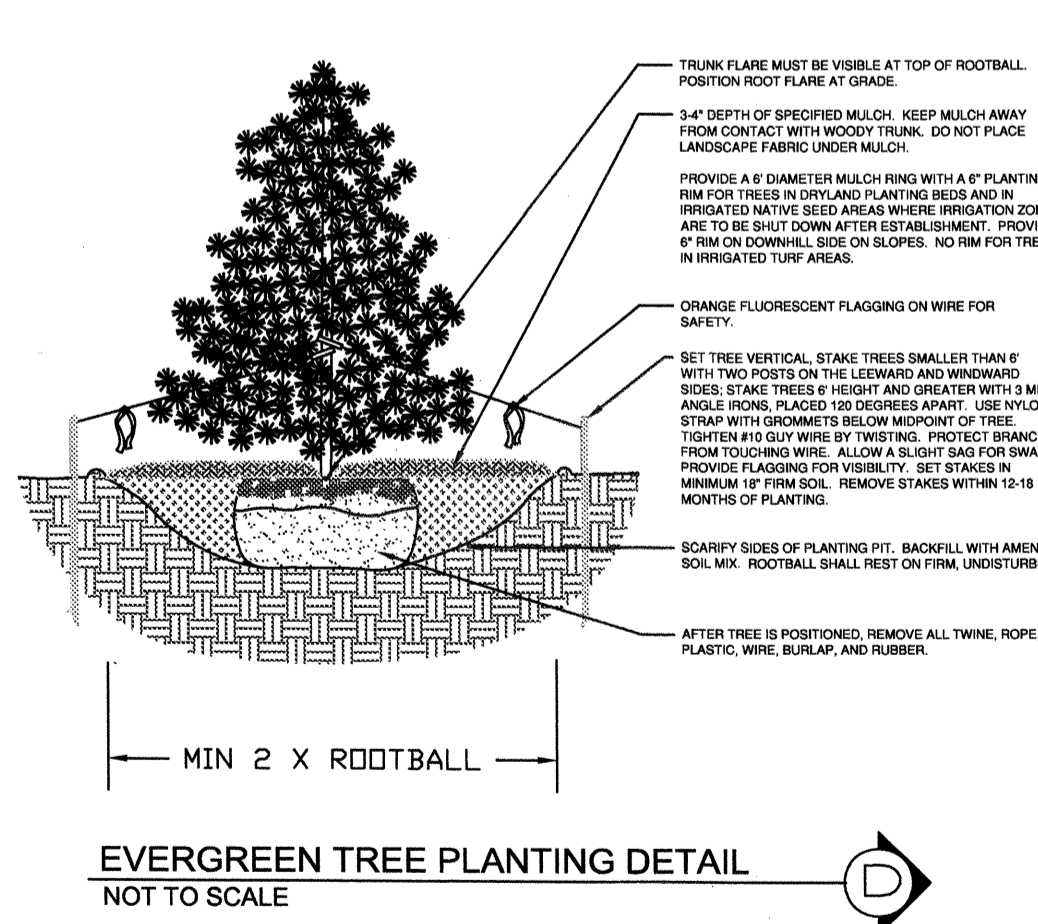
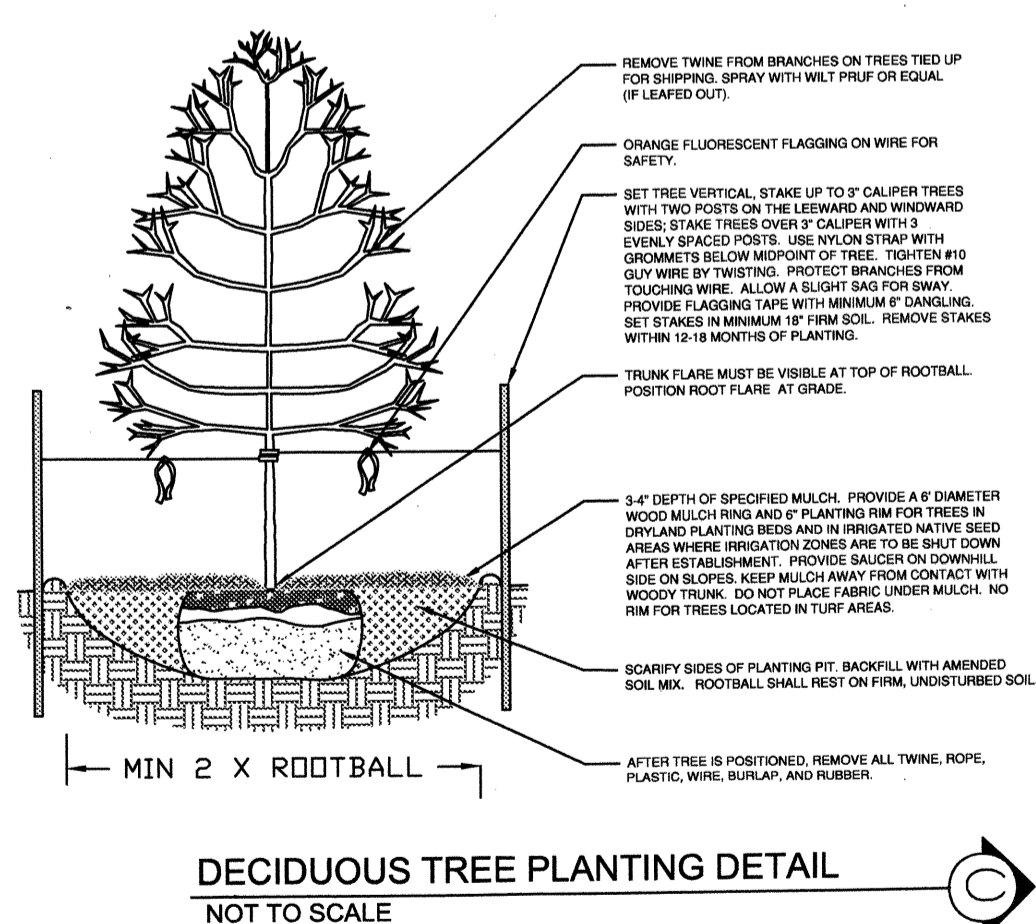
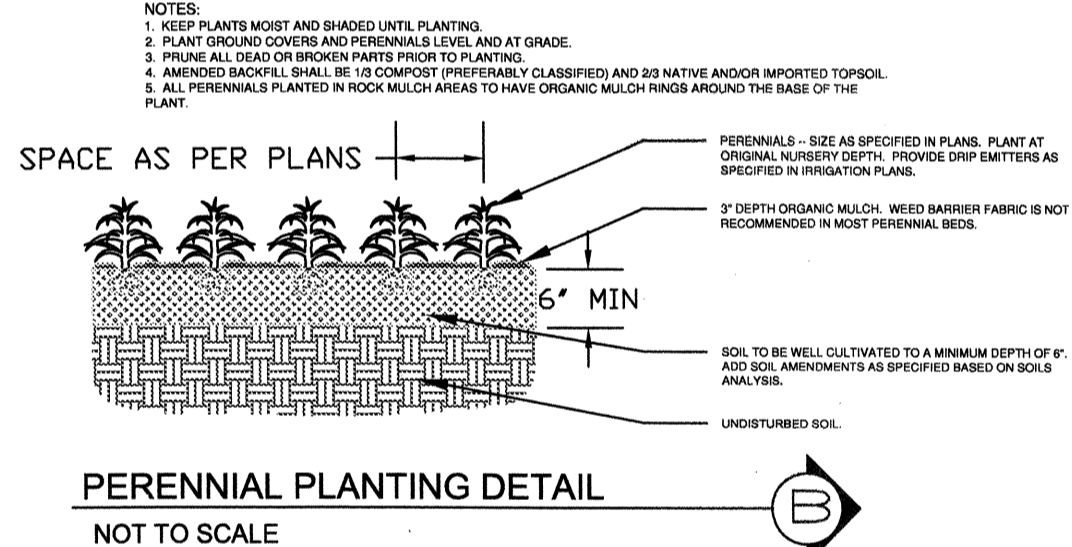
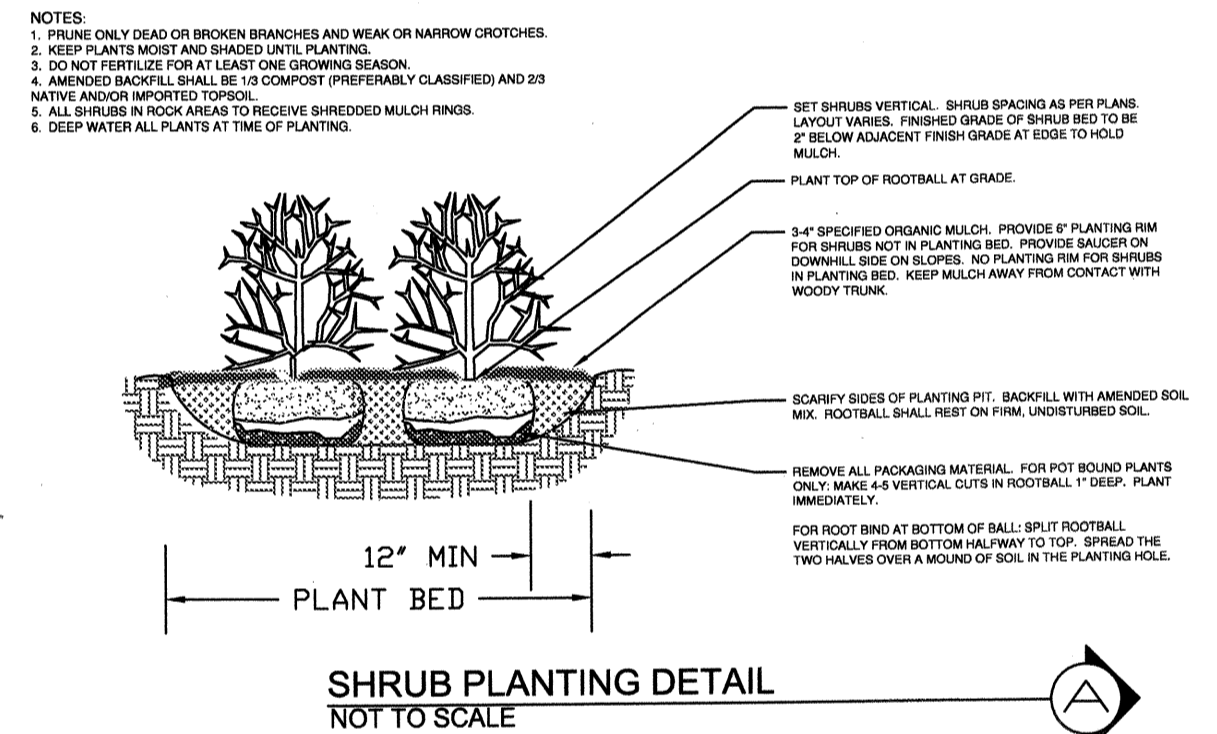
Table with 6 columns: Lot Number/Parcel, Perimeter Boundary, Width (in ft.), Linear Req./Prov., Tree/Feet Required, No. of Trees Req./Prov.



KEY MAP:

GENERAL NOTES:

- 1. All Tree and Shrub Calculations and Requirements shall be per the Village Center Design Guidelines.
2. All interior landscape requirements per individual lot shall meet the landscape requirements as illustrated in the Village Center Design Guidelines.
3. All lots will be required to provide a minimum 10% of each lot for landscape area.
4. A copy of the Village Center Design Guidelines was submitted to the Town of Monument as a supplemental package to the Preliminary SD Plan.
5. All tree, shrub, and ornamental grass species shown are recommended for use throughout the Village Center development.
6. All mulches, cobble, and groundcover to meet the requirements and specifications of the Village Center Design Guidelines.
7. All tree and shrub locations are conceptual in nature and subject to change pending approval by Town of Monument.
8. Detailed landscape and irrigation design will be provided during the Final Site Plan, Final Landscape Plans, and Construction Documents
9. No trees to be planted within 10' of any water main, sanitary sewer main, water service within a public utility easement, fire hydrant, manhole, vault, or any other public water or sanitary sewer appurtenance maintained by the Woodmoor Water and Sanitation District.
10. All trees to be located a minimum 7' from all electrical lines, measured from the outside edge of the electric line to the centerline of the proposed tree as required by Mountain View Electric Association (MVEA).
11. All electric transformers and junction boxes to have a minimum 10' clearance at all doors and enclosure openings.
12. No certificate of occupancy for Phase 1 shall be granted until the entry feature landscaping at Knollwood Drive, entry feature landscaping at the Right In/Right Out, and the Tract A landscaping/amenities have been installed.
13. No certificate of occupancy for Phase 2 shall be granted until the entry feature landscaping at Gold Canyon Road and the roundabout landscaping/amenities have been installed.



LANDSCAPE SCHEDULE:

Table with columns: SYM, CODE, QTY, BOTANICAL/COMMON NAME, KEY (app. B), MATURE HT./WD., PLANTING SIZE, NOTES. Lists various tree and shrub species and quantities.

Table with columns: SYMBOL, DESCRIPTION/REMARKS. Lists materials like mulch, steel edge, and rock moss.

GENERAL LANDSCAPE NOTES:

- 1. Drawings are diagrammatic; precise placement of components may not be possible as indicated.
2. Quantities are provided for reference only; verify all quantities prior to submitting cost proposal.
3. The contractor is responsible for inspection and verification of all field conditions and resolving conflicts pertaining to dimensions, layout, etc.
4. All trees and shrubs to receive 4" driped center wood mulch.
5. All trees to have 38" diameter mulch ring in rock mulch areas.
6. There shall be a 3' foot clear space maintained around the circumference around all fire hydrants.
7. Erosion control blanket to be applied on all seeded areas on slopes over 25%.
8. Contractor to utilize stockpiled topsoil from grading operation as available.
9. All parking lot islands and medians not proposed as water quality swales to be filled to a depth of 30" prior to soil amendment and plant installation.

SOIL AMENDMENTS:

- 1. A-1 ORGANIC CLASS 1 BIO-COMPOST organic matter for all plant beds.
2. Fertilizer for all seeded and plant areas: 9-12-8 Analysis with Gelacape and Hydrowater Nutrients, DAP, Sulfate of Potash, Triple Superphosphate, and Microlignite, or equal.
3. Application rates as stated or per manufacturer specifications.

IRRIGATION PLAN:

- 1. An automatic irrigation system will be designed for all landscape and plant materials.
2. An automatic controller and rain sensor will be included as part of the irrigation system.
3. Trees and shrubs shall be irrigated with a drip system. All turf areas shall be irrigated with either pop-up spray heads or gear driven rotors.
4. A watering schedule will be created using matching precipitation rates, run time, and irrigation requirements.

CONCEPT PLAN ONLY NOT FOR CONSTRUCTION

SIGNATURE BLOCK

The undersigned owner/developer understands that all improved land must conform to the regulations set forth in the Chapter 13 of the Monument Municipal Code. The owner/developer agrees to abide by these regulations and to improve and maintain the land as indicated on the approved landscaping plan.

DATE: 01/21/2010 DRAWN: JRA CHECKED: WFG LANDSCAPE ARCHITECT SIGNATURE/STAMP BLOCK PRELIMINARY LANDSCAPE PLAN SHEET NO. LS1 OF SHEETS TRUE NORTH

210078315 8-13-10 Preliminary / PD Site Plan (Ord. 13-97 (part); prior code - 13.13.030)



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VILLAGE CENTER Preliminary PD Plan MONUMENT, COLORADO

DATE: 01/21/2010 DRAWN: JRA CHECKED: WFG LANDSCAPE ARCHITECT SIGNATURE/STAMP BLOCK

REVISIONS: DATE BY COMMENTS 3/5/10 JRA TOWN COMMENTS 3/25/10 JRA TOWN COMMENTS 5/25/10 JRA PLAN REVISIONS

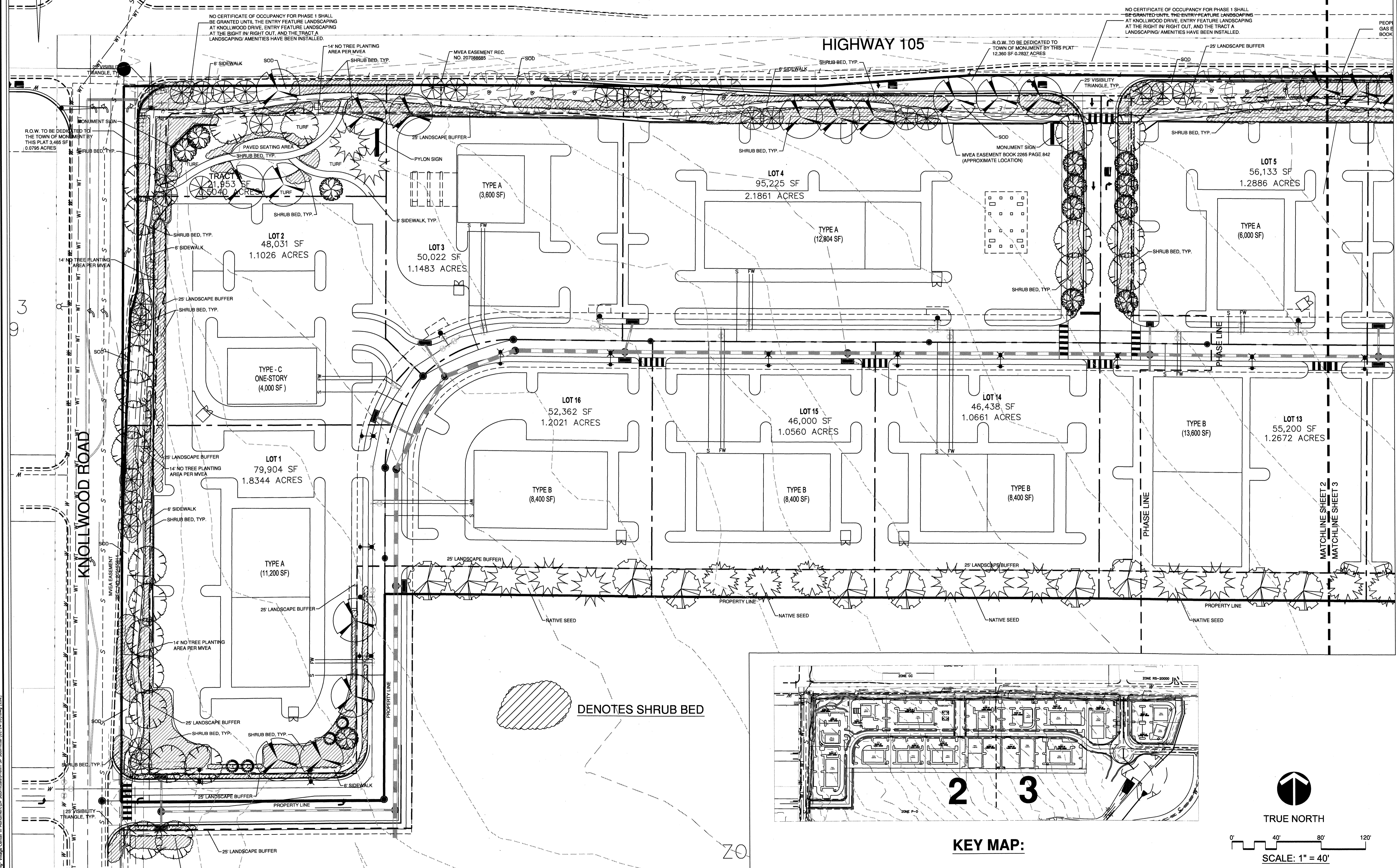
PRELIMINARY LANDSCAPE PLAN SHEET NO. LS1 OF SHEETS

FILING NO. 1
REC. NO. 207712642
ZONE CC

ZONE RR-5

ZONE CC

MATCHLINE SHEET 2
MATCHLINE SHEET 3



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VILLAGE CENTER
Preliminary PD Plan
MONUMENT, COLORADO

DATE: 01/21/2010
DRAWN: JRA
CHECKED: WFG

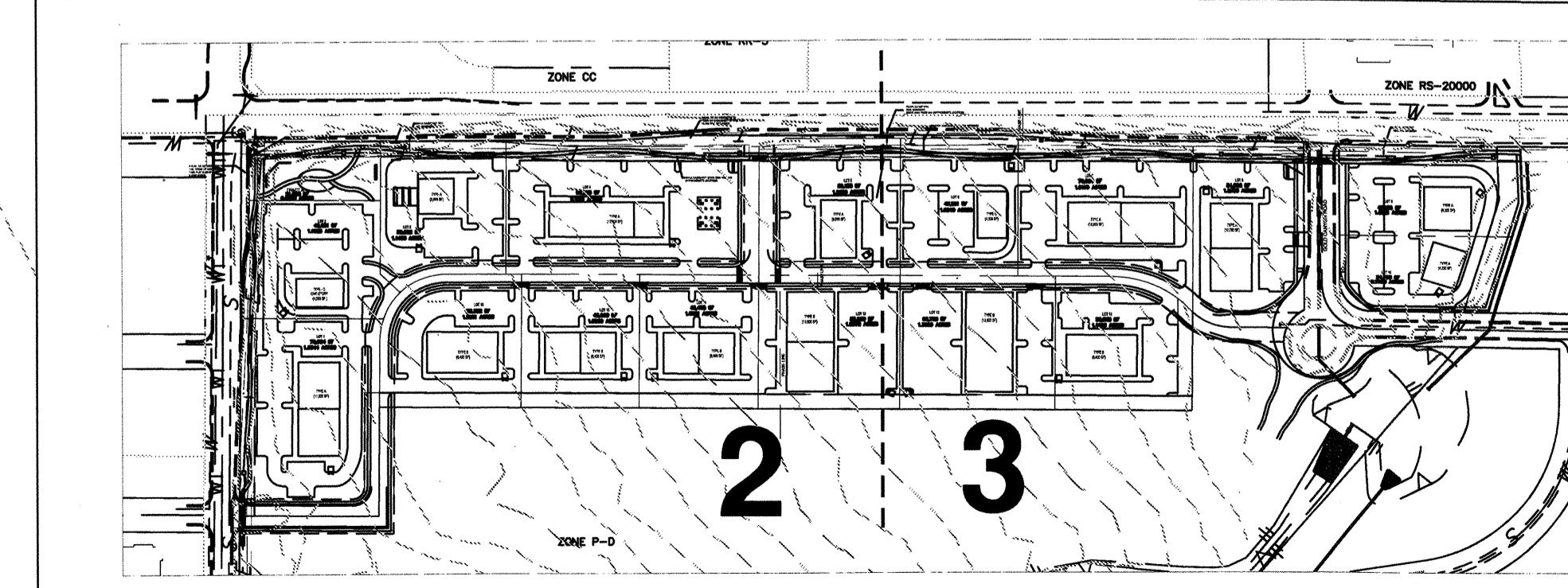
Landscape Architect Signature/ Stamp Block

REVISIONS:

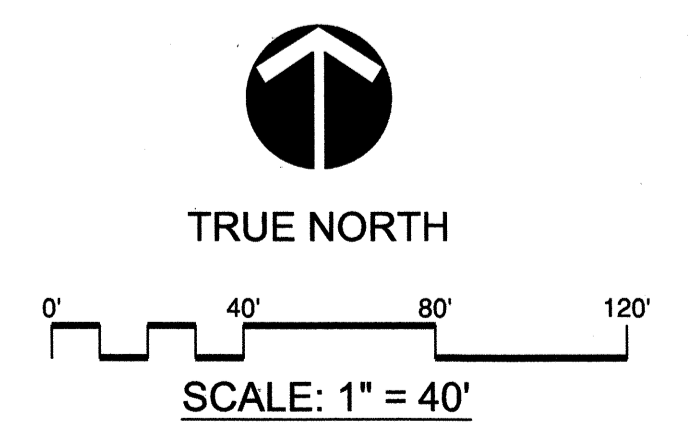
DATE:	BY:	COMMENTS:
3/5/10	JRA	TOWN COMMENTS
3/25/10	JRA	TOWN COMMENTS
4/25/10	JRA	PLAN REVISIONS

PRELIMINARY LANDSCAPE PLAN

SHEET NO.
LS2
OF SHEETS

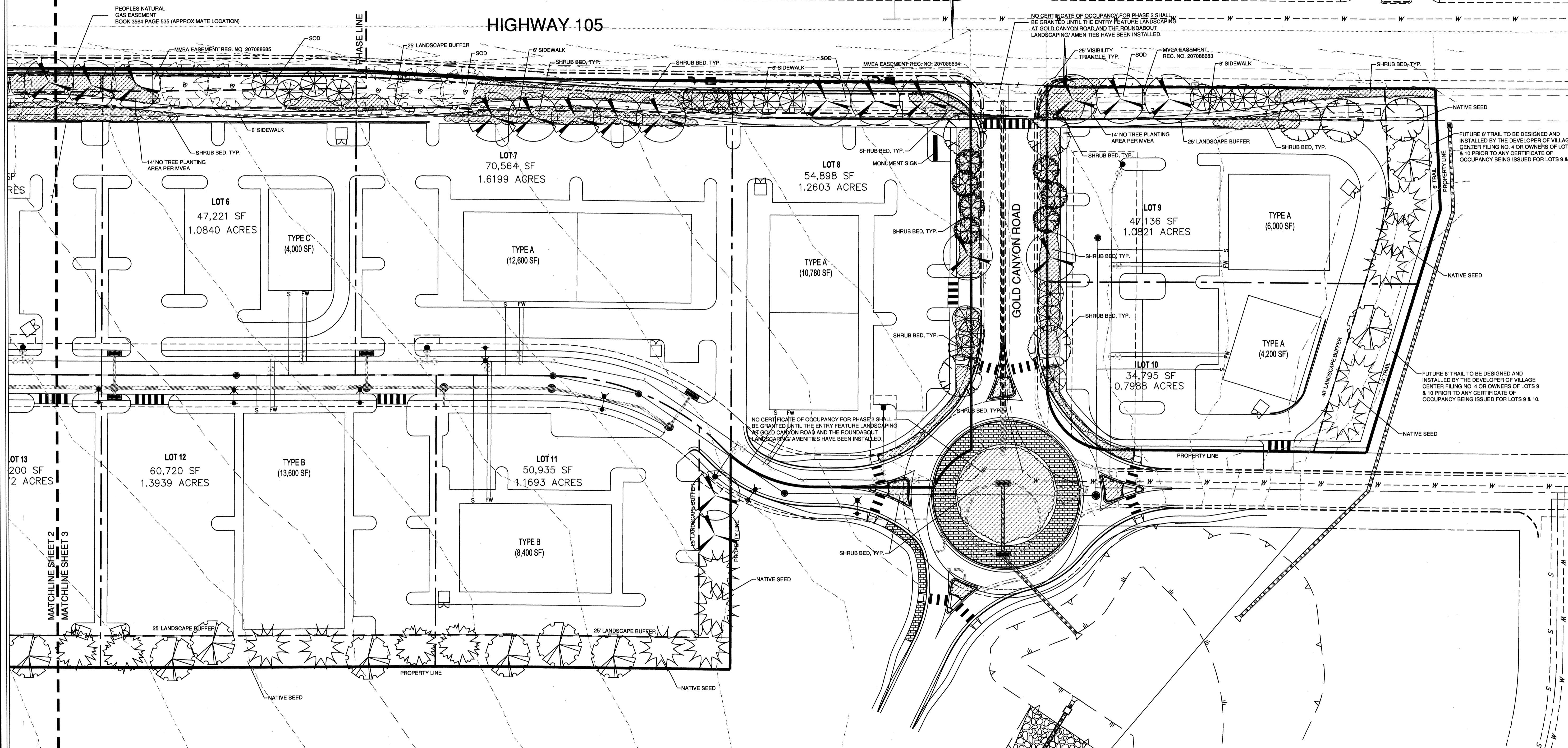


KEY MAP:

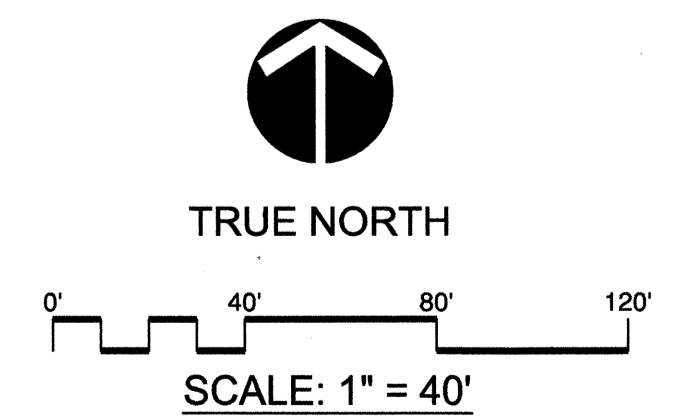
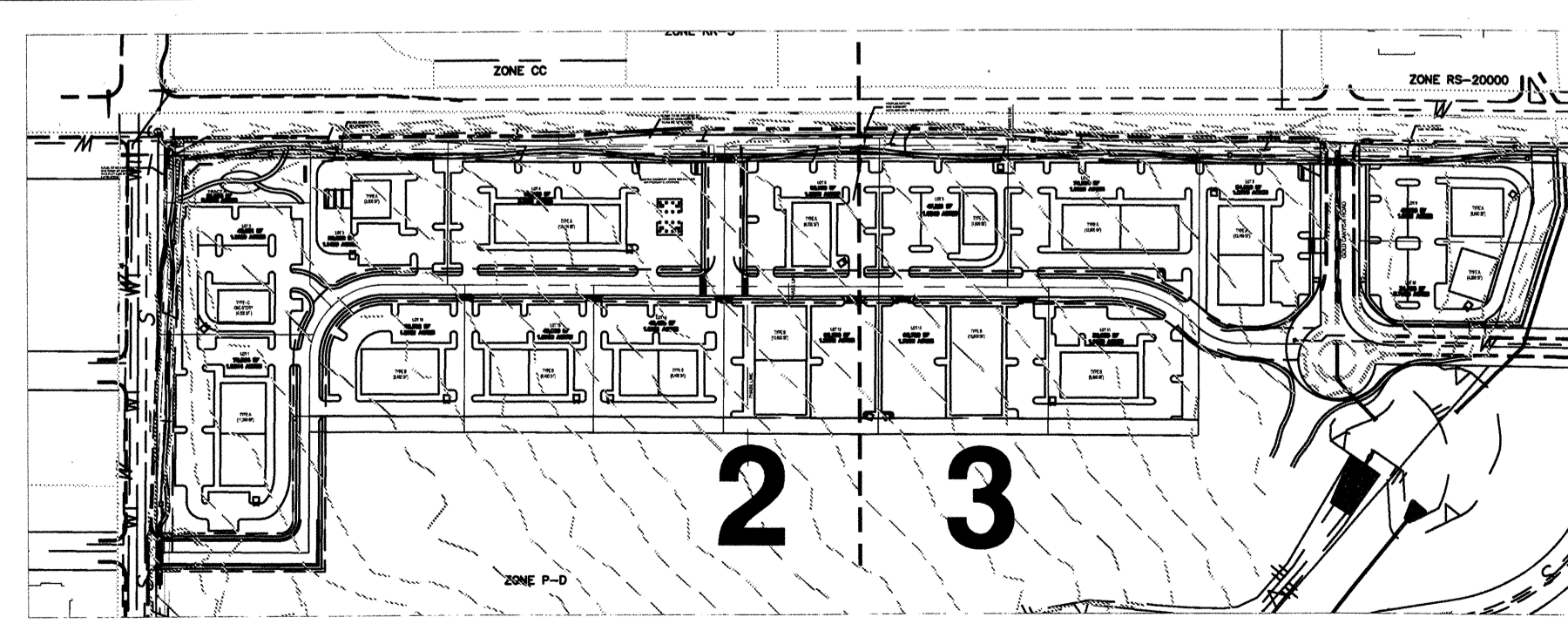


KNOLLWOOD VILLAGE
 FILING NO. 2
 REC. NO. 207712681
 ZONE RR-5

UNPLATTED
 ZONE RS-20000



DENOTES SHRUB BED



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VILLAGE CENTER
 Preliminary PD Plan
 MONUMENT, COLORADO

DATE: 01/21/2010
 DRAWN: JRA
 CHECKED: WFG

Landscape Architect Signature/ Stamp Block

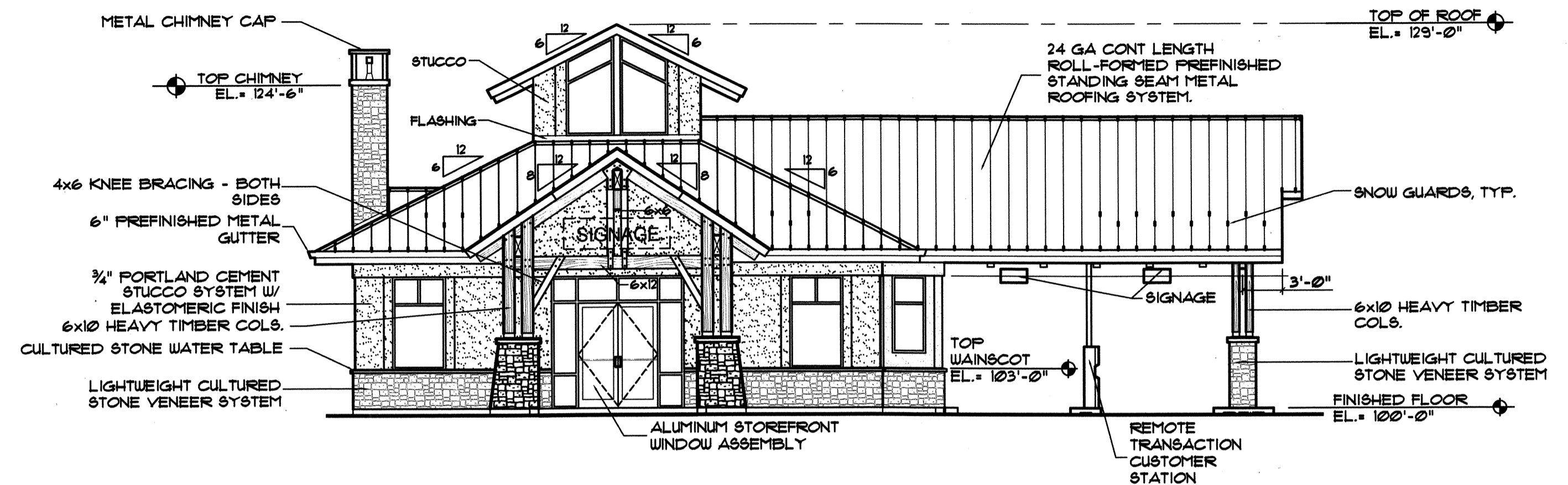
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PRELIMINARY
 LANDSCAPE
 PLAN

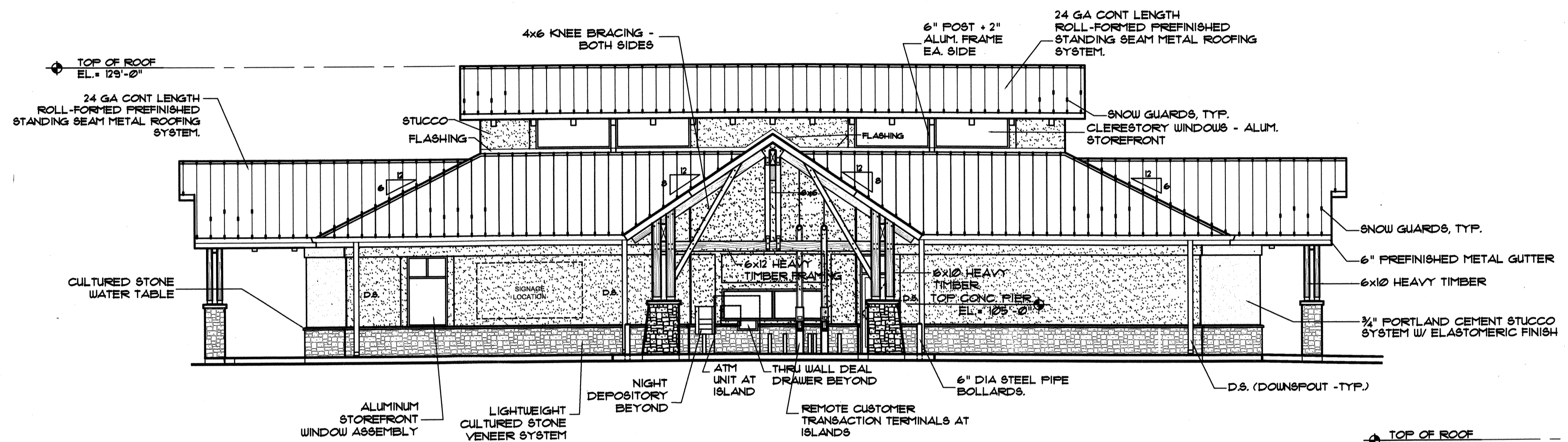
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LS3
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210078375 8-13-10 Preliminary / PD Site Plan

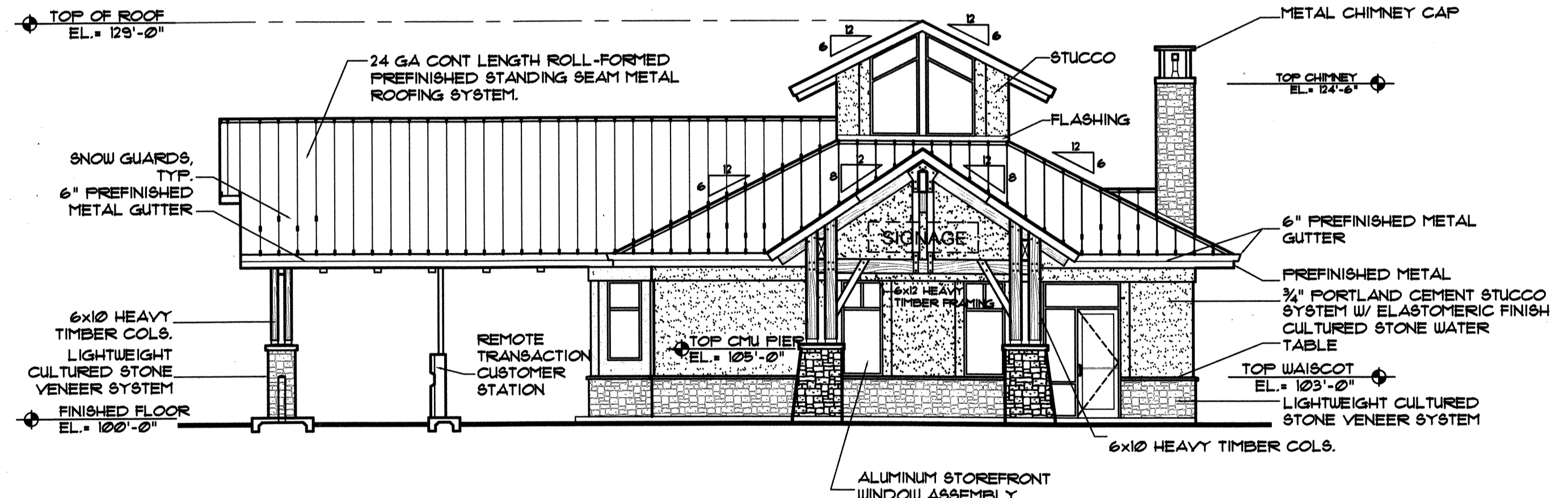
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ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"



DRIVE-THRU ELEVATION
SCALE: 1/8" = 1'-0"



BACK ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATIONS NOTE:
REFER TO SUBMITTED COLOR BOARD
FOR ALL MATERIAL DATA & COLOR

BRANCH BANK - REFERENCE ELEVATION

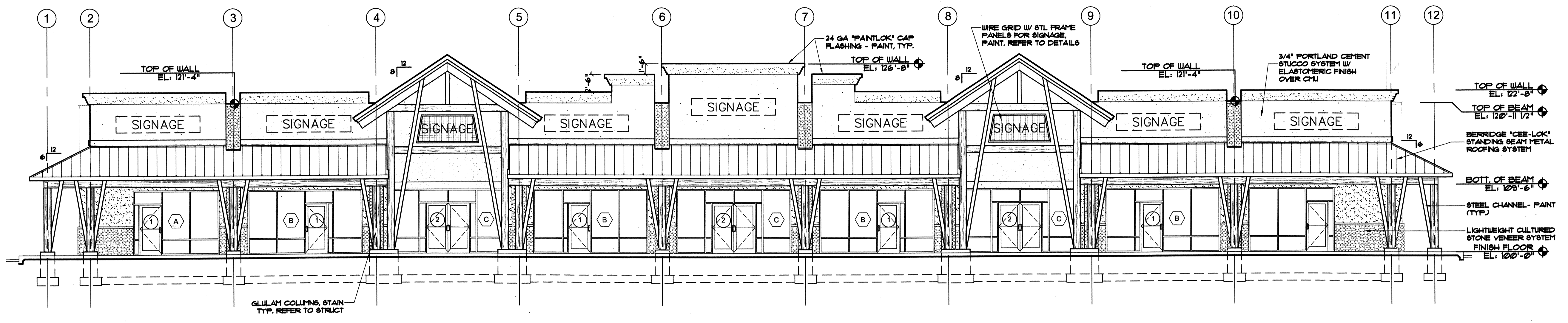
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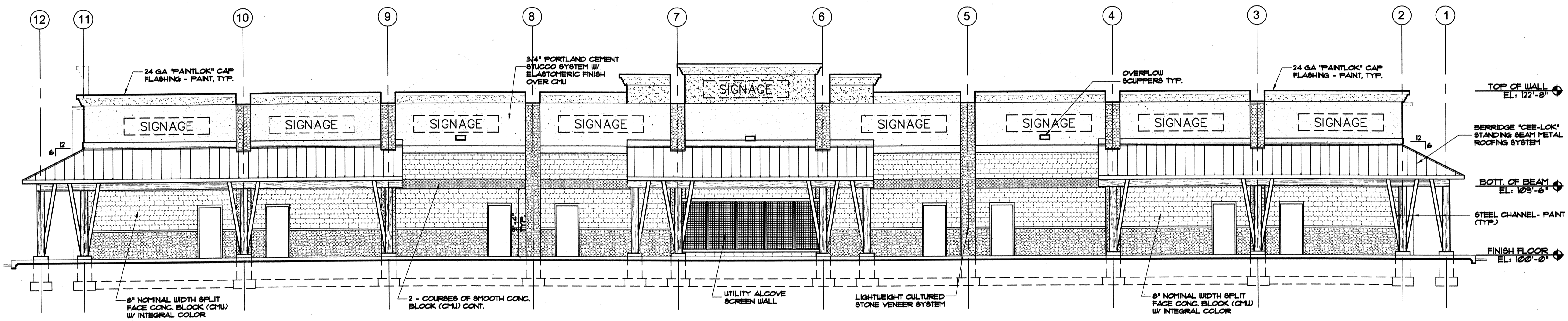
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ISSUE DATE:
SHEET:

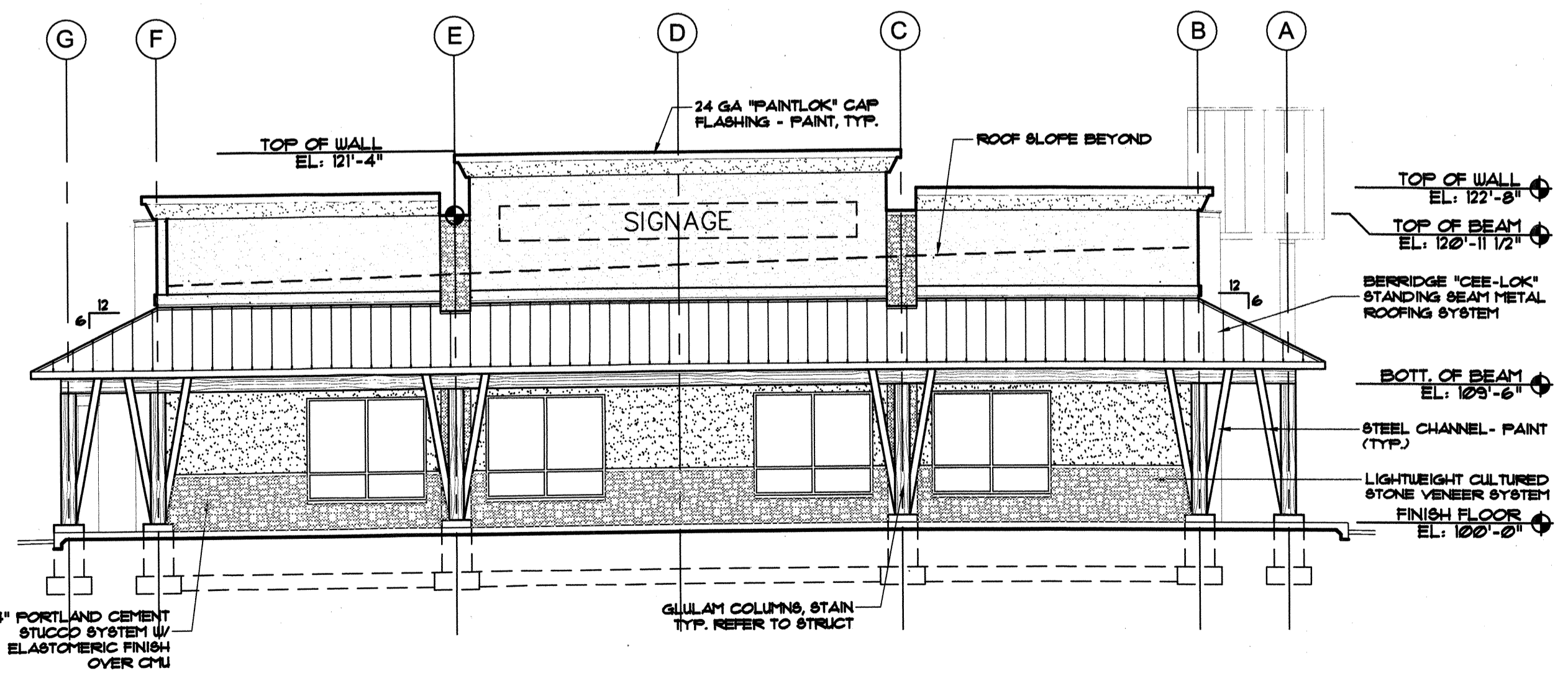
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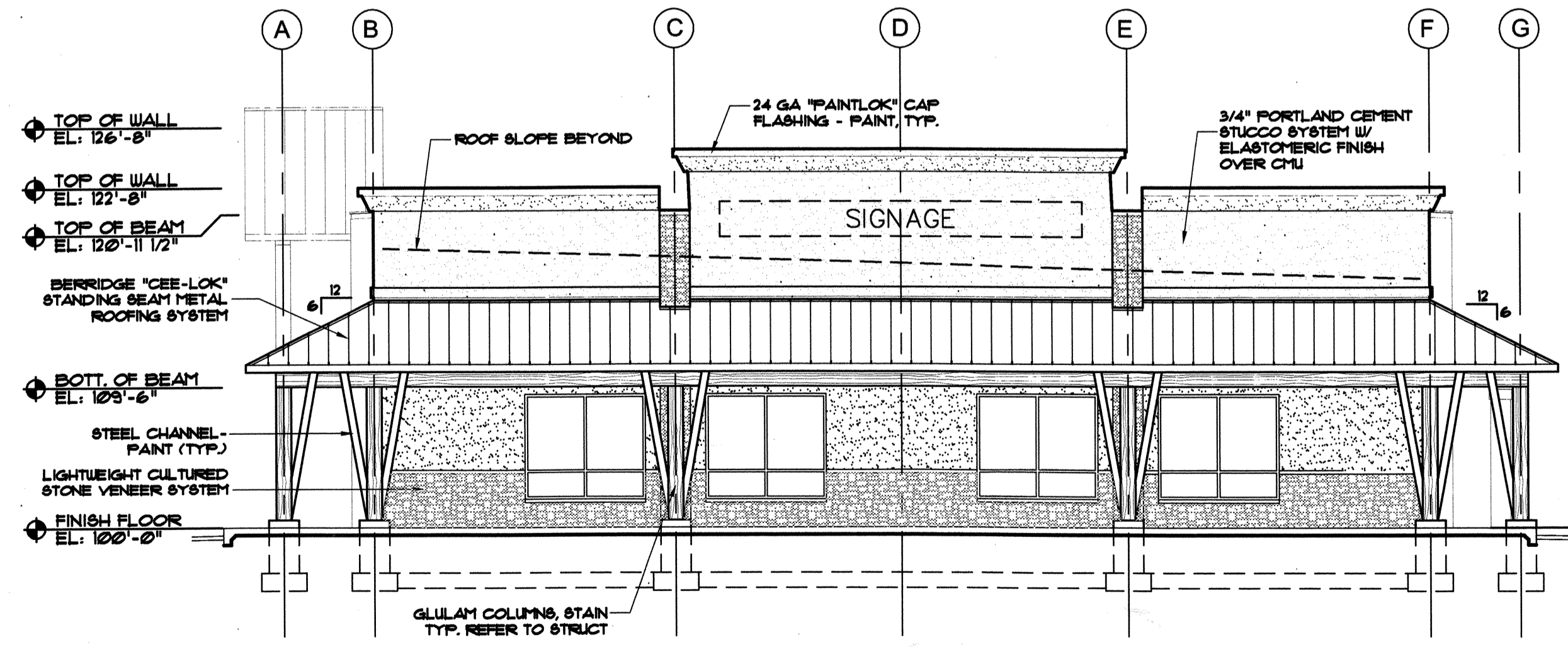
1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 BACK ELEVATION
SCALE: 1/8"=1'-0"



3 LEFT ELEVATION
SCALE: 1/8"=1'-0"



4 RIGHT ELEVATION
SCALE: 1/8"=1'-0"

ELEVATIONS NOTE:
REFER TO SUBMITTED COLOR BOARD
FOR ALL MATERIAL DATA & COLOR

**RETAIL/OFFICE BUILDING -
REFERENCE ELEVATION**

210 070375 8-13-10