

**SITE PLAN CERTIFICATION BLOCKS**

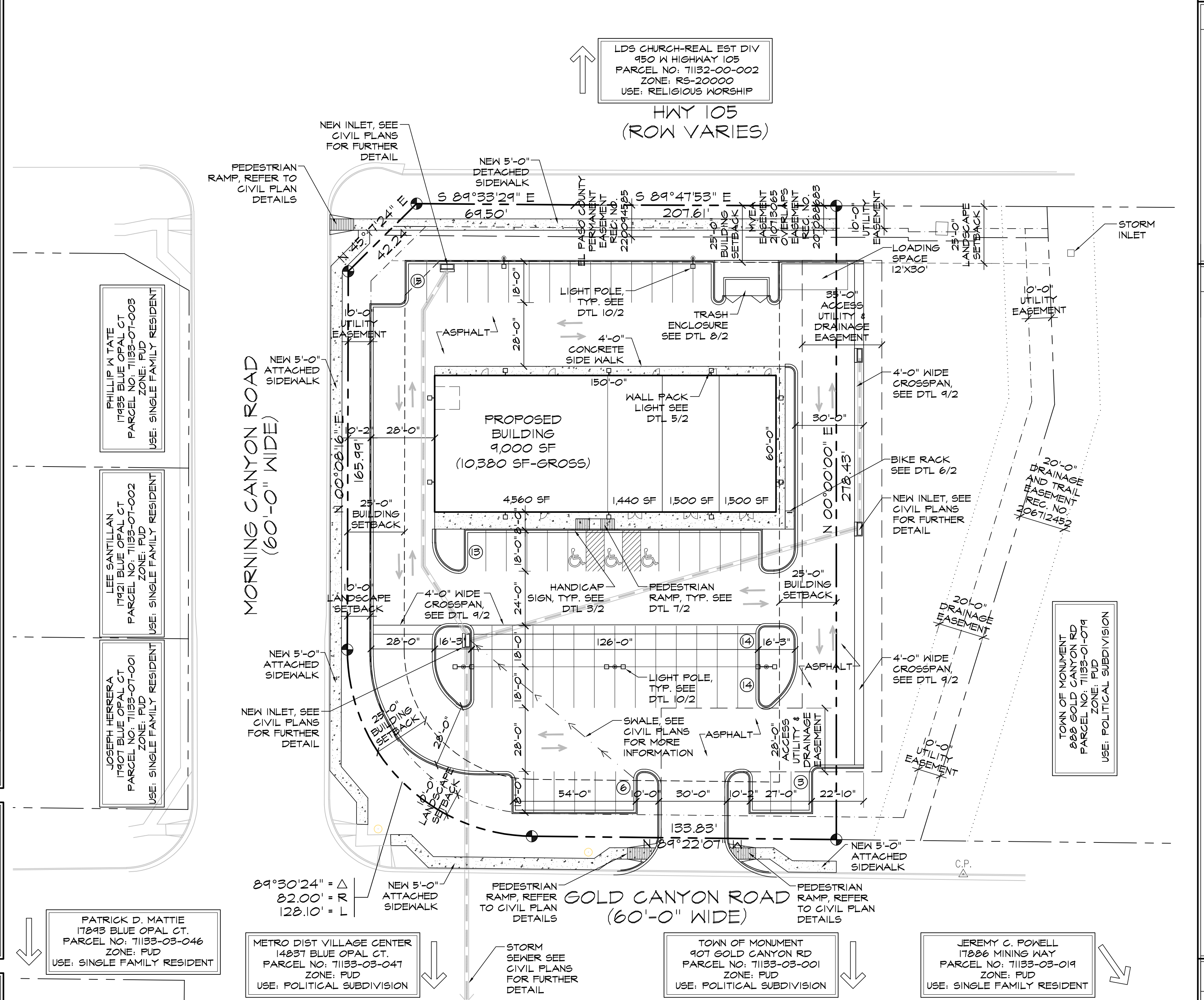
**OWNERSHIP CERTIFICATION:**  
 KNOW ALL MEN BY THESE PRESENTS, THAT BEING THE OWNER(S), OF THE FOLLOWING DESCRIBED TRACT OF LAND:  
 ACADEMY MARTIAL ARTS, LOT 9-10 FILING NO. 4  
 THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN AS \_\_\_\_\_ IN THE TOWN OF MONUMENT.  
 OWNER(S) SIGNATURE(S) (NOTARIZED):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 STATE OF COLORADO | §5:  
 COUNTY OF EL PASO |  
 SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, COUNTY \_\_\_\_\_, STATE \_\_\_\_\_  
 NOTARY SIGNATURE \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_  
**TITLE CERTIFICATION:**  
 I, \_\_\_\_\_ AN AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_ A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.  
 AUTHORIZED SIGNATURE (NOTARIZED SIGNATURE) \_\_\_\_\_  
 SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 STATE OF COLORADO | §5:  
 COUNTY OF EL PASO |  
 SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, COUNTY \_\_\_\_\_, STATE \_\_\_\_\_  
 NOTARY SIGNATURE \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_  
**SURVEYOR'S CERTIFICATE**  
 I, \_\_\_\_\_ A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.  
 LICENSED LAND SURVEYOR \_\_\_\_\_  
**TOWN CERTIFICATION**  
 TOWN APPROVAL  
 THE SITE PLAN FOR THE \_\_\_\_\_ IS APPROVED THIS \_\_\_\_\_ DAY OF 20\_\_\_\_.  
 DIRECTOR OF PLANNING \_\_\_\_\_ DATE \_\_\_\_\_

THE PRELIMINARY / FINAL PD SITE PLAN FOR ACADEMY MARTIAL ARTS, LOT 9-10 RETAIL/MARTIAL ARTS SCHOOL PLANNED DEVELOPMENT IS APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MONUMENT, COLORADO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 MAYOR \_\_\_\_\_ DATE \_\_\_\_\_  
 ATTEST: \_\_\_\_\_  
 TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

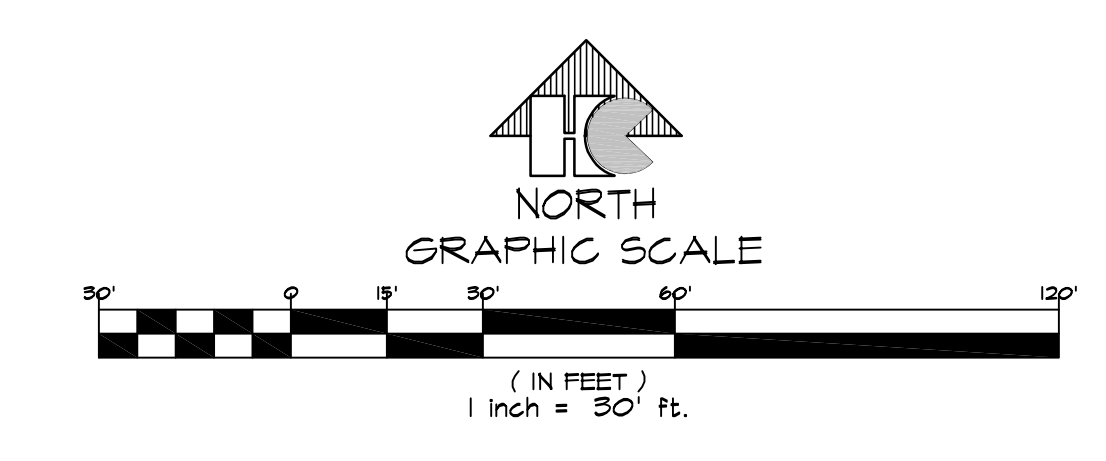
**GENERAL SITE NOTES**

- REFER TO LANDSCAPE DRAWINGS FOR DECORATIVE PAVING, LANDSCAPING AND IRRIGATION.
- REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURBS AND GUTTER SWALES AND HORIZONTAL CONTROL DIMENSIONS.
- REFER TO ELECTRICAL DRAWINGS FOR TRANSFORMER, SITE LIGHTING, SWITCH GEAR AND ALL OTHER RELATED ELECTRICAL INFORMATION AND DETAILS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- CONCRETE WALKS SHALL RECEIVE CONTROL JOINTS AT 5'-0" O.C. BETWEEN EXPANSION JOINTS UNLESS NOTED OTHERWISE.
- PROVIDE EXPANSION JOINTS AT 50'-0" ON WALKS AND 100'-0" AT CURBS.
- REFER TO SOILS REPORT FOR PERIMETER DRAIN REQUIREMENTS.
- SIGNS TO BE APPROVED SEPARATELY VIA SIGN PERMIT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT

**ACADEMY MARTIAL ARTS VILLAGE CENTER AT WOODMOOR, FILING NO 4B LOTS 9 & 10 FINAL PD SITE PLAN**



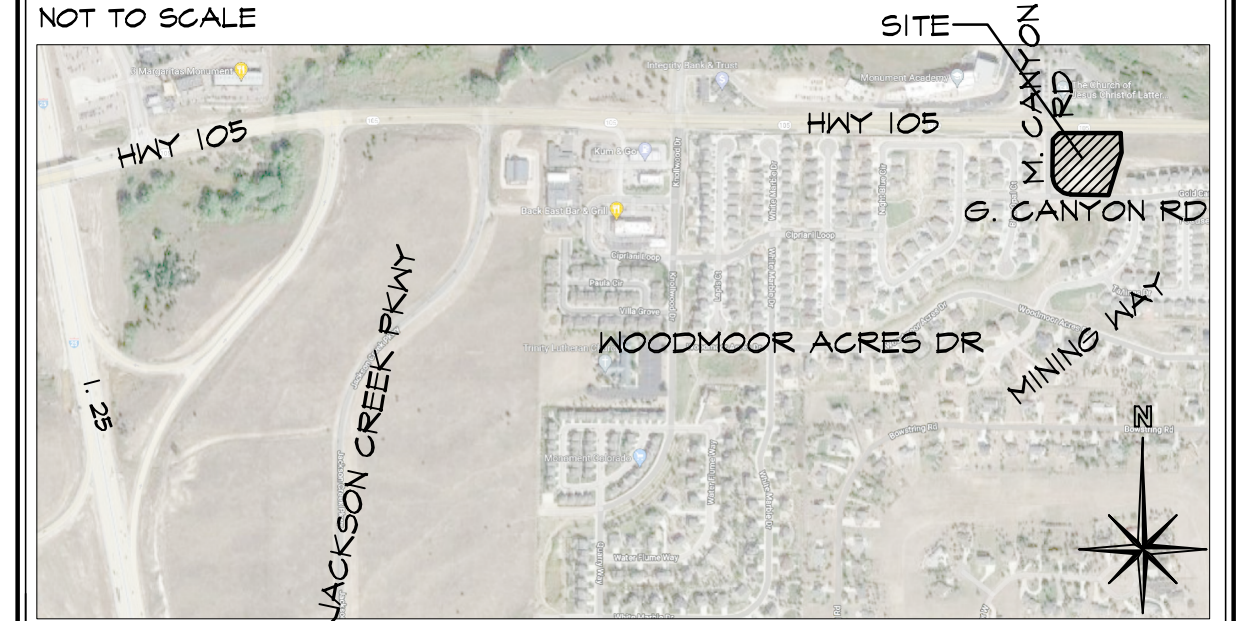
**① SITE PLAN**  
 SCALE: 1"=30'-0"



**DRAWING INDEX**

- 1 OF 10 - SITE PLAN & NOTES, PROJECT INFORMATION, DRAWING INDEX
- 2 OF 10 - SITE DETAILS
- UI - 3 OF 10 - PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- CI.1 - 4 OF 10 - SITE GRADING AND EROSION CONTROL PLAN
- CI.2 - 5 OF 10 - CIVIL NOTES AND DETAILS
- LI.1 - 6 OF 10 - LANDSCAPE PLAN
- LI.2 - 7 OF 10 - LANDSCAPE DETAILS AND NOTES
- ES0.1 - 8 OF 10 - PHOTO METRIC PLAN AND SCHEDULES
- ES0.2 - 9 OF 10 - LIGHTING CUT SHEETS
- 10 OF 10 - BUILDING ELEVATIONS

**VICINITY MAP**



**PROJECT INFORMATION**

<b>PROPERTY INFORMATION</b>	OWNER NAME: C/W MONUMENT 2013 LLC 4675 MACARTHUR CT, STE 1270 NEWPORT BEACH, CA 92660
<b>LEGAL DESCRIPTION:</b>	LOTS 9, 10 VILLAGE CENTER AT WOODMOOR FIL NO 4 TO BE FLATTED AS VILLAGE CENTER AT WOODMOOR FILING NO 4B, LOT 1
<b>PARCEL NUMBERS:</b>	71133-01-080 / 71133-01-065
<b>ZONING:</b>	PD
<b>LOT SIZE:</b>	57,191 SF (1.32 ACRES)
<b>CURRENT USE:</b>	VACANT
<b>FLOODPLAIN STATEMENT:</b>	ZONE X (MAP NO: 0804102786, DATED DECEMBER 1, 2018)
<b>BUILDING INFORMATION</b>	GROSS BUILDING AREA: 10,380 SF BUILDING FOOTPRINT: 9,000 SF BUILDING OCCUPANCY: M/A-3 TYPE OF CONSTRUCTION: II-B FIRE SYSTEMS: NONE AREA SEPARATION WALLS: NONE
<b>ZONING CODE STUDY</b>	PROPOSED PRINCIPAL USE: RETAIL/ MARTIAL ARTS SCHOOL STRUCTURAL COVERAGE OF LOT: 15% PAVEMENT COVERAGE: 74% NEW BUILDING STRUCTURAL HEIGHT: 31'-0" (35'-0" MAX) FRONT YARD SETBACK: 25'-0" SIDE YARD SETBACK: 25'-0" REAR YARD SETBACK: 25'-0"
<b>REQUIRED PARKING SPACES</b>	RETAIL (1 SPACE/300 SF): 4440 / 300 SF: 15 RECREATION CENTER/ MEZZANINE (1 SPACE/150 SF) 5940 / 150 SF: 40 H.C. (TOTAL PARKING 51-75=3 PARKG): 3 TOTAL PARKING PROVIDED: 65 TOTAL PARKING REQUIRED: 58 NEW STANDARD SPACES PROVIDED: 62 H.C. SPACES PROVIDED: 3 (SEE DETAIL 1/2 FOR DIMENSIONS) LOADING SPACE PROVIDED: 1 (12'X30')
<b>DEVELOPMENT SCHEDULE</b>	PROPOSED PRINCIPAL USE: WINTER 2022 CONSTRUCTION: SPRING 2023 LANDSCAPING: SPRING 2023
<b>DEVELOPMENT APPLICANT</b>	COMPANY: HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SP65, CO 80915 PHONE NUMBER: (719)-570-1599 FAX NUMBER: (719)-570-7008 APPLICANT NAME: LISA PETERSON APPLICANT E-MAIL: lpeterson@hammersconstruction.com

**SITE LEGEND**

- PROPERTY LINE
- RIGHT OF WAY
- BUILDING SETBACK
- LANDSCAPE SETBACK
- UTILITY EASEMENT
- ACCESS EASEMENT
- DRAINAGE EASEMENT
- STORM SEWER LINE
- RETAINING WALL
- NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
- PROPERTY CORNER
- TRAFFIC FLOW
- WALL PACK LIGHTING
- SIGN
- MANHOLE
- ELECTRICAL TRANSFORMER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

**HAMMERS CONSTRUCTION INC.**  
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
 PRESIDENT: STEVE R. HAMMERS  
 VICE PRES: DAVID J. HAMMERS  
 1411 WOOLSEY HEIGHTS  
 COLORADO SPRINGS, CO 80915  
 (719) 570-1599 FAX (719) 570-7008  
 www.hammersconstruction.com

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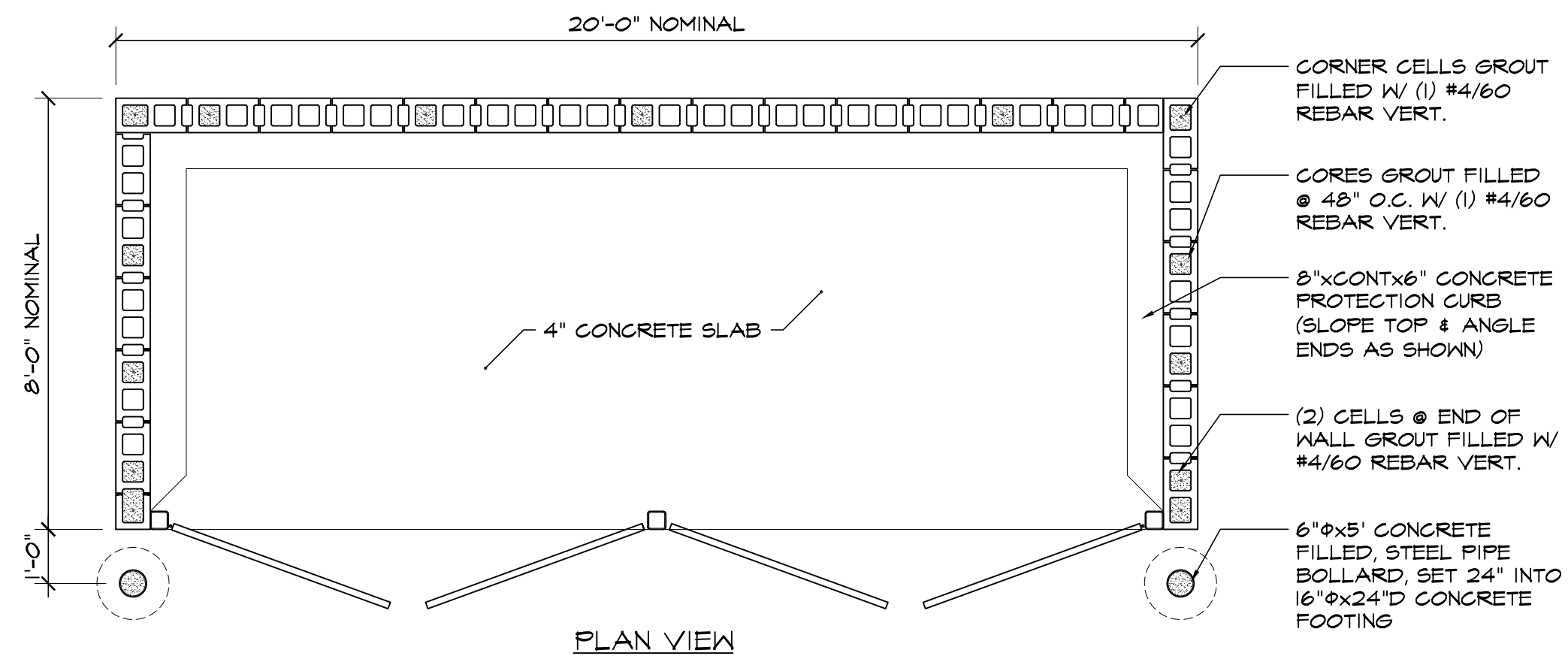
**ACAD. MARTIAL ARTS**  
 NEW BUILDING  
 980 GOLD CANYON ROAD  
 MONUMENT, CO 80132  
 EL PASO COUNTY, COLORADO

DATE: SEPT. 2, 2022  
 DRAWN BY: W. VENEROS  
 PROJ. MGR: E. SMITH  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1295

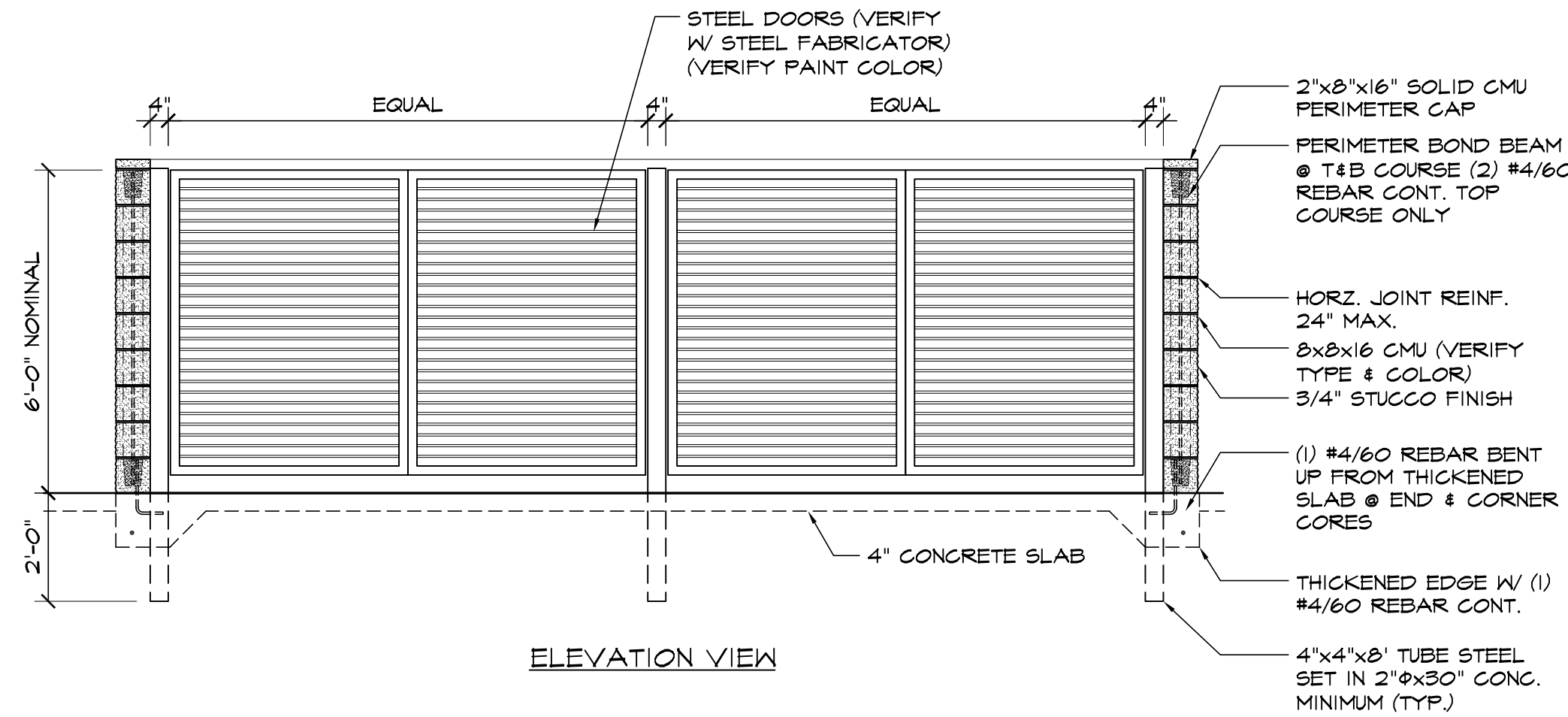
RESUBMITTALS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

1 of 10  
 SITE PLAN



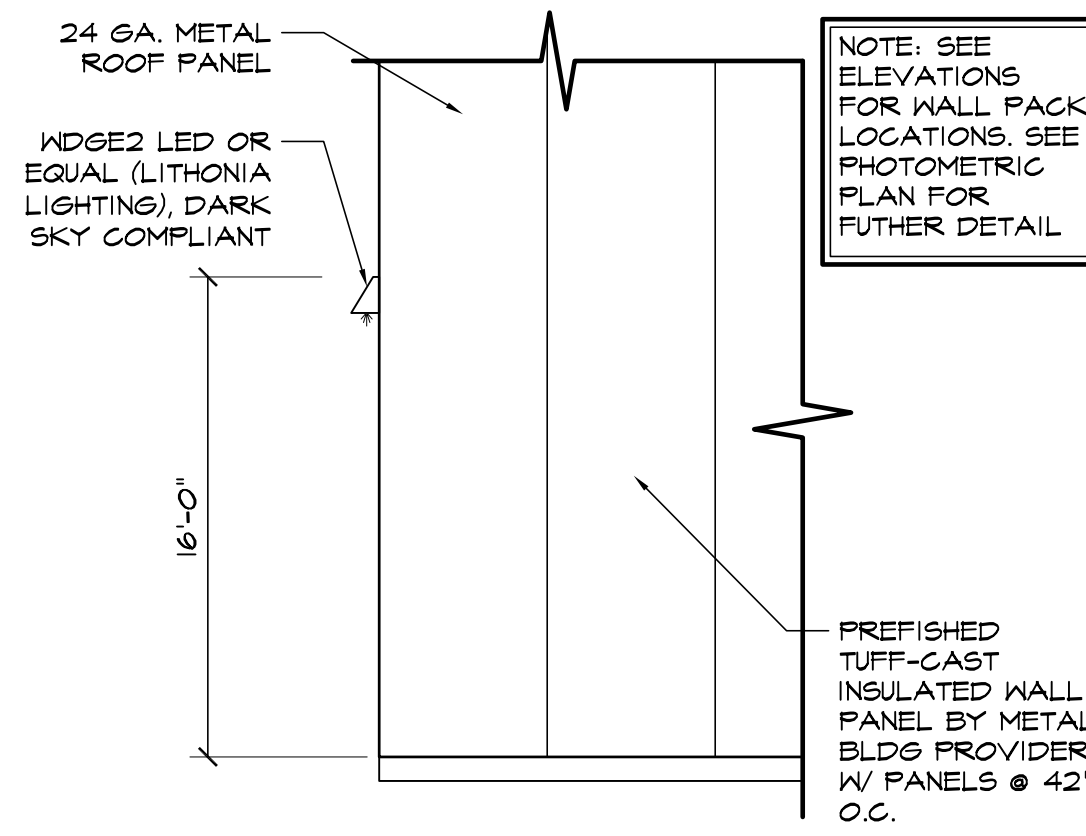


PLAN VIEW



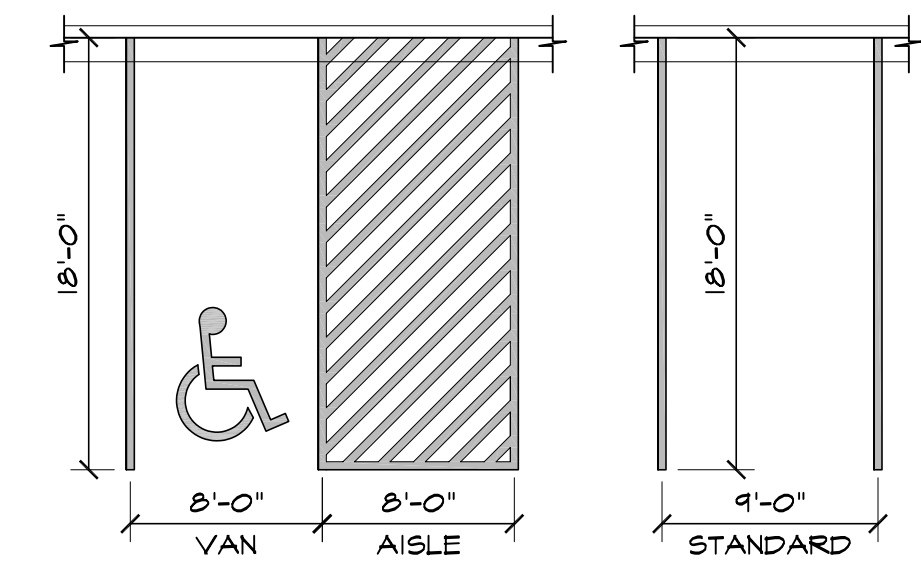
ELEVATION VIEW

8 CMU TRASH ENCLURE DETAIL  
SCALE: 3/8"=1'-0"



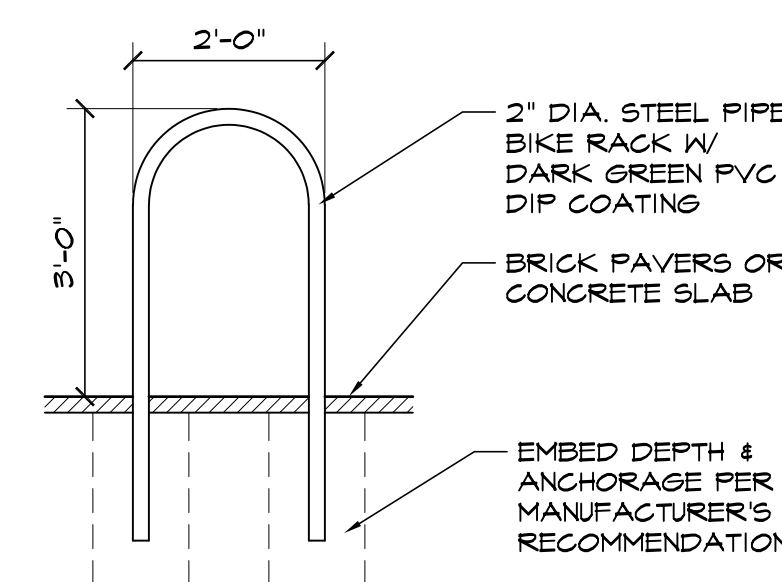
5 WALL PACK LIGHT DETAIL

SCALE: 1/4"=1'-0"



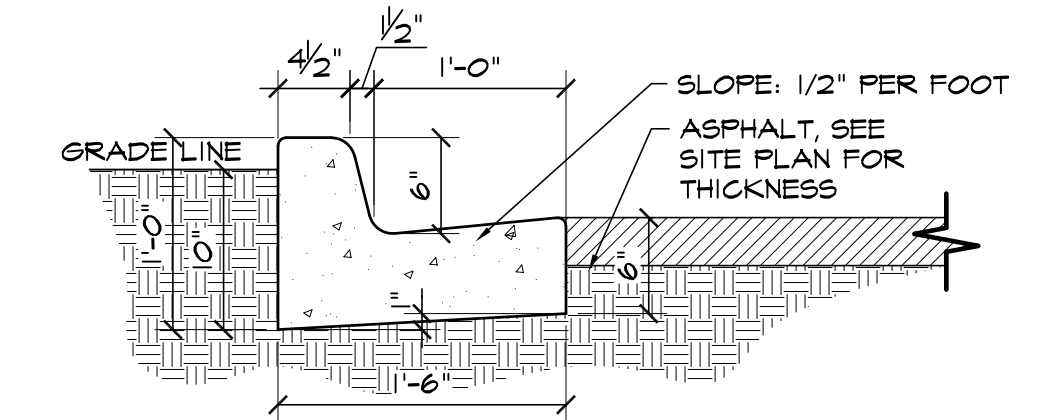
1 ADA / STANDARD PARKING

SCALE: 1/8"=1'-0"



6 BIKE RACK

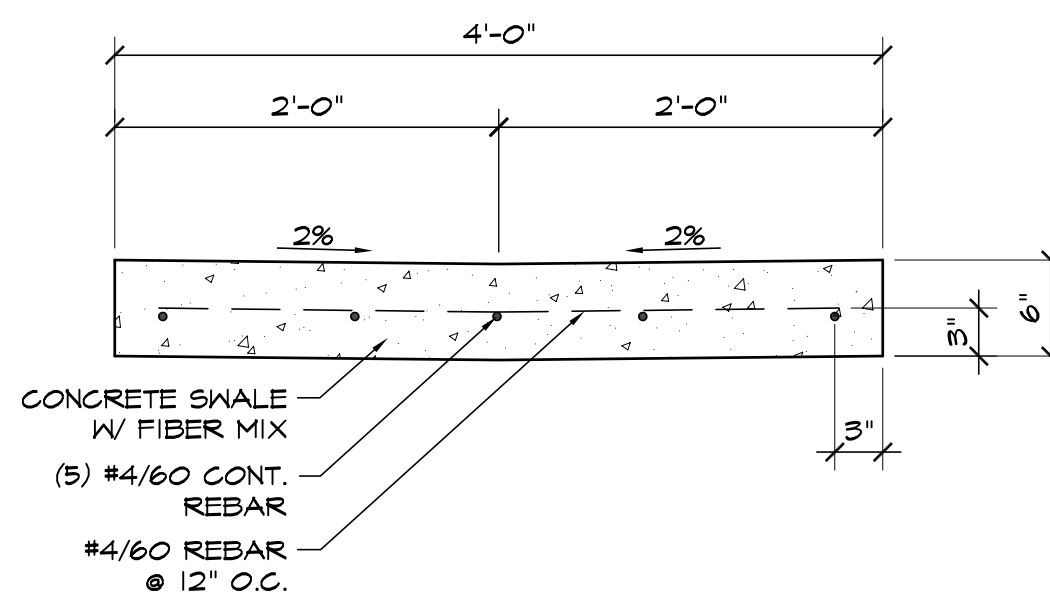
SCALE: 1/2"=1'-0"



2 TYPE 3 CURB

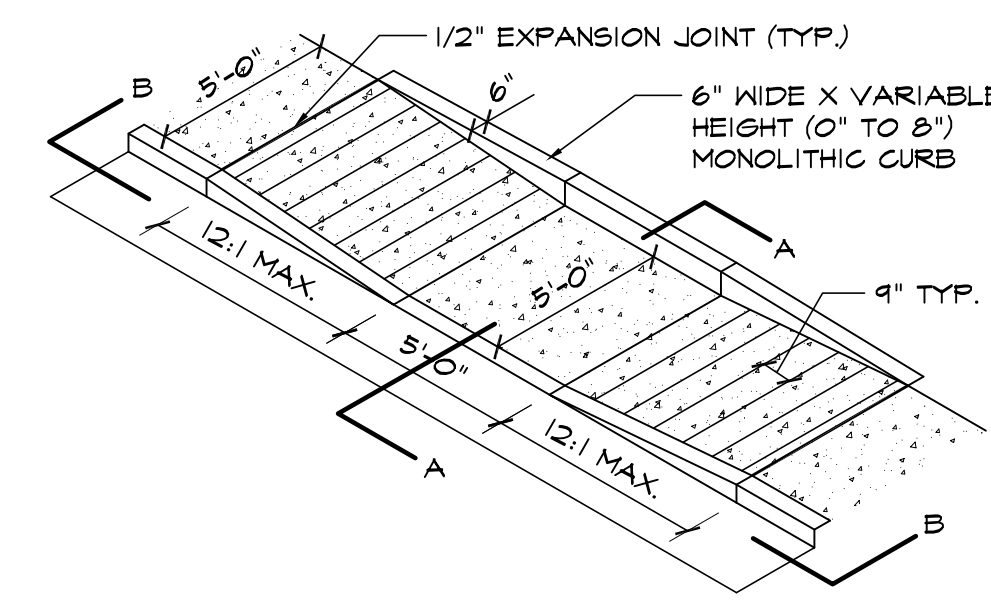
SCALE: 1"=1'-0"

NOTE:  
-ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE.  
-SEE CIVIL PLANS FOR CARRY OR SPILL CURB LOCATIONS

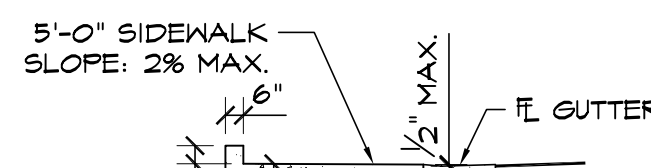


9 4'-0" CROSSSPAN DETAIL

SCALE: 1"=1'-0"



SECTION A-A

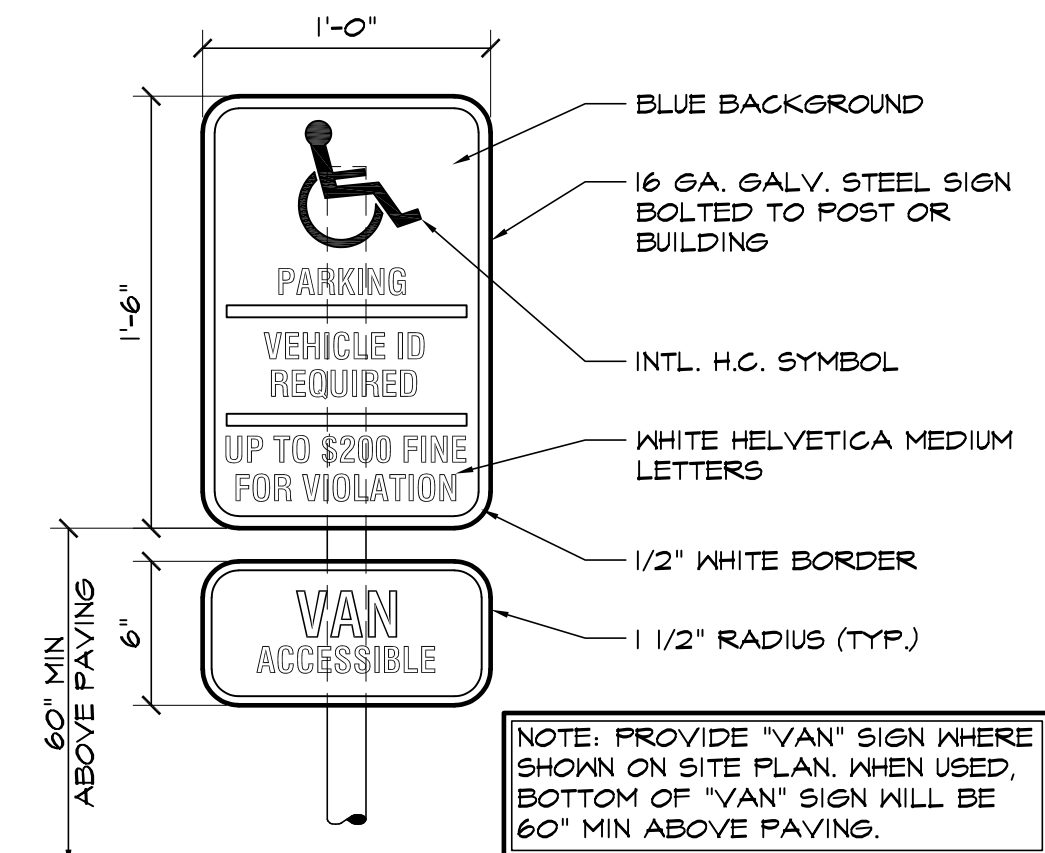


SECTION B-B

GENERAL NOTES:  
1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT TOWN OF MONUMENT SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.  
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.  
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.  
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.  
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.08E OF THE STANDARD SPECIFICATIONS.  
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.  
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMP ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMP. NEW RAMP SHALL ALIGN WITH EXISTING RAMP AND PEDESTRIAN TRAVELWAY.

7 PEDESTRIAN RAMP DETAIL D-8J

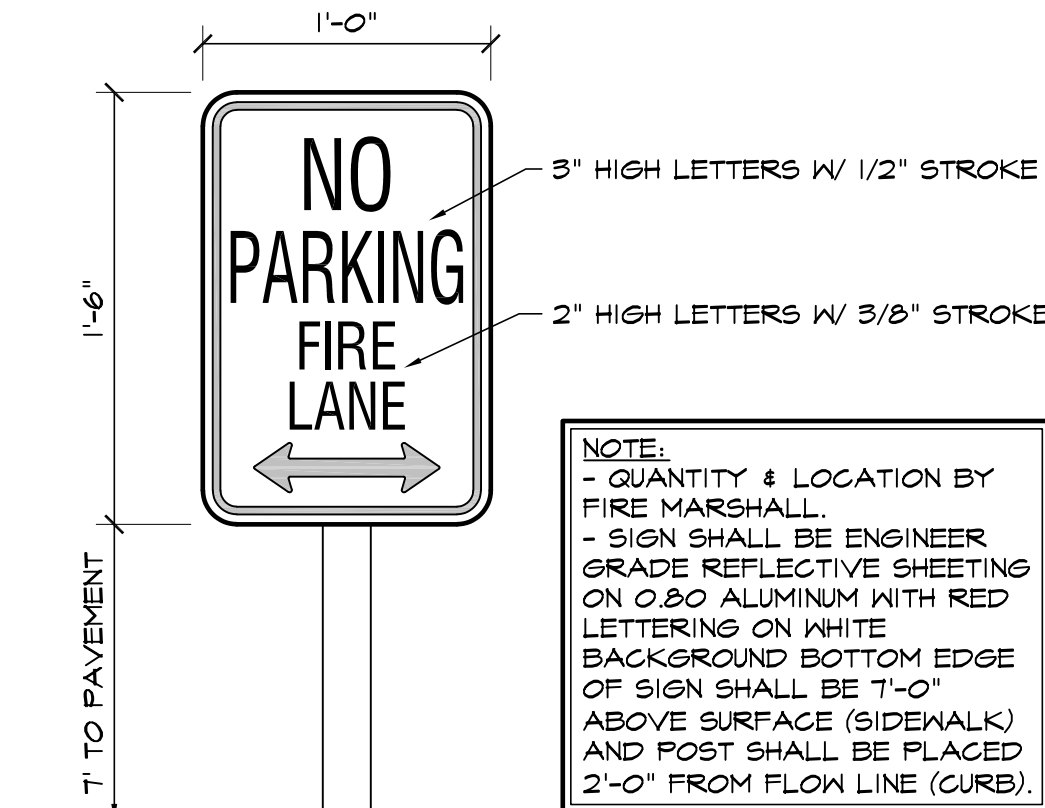
SCALE: 3/16"=1'-0"



3 HANDICAPPED PARKING SIGN

SCALE: 1 1/2"=1'-0"

NOTE: PROVIDE 'VAN' SIGN WHERE SHOWN ON SITE PLAN. WHEN USED, BOTTOM OF 'VAN' SIGN WILL BE 60" MIN ABOVE PAVING.

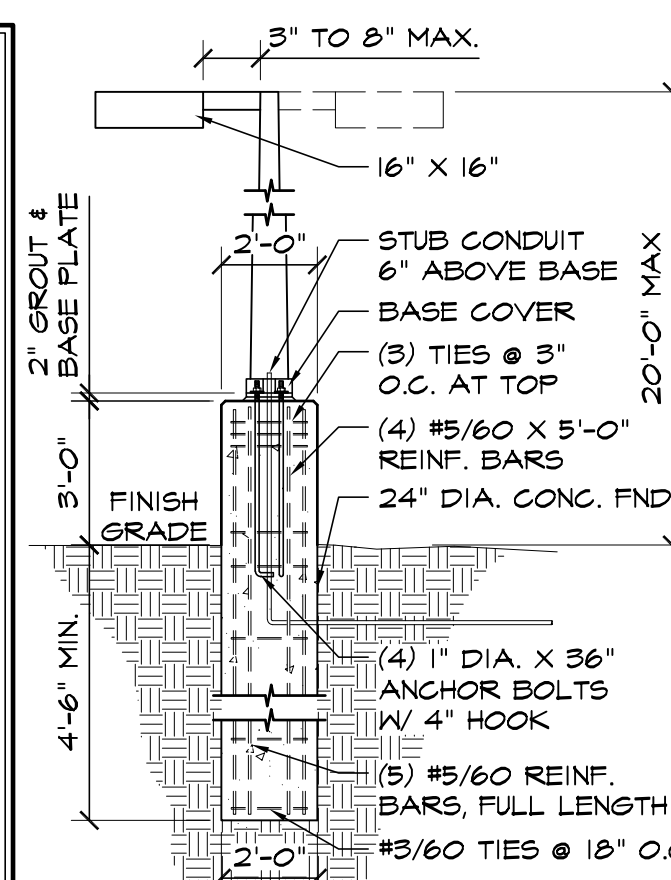


4 FIRE LANE SIGN

SCALE: 1 1/2"=1'-0"

NOTE:  
- QUANTITY & LOCATION BY FIRE MARSHALL.  
- SIGN SHALL BE ENGINEER GRADE REFLECTIVE SHEETING ON 0.80 ALUMINUM WITH RED LETTERING ON WHITE BACKGROUND BOTTOM EDGE OF SIGN SHALL BE 7'-0" ABOVE SURFACE (SIDEWALK) AND POST SHALL BE PLACED 2'-0" FROM FLOW LINE (CURB).

NOTES:  
1. LIGHTING LEVELS SHALL NOT EXCEED 15 FOOTCANDLES WHEN MEASURED @ GROUND LEVEL.  
2. PROVIDE CONG. 36" ABOVE GRADE, WITHIN 36" OF CURB OR DRIVE.  
3. LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)  
4. ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRIPNT, TYP. ON ALL POLE LIGHTS.  
5. NO LIGHTING WILL SHINE OFF SITE.  
6. IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE, OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.



10 LIGHT POLE BASE DETAIL

SCALE: 1/4"=1'-0"

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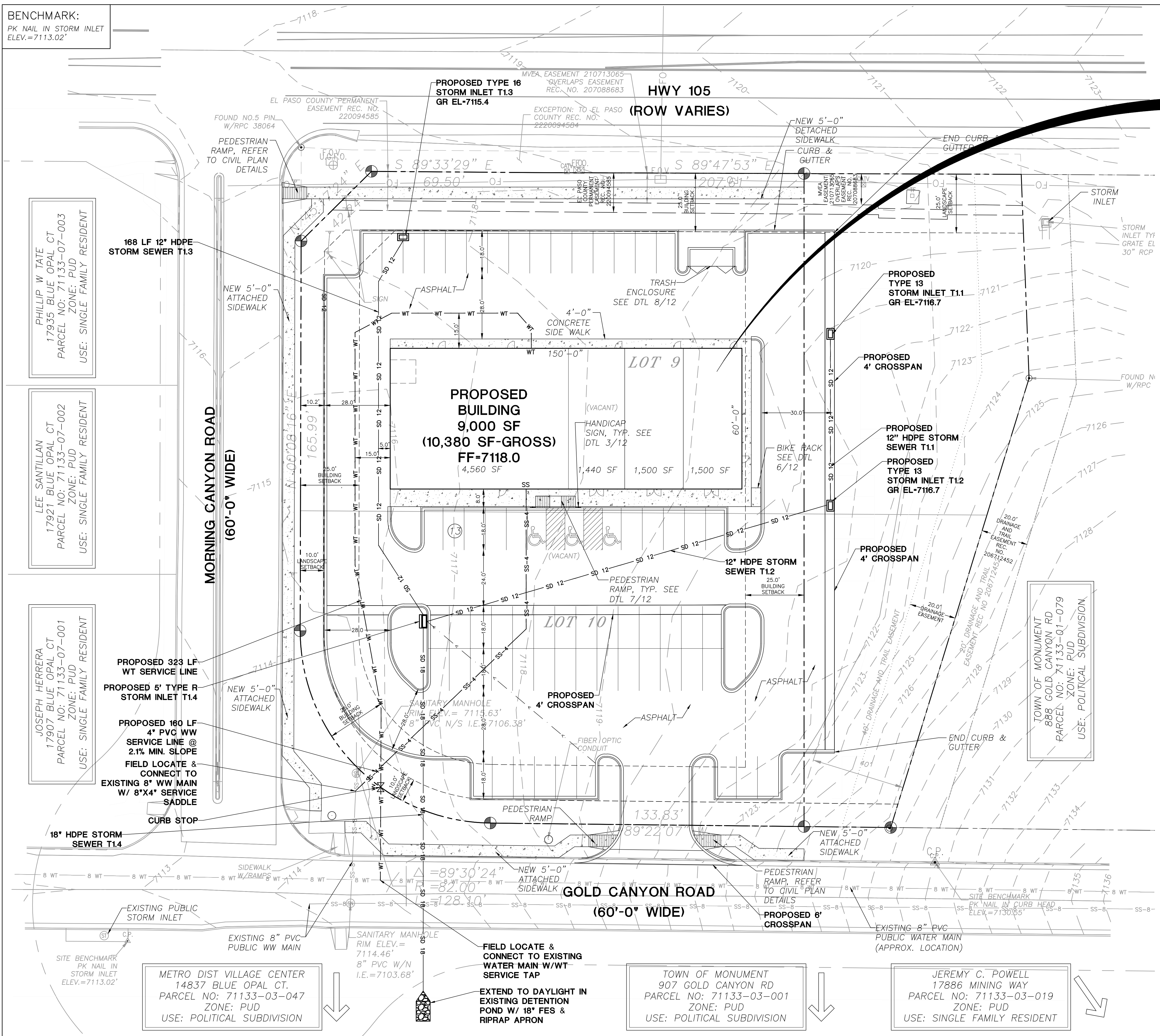
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**ACAD. MARTIAL ARTS**  
NEW BUILDING  
980 GOLD CANYON ROAD  
MONUMENT, CO 80132  
EL PASO COUNTY, COLORADO

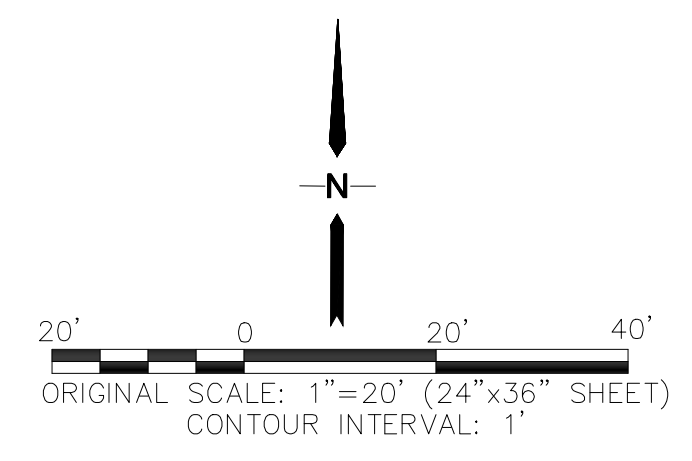
DATE: SEPT. 2, 2022  
DRAWN BY: W. VENEROS  
PROJ. MGR: E. SMITH  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1295

- RESUBMITTALS:
- ▲
  - ▲
  - ▲
  - ▲
  - ▲
  - ▲

BENCHMARK:  
PK NAIL IN STORM INLET  
ELEV.=7113.02'



NEW RETAIL  
MARTIAL ARTS SCHOOL  
980  
GOLD  
CANYON ROAD  
9,000 SQ. FT.  
TYPE II-B  
2,000 GPM REQUIRED  
2 HYDRANTS REQUIRED  
450' MAX. SPACING  
BETWEEN HYDRANTS  
225' MAX. HOSE LAY  
SPRINKLED BUILDING (N)  
AREA SEPARATION WALLS (N)



- FIRE HYDRANT NOTES:**
1. AN EXISTING PUBLIC FIRE HYDRANT IS LOCATED AT THE NE CORNER OF GOLD CANYON ROAD & BLUE OPAL COURT, APPROX. 335 FEET WEST OF THE PROPOSED SITE ACCESS DRIVE.
  2. ANOTHER EXISTING PUBLIC FIRE HYDRANT IS LOCATED AT THE SE CORNER OF GOLD CANYON ROAD & MINING WAY, APPROX. 280 FEET EAST OF THE PROPOSED SITE ACCESS DRIVE.

- GENERAL UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO WOODMOOR WATER & SANITATION DISTRICT STANDARD SPECIFICATIONS
  2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.
  3. WATER METER TO BE LOCATED INSIDE BUILDING.
  4. CONTRACTOR SHALL POTHOLE TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION & ADJUST UTILITY CONNECTIONS ACCORDINGLY.
  5. CONTRACTOR SHALL OBTAIN CITY STREET CUT PERMITS & PATCH STREET PER CITY STANDARDS.

- KEYED NOTES:**
- (A) CONNECT TO EXISTING UNDERGROUND GAS SERVICE LINE (COORDINATE WITH BLACK HILLS ENERGY)
  - (B) COORDINATE WITH MVEA FOR ELECTRIC SERVICE CONNECTIONS
  - (C) COORDINATE W/ CENTURY LINK FOR TELEPHONE SERVICE

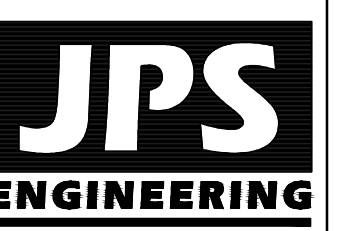
METRO DIST VILLAGE CENTER  
14837 BLUE OPAL CT.  
PARCEL NO: 71133-03-047  
ZONE: PUD  
USE: POLITICAL SUBDIVISION

TOWN OF MONUMENT  
907 GOLD CANYON RD  
PARCEL NO: 71133-03-001  
ZONE: PUD  
USE: POLITICAL SUBDIVISION

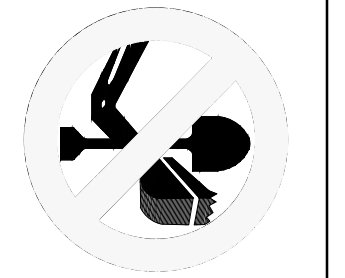
JEREMY C. POWELL  
17886 MINING WAY  
PARCEL NO: 71133-03-019  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENT

ACADEMY MARTIAL ARTS  
LOTS 9-10, VILLAGE CENTER AT WOODMOOR FILING NO. 4

PRELIMINARY UTILITY AND  
PUBLIC FACILITIES PLAN



19 E. Willomette Ave.  
Colorado Springs, CO  
80903  
PH: 719-477-9429  
FAX: 719-471-0766  
www.jpseng.com

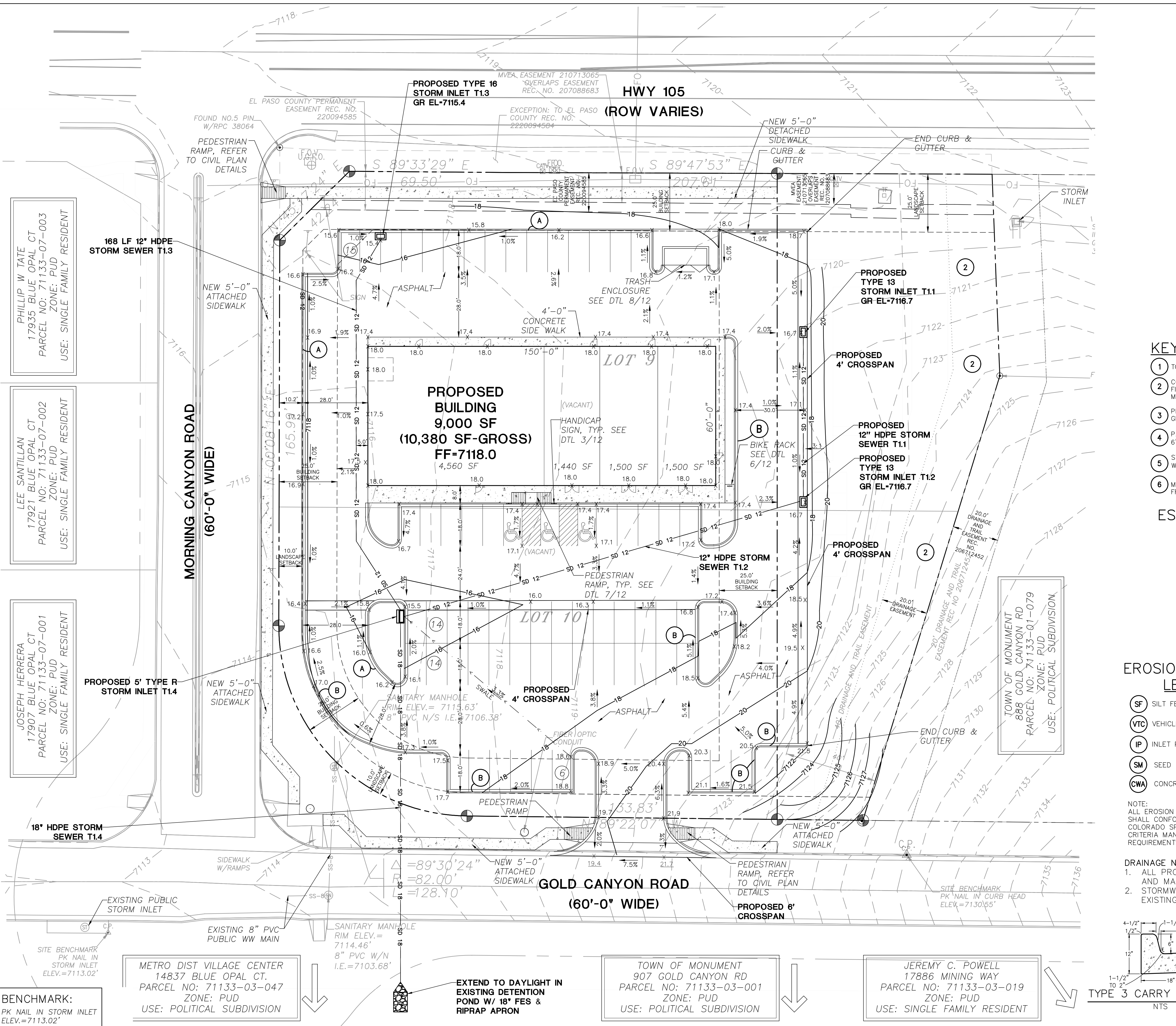


CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

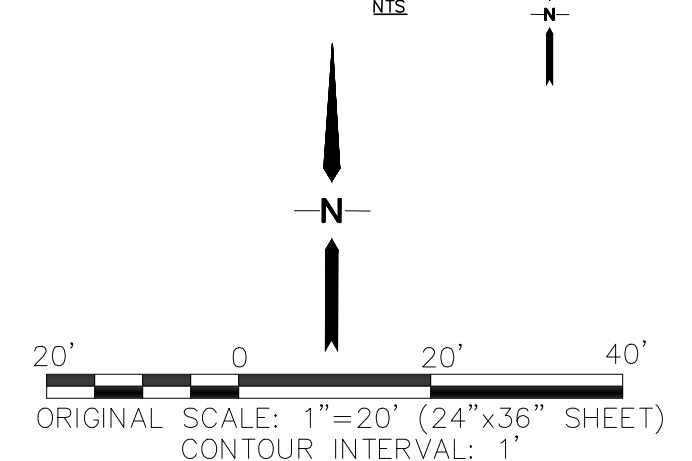
No.	REVISION	BY	DATE
	DP SUBMITTAL		08/24/22

HORZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 06/07/22	LAST MODIFIED: 08/24/22
PROJECT NO: 062202	MODIFIED BY: PV





VICINITY MAP



KEYED NOTES:

- TOPSOIL & STRIPPINGS STOCKPILE AREA
- CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- PARKING LOT PAVING PER GEOTECHNICAL REPORT (4\"/>

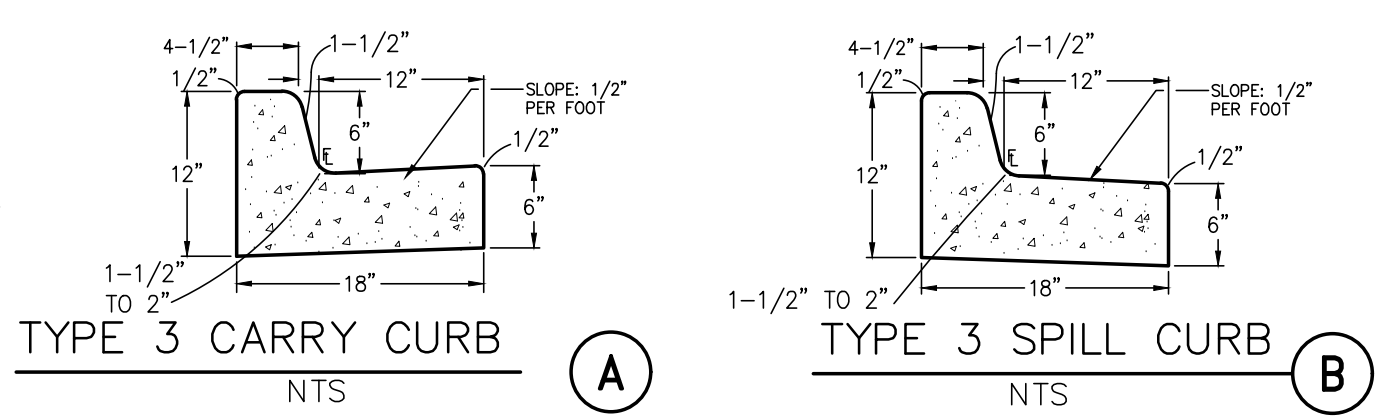
ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 2,442 CY  
TOTAL FILL = 453 CY  
NET (CUT) = 1,921 CY  
\*(ASSUMES 15% COMPACTION FACTOR)

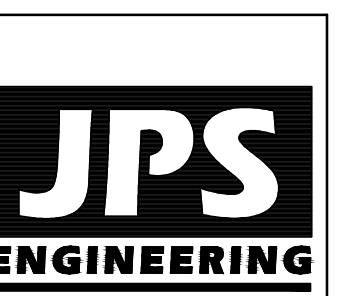
NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

EROSION CONTROL LEGEND

- LEGEND:
- (SF) SILT FENCE
  - (VTC) VEHICLE TRACKING PAD
  - (IP) INLET PROTECTION
  - (SM) SEED & MULCH
  - (CWA) CONCRETE WASHOUT AREA
- NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS
- DRAINAGE NOTE:  
1. ALL PROPOSED DRAINAGE FACILITIES ARE PRIVATELY OWNED AND MAINTAINED BY PROPERTY OWNER  
2. STORMWATER DETENTION & WATER QUALITY IS PROVIDED BY EXISTING DOWNSTREAM DETENTION POND FACILITIES



ACADEMY MARTIAL ARTS  
VILLAGE CENTER AT WOODMOOR FILING NO. 4  
LOTS 9-10, VILLAGE CENTER AT WOODMOOR FILING NO. 4



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FAX: 719-471-0766  
www.jpsegr.com



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1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

NO.	REVISION	DATE
1	DP SUBMITTAL	08/24/22

SITE GRADING AND  
EROSION CONTROL PLAN

BENCHMARK:  
PK NAIL IN STORM INLET  
ELEV.=7113.02'

METRO DIST VILLAGE CENTER  
14837 BLUE OPAL CT.  
PARCEL NO: 71133-03-047  
ZONE: PUD  
USE: POLITICAL SUBDIVISION

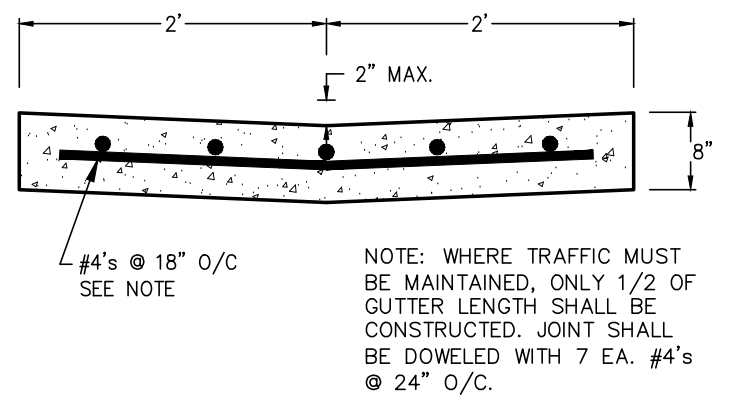
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907 GOLD CANYON RD  
PARCEL NO: 71133-03-001  
ZONE: PUD  
USE: POLITICAL SUBDIVISION

JEREMY C. POWELL  
17886 MINING WAY  
PARCEL NO: 71133-03-019  
ZONE: PUD  
USE: SINGLE FAMILY RESIDENT

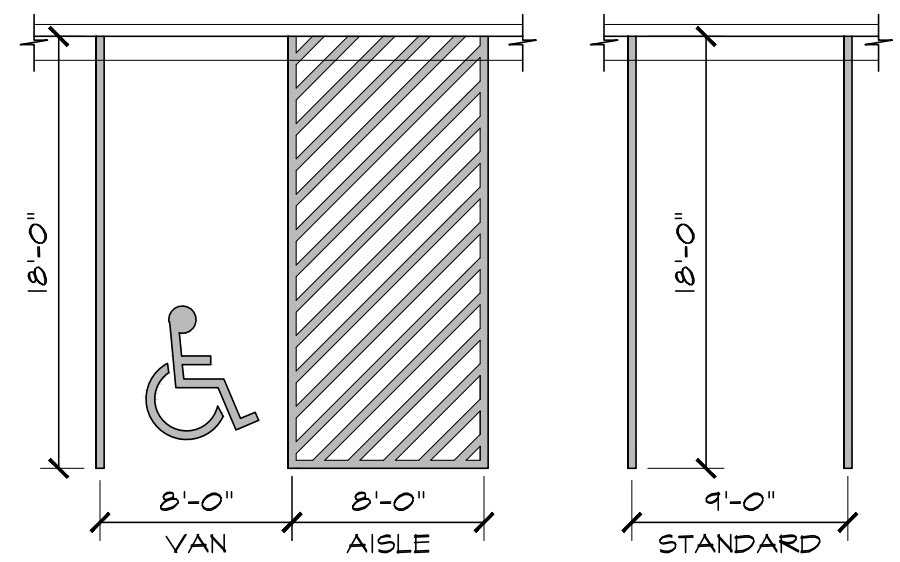
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VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 06/07/22	LAST MODIFIED: 08/24/22
PROJECT NO: 062202	MODIFIED BY: PV

SHEET:  
**C1.1**

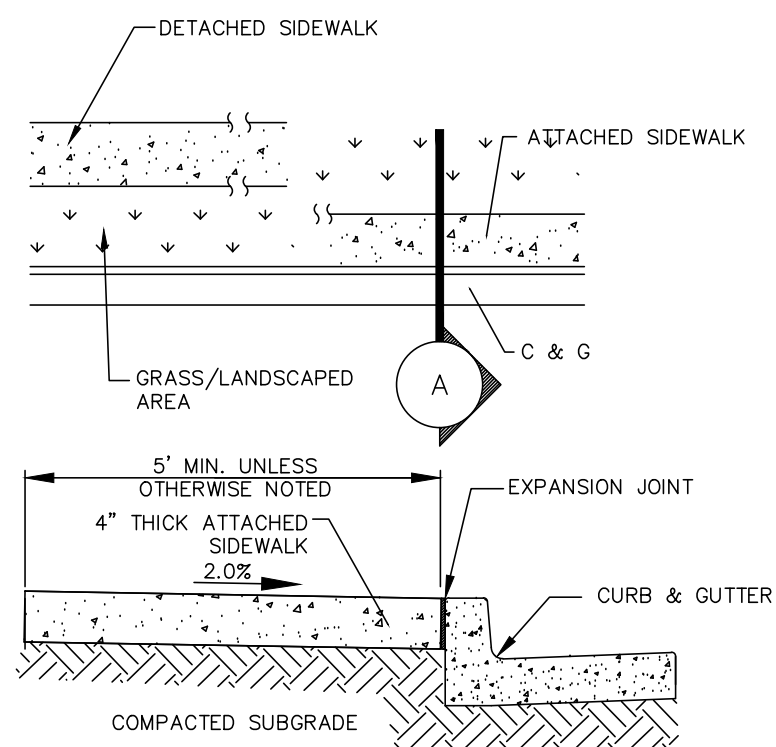




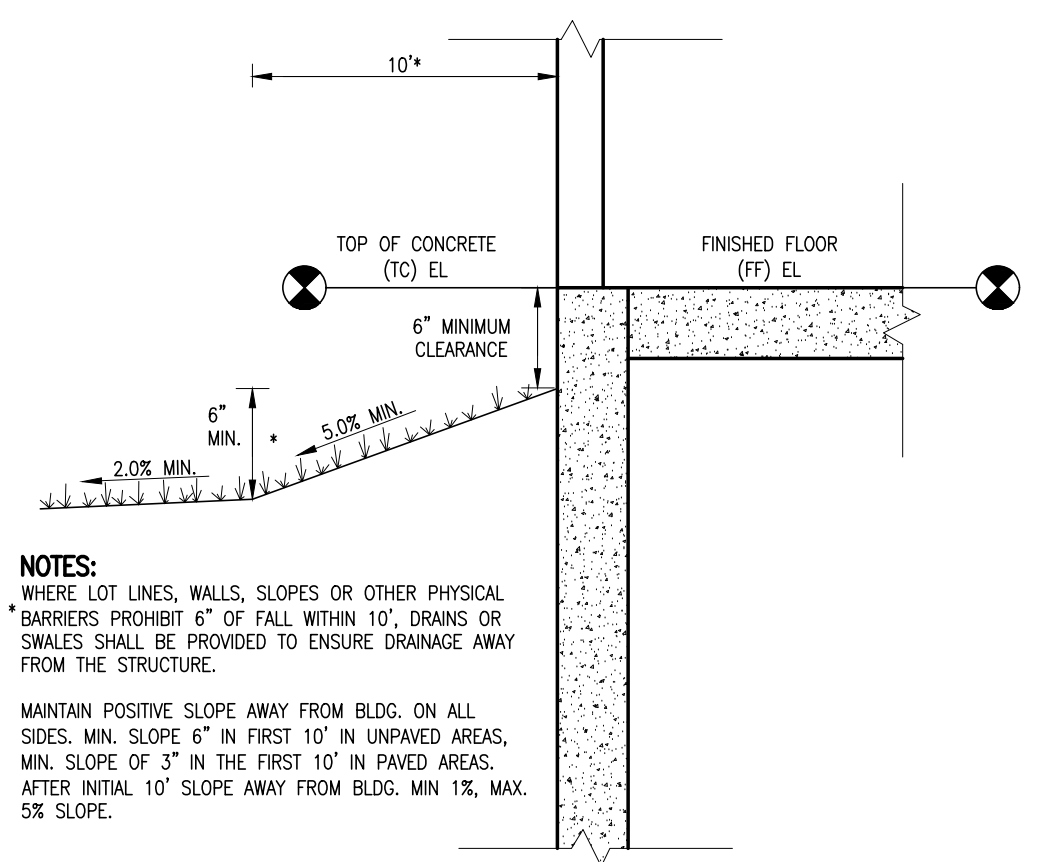
TYPICAL CONCRETE CROSSSPAN 1  
SCALE: 1" = 1'-0"



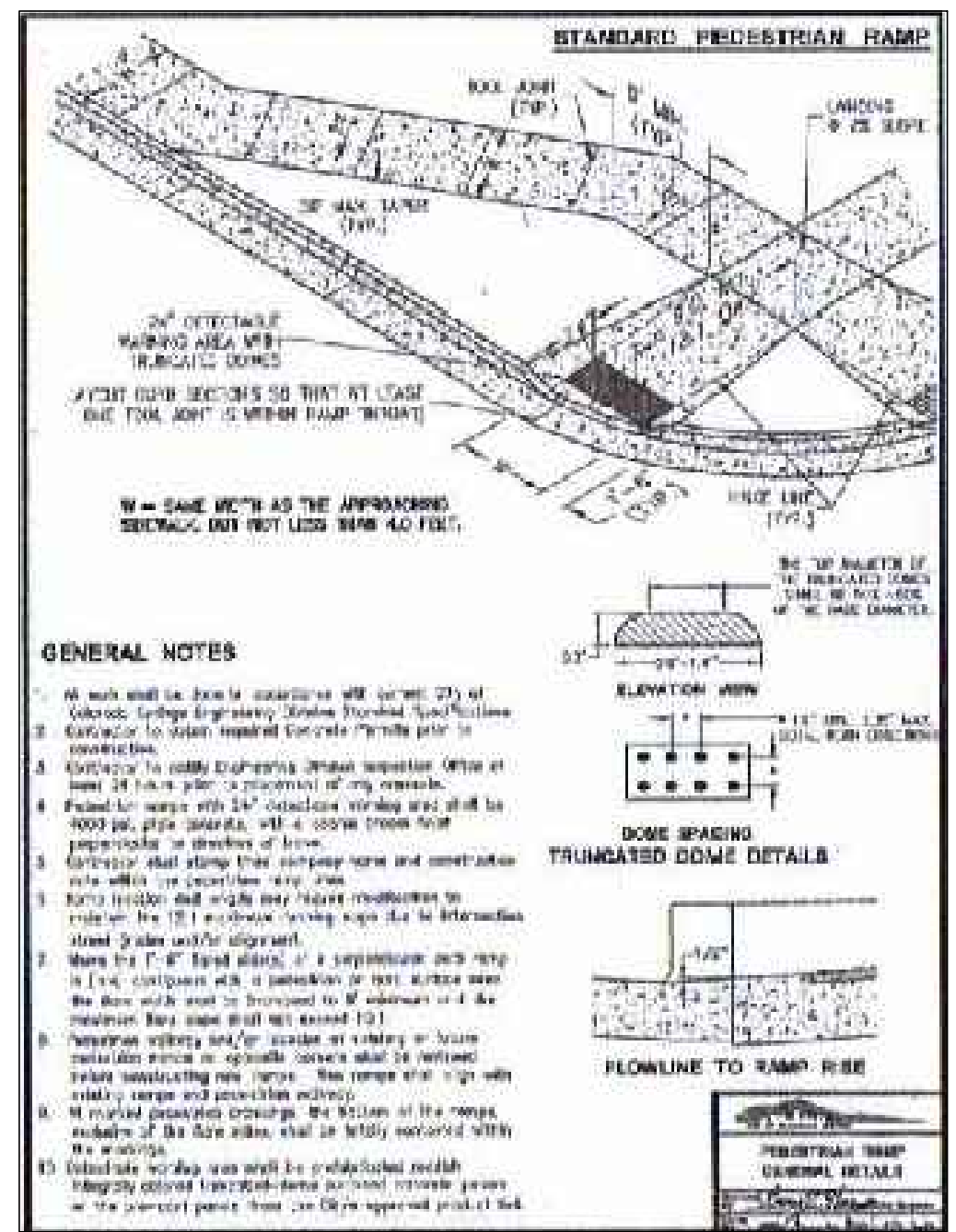
ADA / STANDARD PARKING  
SCALE: N.T.S.



CONCRETE SIDEWALK DETAIL 2  
N.T.S.



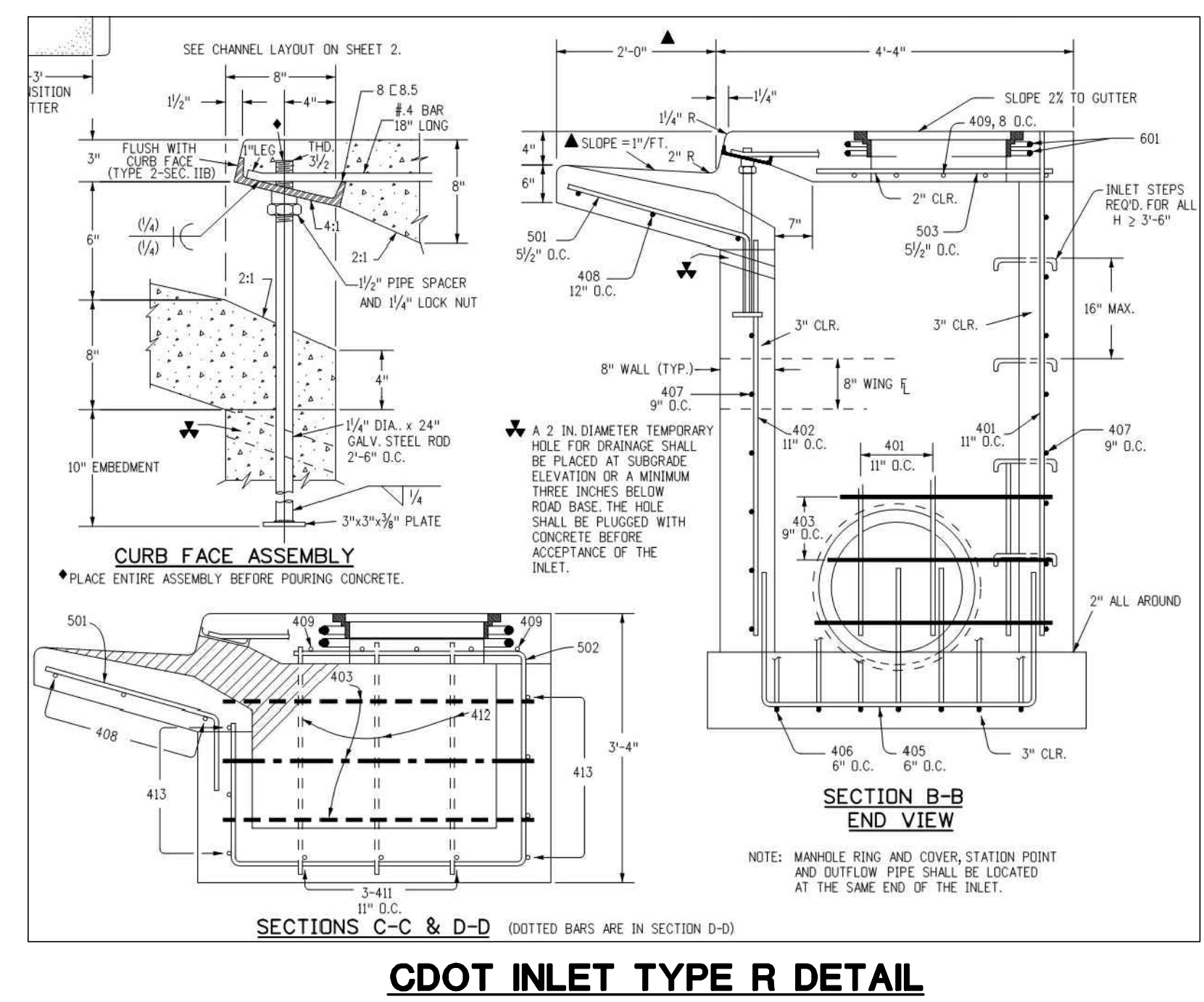
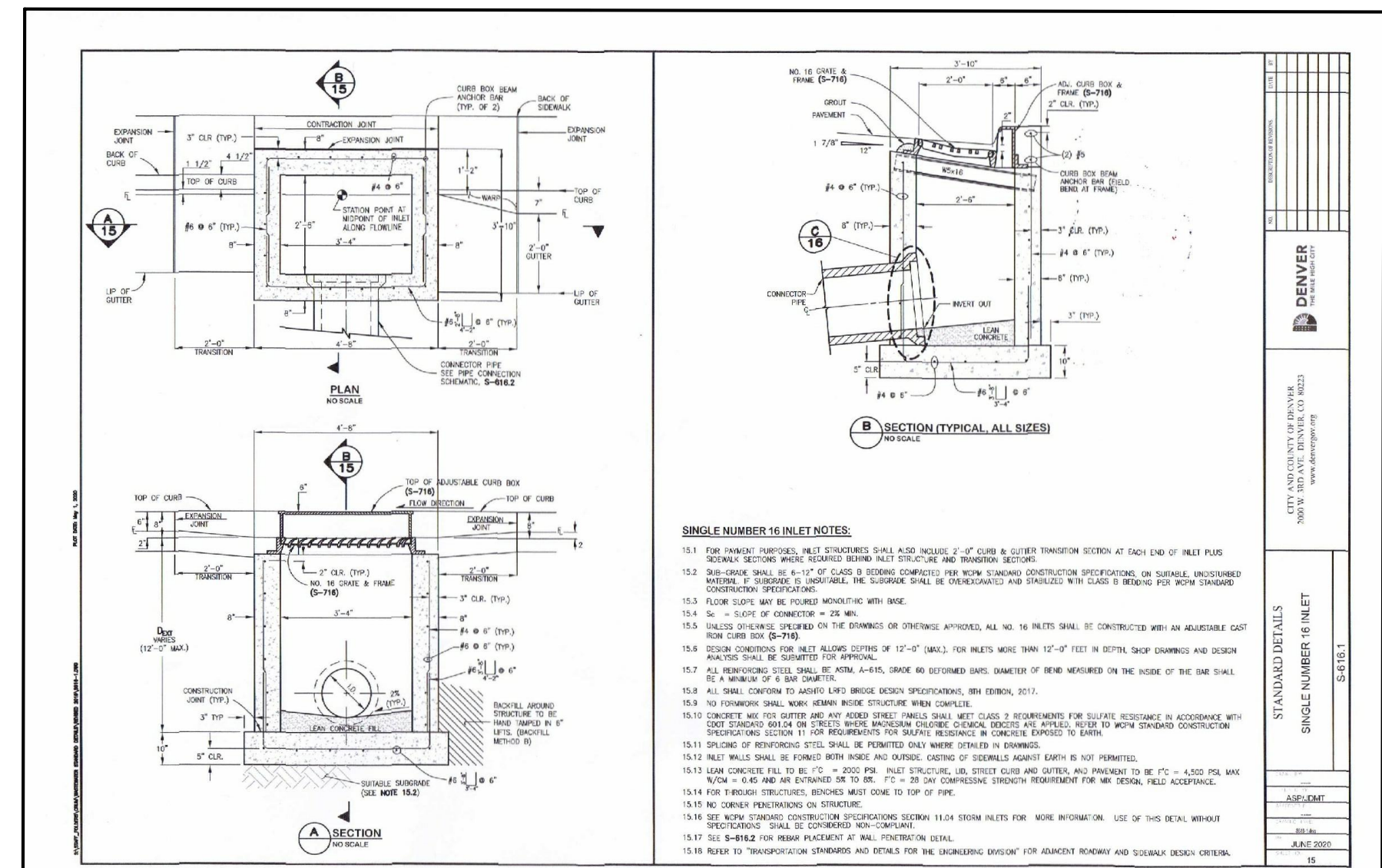
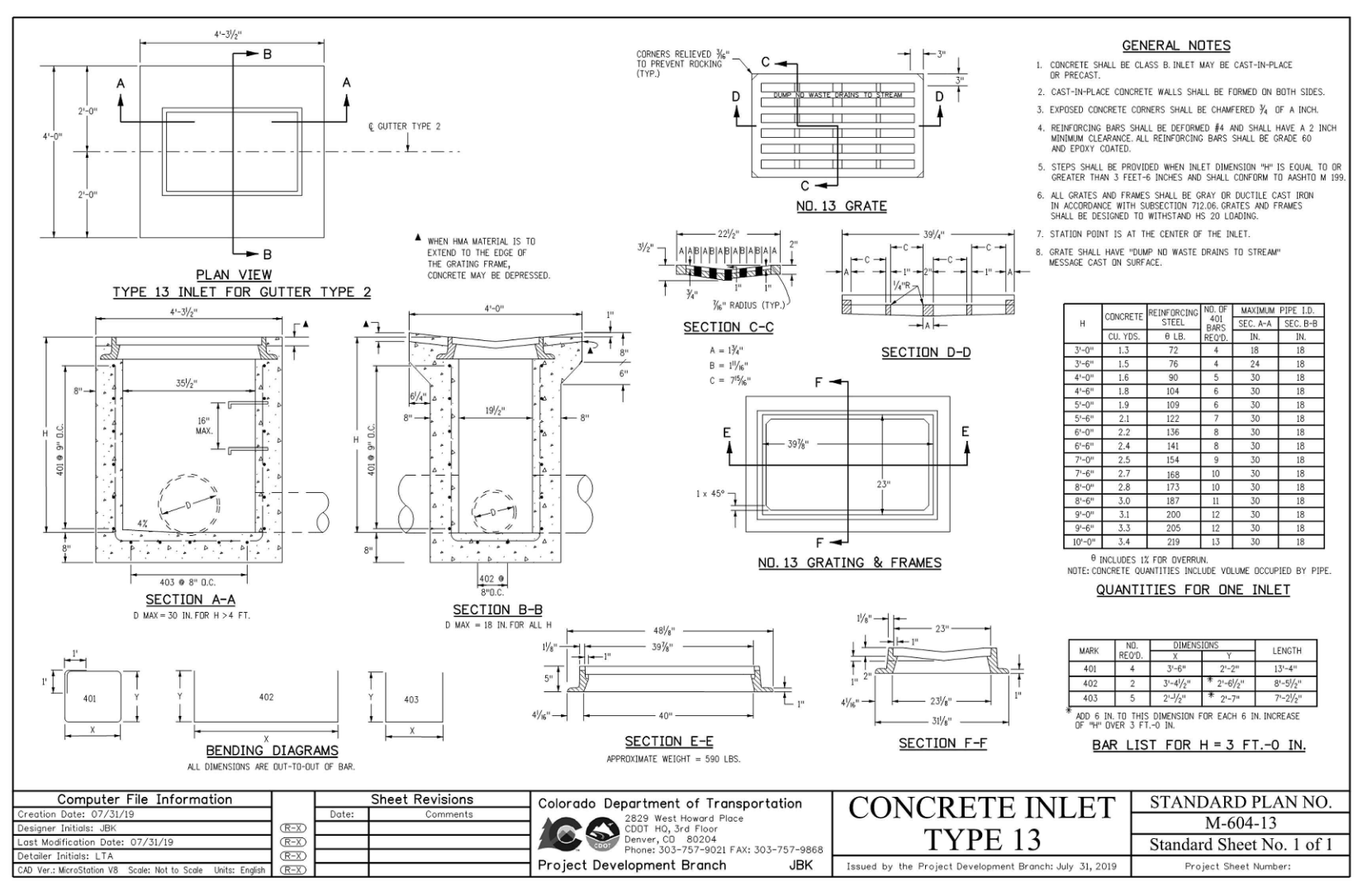
TYPICAL BUILDING DRAINAGE DETAIL 3  
N.T.S.



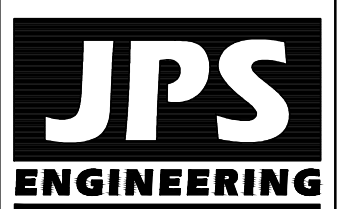
STANDARD PEDESTRIAN RAMP  
NOT TO SCALE

**GENERAL CIVIL NOTES:**

- ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
  - INTERNATIONAL BUILDING CODE AS ADOPTED BY LOCAL JURISDICTION
  - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
  - TOWN OF MONUMENT ENGINEERING STANDARDS & SPECIFICATIONS
  - PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPLICABLE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND OTHER BMP'S AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND TOWN SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION SHALL MEET TOWN CRITERIA.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.



ACADEMY MARTIAL ARTS  
VILLAGE CENTER AT WOODMOOR FILING NO.4  
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FOR THE MEMBER UTILITIES.

NO.	REVISION	BY	DATE
1			
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CIVIL NOTES &  
DETAILS

HORIZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	RIDGELINE	CHECKED:	JPS
CREATED:	06/07/22	LAST MODIFIED:	08/24/22
PROJECT NO:	062202	MODIFIED BY:	PV

SHEET: C1.2



### IRRIGATION SYSTEM DESCRIPTION

FULLY AUTOMATED, UNDERGROUND, IRRIGATION SYSTEM SHALL BE PROVIDED CONSISTING OF DRIP IN PLANTING BEDS AND TEMPORARY SPRAY/ROTOR FOR IRRIGATED NATIVE SEED AREAS, NOT INCLUDING FUTURE CONSTRUCTION AREAS. REFER TO GRADING PLAN BY OTHERS FOR ADDITIONAL INFORMATION.  
ALL AREAS NOTED AS "IRRIGATED NATIVE SEED" SHALL BE TEMPORARILY IRRIGATED FOR THE FIRST GROWING SEASON FOR ESTABLISHMENT. REFER TO IRRIGATION SCHEMATIC PLAN.

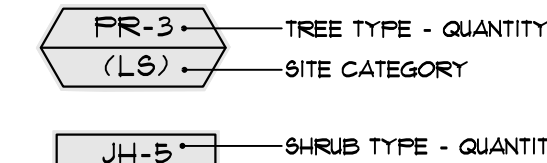
### LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY TOWN OF MONUMENT PLANNING DEPARTMENT.

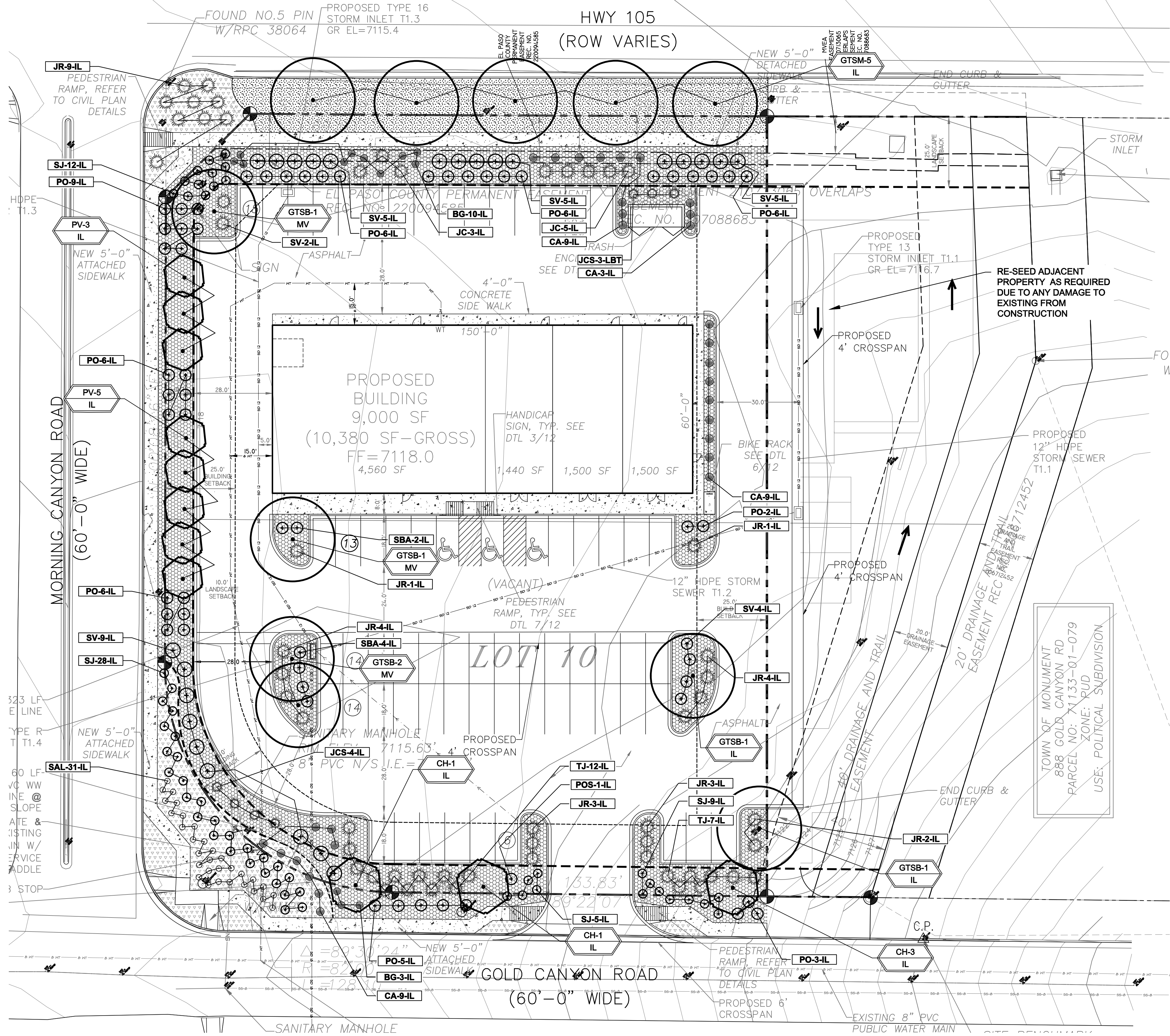
### GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5'-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOI/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

### PLANTING CALL OUTS



The undersigned owner/developer understands that all improved land must conform to the regulations set forth in Title 17 of the Monument Municipal Code. The owner/developer agrees to abide by these regulations and to improve and maintain the land as indicated on the approved landscaping plan.



### TOWN CALCULATIONS (NON-RESIDENTIAL)

**MOTOR VEHICLE (MV)**  
1 SHADE TREE REQUIRED PER 15 PARKING SPACES;  
60 SPACES - SHADE TREE REQUIRED/PROVIDED: 4/4

**INTERNAL LANDSCAPE (IL)**  
SITE AREA: 57,782 SF  
10% REQUIRED LANDSCAPE AREA: 5,778 SF X .10 = 5,779 SF  
6,000 SF LANDSCAPE AREA PROVIDED  
50% MAX ALLOWABLE NON-IRRIGATED NATIVE GRASS (LANDSCAPE AREA) = 2,890 SF  
NON-IRRIGATED GRASS PROVIDED: 2,890 SF (RE-ESTABLISH GRASS)

**PLANT MATERIAL**  
(BASED ON 5,779 SF LANDSCAPE AREA REQUIRED)  
DECIDUOUS, ORNAMENTAL AND EVERGREEN TREES: 1/1,200 SF REQUIRED  
5,779 SF / 925 = TREES REQUIRED / TREES PROVIDED: 5/20  
SHRUBS, ORNAMENTAL GRASS, AND GROUND COVER: 8/100 SF REQUIRED BASED ON REQUIRED LANDSCAPE AREA  
5,779 SF / 100 = 58 X 8 = 463 PLANTS REQUIRED / 261 PROVIDED (20 TREES REQUIRED SUBSTITUTE / PROVIDED: 20)  
(10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE)

**EXISTING TREES**  
NO EXISTING TREES  
EXISTING TREES GREATER THAN 2" CAL. TO BE REPLACED WITH EQUAL CALIPER SIZE (NOT GREATER THAN 4" CAL. : N/A)

**BUFFER**  
INCOMPATIBLE LAND USE SCREEN: NOT REQUIRED

### PLANT PALETTE

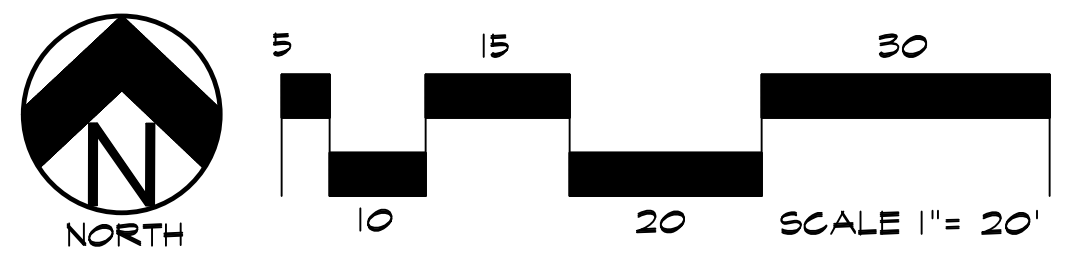
Symbol	Abbr.	Quantity	Botanical Name	Common Name	Water Use	Zone	Mature Width/Height	Size
<b>DECIDUOUS TREES:</b>								
⊙	GTSB	11	Gleditsia triacanthos 'Sunburst'	Sunburst Honeylocust OR Shademaster	MED	4	30'x25'	1-1/2" cal.
⊙	CH	5	Crataegus coccinea 'Hawthorn'	Cockspur Hawthorn	MED	4	15'x15'	1-1/2" cal.
⊙	PV	8	Prunus virginiana 'Schubert'	Canada Red Cherry	MED	4	15'x15'	1-1/2" cal.
<b>EVERGREEN SHRUBS:</b>								
⊙	JCS	8	Juniperus scopulorum 'Cologreen'	Cologreen Juniper	MED	4	6'-8" x 12'-15"	#5
⊙	JR	29	Juniperus horizontalis 'Wilton'	Blue Rug Juniper	MED	4	6'-8" x 6'-8"	#5
⊙	TJ	20	Juniperus sabinna Tamariscifolia	Tamarix Juniper	MED	4	6'-8" x 4'-6"	#5
<b>DECIDUOUS SHRUBS:</b>								
⊙	PO	44	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	MED	4	2'-4" x 2'-4"	#5
⊙	POS	7	Physocarpus opulifolius 'Summer's Wine'	Summer's Wine Ninebar	MED	4	3'-4" x 5'-6"	#5
⊙	SBA	10	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	MED	4	2'-3" x 3'-4"	#5
⊙	SJ	54	Spiraea japonica 'Majic Carpet'	Majic Carpet Spiraea	MED	4	1'-2" x 1'-2"	#5
⊙	SV	24	Spiraea vanhouttei	Vanhouttei Spiraea	MED	4	5'-6" x 4'-6"	#5
<b>ORNAMENTAL GRASSES/PERENNIAL:</b>								
⊙	BG	13	Bouteloua gracilis 'blond ambition'	Blonde Ambition Grass	LOW	4	2' x 2'	#1 CONT.
⊙	CA	30	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	LOW	4	1'-3" x 2'-3"	#1 CONT.
⊙	SAL	31	Salvia nemorosa 'May Night'	May Night Salvia	LOW	4	24" x 24"	#1 CONT.

### GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
⊙	Native Seed - Mix 'B' (Irrigated)	3,593 SF
⊙	Blue/Gray River Rock: 1.5" Diameter	3,127 SF
⊙	Denver Granite Rock 1.5" Diameter	10,852 SF
⊙	4-8" Dia. Arkansas Tan Cobble Edge between rock types	
⊙	Steel Edger. See notes	

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

# LANDSCAPE PLAN



**UTILITIES NOTE**  
VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY UTILITY AND 10' FROM GAS MAINS. FOR SANITARY SEWER AND WATER MAIN LINES TREES SHALL BE PLACED A MINIMUM OF 15' FROM LINES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED IN THE FIELD IN ACCORDANCE WITH LOCAL CODES. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODES. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

**DESIGN NOTE**  
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANY OTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80918  
PHONE: 719-543-3714  
FAX: 719-528-1122



**ACADEMY MARTIAL ARTS**  
980 GOLD CANYON ROAD  
MONUMENT, CO 80132  
EL PASO COUNTY, CO

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PREPARED FOR:  
HAMMERS CONSTRUCTION

NOT FOR CONSTRUCTION

For Town Approval Only

JOB NUMBER	1077-22
REVISIONS	
ORIGINAL DATE	8-29-22
DRAWN BY	JM
DESCRIPTION	LANDSCAPE PLAN
SHEET NO.	L1.1



## INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCO), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

EDGING SEPARATING GRASS FROM ROCK, OR MULCH AREAS TO BE GREEN PRO-STEEL (1/8" x 4" x 10') WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE SHREDDED CEDAR 'GORILLA HAIR' WITH NO LANDSCAPE FABRIC 3" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL)

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN PLANT SAFE WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. [WWW.GREEN.COM](http://WWW.GREEN.COM)

## FIRE MITIGATION NOTE

ALL PLANT MATERIAL SHALL BE LOCATED TO PREVENT ANY FUTURE OBSTRUCTION OF ALL FIRE LANE SIGNAGE. NO EVERGREEN TREES OR SHRUBS SHALL BE PLANTED WITHIN 10' FROM STRUCTURE. MAXIMUM HEIGHT FOR EXISTING GRASS SHALL BE 4". REFER TO LOCAL FIRE CODES FOR ADDITIONAL INFORMATION.

## SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED PLANTING AREAS:

IF COMPACTED AND/OR UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.

REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

## SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE PAWNEE BUTTES SEED COMPANY (OR APPROVED EQUAL) - "FOOTHILLS NATIVE MIX". SEED TO BE APPLIED AT 28LBS/ACRE USING DRILL SEED PROCESS. HYDRO-SEED OR HAND BROADCAST IN AREAS NOT ACCESSIBLE WITH DRILLING EQUIPMENT. SOIL SHALL BE AMENDED BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF FILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. CONTACT PAWNEE BUTTES FOR CURRENT SEED MIX.

SEED MIX 'B': NATIVE SEED TO BE PAWNEE BUTTES SEED COMPANY (OR APPROVED EQUAL) - "LOW GROW MIX". SEED TO BE APPLIED AT 5LBS/1,000SF USING DRILL SEED PROCESS. HAND BROADCAST IN AREAS NOT ACCESSIBLE WITH DRILLING EQUIPMENT RACK INTO SOIL. SOIL SHALL BE AMENDED BREW-GRO BIOCAMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF FILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. CONTACT PAWNEE BUTTES FOR CURRENT SEED MIX.

DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL, CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDED SURFACE.

## GRASS MANAGEMENT NOTE

**ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS**

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

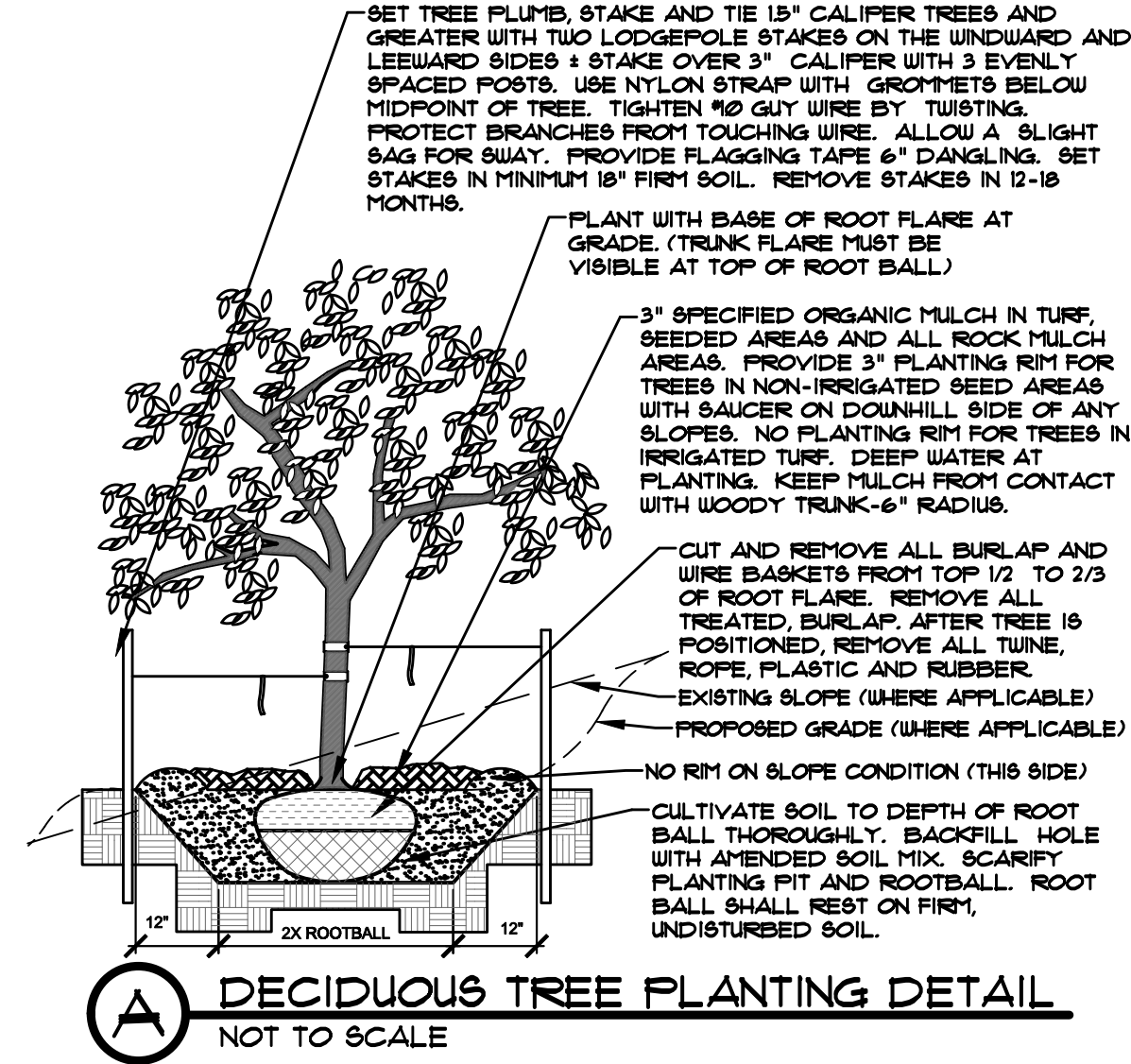
THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS, REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

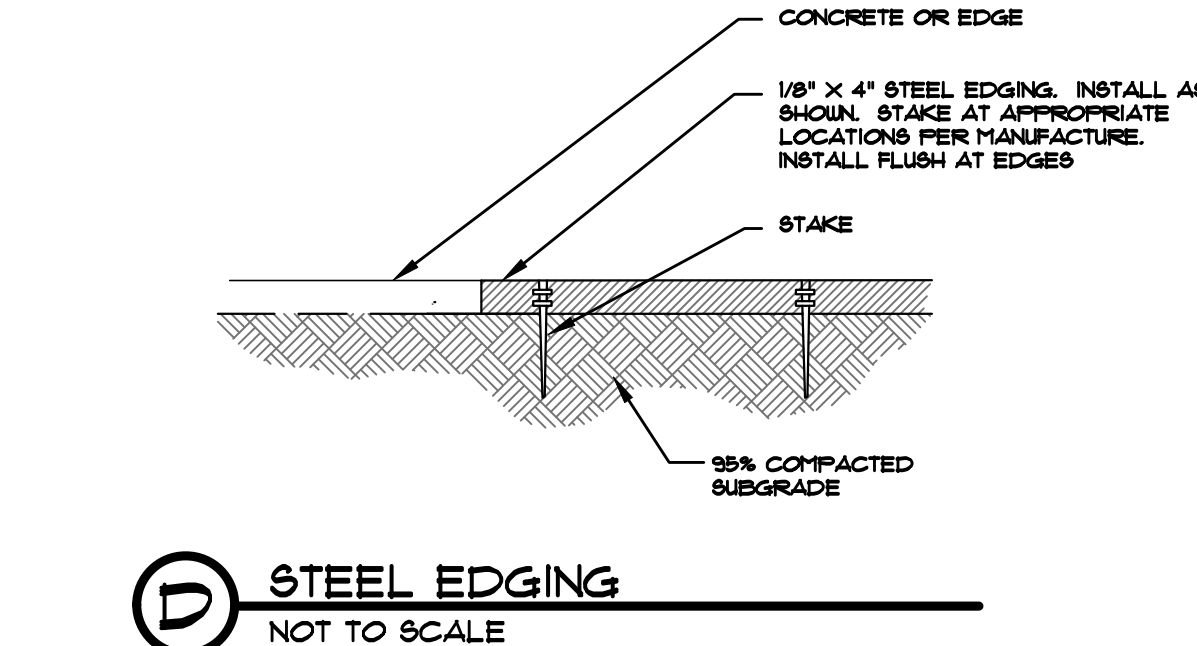
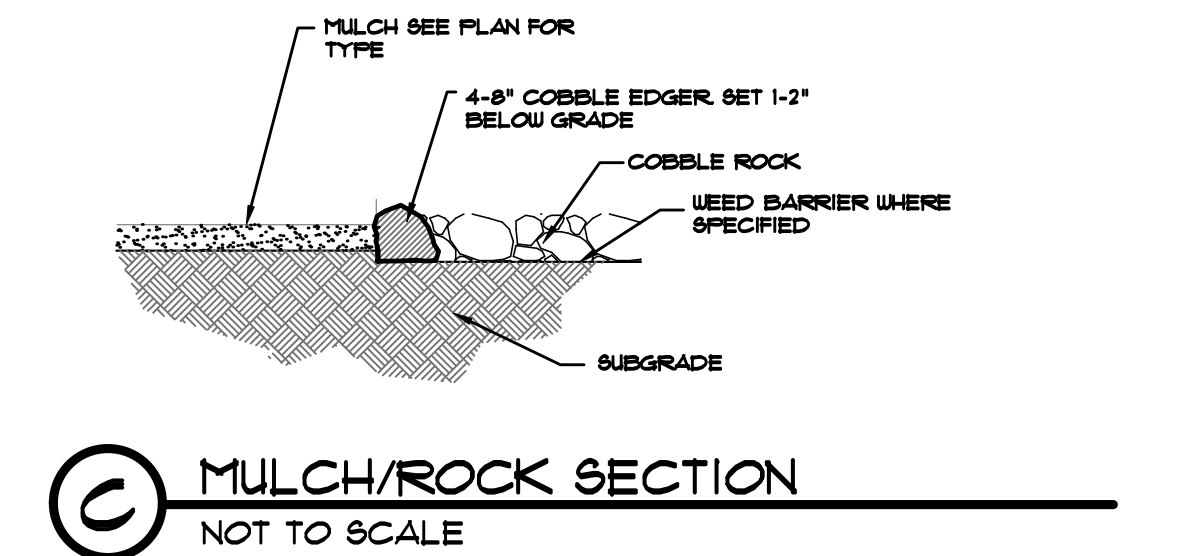
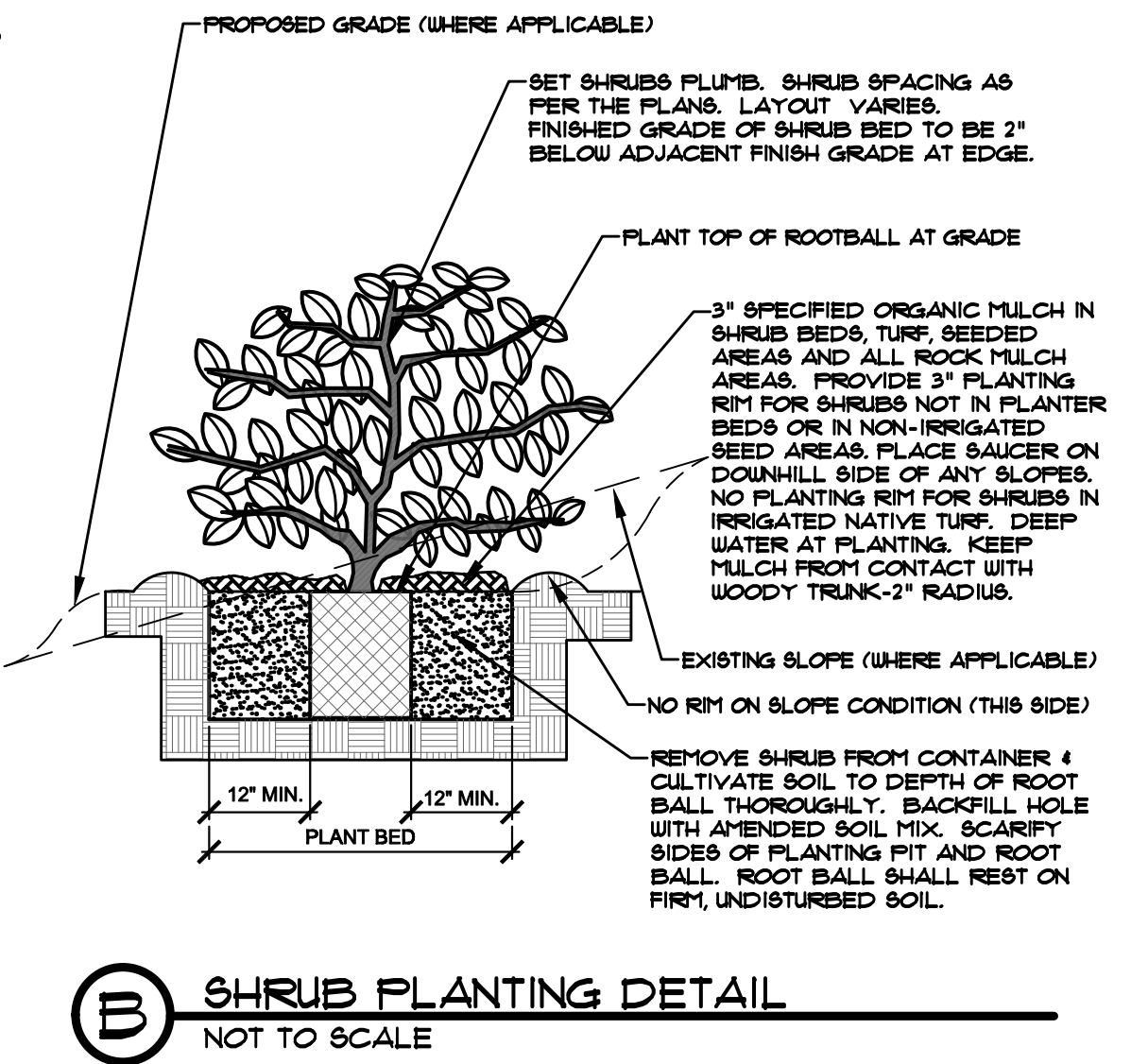
**NOTES:**

- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
- NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS)
- REMOVE ANY DOUBLE LEADER UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
- DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



**NOTES:**

- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5360 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
Phone: 719-547-1649  
Fax: 719-528-1122



**ACADEMY MARTIAL ARTS**  
980 GOLD CANYON ROAD  
MONUMENT, CO 80132  
EL PASO COUNTY, CO

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PREPARED FOR:  
HAMMERS CONSTRUCTION

For Town Approval Only

<b>NOT FOR CONSTRUCTION</b>	JOB NUMBER	1077-22
	REVISIONS	
	ORIGINAL DATE	8-29-22
	DRAWN BY	JM
	DESCRIPTION	DETAILS AND NOTES
SHEET NO.	L1.2	

## DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.



### LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS	NOTES
			QTY.	WATT	TYPE					
P1	LITHONIA	DSX1 LED P1 40K BLC MVOLT	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0	
P2	LITHONIA	DSX1 LED P1 40K T3M MVOLT	2	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	108.0	
WP1	LITHONIA	WDGE2 LED P2 40K 80CRI T2M	1	19.0	LED	SURFACE	WALLPACK	120/277	19.0	
WP2	LITHONIA	WDGE2 LED P2 40K 80CRI TFTM	1	19.0	LED	SURFACE	WALLPACK	120/277	19.0	

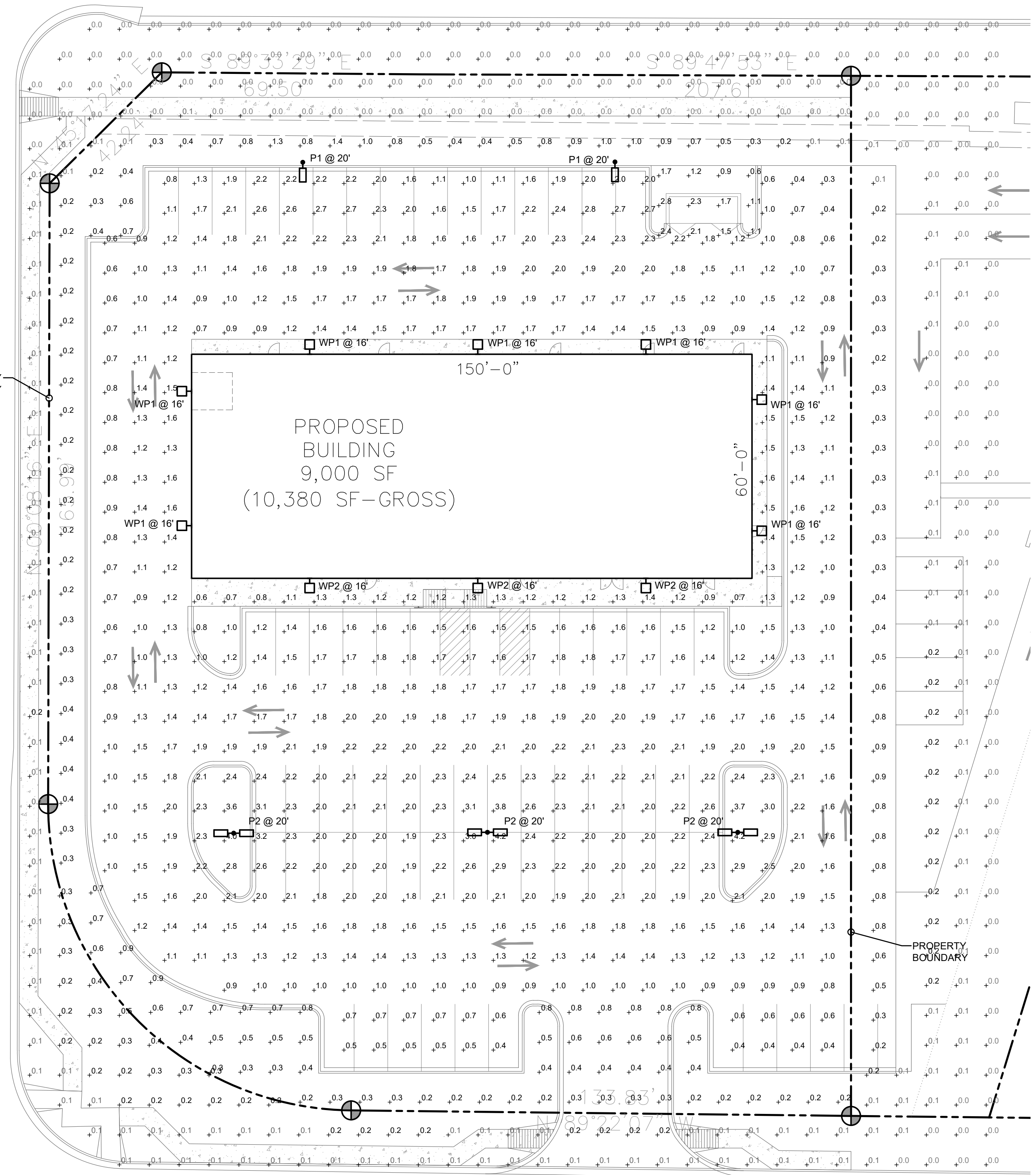
### CALCULATION ZONE STATISTICS

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.6	4.2	0.3	14.0:1	5.3:1
TO PROPERTY LINE	+	0.4	2.8	0.0	N/A	N/A

HWY 105  
(ROW VARIES)

MORNING CANYON ROAD  
(60'-0" WIDE)

GOLD CANYON ROAD  
(60'-0" WIDE)



3 WDGE2 WALLPACK (WP1 - WP2)  
ES0.1 SCALE: NONE



2 DSX1 AREA LUMINAIRE (P1 - P2)  
ES0.1 SCALE: NONE

1 SITE PHOTOMETRIC PLAN  
ES0.1 SCALE: 1"=20'-0"

**HAMMERS CONSTRUCTION INC.**  
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
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VICE PRES: DAVID J. HAMMERS  
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**ACAD. MARTIAL ARTS**  
NEW BUILDING  
980 GOLD CANYON ROAD  
MONUMENT, CO 80132  
EL PASO COUNTY, COLORADO

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MECHANICAL • ELECTRICAL • PLUMBING  
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COLORADO SPRINGS, CO 80907  
mcsheaconsulting.com  
Project 22-6648

REVIEW SET; NOT FOR CONSTRUCTION  
07.27.2022

DATE: JULY 27, 2022  
DRAWN BY: C. FORRESTER  
PROJ. MNGR: E. SMITH  
SCALE: SEE PLAN  
APPROVED BY: MRM  
JOB NO: 1295


RESUBMITTALS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ES0.1



### WDGE2 LED

Architectural Wall Sconce  
Visual Comfort Optic



**Specifications**  
Depth (D10) 7"  
Depth (D20) 1.5"  
Height 5"  
Width 11.5"  
Weight 13.5 lbs

**Introduction**  
The WDGE2 LED family is designed to meet specifiers every wall-mounted lighting need in a wide range of applications. The clear rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a wide size selection. Embedded with high-end LED wireless controls, the WDGE2 family provides additional energy savings and code compliance.

**WDGE2 delivers up to 6,000 lumens with a soft, non-glaring light source, creating a visually comfortable environment. When combined with our integrated emergency battery backup options, including an IBM® cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.**

**WDGE2 LED Family Overview**

Model	Power	Voltage	Control	Beam	Beam Spread	Height	Width	Depth	Weight
WDGE2-L3	10W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-M3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-H3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-LL3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs

**Ordering Information**  
EXAMPLE: WDGE2 LED P3 40K BCR MVFL MVFL SRM D8DXX

Model	Power	Voltage	Control	Beam	Beam Spread	Height	Width	Depth	Weight
WDGE2-L3	10W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-M3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-H3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
WDGE2-LL3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs

**Accessories**  
WDGE2-IBS - IBM® IntelliSite™ Remote Control (sold separately)  
WDGE2-IBS-PC - IBM® IntelliSite™ Remote Control (sold separately)  
WDGE2-IBS-APP - IBM® IntelliSite™ Remote Control (sold separately)  
WDGE2-IBS-APP - IBM® IntelliSite™ Remote Control (sold separately)

**Performance Data**  
**Lumen Output**  
Lumens are measured according to ANSI LM-79-09. Data is provided to represent the range of configurations shown, when the fixture is driven by a 120V AC power source. Contact factory for performance data on any configuration not shown.

Model	Power	10' Beam	20' Beam	30' Beam	40' Beam	50' Beam	60' Beam	70' Beam	80' Beam
P1/P3	10W	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
P2/P4	15W	1,800	1,800	1,800	1,800	1,800	1,800	1,800	1,800
P3/P5	20W	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400

**Electrical Lead**  
**Lumen Multiplier for ROCBI**  
**Lumen Output in Emergency Mode (4000K, 80 CRI)**

**Lumen Ambient Temperature (LAT) Multipliers**  
**Projected LED Lumen Maintenance**

**Photometric Curves**

**Performance Data**  
**Lumen Ambient Temperature (LAT) Multipliers**

**Electrical Load**

Model	Power	10' Beam	20' Beam	30' Beam	40' Beam	50' Beam	60' Beam	70' Beam	80' Beam
P1/P3	10W	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
P2/P4	15W	1,800	1,800	1,800	1,800	1,800	1,800	1,800	1,800
P3/P5	20W	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400

**Ordering Information**  
EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NTAIR2 PRH9N D0XBK

Model	Power	Voltage	Control	Beam	Beam Spread	Height	Width	Depth	Weight
DSX1-L3	10W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
DSX1-M3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
DSX1-H3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
DSX1-LL3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs


**Accessories**  
DSX1-IBS - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-PC - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-APP - IBM® IntelliSite™ Remote Control (sold separately)

**Performance Data**  
**Lumen Output**  
**Electrical Lead**

**Lumen Ambient Temperature (LAT) Multipliers**  
**Projected LED Lumen Maintenance**

**Photometric Curves**

**D-Series Size 1**  
LED Area Luminaire



**Specifications**  
Height H1 7.5"  
Height H2 5.5"  
Weight 27 lbs

**Introduction**  
The modern styling of the D-Series is striking yet understated, making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series descends the benefits of the latest in LED technology into a high-performance, high-efficiency, long-life luminaire.

**Photometric Curves**

**Ordering Information**  
EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NTAIR2 PRH9N D0XBK

Model	Power	Voltage	Control	Beam	Beam Spread	Height	Width	Depth	Weight
DSX1-L3	10W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
DSX1-M3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs
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DSX1-LL3	15W	120V	DC/DC	16°	27°	5"	11.5"	1.5"	13.5 lbs

**Accessories**  
DSX1-IBS - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-PC - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-APP - IBM® IntelliSite™ Remote Control (sold separately)

**Performance Data**  
**Lumen Output**  
**Electrical Lead**

**Lumen Ambient Temperature (LAT) Multipliers**  
**Projected LED Lumen Maintenance**

**Photometric Curves**

# HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN-BUILD

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VICE PRES: DAVID J. HAMMERS  
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## ACAD. MARTIAL ARTS

NEW BUILDING  
980 GOLD CANYON ROAD  
MONUMENT, CO 80132  
EL PASO COUNTY, COLORADO

## cShea Consulting, LLC

MECHANICAL • ELECTRICAL • PLUMBING

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Project 22-6848

REVIEW SET; NOT FOR CONSTRUCTION  
07.27.2022

DATE: JULY 27, 2022  
DRAWN BY: C. FORRESTER  
PROJ. MNGR: E. SMITH  
SCALE: SEE PLAN  
APPROVED BY: MRM  
JOB NO: 1295

RESUBMITTALS:

# ES0.2

**Ordering Information**  
**Accessories**  
**Options**  
ES - External Glass Shield

**Drilling**  
**HANDLE ORIENTATION**  
**TENON MOUNTING SLIPFITTER**  
**DSX1 Area Luminaire - EPA**

**Photometric Curves**

**Accessories**  
DSX1-IBS - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-PC - IBM® IntelliSite™ Remote Control (sold separately)  
DSX1-IBS-APP - IBM® IntelliSite™ Remote Control (sold separately)

**Performance Data**  
**Lumen Output**  
**Electrical Lead**

**Lumen Ambient Temperature (LAT) Multipliers**  
**Projected LED Lumen Maintenance**

**Photometric Curves**

**Ordering Information**  
**Accessories**  
**Options**  
ES - External Glass Shield

**Drilling**  
**HANDLE ORIENTATION**  
**TENON MOUNTING SLIPFITTER**  
**DSX1 Area Luminaire - EPA**

**Photometric Curves**

**Accessories**  
DSX1-IBS - IBM® IntelliSite™ Remote Control (sold separately)  
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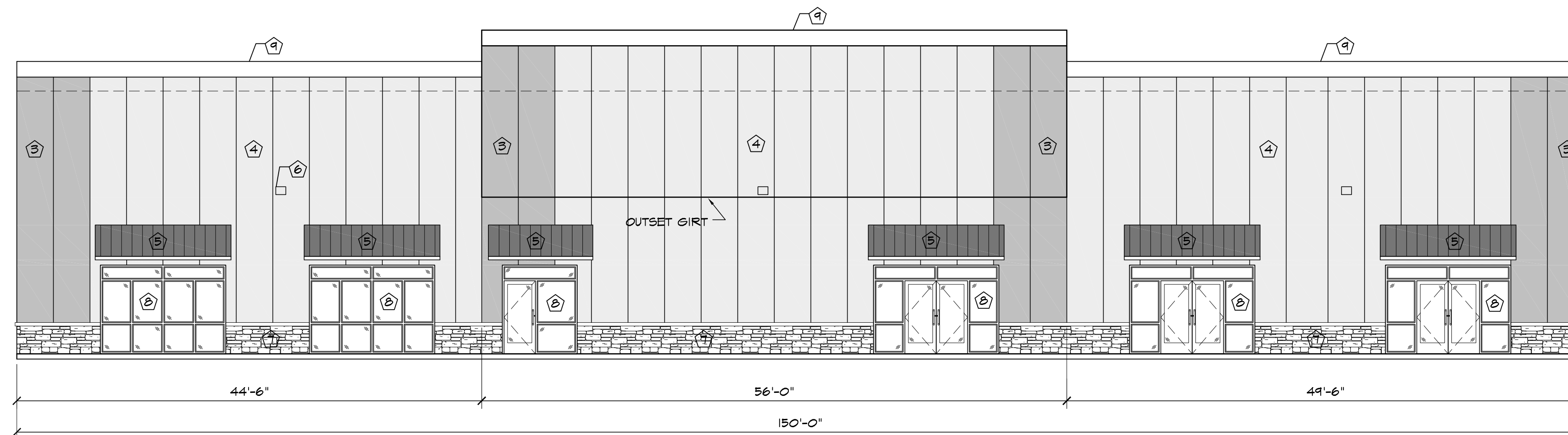
**Performance Data**  
**Lumen Output**  
**Electrical Lead**

**Lumen Ambient Temperature (LAT) Multipliers**  
**Projected LED Lumen Maintenance**

**Photometric Curves**



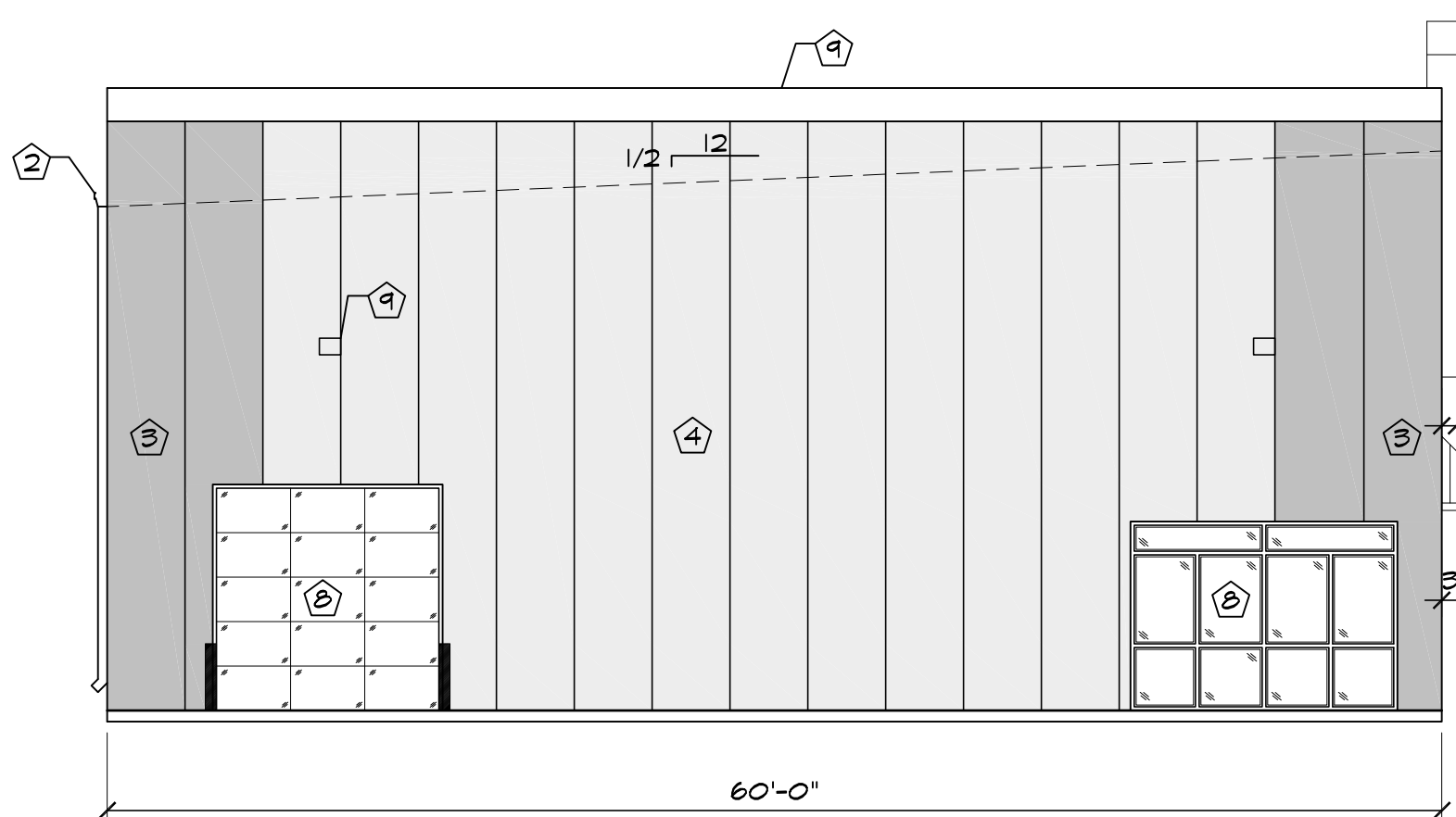
- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 15'-0" BTM OF OUTSET GIRT
- 4'-0" BOTTOM OF AWNING
- 8'-6" T.O. STOREFRONT
- 1'-0" TOP OF DOOR
- 3'-0" T.O. STONE VENEER
- 0'-0" FINISHED FLOOR



1 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 15'-0" BTM OF OUTSET GIRT
- 4'-0" BOTTOM OF AWNING
- 8'-6" T.O. STOREFRONT
- 1'-0" TOP OF DOOR
- 3'-0" T.O. STONE VENEER
- 0'-0" FINISHED FLOOR

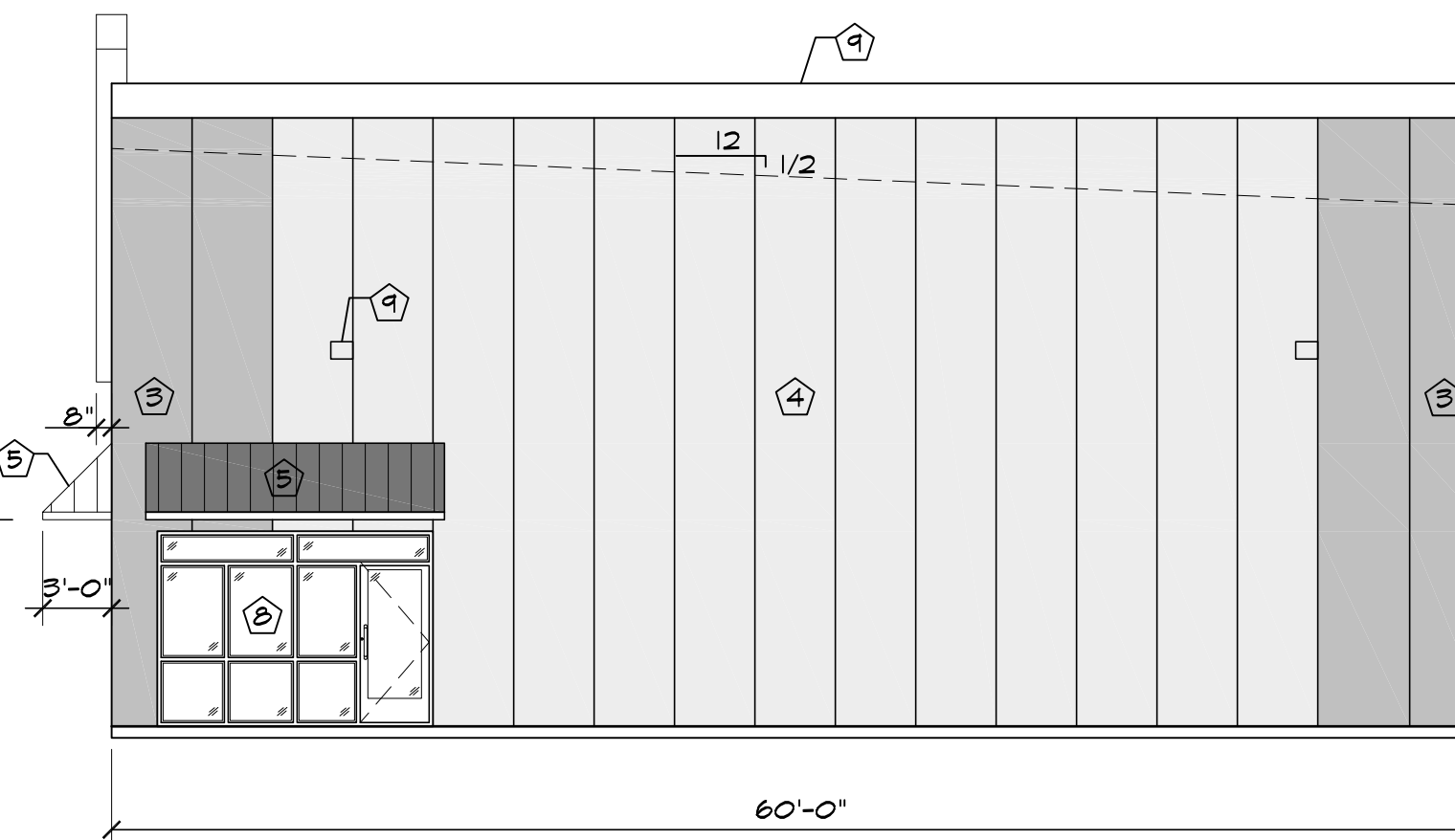
- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 22'-8" EAVE HT.
- 10'-0" TOP OF OHD
- 0'-0" FINISHED FLOOR



2 WEST ELEVATION  
SCALE: 1/8"=1'-0"

- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 15'-0" BTM OF OUTSET GIRT
- 4'-0" BOTTOM OF AWNING
- 8'-6" T.O. STOREFRONT
- 0'-0" FINISHED FLOOR

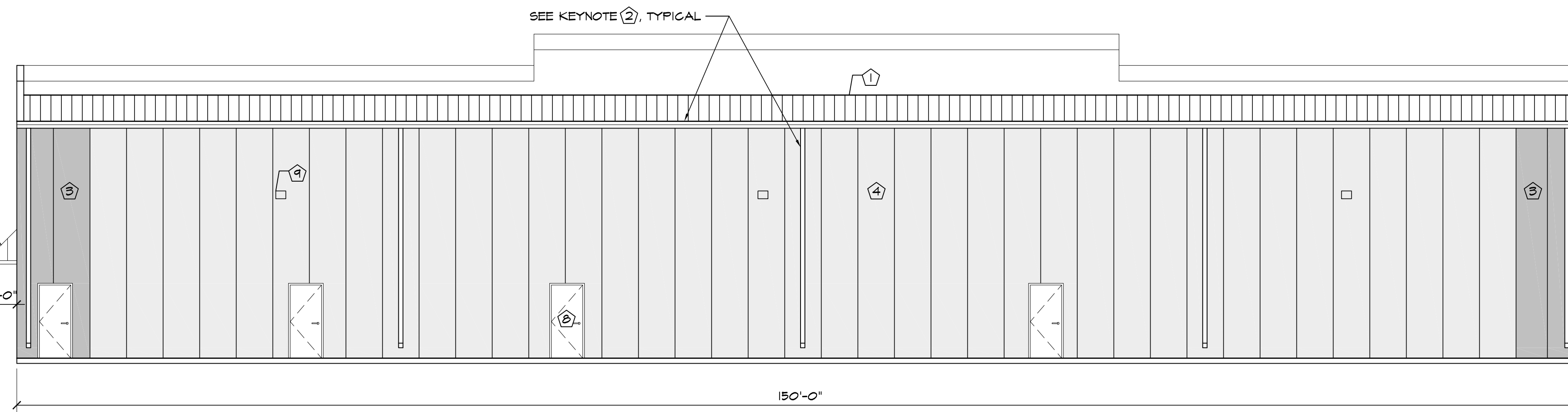
- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 15'-0" BTM OF OUTSET GIRT
- 4'-0" BOTTOM OF AWNING
- 8'-6" T.O. STOREFRONT
- 0'-0" FINISHED FLOOR



3 EAST ELEVATION  
SCALE: 1/8"=1'-0"

- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 22'-8" EAVE HT.
- 0'-0" FINISHED FLOOR

- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 22'-8" EAVE HT.
- 4'-0" BOTTOM OF AWNING
- 1'-0" TOP OF DOOR
- 0'-0" FINISHED FLOOR



4 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

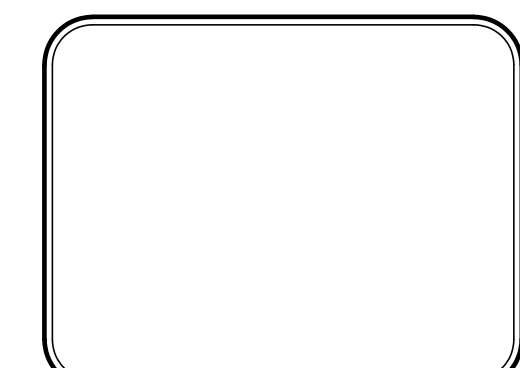
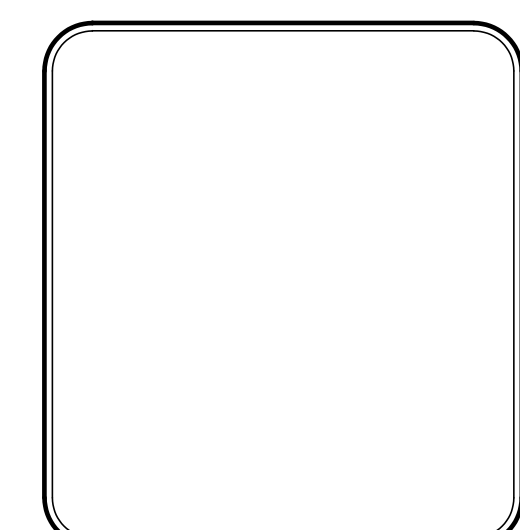
- 31'-0" TOP OF PARAPET
- 28'-0" TOP OF PARAPET
- 25'-2" RIDGE HT.
- 22'-8" EAVE HT.
- 0'-0" FINISHED FLOOR

ELEVATION KEY NOTES	
1	PREFINISHED 24 GA. "SS" METAL ROOF PANELS BY METAL BUILDING PROVIDER
2	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
3	PREFINISHED TUFF-CAST INSULATED WALL PANEL BY METAL BUILDING PROVIDER W/ CONTROL JOINTS @ 42" O.C., COLOR: TBD
4	PREFINISHED TUFF-CAST INSULATED WALL PANEL BY METAL BUILDING PROVIDER W/ CONTROL JOINTS @ 42" O.C., COLOR: TBD
5	METAL AWNING - COLOR: BY PROVIDER
6	WALL PACK LIGHT TOP OF LIGHT @ 16'-0" A.F.F. SEE ELECT. PLANS
7	STONE VENEER WITH 2" CAP INSTALLED W/ SCHLUTER TRIM
8	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR AND WINDOW INFORMATION
9	PREFINISHED METAL PARAPET CAP

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**ACAD. MARTIAL ARTS**  
 NEW BUILDING  
 980 GOLD CANYON ROAD  
 MONUMENT, CO 80132  
 EL PASO COUNTY, COLORADO



DATE: SEPT. 2, 2022  
 DRAWN BY: W. VENEROS  
 PROJ. MGR: E. SMITH  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1295

RESUBMITTALS: