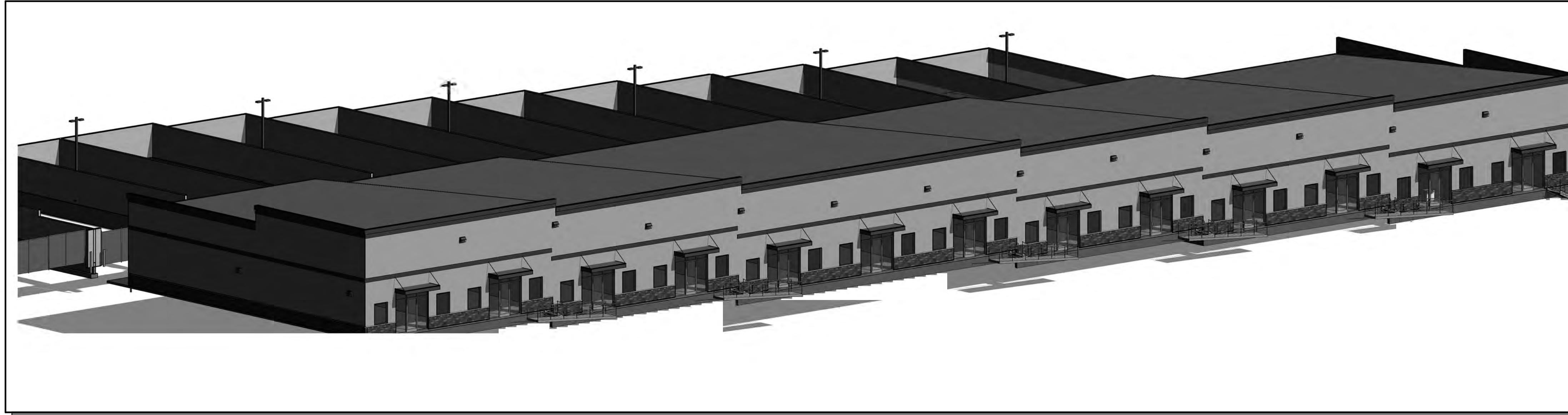


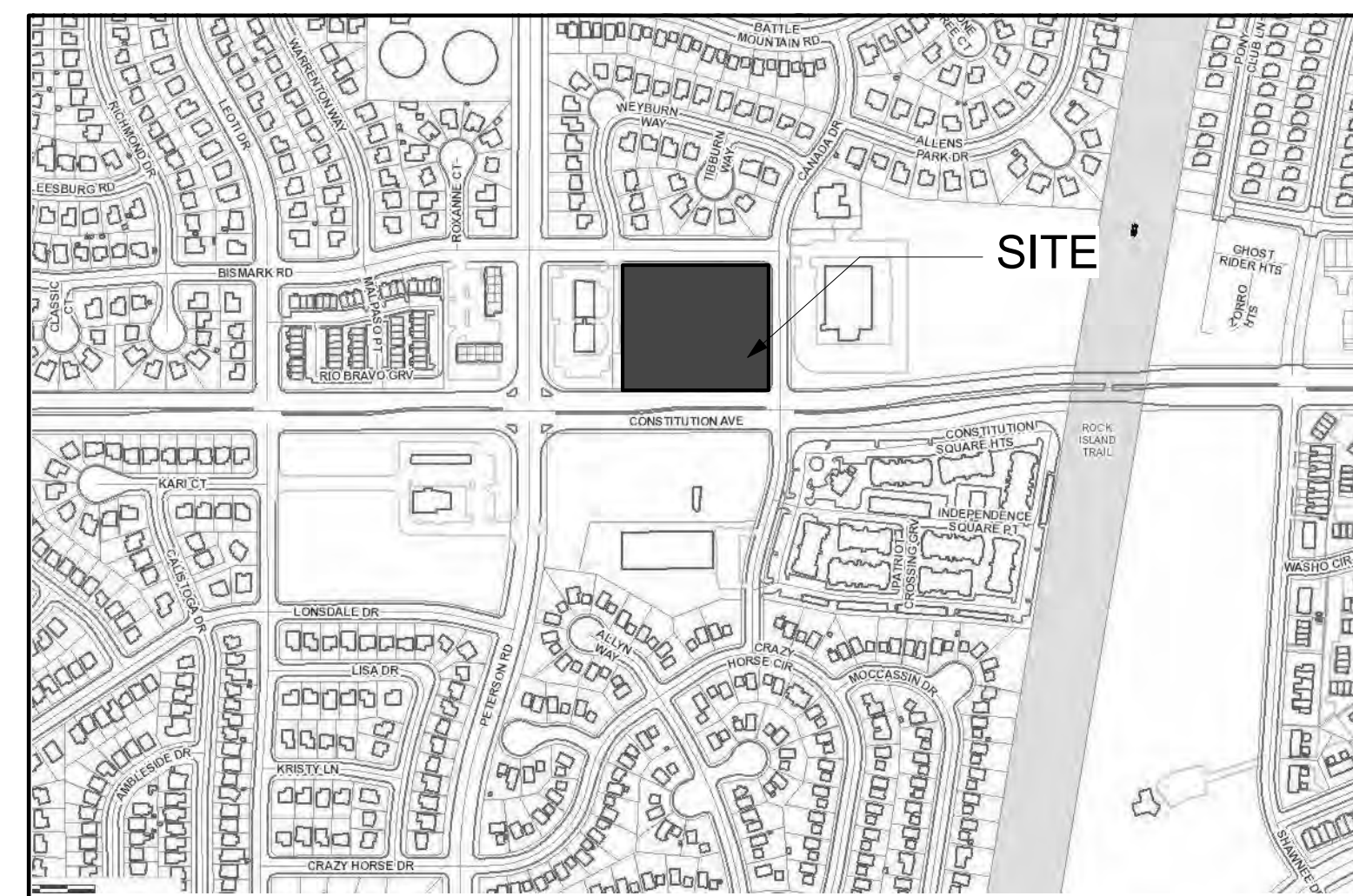
NORTHCREST CENTER DEVELOPMENT PLAN

2510 & 2522 CANADA DR
COLORADO SPRINGS, COLORADO 80922

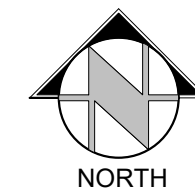


PROJECT INFORMATION

SITE AREA: 3.32 AC (144,776 S.F.)
 DEVELOPMENT NAME: NORTHCREST CENTER (OFFICE/WAREHOUSE)
 DESCRIPTION: OFFICE/ WAREHOUSE AND STORAGE YARD
 TAX SCHEDULE NO: 53323 09 004, 53323 09 005, 53323 09 006
 LEGAL DESCRIPTION: LOT 3, LOT 4 & LOT 5 NORTHCREST CENTER, FILING NO. 2
 PROPERTY ADDRESS: 2510 & 2522 CANADA DR, COLORADO SPRINGS, COLORADO 80922
 EXISTING ZONING: CC CAD-O (NO CHANGE)
BUILDING SETBACKS:
 FRONT 25'-0"
 SIDE (STREET) 25'-0"
 SIDE (INTERIOR LOT LINE) 0'-0"
 REAR (NEXT TO RR ZONE) 15'-0"
LANDSCAPE SETBACKS:
 FRONT 20'-0"
 SIDE (STREET) 10'-0"
 SIDE (INTERIOR LOT LINE) 10'-0"
 REAR (NEXT TO RR ZONE) 10'-0"
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: OFFICE/ WAREHOUSE
 BUILDING HEIGHT: 40' MAX ALLOWED
BUILDING INFO:
 GROSS BUILDING AREA 31,492 S.F.
 BUILDING OCCUPANCY (NON-SEPARATED USES) B, S-2
 TYPE OF CONSTRUCTION V-B
 FIRE SPRINKLER YES
 AREA SEPERATION WALLS YES 1 HR BETWEEN UNITS AND OFFICE/ WAREHOUSE
LOT DATA & COVERAGE:
 LOT COVERAGE: 21.26%
IMPERVIOUS AREA:
 BUILDING 31,492 S.F.
 STORAGE YARD/ POND WALLS 1,141 S.F.
 PAVED 52,554 S.F.
 SIDEWALKS 14,200 S.F.
 TOTAL 99,387 S.F. (68.64% LOT)
PERVIOUS AREA:
 LANDSCAPING 29,020 S.F.
 GRAVEL STORAGE YARD 28,210 S.F.
 TOTAL 57,230 S.F. (39.53% LOT)
PARKING DATA:
 OFFICE 1/200 (8,270 S.F.) = 42 PS REQUIRED
 WAREHOUSE 1/1000 (23,380 S.F.) = 24 PS REQUIRED
 HC ACCESS (51-75) 3 HC SPACES REQ
 TOTAL 66 PS REQUIRED
 PARKING PROVIDED: 66 TOTAL PS (INCL 2 HC + 1 VAN)
SIGNAGE:
 A SIGNAGE PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY. INCLUDE ALL ON-SITE DIRECTIONAL SIGNS.
 PROPOSED DEV. SCHED. FALL/WINTER 2021/2022



VICINITY MAP
NOT TO SCALE



GENERAL NOTES

FLOODPLAIN STATEMENT:

THIS PROPERTY IS NOT LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA "X" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS-MAP NUMBER 08041C0276 G EFFECTIVE DECEMBER 7, 2018.

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SHEET LIST

SHEET NUMBER	SHEET NAME
DP-01	DEVELOPMENT PLAN -COVER SHEET
DP-02	DEVELOPMENT SITE PLAN
DP-03	FLOOR PLAN
DP-04	EXTERIOR ELEVATIONS
DP-05	UTILITY PLAN
DP-06	CONSTRUCTION DETAILS 1
DP-07	CONSTRUCTION DETAILS 2
DP-08	LANDSCAPE PLAN
DP-09	LANDSCAPE DETAILS
DP-10	SITE PHOTOMETRIC PLAN
DP-11	SITE PHOTOMETRIC PLAN DETAILS

DEVELOPMENT TEAM

Owner:
LEISURE CONSTRUCTION
 3442 Tampa Rd, Suite B
 Palm Harbor, FL 34684
 Contact: SEAN EDWARDS
 Sean@leisureconstruction.com
 727-242-5121

Civil Engineer:
RMG- Rocky Mountain Group
 14 Inverness Dr E, Ste E-136
 Englewood, CO 80112
 Contact: Scott Marvel, P.E.
 SMarvel@rmg-engineers.com
 303-688-9475

Landscape Architect:
JWLA, LLC
 P.O. Box 354
 Palmer Lake, CO 80133
 Contact: Jon Walsh
 jwlandarch@gmail.com
 719-640-9428

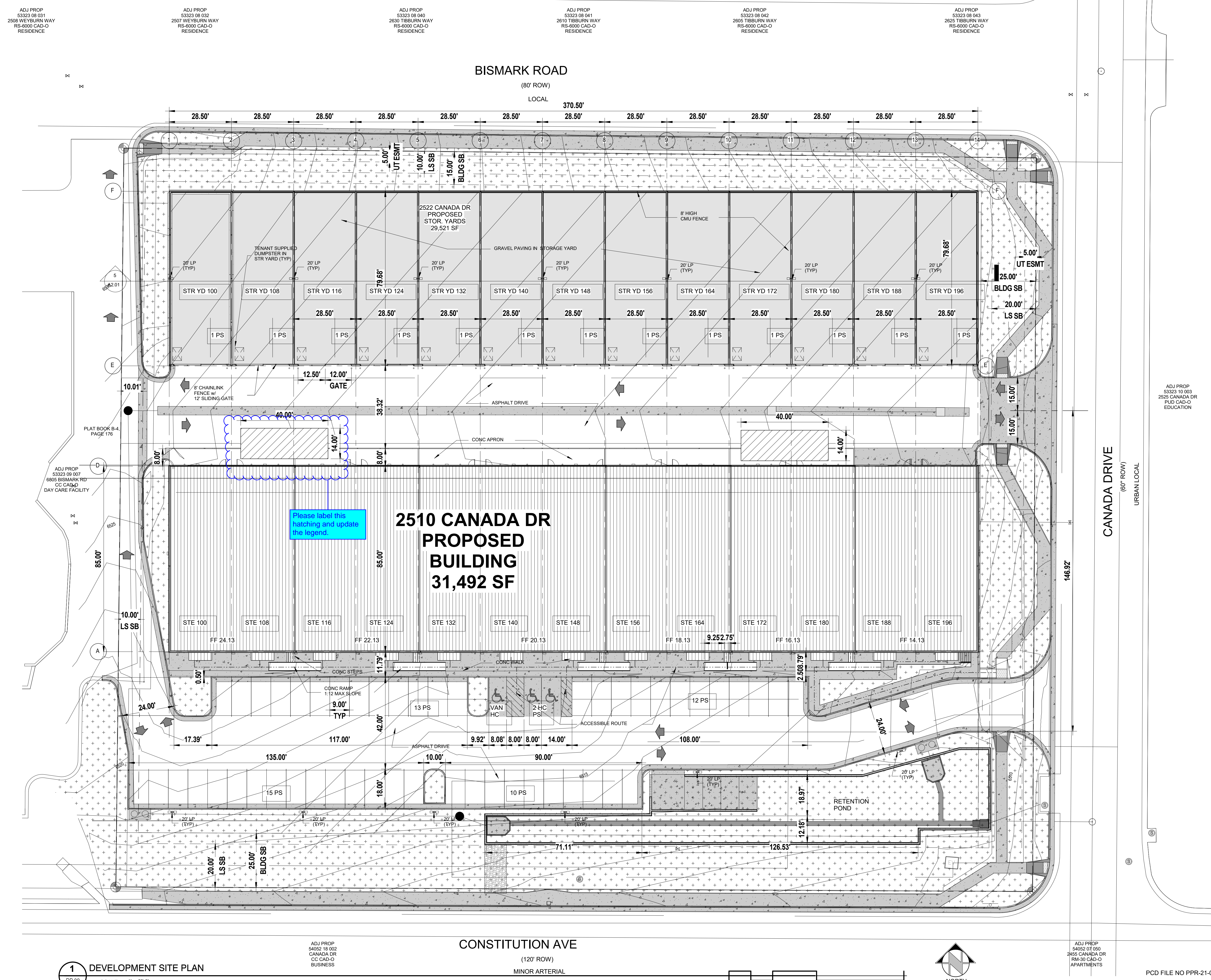
Architect/ Landplanning:
RMG-Rocky Mountain Group
 19375 Beacon Lite Road
 Monument, CO 80132
 Contact: Keith Moore,
 KMoore@rmg-engineers.com
 719-203-3321



NORTHCREST CENTER - STORAGE
YARD WALLS
2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922
LEISURE CONSTRUCTION

DEVELOPMENT PLAN
-COVER SHEET
DEVELOPMENT PLANS

ARCHENGING:	KEM
DRAWN:	JJZ
CHECKED:	KEM
DATE:	08.09.22
REVISION	DATE
JOB NO:	180649
SHEET NO:	DP.01



ADJ PROP
53323 08 001
2508 WEYBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 032
2507 WEYBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 040
2630 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 041
2810 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 042
2825 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 043
2825 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 10 003
2525 CANADA DR
PUD CAD-O
EDUCATION

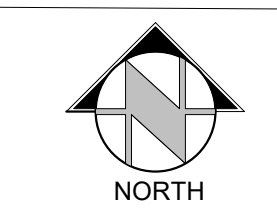
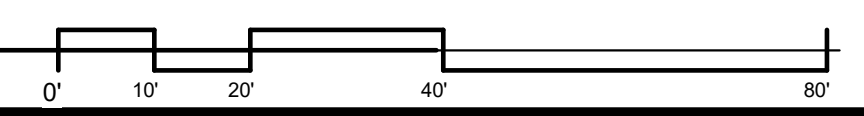
ADJ PROP
53323 09 007
8805 BISMARCK RD
CC CAD-O
DAY CARE FACILITY

Please label this hatching and update the legend.

**2510 CANADA DR
PROPOSED
BUILDING
31,492 SF**

1 DEVELOPMENT SITE PLAN
DP.02 SCALE: 1" = 20'-0"

CONSTITUTION AVE
(120' ROW)
MINOR ARTERIAL



ADJ PROP
54052 07 050
2455 CANADA DR
RM-30 CAD-O
APARTMENTS

PCD FILE NO PPR-21-036

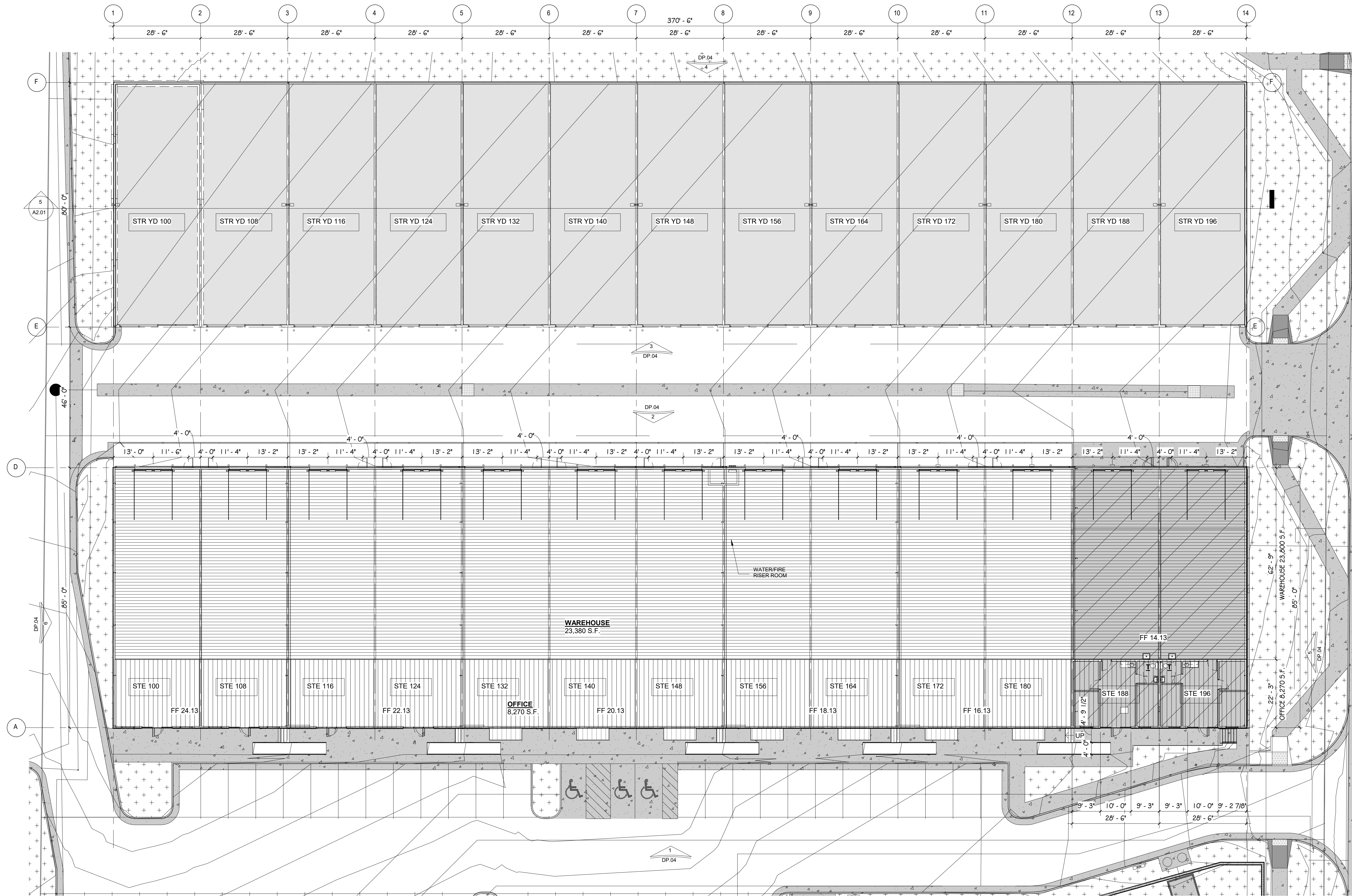
ROCKY MOUNTAIN GROUP
Geotechnical
Materials Testing
Civil/Planning
RMG
ARCHITECTURAL
STRUCTURAL
FORENSIC

**NORTHWEST CENTER - STORAGE
YARD WALLS**
2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922

DEVELOPMENT SITE PLAN
PROJECT STATUS
LEISURE CONSTRUCTION

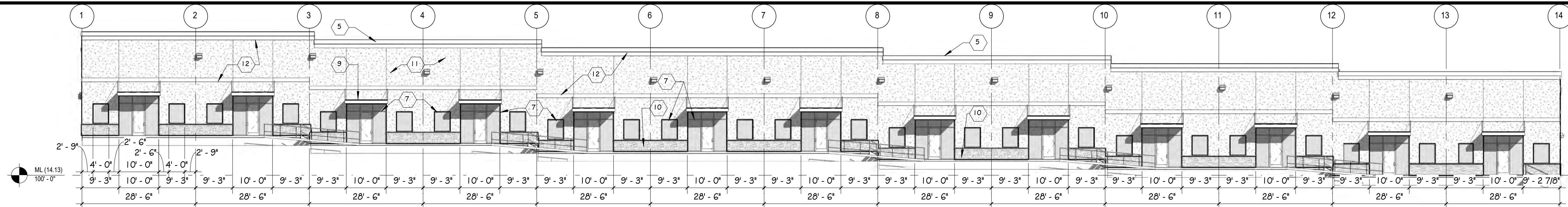
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DRAWN:	JUZ
CHECKED:	KEM
DATE:	08.09.22
REVISION:	DATE

JOB NO: 180649
SHEET NO: DP.02

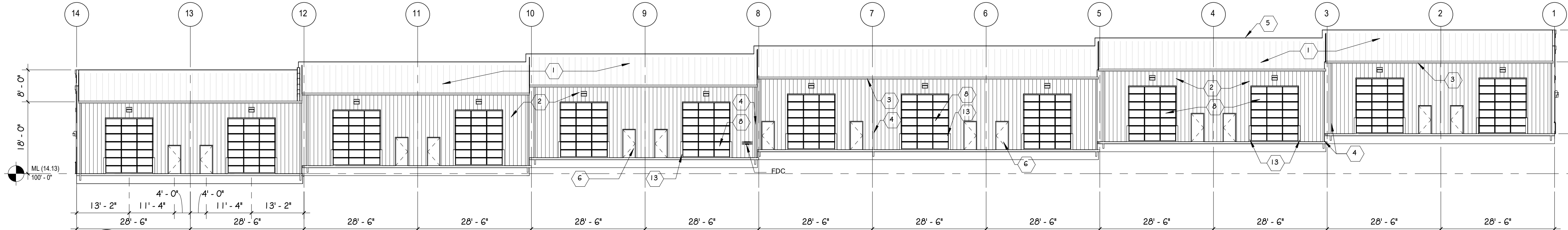


1 FLOOR PLAN
 DP.03 SCALE: 1/16" = 1'-0"

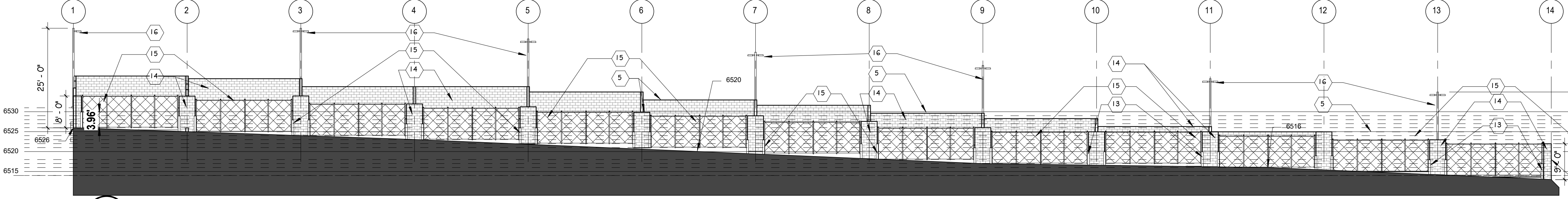
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ARCHENGE	KEM	
DRAWN	JUZ	
CHECKED	KEM	
DATE	08.09.22	
REVISION	DATE	
JOB NO.	180649	
SHEET NO.	DP.03	



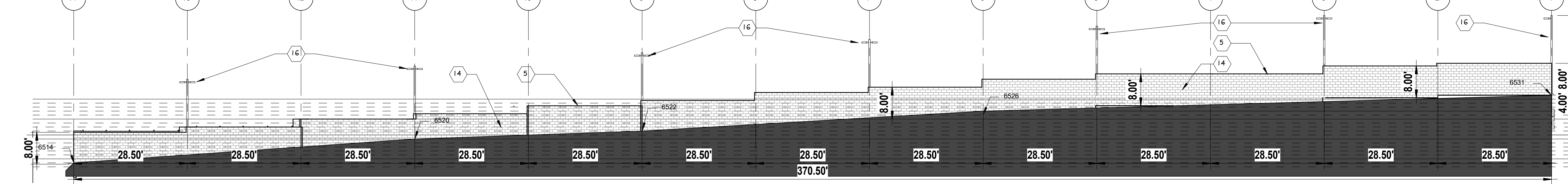
1 SOUTH DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



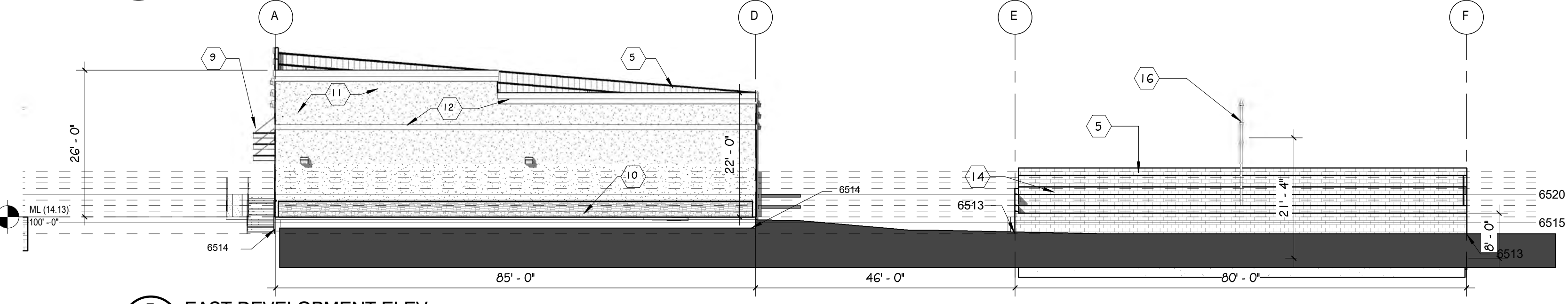
2 NORTH DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



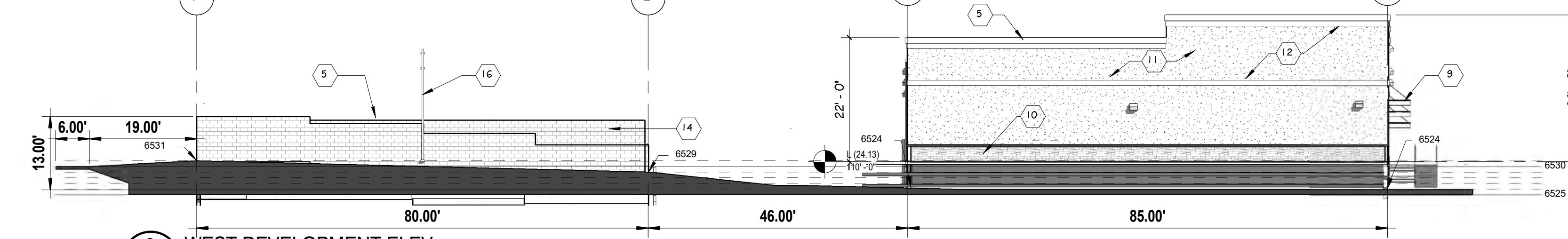
3 SOUTH YARD DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



4 NORTH YARD DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



5 EAST DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



6 WEST DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"

MARK	MATERIAL	COLOR	FINISH
1	METAL ROOF (PEMB MFGR)	TBD	FACTORY
2	METAL SIDING (PEMB)	TBD	FACTORY
3	PRE FINISHED GUTTERS (PEMB)	TO MATCH SIDING	FACTORY
4	PRE FINISHED DOWNSPOUTS (PEMB)	TO MATCH SIDING	FACTORY
5	METAL CAP FLASHING	TBD	FACTORY
6	HM DOORS (INSULATED)	TBD	FACTORY
7	2'x4 1/2" ALUM STOREFRONT	CLEAR ANODIZED	FACTORY
8	OVERHEAD SECTIONAL DOORS	POLAR WHITE	FACTORY
9	STEEL AWNING (PEMB)	TBD	FACTORY
10	SYNTHETIC STONE VENEER	TBD	FACTORY
11	STUCCO SYSTEM	TBD	PAINT
12	STUCCO ASCENT COLOR	TBD	FACTORY
13	STEEL PIPE BOLLARDS	TRAFFIC YELLOW	FACTORY
14	SPLIT-FACED CMU	TRI-BLEND COLOR	FACTORY
15	CHAINLINK FENCE W/ SLATS	SLATS 90% OPACITY	FACTORY
16	LIGHT POLE	TBD	FACTORY

ROCKY MOUNTAIN GROUP
 Geotechnical
 Materials Testing
 Civil/Planning
RMG
 ENGINEERS ARCHITECTS
 SOUTHERN COLORADO
 19375 BEACH LANE, SUITE 100, MONUMENT, CO 80132
 SOUTHERN COLORADO, COLORADO, NORTHWESTERN COLORADO

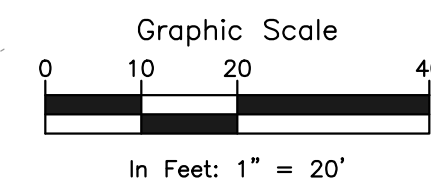
**NORTHEAST CENTER - STORAGE
 YARD WALLS**
 2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922
 LEISURE CONSTRUCTION

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EXTERIOR ELEVATIONS
DEVELOPMENT PLANS

ARCH: KEM
 DRAWN: JZJ
 CHECKED: km
 DATE: 08.09.22
 REVISION DATE
 JOB NO: 180649
 SHEET NO: DP.04

BISMARK ROAD
(80' PUBLIC R.O.W.)



CANADA DRIVE
(60' PUBLIC R.O.W.)

CONSTITUTION AVENUE
(120' PUBLIC R.O.W.)

6805 BISMARK ROAD
SCH: 5332309007
ZONING: CC CAD-O
PLAT NO. 7776
LOTS 1 & 2 NORTHCREST CENTER,
A VACATION & REPLAT OF TRACT
B NORTHCREST FIL NO 2 PHASE 1

PROPOSED COMMERCIAL CENTER BUILDING
31,215 SF TOTAL
PROPOSED USE: OFFICE/WAREHOUSE
OCCUPANCY: B (BUSINESS) & S-1 (STORAGE)

(E) 10.0' UTILITY AND
DRAINAGE EASEMENT
(PLAT BOOK B-4, PG 176)
TO BE VACATED

MODIFIED ALIGNMENT OF EXISTING 8" WATER LINE
TO BE APPROVED BY CHEROKEE METRO UTILITY
OWNER: CHEROKEE METRO UTILITY

(P) FULL SPECTRUM DETENTION BASIN
5,000 SF BOTTOM, 5,800 SF TOP, 4.0' HT.,
21,600 CF VOLUME
(SEE WALL DESIGN BY SEPARATE DOCUMENT)

REMOVE APPROX. 140LF
SS LATERAL AND CAP
(P) 18" RCP STORM PIPE

ROCKY MOUNTAIN GROUP
ARCHITECTS
Structural
Forensics

SOUTHERN COLORADO
2910 ALPINE BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
719.536.6500 WWW.RMGENGINEERS.COM
Structural, Mechanical, Electrical, Plumbing, Fire, and Life Safety Engineers

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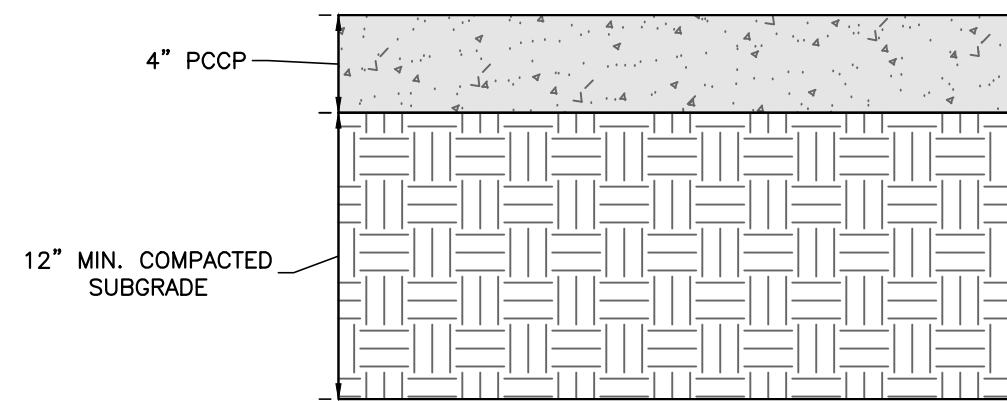
NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

UTILITY PLAN
PROJECT STATUS
DESIGN DEVELOPMENT

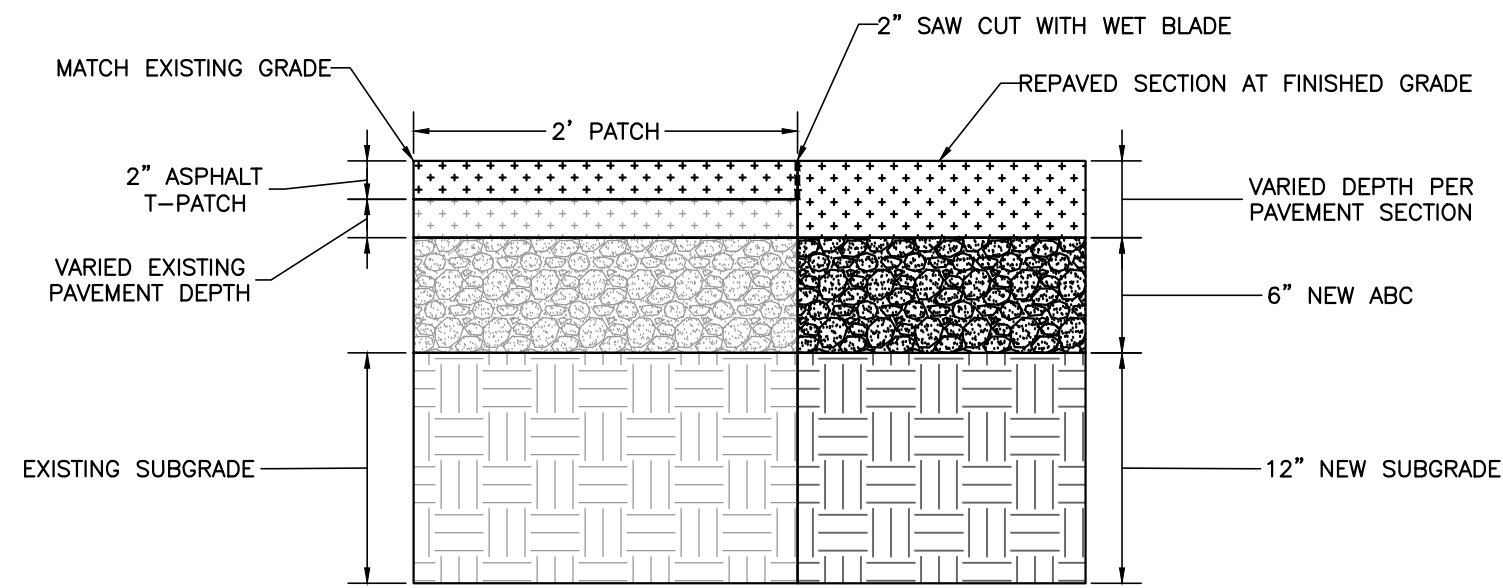
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DRAWN:	TPT	
CHECKED:	DOV	
DATE:	08/12/2022	
#	REVISION	DATE
JOB NO.:	180649	
SHEET NO.:	DP.05	
of 11		

PAVEMENT MATERIALS & SUBGRADE PREPARATION

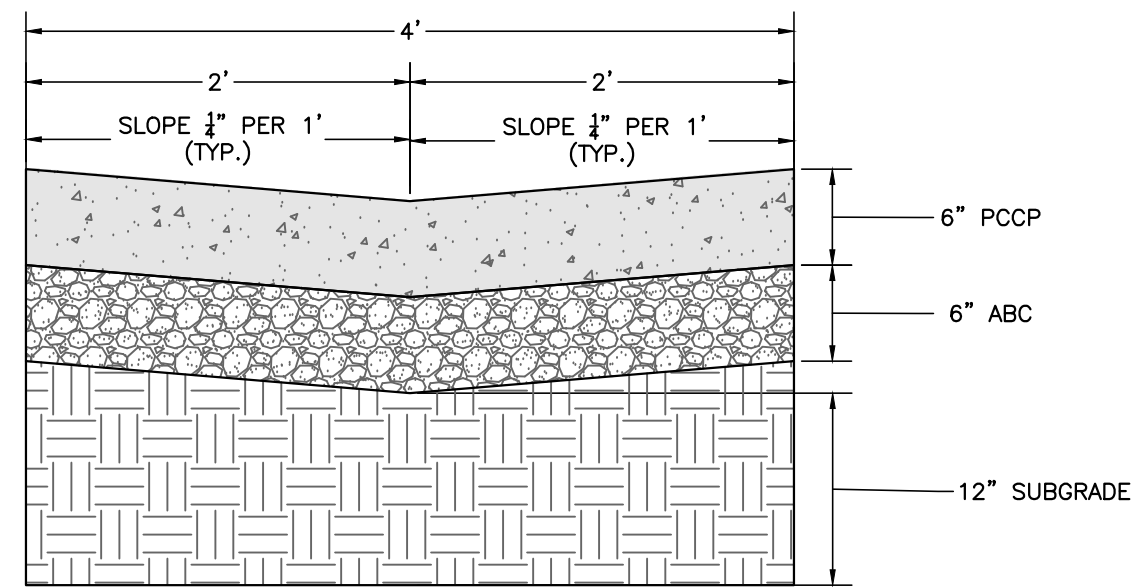
PAVEMENT MATERIALS AND SUBGRADE PREPARATION SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED FEBRUARY 23, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.



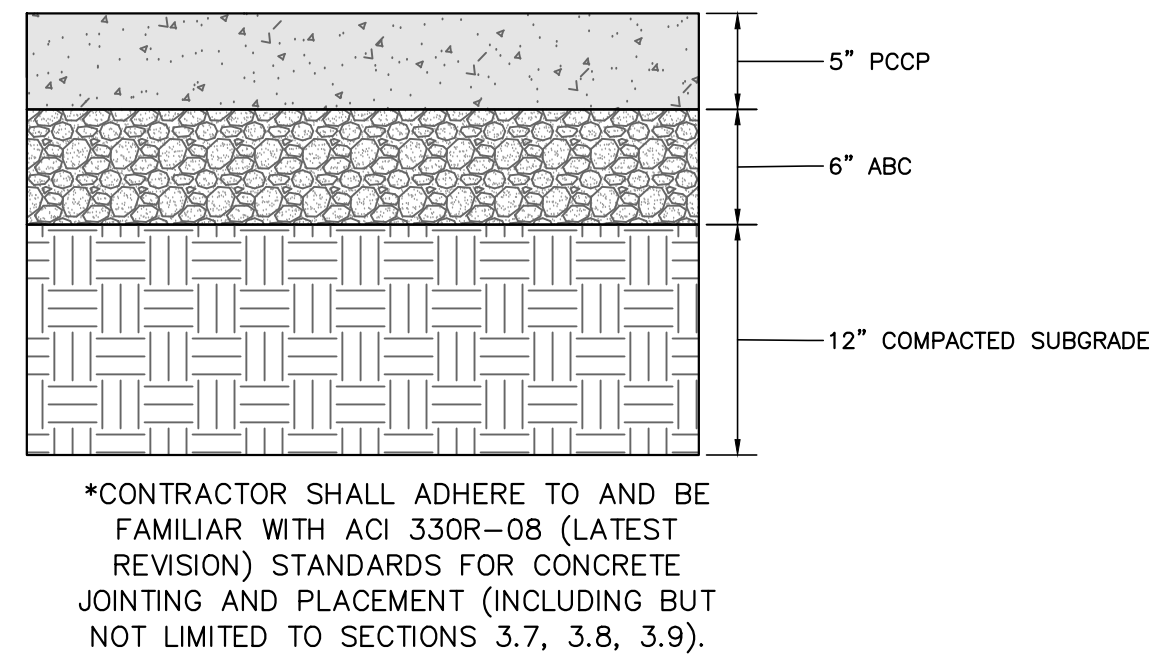
A TYPICAL SIDEWALK PAVEMENT SECTION
NOT TO SCALE



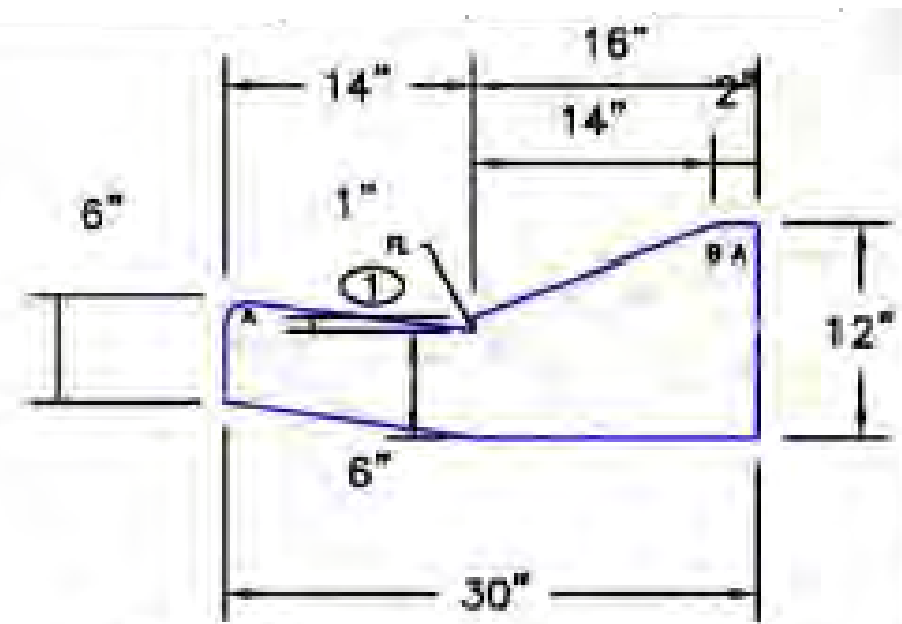
B ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE



C CONCRETE DRAINAGE PAN
NOT TO SCALE



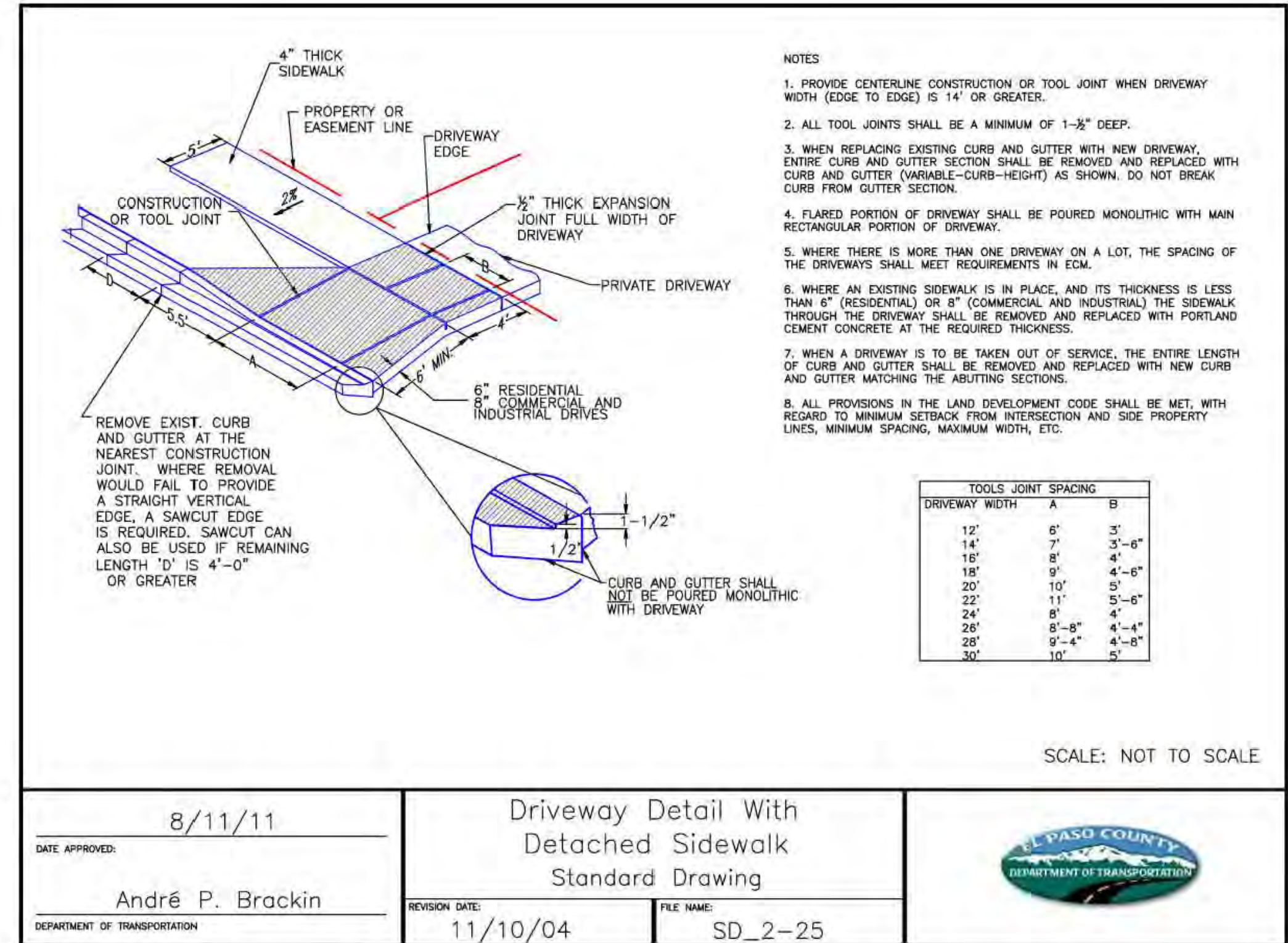
D TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE



EPC OPT TYPE C

E EPC OPT TYPE C CURB AND GUTTER (EPC STD SD_2-20)
NOT TO SCALE

LEGEND FOR RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"



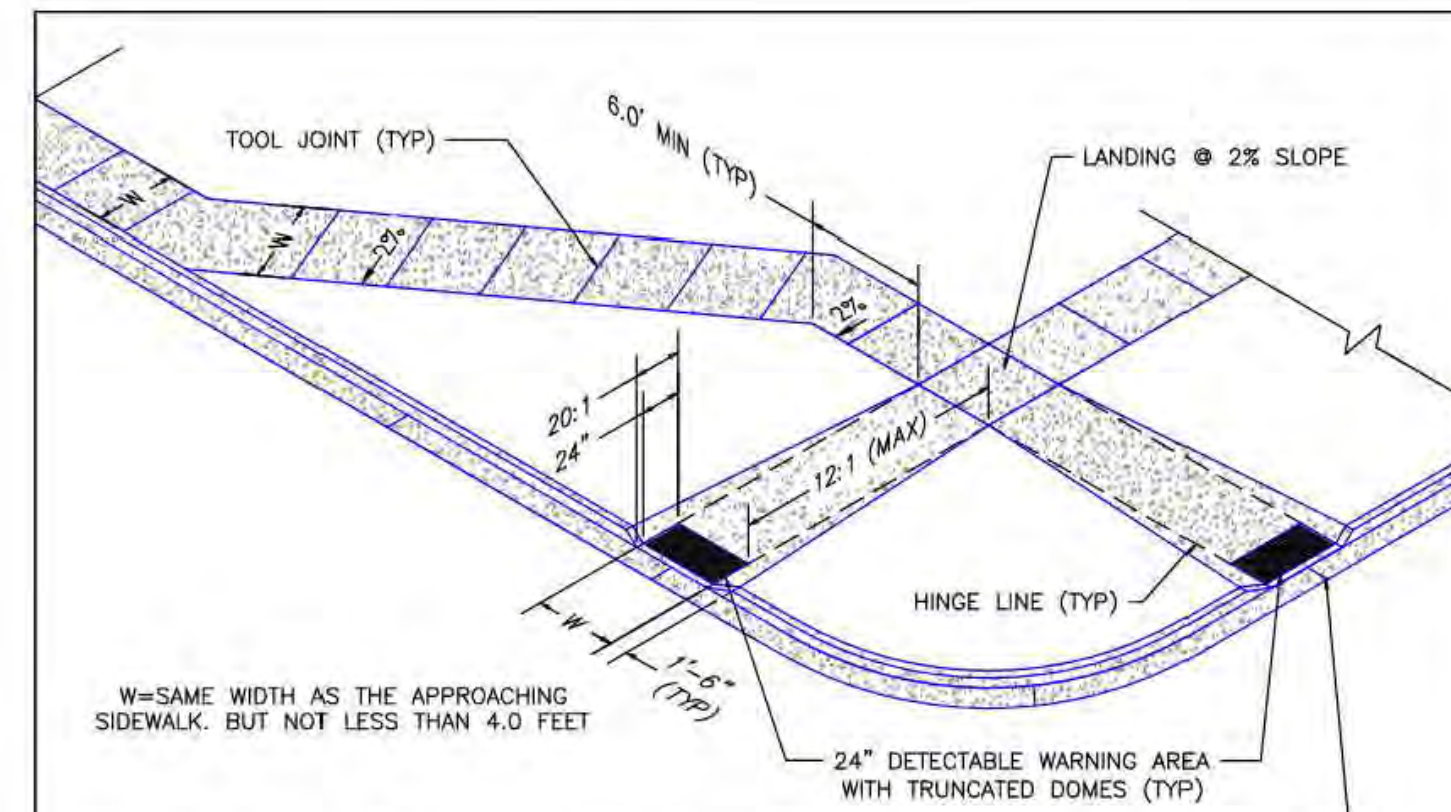
DATE APPROVED: 8/11/11
André P. Brackin
DEPARTMENT OF TRANSPORTATION

Driveway Detail With Detached Sidewalk Standard Drawing

REVISION DATE: 11/10/04
FILE NAME: SD_2-25

SCALE: NOT TO SCALE

Please update the standard detail drawings using the newest El Paso County standard detail drawings found in the ECM Appendix F.



PEDESTRIAN RAMP NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 12:1 MAXIMUM RUNNING RAMP SLOPE AND 20:1 DETECTABLE WARNING AREA DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS.
- DETECTABLE WARNING AREA SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING AREA SHALL BE PREFABRICATED, REDDISH INTEGRALLY COLORED, TRUNCATED-DOME, PAVERS. THERMOPLASTIC TRUNCATED DOMES WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING AREA SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
- RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK; 4' MINIMUM.
- ALL RAMP WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMP WHICH MAY BE PARALLEL SUBJECT TO APPROVAL.
- AVOID PLACING DRAINAGE STRUCTURES, TRAFFIC SIGNAL/SIGNAGE, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED RAMP AREAS.

GENERAL NOTES

- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA, THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

DATE APPROVED: 7/9/09
André P. Brackin
DEPARTMENT OF TRANSPORTATION

Pedestrian Intersection Ramp Standard Drawing

REVISION DATE: 12/8/15
FILE NAME: SD_2-41

ROCKY MOUNTAIN GROUP
ARCHITECTS
Geotechnical
Materials Testing
Civil/Planning
Structural
Forensics
ENGINEERS

SOUTHERN COLORADO
1937 S BEACON LITE RD., MONUMENT, CO 80132
719.486.5145 WWW.RMGENGINEERS.COM
Structural Engineering, Driveway Design, Asphalt Pavement

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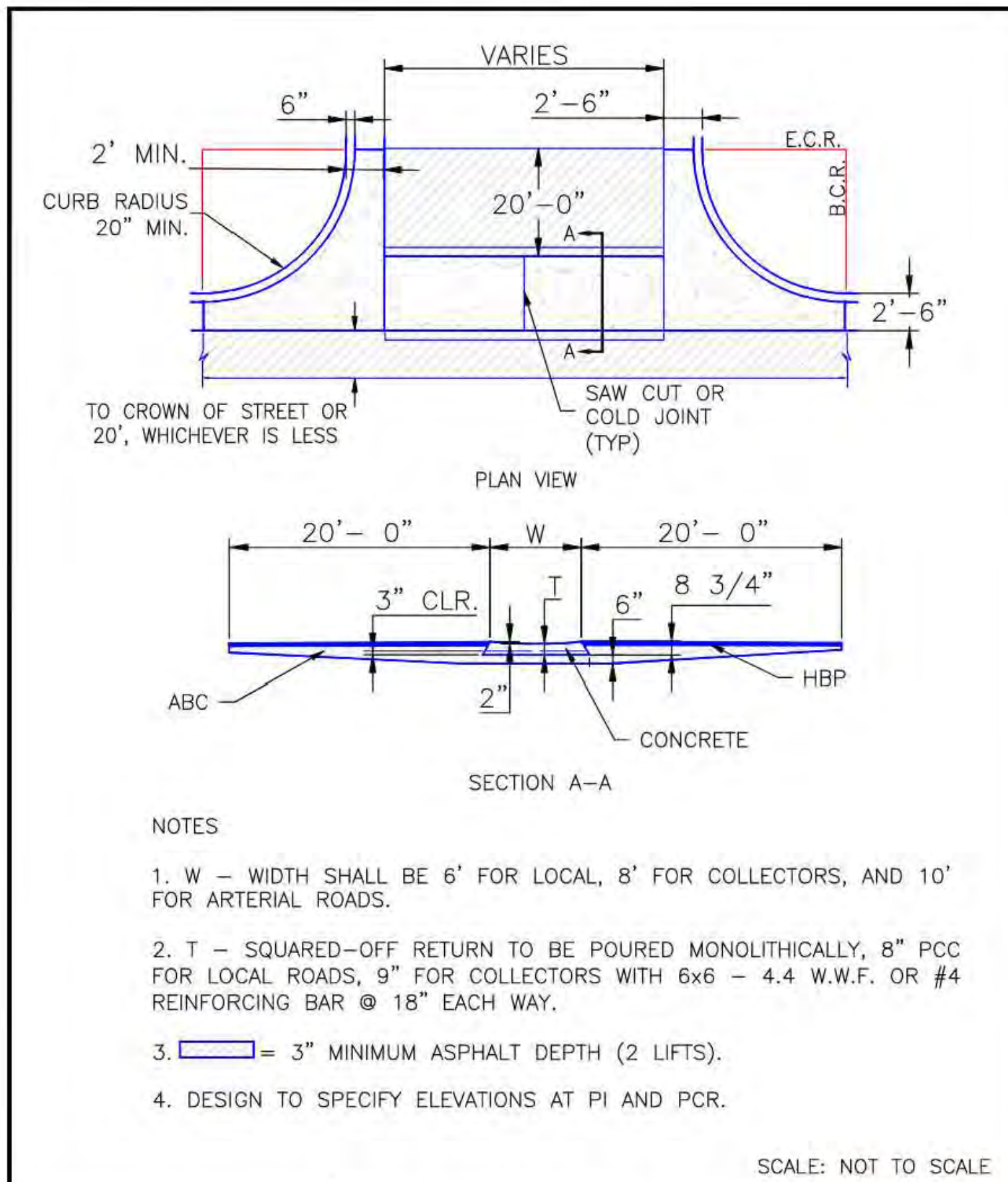
NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

SHEET NAME: CONSTRUCTION DETAILS 1
PROJECT STATUS: DESIGN DEVELOPMENT

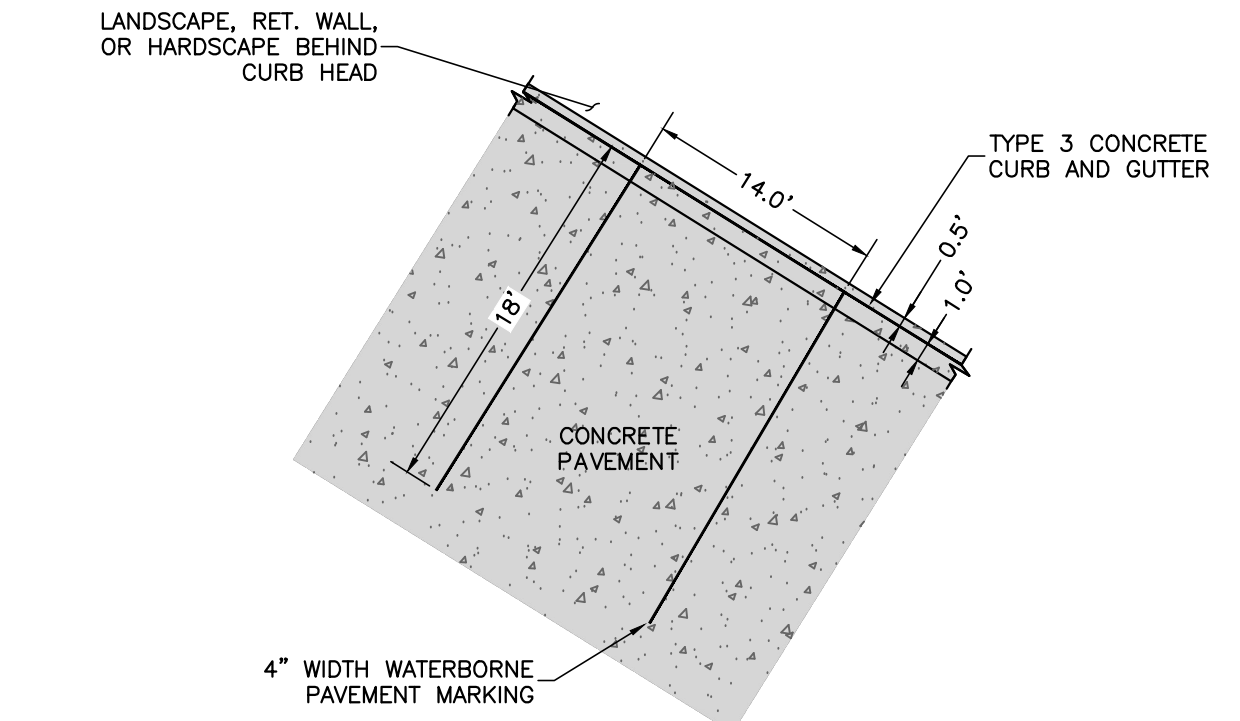
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CHECKED: DOW
DATE: 08/12/2022

#	REVISION	DATE

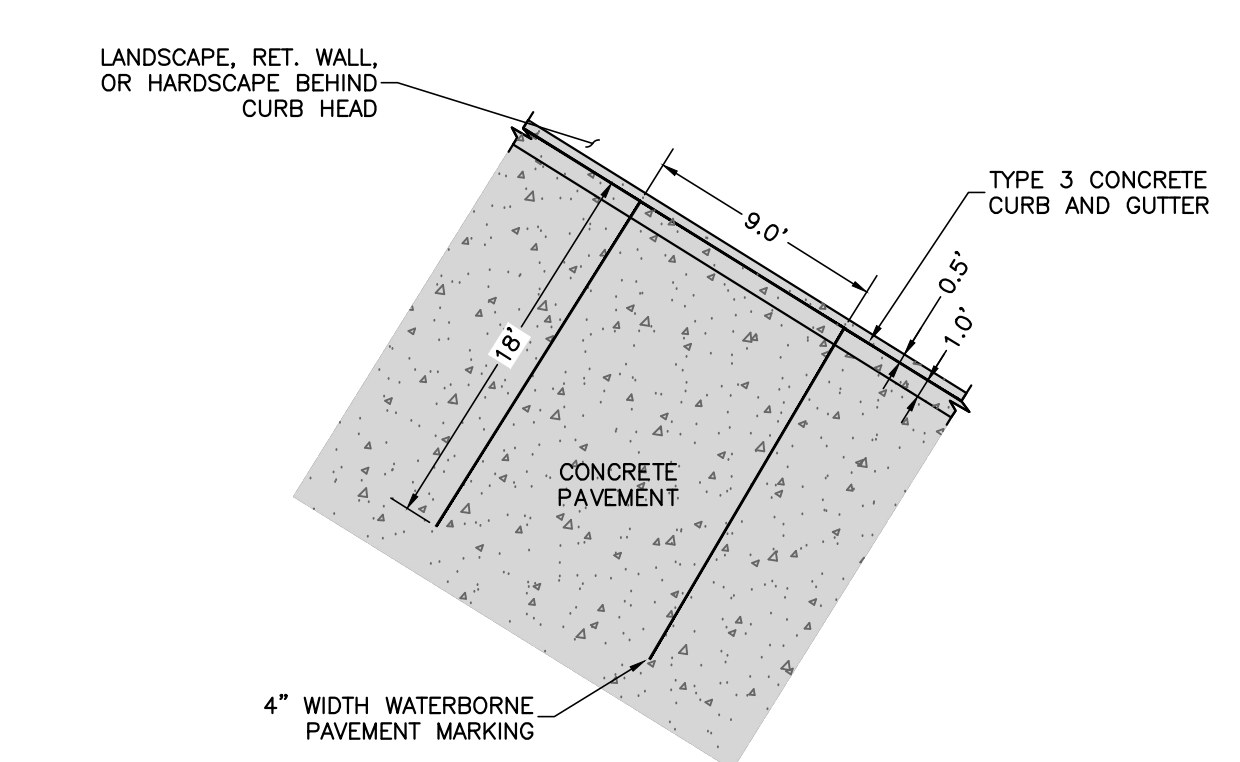
JOB NO. 180649
SHEET NO. DP.06



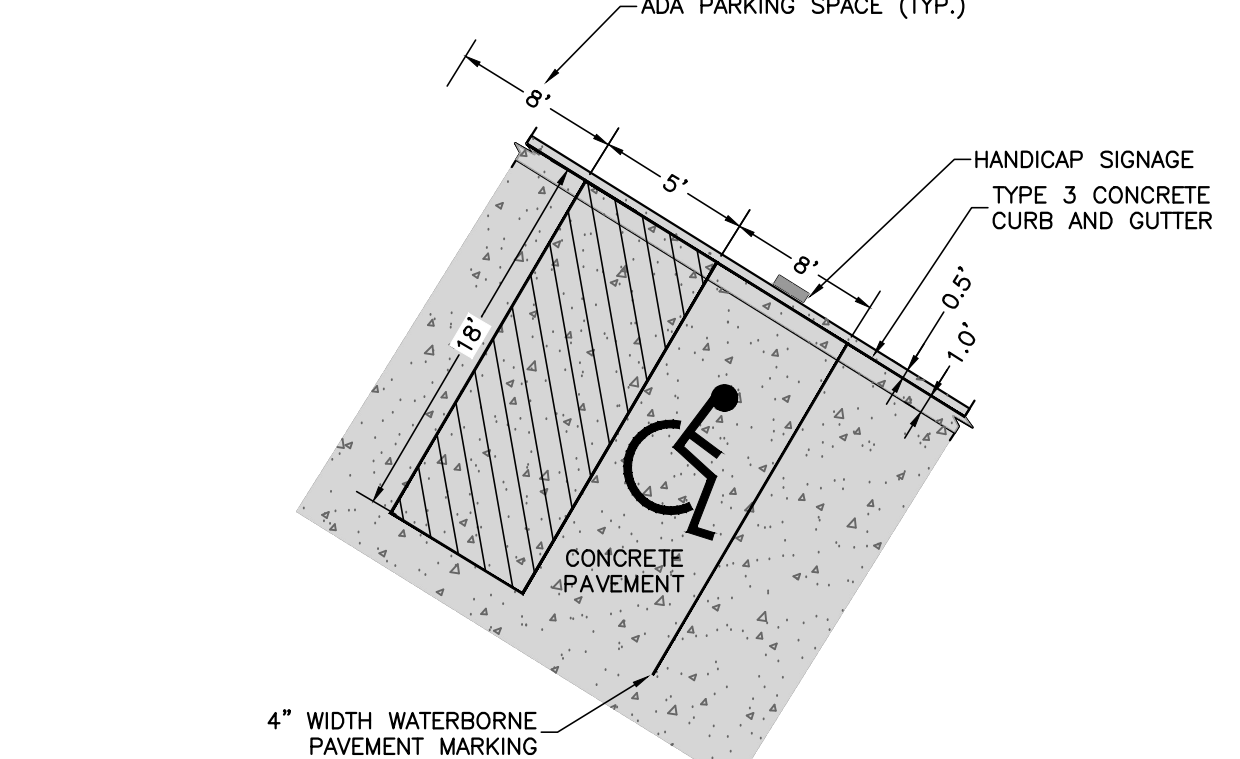
8/11/11	Typical Cross Pan Layout Detail Standard Drawing		
DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	



TYPICAL EQUIP LOAD/UNLOAD PARKING STALL

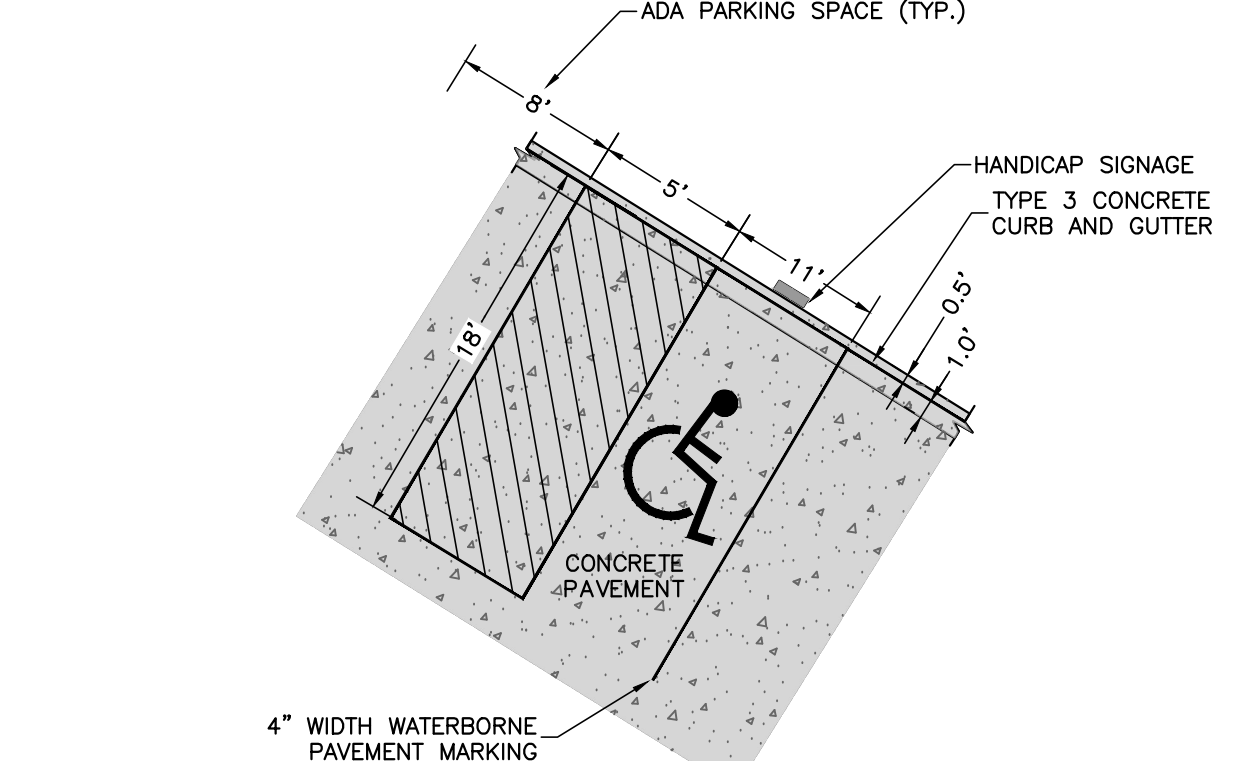


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP VAN PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.

ROCKY MOUNTAIN GROUP
ARCHITECTS
Geotechnical
Materials Testing
Civil Planning
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ENGINEERS
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SOUTHERN COLORADO
2910 AUSTIN BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
PH: (719) 534-6375 FAX: (719) 534-6375 WWW: RMENGINEERS.COM
SOUTHERN COLORADO ENGINEERING, ARCHITECTURE, PLANNING

NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

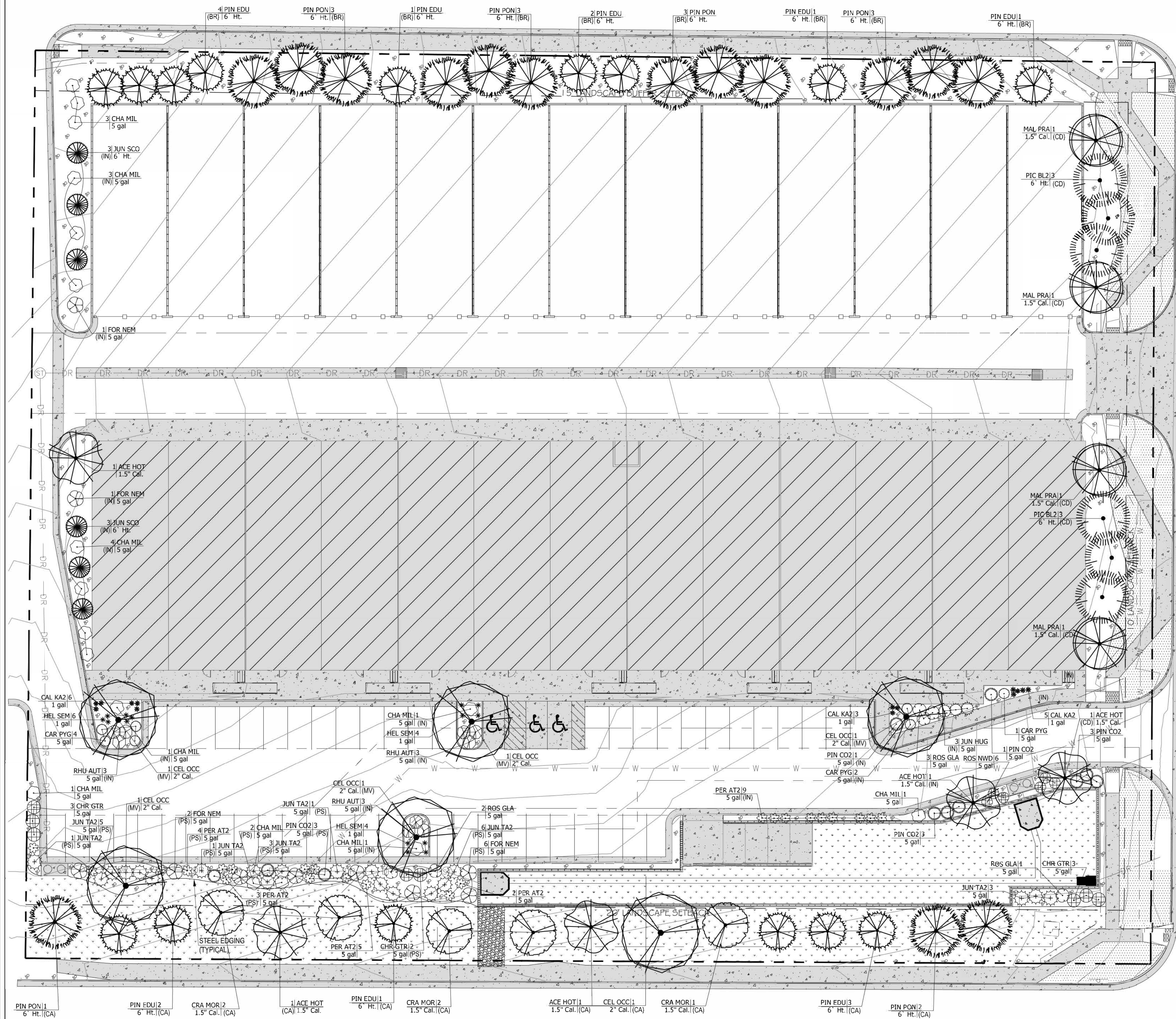
CONSTRUCTION DETAILS 2
PROJECT STATUS: DESIGN DEVELOPMENT

ENG:	DGW	
DRAWN:	TPT	
CHECKED:	DGW	
DATE:	08/12/2022	
#	REVISION	DATE
JOB NO.:	180649	
SHEET NO.:	DP.07	

of 11

LAST SAVED: 8/9/2022 2:13:08 PM PATH: T:\Projects\2022\180649\180649.dwg FROM: RMG\Shawn_Salt\180649-SS-Construction\180649.dwg

**BISMARCK ROAD
(NON-ARTERIAL)**



**CONSTITUTION AVE
(MINOR ARTERIAL)**

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
ACE HOT	5	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	1.5" Cal.	B & B
CEL OCC	6	Celtis occidentalis	Common Hackberry	2" Cal.	B & B
CRA MOR	5	Crataegus x morcensis 'Snowbird'	Snowbird Hawthorn	1.5" Cal.	B & B
JUN SCO	6	Juniperus scopulorum	Rocky Mountain Juniper	6" Ht.	B & B
MAL PRA	4	Malus x 'Prairifire'	Prairifire Crab Apple	1.5" Cal.	B & B
PIC BL2	6	Picea pungens glauca	Colorado Blue Spruce	6" Ht.	B & B
PIN EDU	15	Pinus embroides edulis	Pinyon Pine	6" Ht.	B & B
PIN PON	15	Pinus ponderosa	Ponderosa Pine	6" Ht.	B & B

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAR PYG	7	Caragana pygmaea	Pygmy Peashrub	5 gal	
CHA MIL	17	Chamaebatiaria millefolium	Fernbush	5 gal	
CHR GTR	8	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal	
FOR NEM	10	Forestiera neomexicana	New Mexico Privet	5 gal	
JUN HUG	3	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal	
JUN TA2	20	Juniperus sabinna 'Tamariscifolia'	Tammy Juniper	5 gal	
PER AT2	23	Perovskia atriplicifolia	Russian Sage	5 gal	
PIN CO2	11	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal	
RHU AUT	9	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 gal	
ROS GLA	6	Rosa glauca	Redleaf Rose	5 gal	
ROS NWD	6	Rosa x 'Nearly Wild'	Nearly Wild Rose	5 gal	

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAL KA2	14	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	
HEL SEM	14	Helictotrichon sempervirens	Blue Oat Grass	1 gal	

PROPOSED GROUND PLANE TREATMENT

- PROPOSED IRRIGATED FESCUE BLEND SOD (APPROX. 4,430 SQ. FT.)
- PROPOSED IRRIGATED NATIVE SEED MIX WITH EROSION CONTROL BLANKET (APPROX. 14,300 SQ. FT.)
- PROPOSED 1.5" 'ROYAL GRANITE' CRUSHED ROCK, 3" DEPTH, OVER DEWITT LANDSCAPE FABRIC (APPROX. 15,200 SQ. FT.)

CANADA DRIVE
(NON-ARTERIAL)

SITE CATEGORY CALCULATIONS:

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Foot Req.	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Constitution Avenue	Minor arterial	20' / 20'	420'	1 / 25'	17 / 17	(CA)
Canada Drive	Non-arterial	10' / 10'	336'	1 / 30'	11 / 11	(CD)
Bismarck Road	Non-arterial	10' / 15'	418'			(see Buffer & Screens requirements)

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
74	5 / 5	(MV)	Constitution Ave.	281'	185'

Mn. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
37 / 37	19 / 19	-	(PS)	75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
141,390 s.f.	5%	7,069 s.f. / 7,950 s.f.	14 / 7

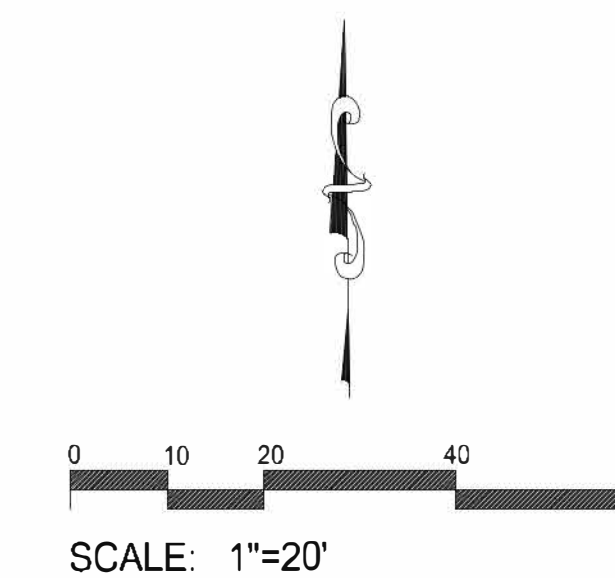
Shrub Substitutes

Required / Provided	Internal Plant Abbr. Denoted on Plan
70 / 70	(IN)

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.)	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees (1/3) / Provided
Bismarck Road	15' / 15'	418'	21 / 21	7 / 21

Length of 8 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
370 / 370'	(BR)	75% / 75%



PCD FILE NO. PPR-21-036

JWLA
Jon Walsh,
LANDSCAPE ARCHITECT
 LLC
 P.O. Box 354
 Palmer Lake, CO 80133
 (719) 640-9428
 jwlandarch@gmail.com

PROJECT FILE: northcrest const & canada flp dwg

DEVELOPMENT PLAN FOR
NORTHCREST CENTER
 Constitution Avenue, Colorado Springs, CO
 El Paso County

PROJECT NAME:

LANDSCAPE PLAN

SHEET TITLE:

DATE: June 17, 2021

REVISION: DATE: October 26, 2021

July 15, 2022

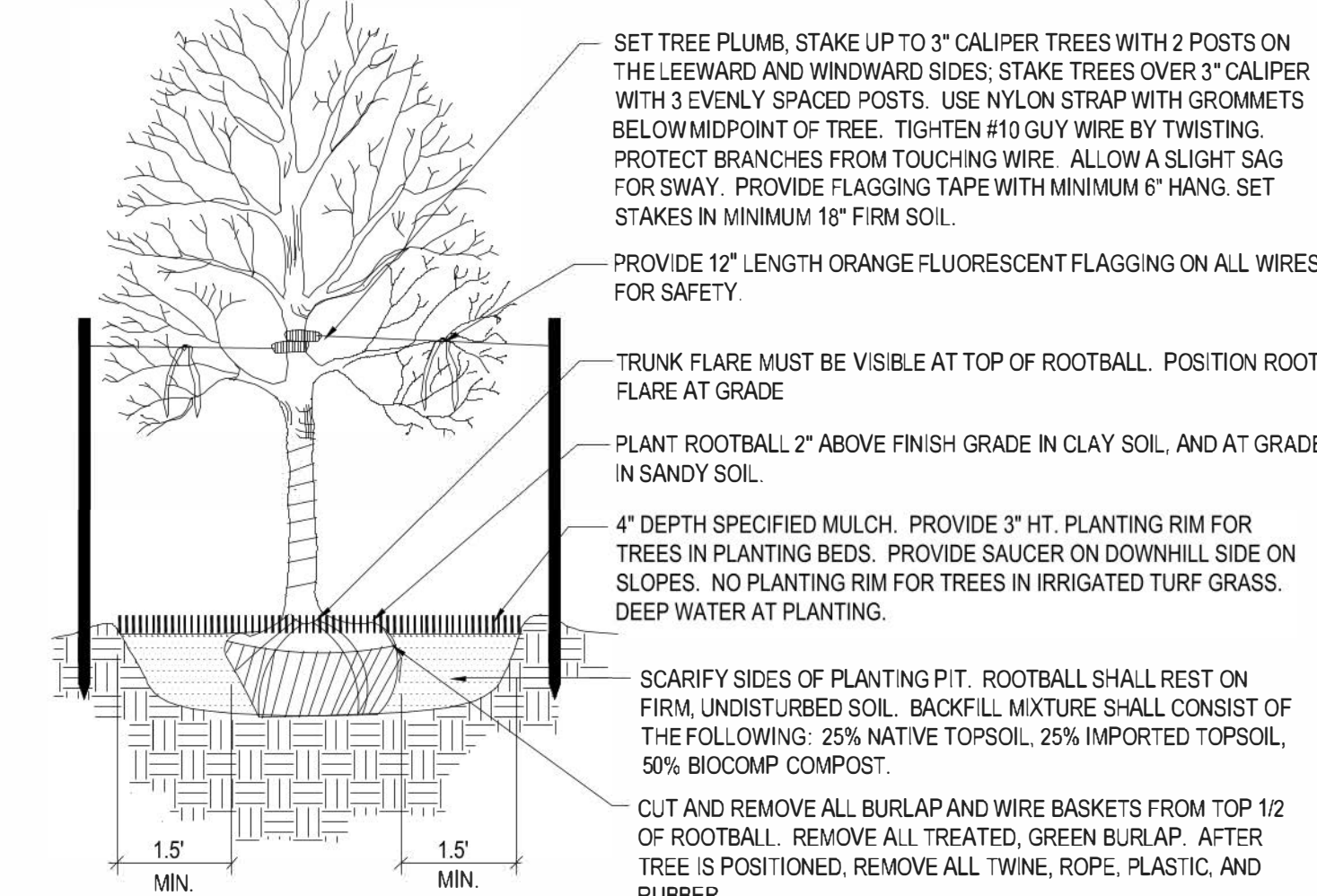
August 9, 2022

STAMP:

SHEET NO. **DP.08**

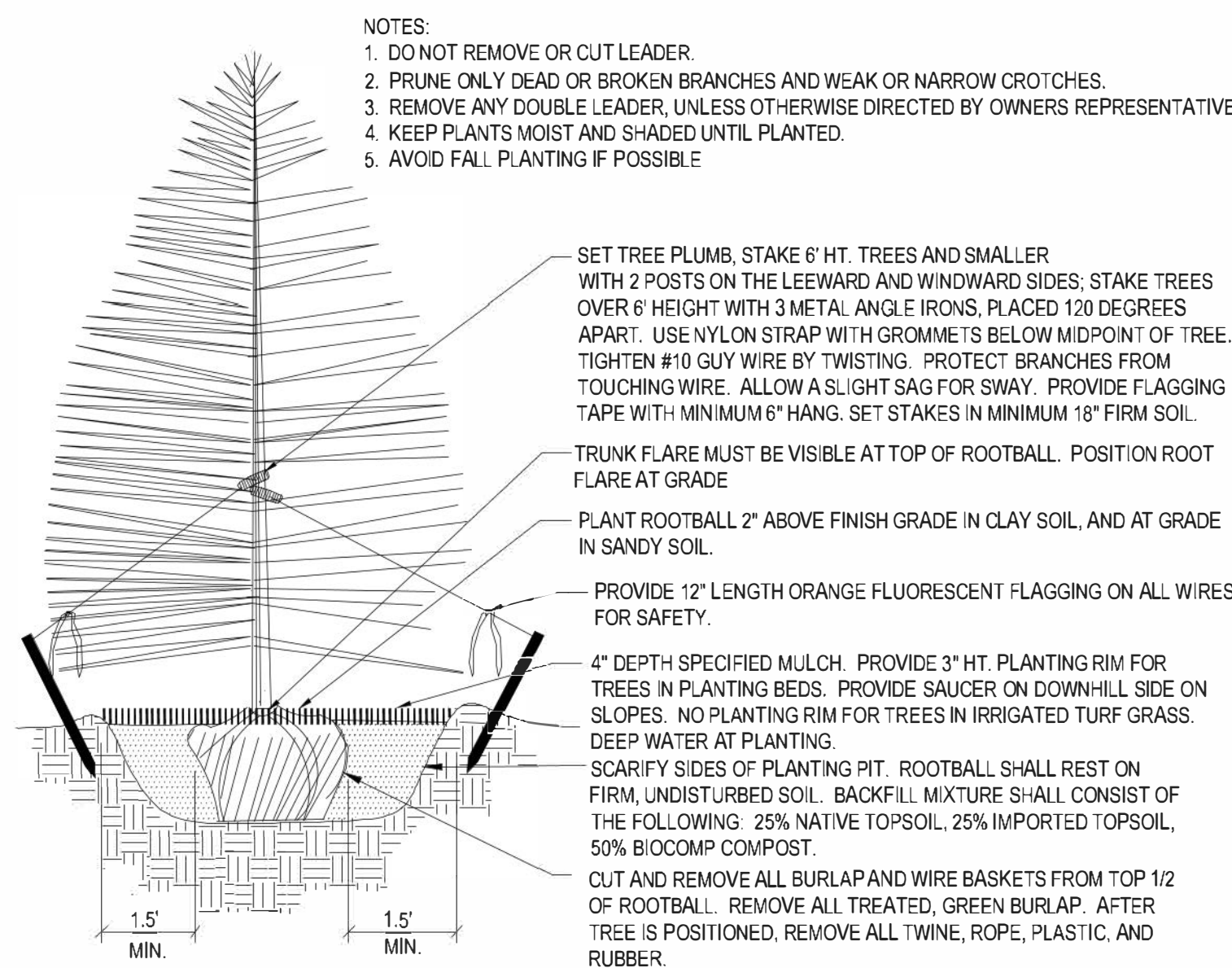
PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



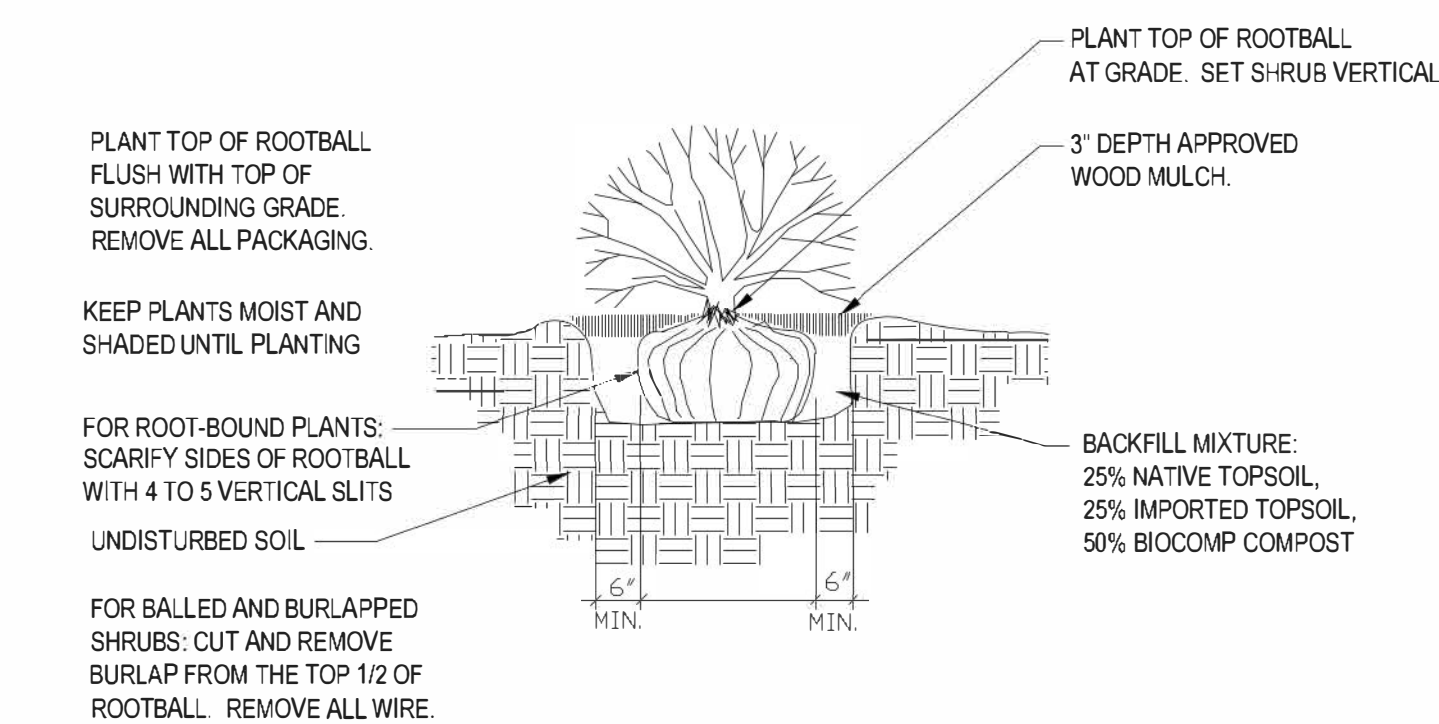
1 Deciduous Tree Planting Detail

NOT TO SCALE



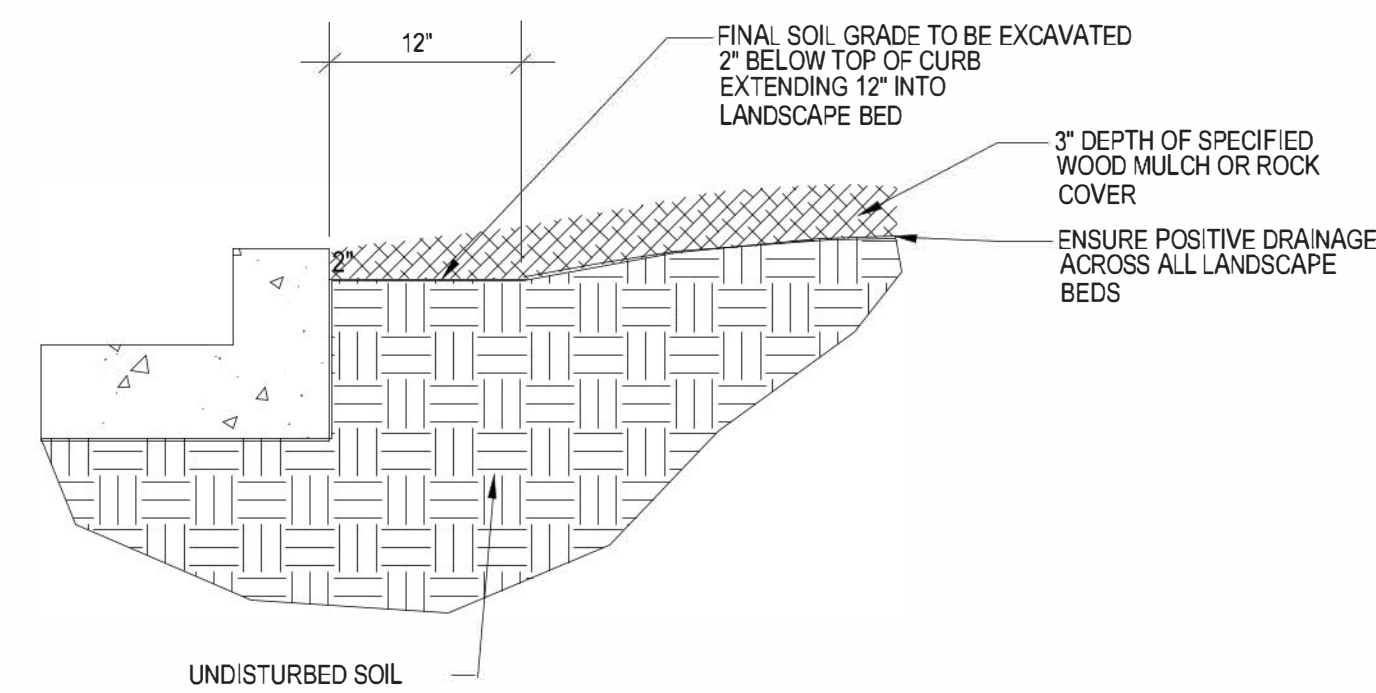
2 Coniferous Tree Planting Detail

NOT TO SCALE



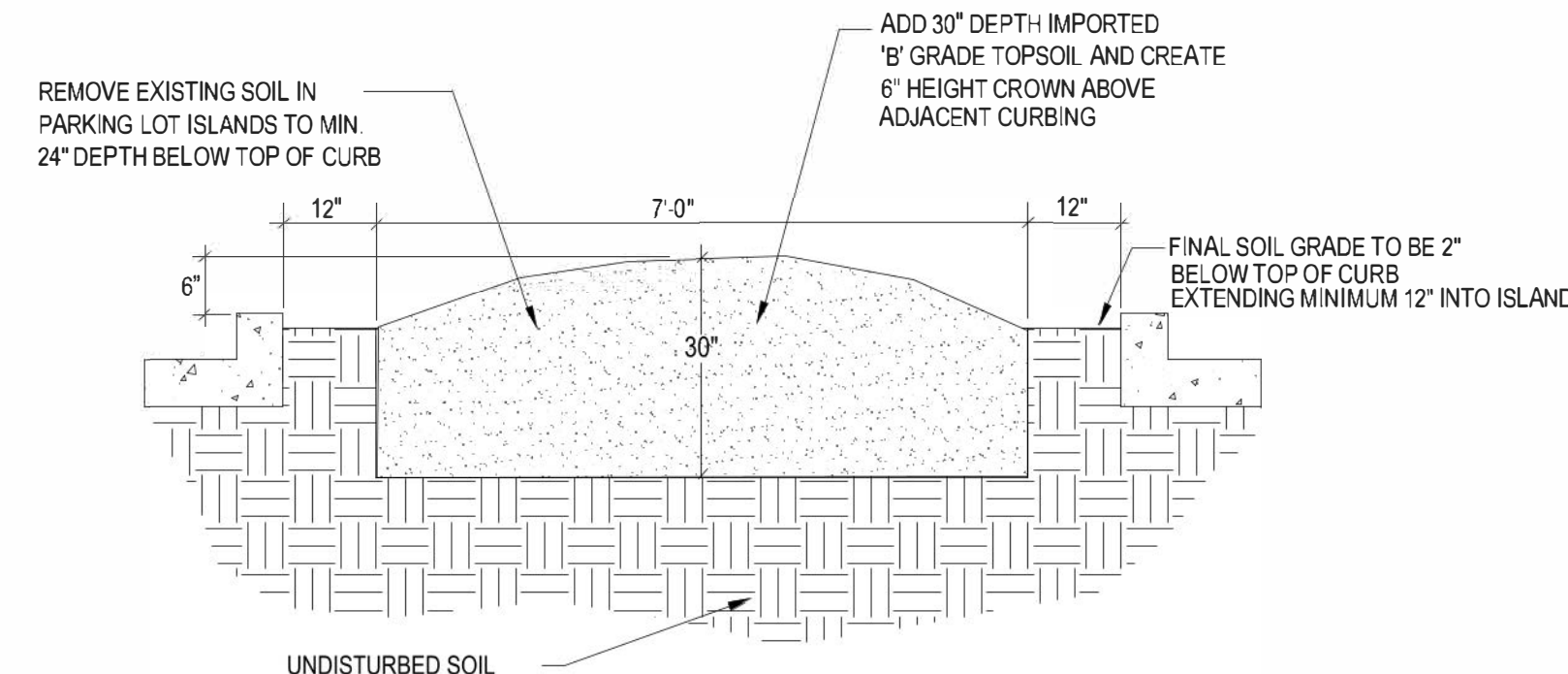
3 Shrub Planting Detail

SCALE: NOT TO SCALE



4 Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE



5 Parking Lot Island Excavation For Trees

SCALE: NOT TO SCALE

GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, SOD, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT.

PROJECT NOTES

- ALL EXISTING TREES, WHICH CONSIST OF VOLUNTEER SIBERIAN ELMS, ON THE PROJECT SITE ARE TO BE REMOVED.
- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
2" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS.
1" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR IRRIGATED TURF AND NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL AREAS SHOWN AS 'IRRIGATED NATIVE SEED MIX' TO BE SEEDDED WITH 'EL PASO COUNTY ALL PURPOSE LOW GROW MIX' (25% BUFFALOGRASS, 20% BLUE GRAMA, 29% SIDEOTS GRAMA, 5% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, AND 1% SAND DROPSEED) BY HYDRO-MULCH SEEDING AT A RATE OF 1 LB. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDDED AREAS TO RECEIVE EROSION CONTROL BLANKET 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF DEWITT WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- PROPOSED SOD IS TO CONSIST OF A FESCUE BLEND. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH. REFER TO DETAIL ON THIS SHEET.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS.
- GORILLA HAIR WOOD MULCH IS TO BE PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PRO-STEEL BROWN STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, NATIVE GRASS, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. SECURE TO GROUND WITH MANUFACTURER'S STAKES. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO STAKES SECURING OVERLAPPED ENDS.

SOIL PREPARATION NOTES

- PROPOSED FESCUE SOD AREAS:** ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED NATIVE GRASS AREAS:** ALL SEEDDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

IRRIGATION NOTES

- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL, SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED. PROVIDE (2) EXTRA IRRIGATION WIRES ALONG MAINLINE FOR TROUBLESHOOTING OR FUTURE REPAIRS.
- ALL FESCUE SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE. SPRINKLERS ARE NOT TO SPRAY OVER SIDEWALKS.
- ALL NATIVE SEED AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE. SPRINKLERS ARE NOT TO SPRAY OVER SIDEWALKS.



P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com

PROJECT FINISH: northrest const & canada flp.dwg

DEVELOPMENT PLAN FOR
NORTHCREST CENTER
Constitution Avenue, Colorado Springs, CO
El Paso County

PROJECT NAME:

LANDSCAPE
DETAILS

SHEET TITLE:

DATE: June 17, 2021

REVISION: October 26, 2021

July 15, 2022

August 9, 2022

STAMP:

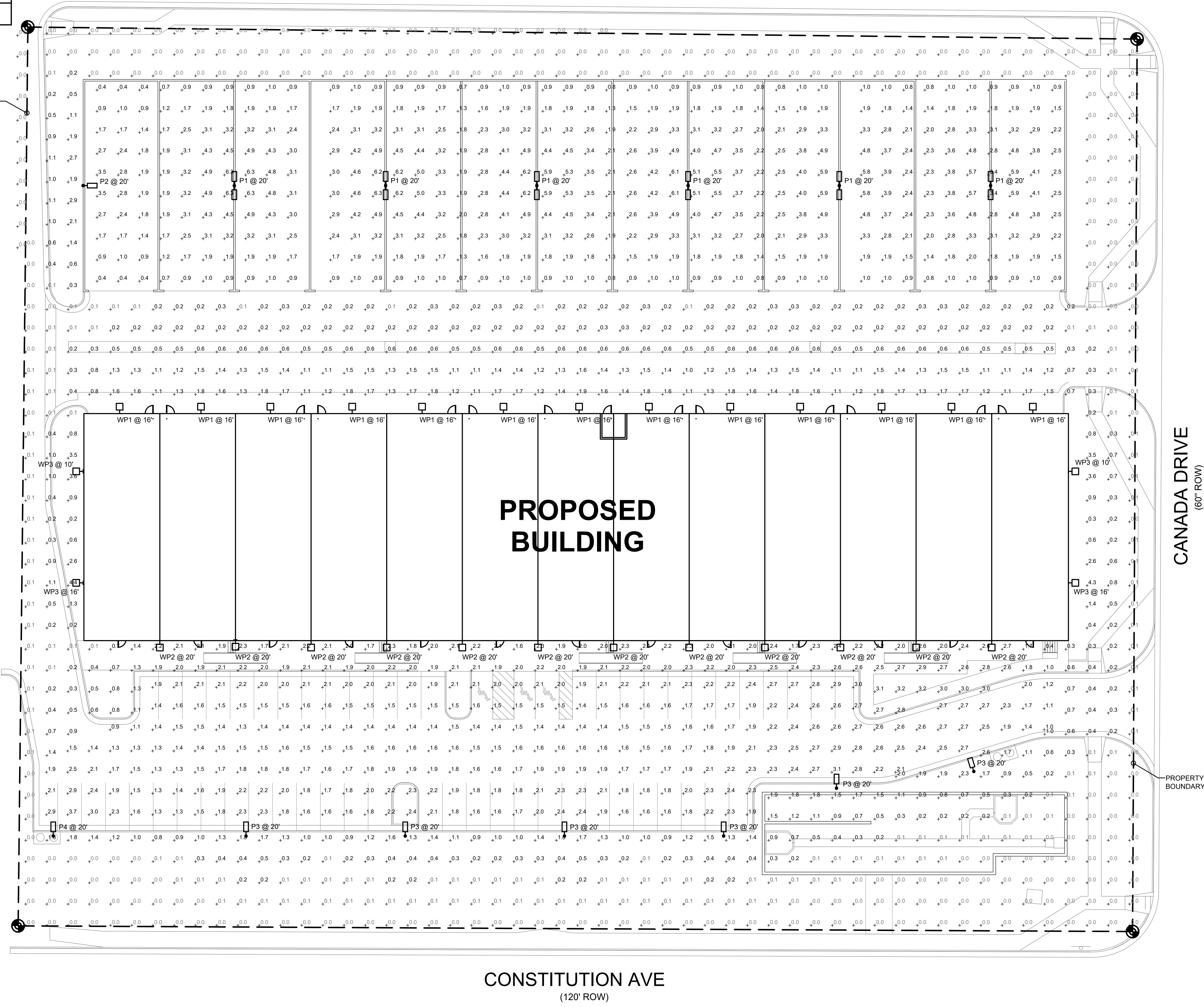
SHEET NO. **DP.09**

LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS
			QTY.	WATT	TYPE				
P1	LITHONIA	DSX1 LED P1 50K TSS MVOLT	2	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	108.0
P2	LITHONIA	DSX1 LED P1 50K TSS MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P3	LITHONIA	DSX1 LED P1 50K T4M MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P4	LITHONIA	DSX1 LED P1 50K LCCO MVOLT	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
WP1	LITHONIA	WDGE1 LED P1 50K 80CRI VF	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0
WP2	LITHONIA	WDGE1 LED P2 50K 80CRI VF	1	15.0	LED	SURFACE	WALLPACK	120/277	15.0
WP3	LITHONIA	WDGE1 LED P1 40K 90CRI VW	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0

CALCULATION ZONE STATISTICS

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.9	3.7	0.9	4.1:1	2.1:1
STORAGE YARD	+	2.6	6.3	0.4	15.8:1	6.5:1
TO PROPERTY LINE	+	0.6	4.4	0.0	N/A	N/A



3 WDGE1 WALLPACK (WP1 - WP3)
DP.12 SCALE: NONE



2 DSX1 AREA LUMINAIRE (P1 - P4)
DP.12 SCALE: NONE

1 SITE PHOTOMETRIC PLAN
DP.12 SCALE: 1"=20'-0"

ROCKY MOUNTAIN GROUP
ARCHITECTS
ENGINEERS
1875 BEACON BLVD. SUITE 200
DENVER, CO 80202
1719-488-2145 WWW.RMGENGINEERS.COM

PROFESSIONAL SEAL
07.26.2021

McShea Consulting, LLC
MECHANICAL + ELECTRICAL + PLUMBING
4445 Northpark Dr. Suite 200
Colorado Springs, CO 80907
fabian@mcshiconsulting.com
Project: 21-1024

NORTHCREST CENTER
2510 CANADA DR. SUITES 100-196,
COLORADO SPRINGS, CO 80922
LEISURE CONSTRUCTION

SHEET NAME: SITE PHOTOMETRIC PLAN
PROJECT STATUS: DEVELOPMENT PLANS

ARCHING:	FAO
DRAWN:	MRM
CHECKED:	
DATE:	11.04.2021
REVISION:	DATE
JOB NO.:	180649
SHEET NO.:	DP.10

WEDGE1 LED Architectural Wall Sconce

Specifications

- Depth (D1): 5.5"
- Depth (D2): 1.5"
- Height: 8"
- Width: 9"
- Weight: 1.7 lbs (without options)

WEDGE1 LED Family Overview

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
W021L10	10W	10W	Standard	10.00	3.00	4.00
W022L10	10W	10W	Standard	10.00	3.00	4.00
W023L10	10W	10W	Standard	10.00	3.00	4.00

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DOBXD

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
W021L10	P2	20K	300K	80K	VF	MVOLT
W022L10	P2	20K	300K	80K	VF	MVOLT
W023L10	P2	20K	300K	80K	VF	MVOLT

Accessories

- W021L10: W021 LED Architectural Wall Sconce
- W022L10: W022 LED Architectural Wall Sconce
- W023L10: W023 LED Architectural Wall Sconce

Notes:

- 10W not available in 80K.
- 20K not available in 80K.
- Not qualified for D2C. Not available with 80K.
- 300K available with P2.
- SRM available with P2.

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Mounting, Options & Accessories

EWBH - 4W Emergency Battery Backup

SWBH - Surface Mounted Back Box

AWH - 2-Inch Architectural Wall Spacer

Features & Specifications

INTENDED USE: Commercial outdoor wall sconce with integrated mounting support arm above the fixture to allow for any type of construction, whether it be brick, masonry, metal, etc. Applications include restaurants, bars, spas, hotels, schools, etc. with masonry and other commercial surfaces.

CONSTRUCTION: The sconce is constructed from die-cast aluminum housing. The sconce is designed to be mounted to a masonry surface. The sconce is designed to be mounted to a masonry surface. The sconce is designed to be mounted to a masonry surface.

INSTALLATION: A detailed mounting guide with integral mounting support arm above the fixture to allow for any type of construction, whether it be brick, masonry, metal, etc. Applications include restaurants, bars, spas, hotels, schools, etc. with masonry and other commercial surfaces.

WARRANTY: 5-year limited warranty. Complete warranty terms located at: www.lithonia.com/warranty

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D-Series Size 1 LED Area Luminaire

Specifications

- Depth: 1.5"
- Length: 12"
- Height: 3"
- Height (H1): 7.5"
- Height (H2): 3.5"
- Weight (W): 22 lbs

Ordering Information

EXAMPLE: DSX1 LED P7 40K TMVOLT SPLA NTR42 PIRH1 DOBXD

Model	Finish	Height	Width	Depth	Weight
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42

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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Temp (°C)	Temp (°F)	Multiplier
10	50	1.00
20	68	0.95
30	86	0.85
40	104	0.70
50	122	0.55
60	140	0.40
70	158	0.25
80	176	0.15
90	194	0.10

Projected LED Lumen Maintenance

Hours	100%	90%	80%	70%	60%	50%
1000	100	98	95	90	85	80
2000	100	96	90	82	75	70
3000	100	94	85	78	70	65
4000	100	92	80	72	65	60
5000	100	90	78	70	62	58

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Performance Data

Lumen Output

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
W021L10	P2	20K	300K	80K	VF	MVOLT
W022L10	P2	20K	300K	80K	VF	MVOLT
W023L10	P2	20K	300K	80K	VF	MVOLT

Electrical Load

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
W021L10	P2	20K	300K	80K	VF	MVOLT
W022L10	P2	20K	300K	80K	VF	MVOLT
W023L10	P2	20K	300K	80K	VF	MVOLT

Lumen Ambient Temperature (LAT) Multipliers

Temp (°C)	Temp (°F)	Multiplier
10	50	1.00
20	68	0.95
30	86	0.85
40	104	0.70
50	122	0.55
60	140	0.40
70	158	0.25
80	176	0.15
90	194	0.10

Projected LED Lumen Maintenance

Hours	100%	90%	80%	70%	60%	50%
1000	100	98	95	90	85	80
2000	100	96	90	82	75	70
3000	100	94	85	78	70	65
4000	100	92	80	72	65	60
5000	100	90	78	70	62	58

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Ordering Information

Accessories

- W021L10: W021 LED Architectural Wall Sconce
- W022L10: W022 LED Architectural Wall Sconce
- W023L10: W023 LED Architectural Wall Sconce

Options

- EWBH - 4W Emergency Battery Backup
- SWBH - Surface Mounted Back Box
- AWH - 2-Inch Architectural Wall Spacer

Drilling

Handhole Orientation

Tenon Mounting Slipfitter

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	

DSX1 Area Luminaire - EPA

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	

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Photometric Diagram

Legend

- 0.25
- 0.5
- 1.0
- 1.5
- 2.0
- 2.5
- 3.0
- 3.5
- 4.0
- 4.5
- 5.0
- 5.5
- 6.0
- 6.5
- 7.0
- 7.5
- 8.0
- 8.5
- 9.0
- 9.5
- 10.0

Emergency Express Options

Emergency Battery Backup

Dual Switching (DS) Option

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Ordering Information

Accessories

- W021L10: W021 LED Architectural Wall Sconce
- W022L10: W022 LED Architectural Wall Sconce
- W023L10: W023 LED Architectural Wall Sconce

Options

- EWBH - 4W Emergency Battery Backup
- SWBH - Surface Mounted Back Box
- AWH - 2-Inch Architectural Wall Spacer

Drilling

Handhole Orientation

Tenon Mounting Slipfitter

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	

DSX1 Area Luminaire - EPA

Model	Finish	Height	Width	Depth (D1)	Depth (D2)	Weight
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	
DSX1L10	P7	40K	TMVOLT	SPLA	NTR42	

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Photometric Diagram

Legend

- 0.25
- 0.5
- 1.0
- 1.5
- 2.0
- 2.5
- 3.0
- 3.5
- 4.0
- 4.5
- 5.0
- 5.5
- 6.0
- 6.5
- 7.0
- 7.5
- 8.0
- 8.5
- 9.0
- 9.5
- 10.0

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ROCKY MOUNTAIN GROUP

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07.26.2021

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LEISURE CONSTRUCTION

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SITE PHOTOMETRIC PLAN

DEVELOPMENT PLANS

ARCHING: FAO
DRAWN: MRM
CHECKED: MRM

DATE: 11.04.2021

REVISION: DATE

JOB NO. 180649

SHEET NO. DP.11