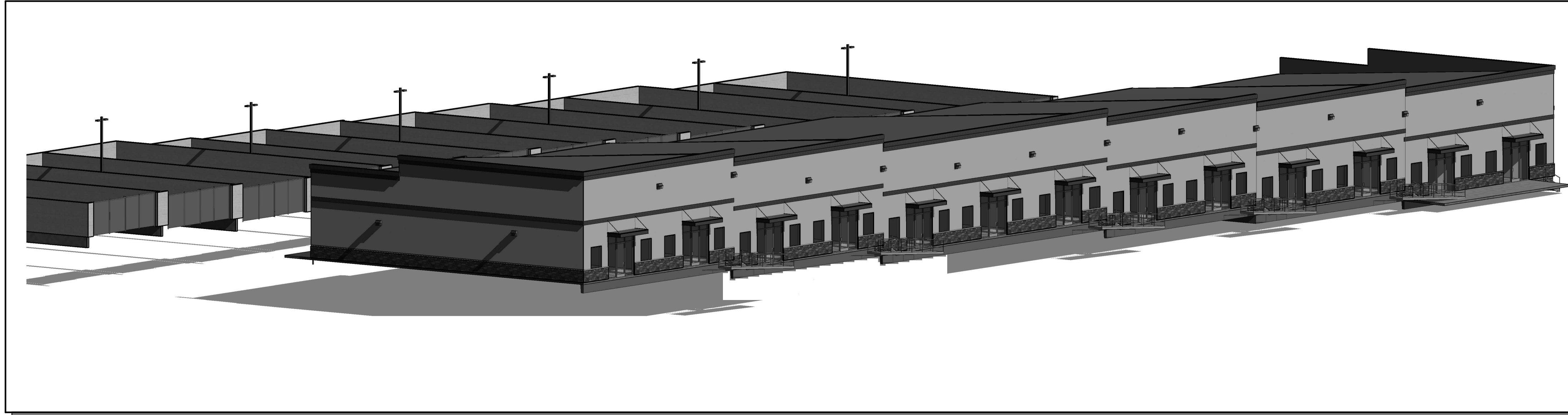


Please update Site Development Plan to reflect changes made to other plans.

NORTHCREST CENTER DEVELOPMENT PLAN

2510 & 2522 CANADA DR
COLORADO SPRINGS, COLORADO 80922



PROJECT INFORMATION

SITE AREA: 3.32 AC (144,776 S.F.)
 DEVELOPMENT NAME: NORTHCREST CENTER (OFFICE/WAREHOUSE)
 DESCRIPTION: OFFICE/ WAREHOUSE AND STORAGE YARD
 TAX SCHEDULE NO: 53323 09 004, 53323 09 005, 53323 09 006
 LEGAL DESCRIPTION: LOT 3, LOT 4 & LOT 5 NORTHCREST CENTER, FILING NO. 2
 PROPERTY ADDRESS: 2510 & 2522 CANADA DR, COLORADO SPRINGS, COLORADO 80922
 EXISTING ZONING: CC CAD-O (NO CHANGE)

BUILDING SETBACKS:
 FRONT: 25'-0"
 SIDE (STREET): 25'-0"
 SIDE (INTERIOR LOT LINE): 0'-0"
 REAR (NEXT TO RR ZONE): 15'-0"

LANDSCAPE SETBACKS:
 FRONT: 20'-0"
 SIDE (STREET): 10'-0"
 SIDE (INTERIOR LOT LINE): 10'-0"
 REAR (NEXT TO RR ZONE): 10'-0"

EXISTING LAND USE: VACANT
 PROPOSED LAND USE: OFFICE/ WAREHOUSE
 BUILDING HEIGHT: 40' MAX ALLOWED

BUILDING INFO:
 GROSS BUILDING AREA: 29,640 S.F.

BUILDING OCCUPANCY (NON-SEPARATED USES): B, S-2

TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLER: YES

AREA SEPERATION WALLS: YES 1 HR BETWEEN UNITS AND OFFICE/ WAREHOUSE

LOT DATA & COVERAGE:
 LOT COVERAGE: 21.26%

IMPERVIOUS AREA:
 BUILDING: 29,640 S.F.
 STORAGE YARD/ POND WALLS: 1,141 S.F.
 PAVED: 54,406 S.F.
 SIDEWALKS: 14,200 S.F.
 TOTAL: 99,387 S.F. (68.64% LOT)

PERVIOUS AREA:
 LANDSCAPING: 29,020 S.F.
 GRAVEL STORAGE YARD: 28,210 S.F.
 TOTAL: 57,230 S.F. (39.53% LOT)

PARKING DATA:
 OFFICE: 1/200 (8,151 S.F.) = 41 PS REQUIRED
 WAREHOUSE: 1/1000 (21,397 S.F.) = 22 PS REQUIRED
 HC ACCESS (51-75) = 3 HC SPACES REQ
 TOTAL: 66 PS REQUIRED

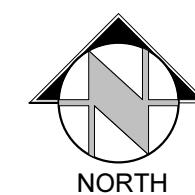
PARKING PROVIDED: 74 TOTAL PS (INCL 2 HC + 1 VAN)

SIGNAGE:
 A SIGNAGE PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY. INCLUDE ALL ON-SITE DIRECTIONAL SIGNS.

PROPOSED DEV. SCHED. FALL/WINTER 2021/2022



VICINITY MAP
NOT TO SCALE



GENERAL NOTES

FLOODPLAIN STATEMENT:

THIS PROPERTY IS NOT LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA "X" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS-MAP NUMBER 08041C0276 G EFFECTIVE DECEMBER 7, 2018.

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SHEET LIST

SHEET NUMBER	SHEET NAME
DP-01	DEVELOPMENT PLAN -COVER SHEET
DP-02	DEVELOPMENT SITE PLAN
DP-03	FLOOR PLAN
DP-04	EXTERIOR ELEVATIONS
DP-05	UTILITY PLAN
DP-06	CONSTRUCTION DETAILS 1
DP-07	CONSTRUCTION DETAILS 2
DP-08	LANDSCAPE PLAN
DP-09	LANDSCAPE DETAILS
DP-10	SITE PHOTOMETRIC PLAN
DP-11	SITE PHOTOMETRIC PLAN DETAILS

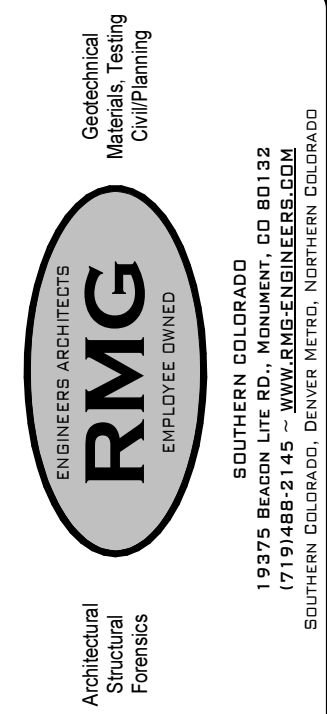
DEVELOPMENT TEAM

Owner:
LEISURE CONSTRUCTION
 3442 Tampa Rd, Suite B
 Palm Harbor, FL 34684
 Contact: SEAN EDWARDS
 Sean@leisureconstruction.com
 727-242-5121

Civil Engineer:
RMG- Rocky Mountain Group
 14 Inverness Dr E, Ste E-136
 Englewood, CO 80112
 Contact: Scott Marvel, P.E.
 SMarvel@rmg-engineers.com
 303-688-9475

Landscape Architect:
JWLA, LLC
 P.O. Box 354
 Palmer Lake, CO 80133
 Contact: Jon Walsh
 jwlandarch@gmail.com
 719-640-9428

Architect/ Landplanning:
RMG-Rocky Mountain Group
 19375 Beacon Lite Road
 Monument, CO 80132
 Contact: Keith Moore,
 KMoore@rmg-engineers.com
 719-203-3321



NORTHCREST CENTER
2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922

DEVELOPMENT PLAN
-COVER SHEET
DEVELOPMENT PLANS

ARCHENG:	KEM
DRAWN:	JJZ
CHECKED:	km
DATE:	12.14.21
REVISION:	DATE
JOB NO:	180649
SHEET NO:	DP.01

ADJ PROP
53323 08 031
2508 WEYBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 032
2507 WEYBURN WAY
RS-6000 CAD-O
RESIDENCE

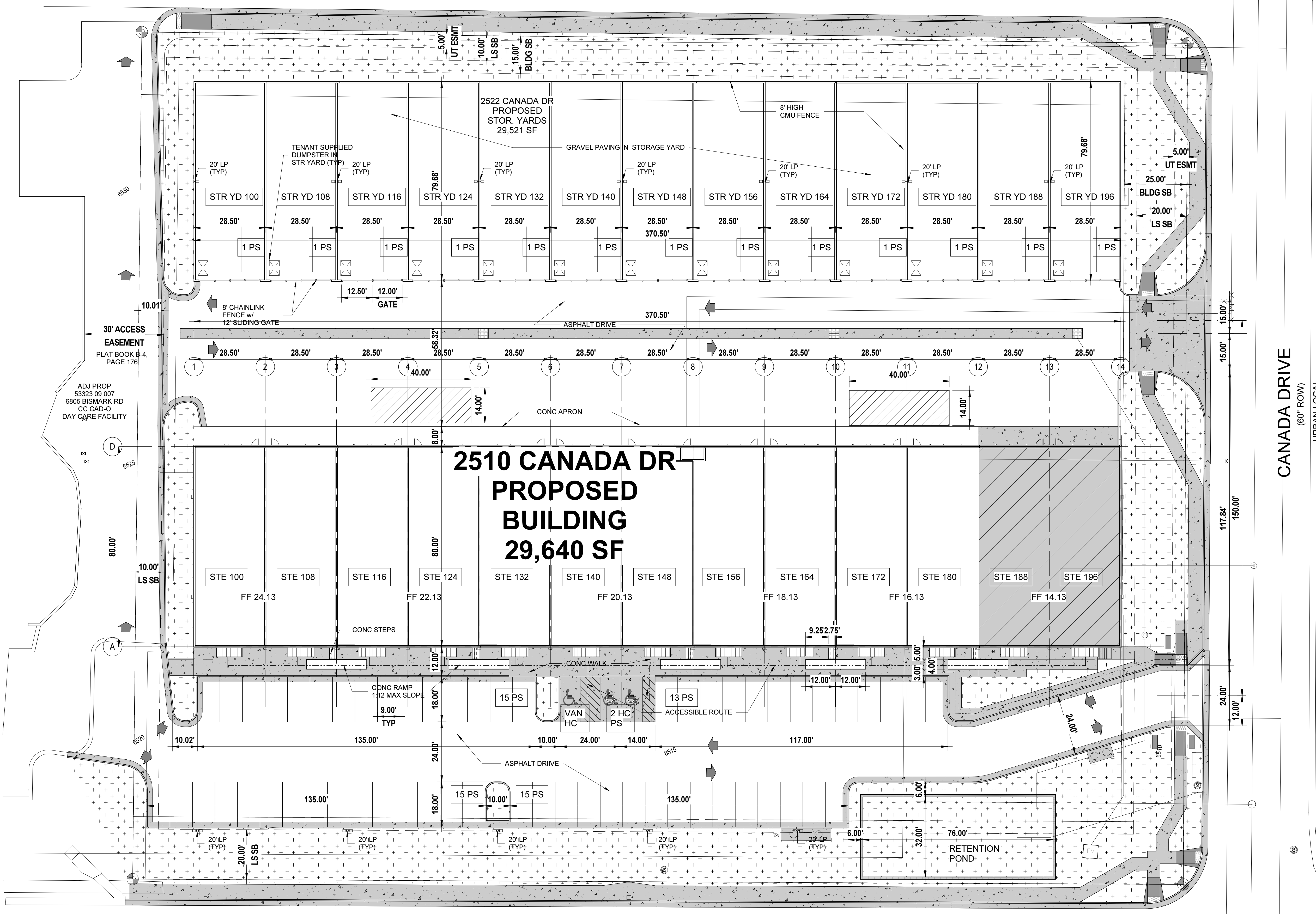
ADJ PROP
53323 08 040
2630 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 041
2610 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 042
2605 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

ADJ PROP
53323 08 043
2625 TIBBURN WAY
RS-6000 CAD-O
RESIDENCE

BISMARCK ROAD
(80' ROW)
LOCAL

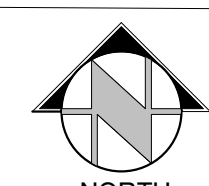
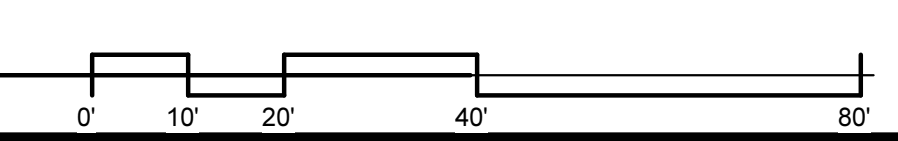


ADJ PROP
53323 09 007
6805 BISMARCK RD
CC CAD-O
DAY CARE FACILITY

ADJ PROP
53323 10 003
2525 CANADA DR
PUD CAD-O
EDUCATION

1 DEVELOPMENT SITE PLAN
DP.02 SCALE: 1" = 20'-0"

CONSTITUTION AVE
(120' ROW)
MINOR ARTERIAL



ADJ PROP
54052 07 050
2455 CANADA DR
RM-30 CAD-O
APARTMENTS

PCD FILE NO PPR-21-036

ROCKY MOUNTAIN GROUP

Geotechnical
Materials Testing
Consulting

RMG
ENGINEERS ARCHITECTS
SOUTHERN COLORADO
1937E Beavere Lane, Monument, CO 80132
SOUTHERN COLORADO SERVICE CENTER, NORTHWEST CORNER

Architectural
Structural
Forensics

NORTHCREST CENTER

2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922

LEISURE CONSTRUCTION

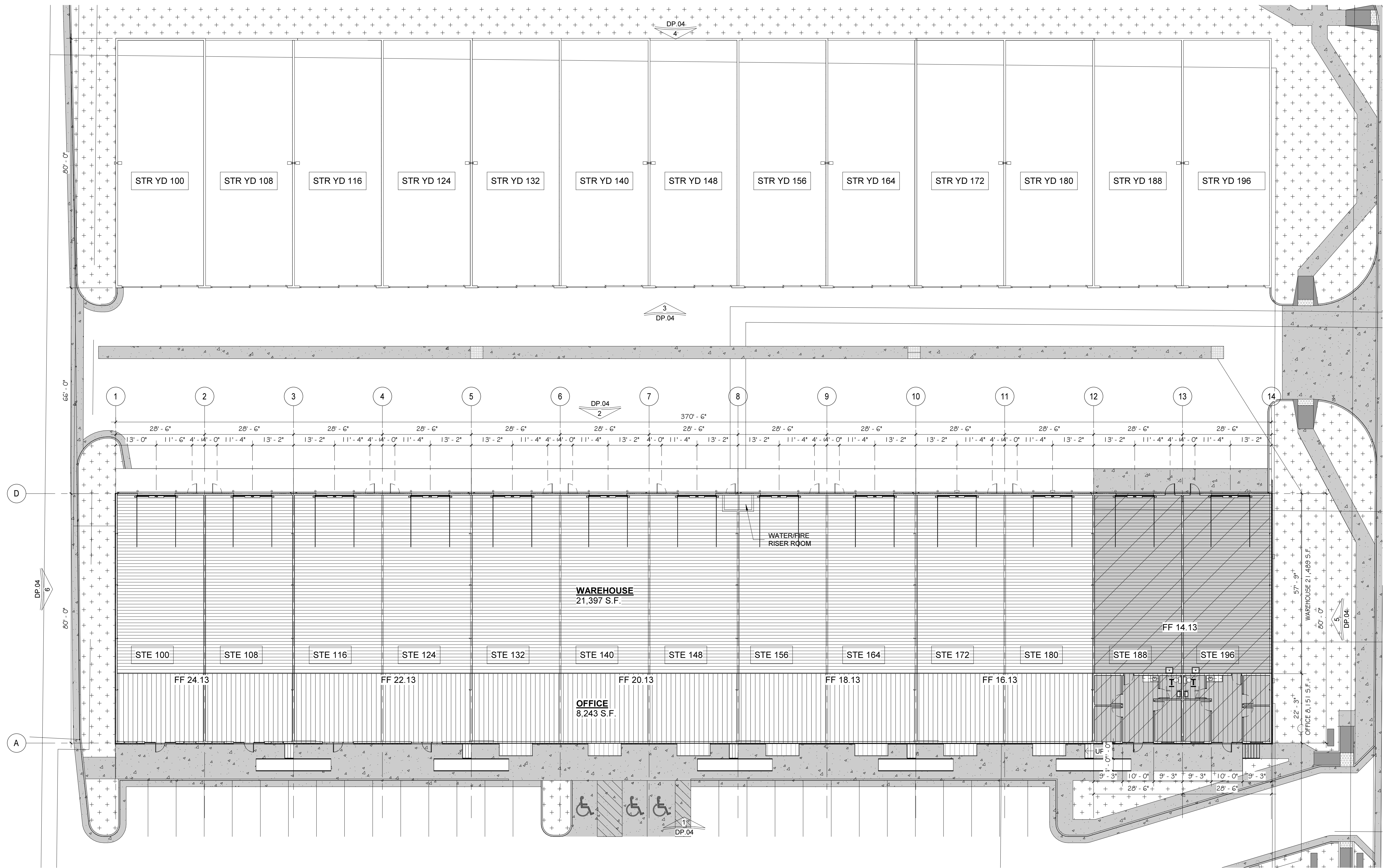
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DEVELOPMENT SITE PLAN

PROJECT STATUS

DEVELOPMENT PLANS

SHEET NAME	ARCH/ENG	KEM
	DRAWN	JDZ
	CHECKED	km
	DATE	12.14.21
REVISION	DATE	
JOB NO.	180649	
SHEET NO.	DP.02	



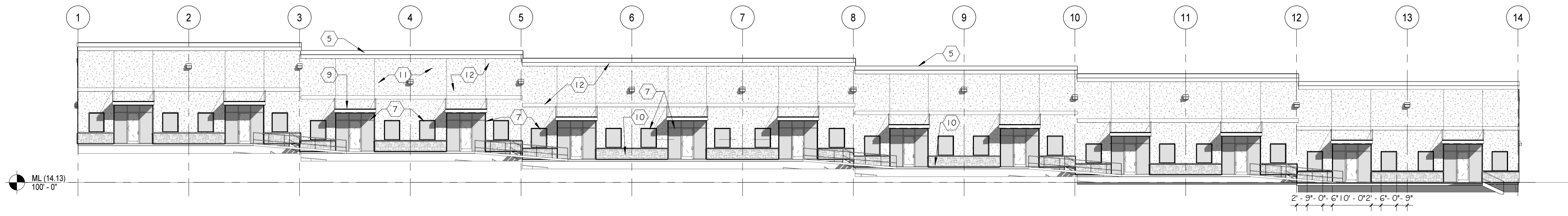
1 FLOOR PLAN
 DP.03 SCALE: 1/16" = 1'-0"

ROCKY MOUNTAIN GROUP
 Geotechnical
 Materials Testing
 Civil/Planning
RMG
 ENGINEERS ARCHITECTS
 SOUTHERN COLORADO
 ENGINEERS ARCHITECTS
 19378 Beavon Lane Rd., Monument, CO 80132
 SOUTHERN COLORADO, SERVICE VICTIMS, NORTHWEST COLORADO

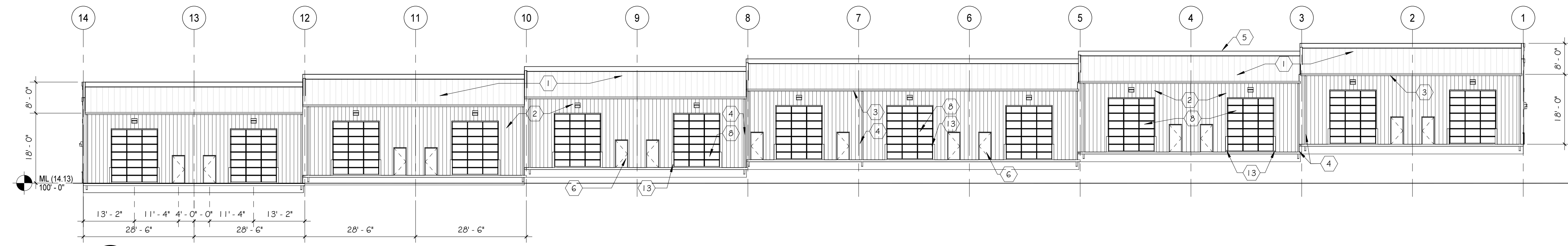
NORTHCREST CENTER
 2510 & 2522 CANADA DR., COLORADO SPRINGS, CO 80922
LEISURE CONSTRUCTION

FLOOR PLAN
 DEVELOPMENT PLANS

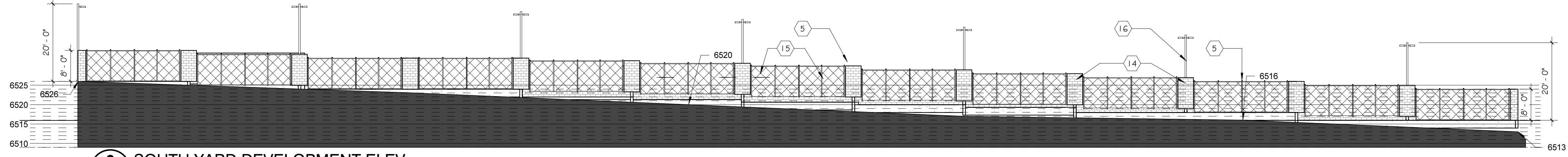
SHEET NAME	NORTHCREST CENTER	
PROJECT STATUS	LEISURE CONSTRUCTION	
ARCH/ENG	KEM	
DRAWN	JDZ	
CHECKED	km	
DATE	12.14.21	
REVISION	DATE	
JOB NO.	180649	
SHEET NO.	DP.03	



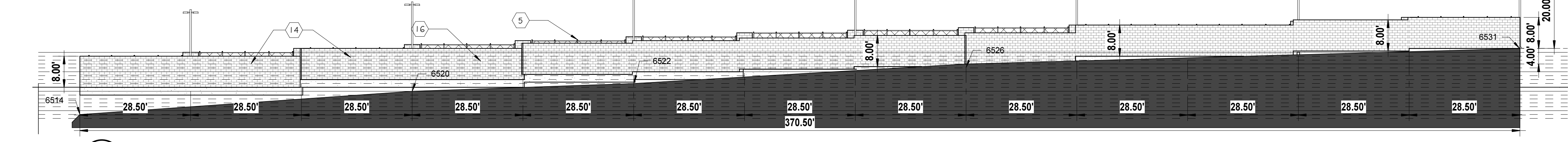
1 SOUTH DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



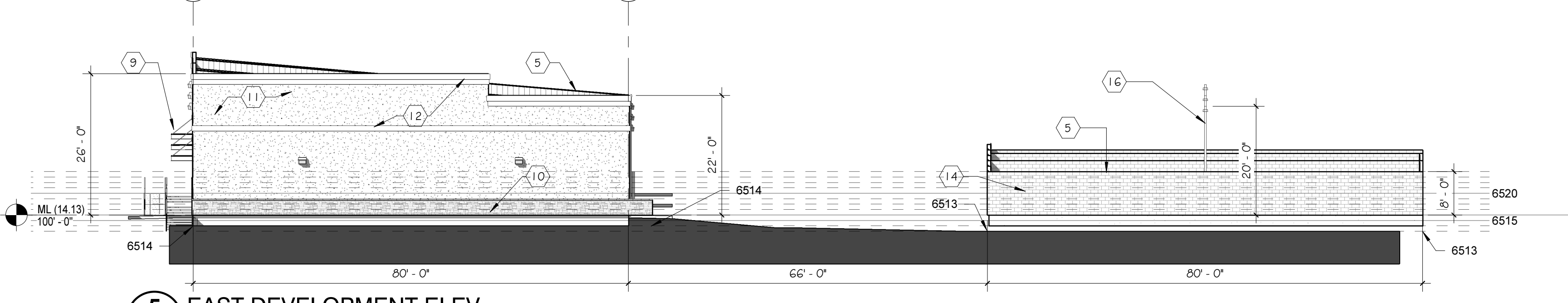
2 NORTH DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



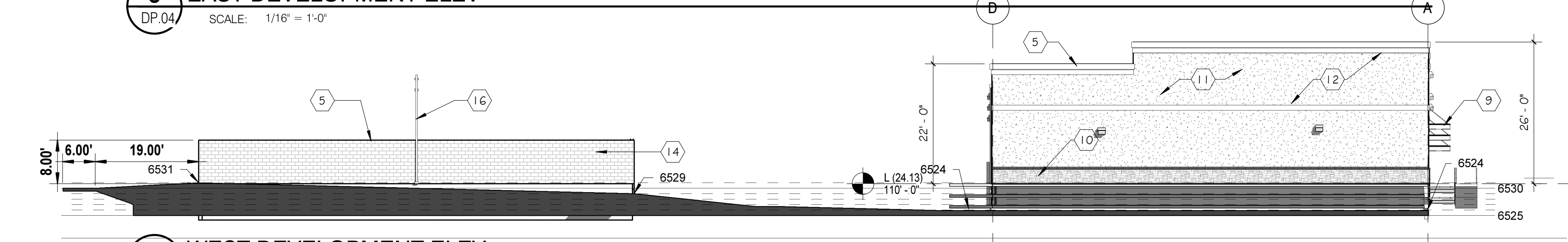
3 SOUTH YARD DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



4 NORTH YARD DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



5 EAST DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"



6 WEST DEVELOPMENT ELEV
 DP.04 SCALE: 1/16" = 1'-0"

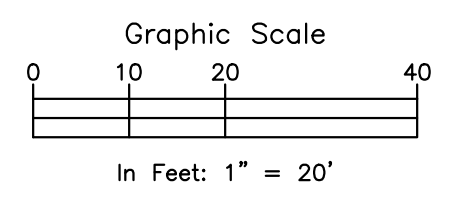
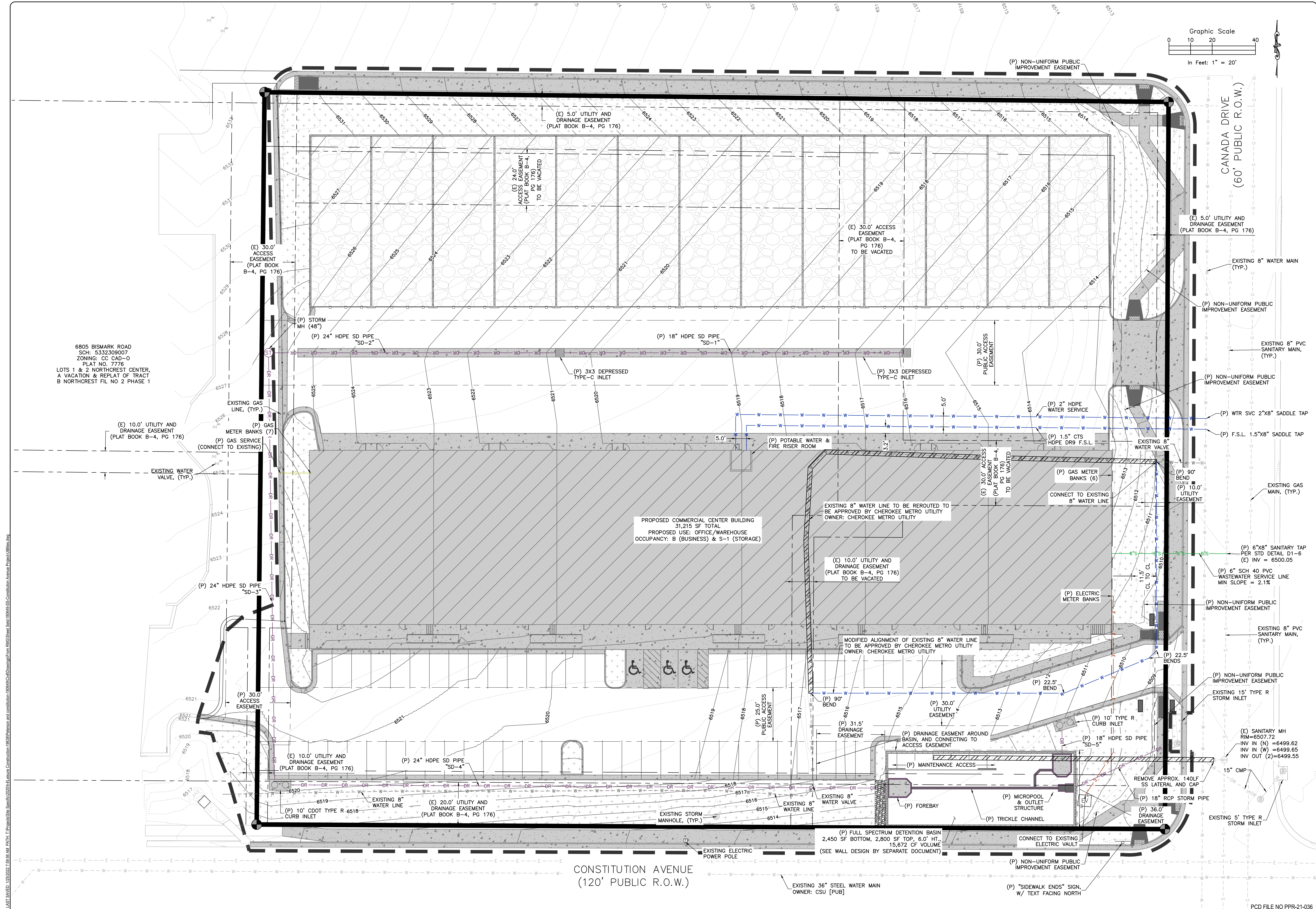
MK	MATERIAL	COLOR	FINISH
1	METAL ROOF (PEMB MFGR)	TBD	FACTORY
2	METAL SIDING (PEMB)	TBD	FACTORY
3	PRE FINISHED GUTTERS (PEMB)	TO MATCH SIDING	FACTORY
4	PRE FINISHED DOWNSPOUTS (PEMB)	TO MATCH SIDING	FACTORY
5	METAL CAP FLASHING	TBD	FACTORY
6	HM DOORS (INSULATED)	TBD	FACTORY
7	2"x4 1/2" ALUM STOREFRONT	CLEAR ANODIZED	FACTORY
8	OVERHEAD SECTIONAL DOORS	POLAR WHITE	FACTORY
9	STEEL AWNING (PEMB)	TBD	FACTORY
10	SYNTHETIC STONE VENEER	TBD	FACTORY
11	STUCCO SYSTEM	TBD	PAINT
12	STUCCO ASCENT COLOR	TBD	FACTORY
13	STEEL PIPE BOLLARDS	TRAFFIC YELLOW	FACTORY
14	SPLIT-FACED CMU	TRI-BLEND COLOR	FACTORY
15	CHAINLINK FENCE W/ SLATS	SLATS 90% OPACITY	FACTORY
16	LIGHT POLE	TBD	FACTORY

PCD FILE NO PPR-21-036

ROCKY MOUNTAIN GROUP
 Geotechnical
 Materials Testing
 Civil Planning
RMG
 ENGINEERS ARCHITECTS
 SOUTHERN COLORADO
 1937E BEAVER LANE RD., MONUMENT, CO 80132
 SOUTHERN COLORADO, SERVICE VICTIMS, NORTHWESTERN COLORADO

NORTHCREST CENTER
 2510 & 2522 CANADA DR., COLORADO SPRINGS, CO 80922
LEISURE CONSTRUCTION
 PROJECT STATUS
 SHEET NAME
 EXTERIOR ELEVATIONS
 DEVELOPMENT PLANS

ARCH/ENG: KEM
 DRAWN: JDB
 CHECKED: km
 DATE: 12.14.21
 REVISION: []
 DATE: []
 JOB NO: 180649
 SHEET NO: DP.04



6805 BISMARCK ROAD
SCH: 5332309007
ZONING: CC CAD-O
PLAT NO. 7776
LOTS 1 & 2 NORTHCREST CENTER,
A VACATION & REPLAT OF TRACT
B NORTHCREST FIL NO 2 PHASE 1

PROPOSED COMMERCIAL CENTER BUILDING
31,215 SF TOTAL
PROPOSED USE: OFFICE/WAREHOUSE
OCCUPANCY: B (BUSINESS) & S-1 (STORAGE)

CONSTITUTION AVENUE
(120' PUBLIC R.O.W.)

CANADA DRIVE
(60' PUBLIC R.O.W.)

ROCKY MOUNTAIN GROUP
Architectural
Structural
Forensics

ARCHITECTS
RMG
ENGINEERS

SOUTHERN COLORADO
2910 ALSTON BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918
719.576.8800 WWW.ROCKYMOUNTAINENGINEERS.COM
Structural Engineering, Driveway Design, Right-of-Way

NOT FOR CONSTRUCTION
FOR CIVIL ONLY

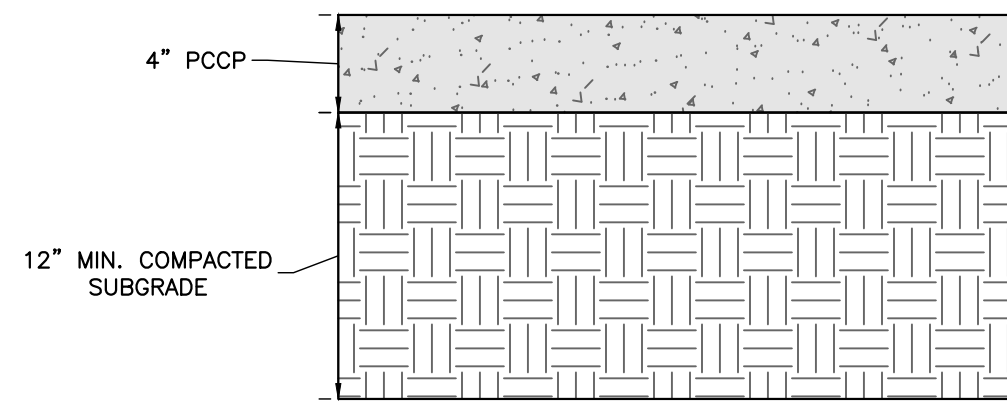
NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

UTILITY PLAN
PROJECT STATUS
DESIGN DEVELOPMENT

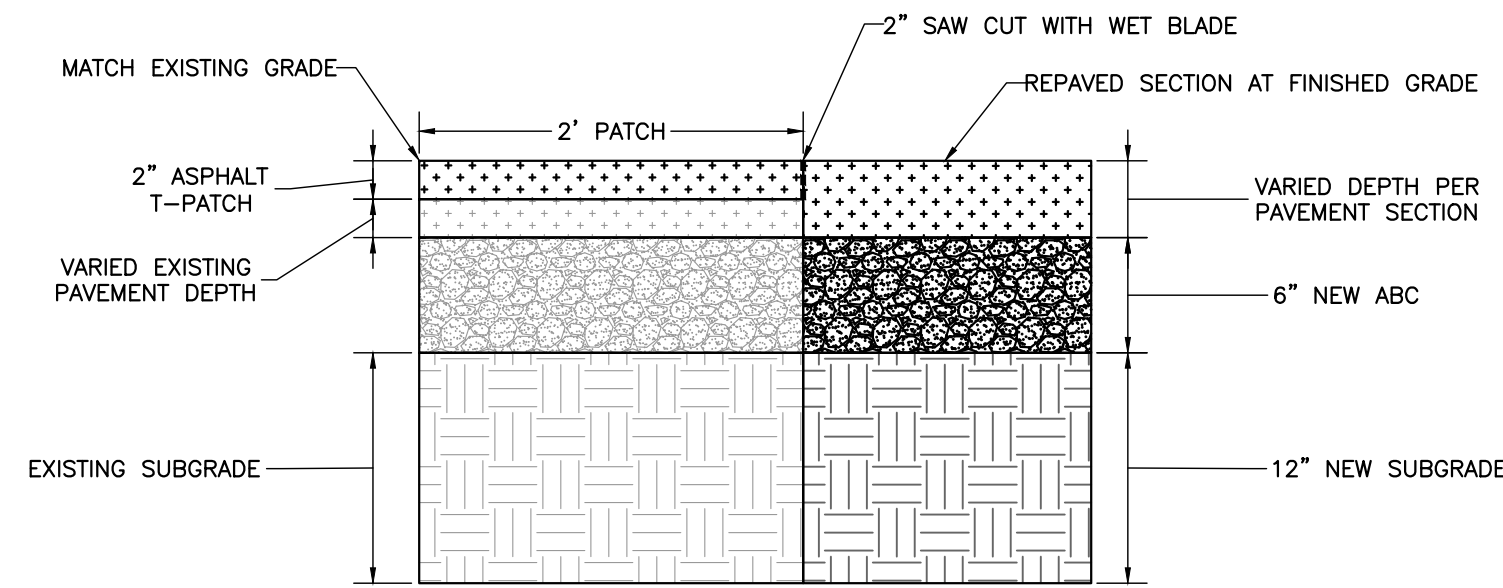
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DRAWN:	ASP	
CHECKED:	SAM	
DATE:	01/25/2022	
#	REVISION	DATE
JOB NO.:	180649	
SHEET NO.:	DP.05	
of 11		

PAVEMENT MATERIALS & SUBGRADE PREPARATION

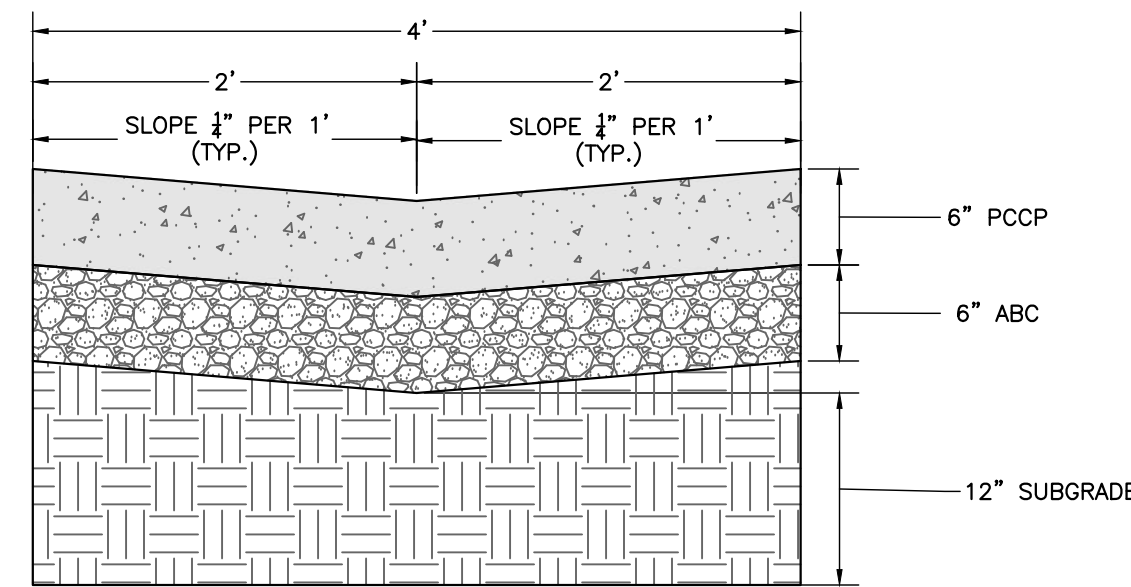
PAVEMENT MATERIALS AND SUBGRADE PREPARATION SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED FEBRUARY 23, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.



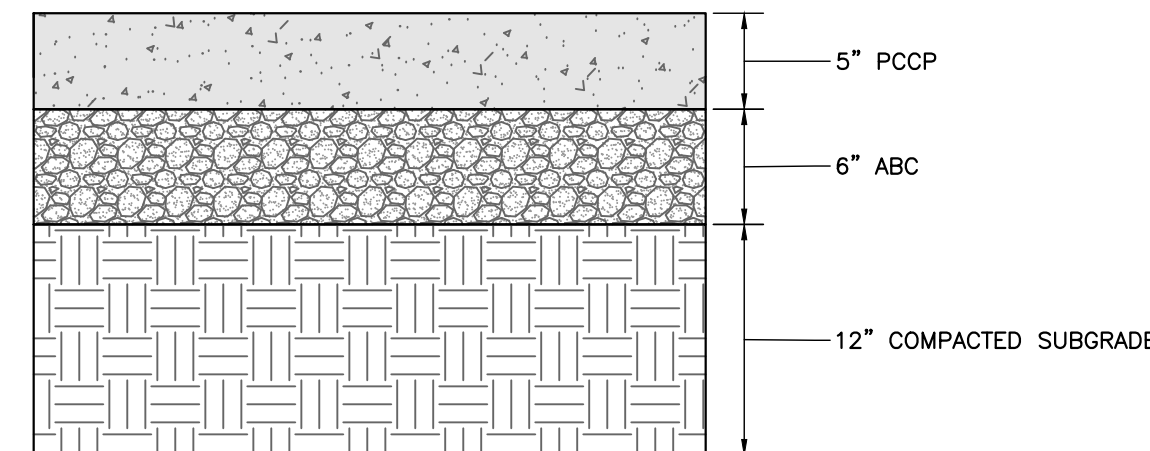
A TYPICAL SIDEWALK PAVEMENT SECTION
NOT TO SCALE



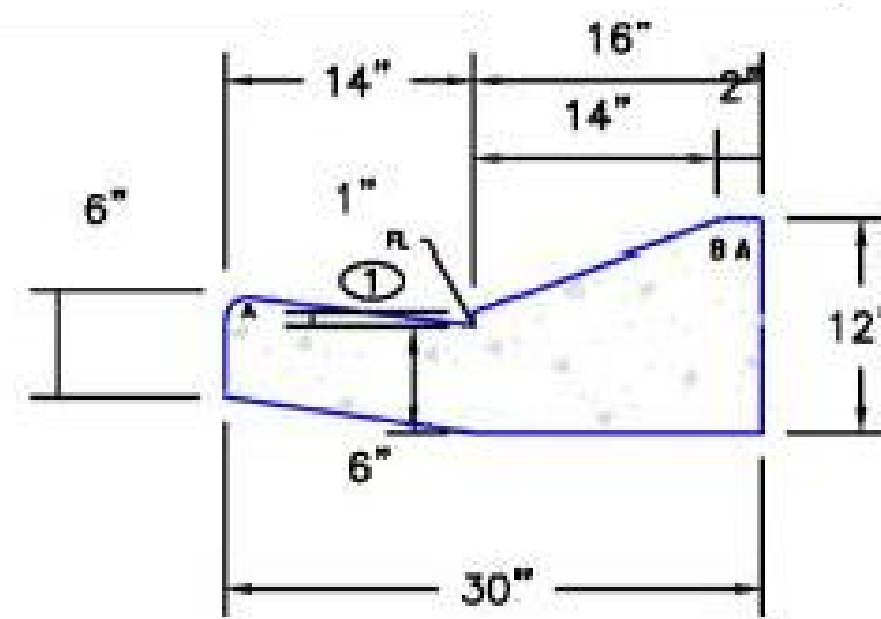
B ASPHALT PATCH PAVEMENT SECTION
NOT TO SCALE



C CONCRETE DRAINAGE PAN
NOT TO SCALE



D TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE



EPC OPT TYPE C

E EPC OPT TYPE C CURB AND GUTTER (EPC STD SD_2-20)
NOT TO SCALE

LEGEND FOR RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTES

- PROVIDE CENTERLINE CONSTRUCTION OR TOOL JOINT WHEN DRIVEWAY WIDTH (EDGE TO EDGE) IS 14' OR GREATER.
- ALL TOOL JOINTS SHALL BE A MINIMUM OF 1-3/8" DEEP.
- WHEN REPLACING EXISTING CURB AND GUTTER WITH NEW DRIVEWAY, ENTIRE CURB AND GUTTER SECTION SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER (VARIABLE CURB-HEIGHT) AS SHOWN. DO NOT BREAK CURB FROM GUTTER SECTION.
- FLARED PORTION OF DRIVEWAY SHALL BE POURED MONOLITHIC WITH MAIN RECTANGULAR PORTION OF DRIVEWAY.
- WHERE THERE IS MORE THAN ONE DRIVEWAY ON A LOT, THE SPACING OF THE DRIVEWAYS SHALL MEET REQUIREMENTS IN E.C.M.
- WHERE AN EXISTING SIDEWALK IS IN PLACE, AND ITS THICKNESS IS LESS THAN 6" (RESIDENTIAL) OR 8" (COMMERCIAL AND INDUSTRIAL) THE SIDEWALK THROUGH THE DRIVEWAY SHALL BE REMOVED AND REPLACED WITH PORTLAND CEMENT CONCRETE AT THE REQUIRED THICKNESS.
- WHEN A DRIVEWAY IS TO BE TAKEN OUT OF SERVICE, THE ENTIRE LENGTH OF CURB AND GUTTER SHALL BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER MATCHING THE ADJUTING SECTIONS.
- ALL PROVISIONS IN THE LAND DEVELOPMENT CODE SHALL BE MET, WITH REGARD TO MINIMUM SETBACK FROM INTERSECTION AND SIDE PROPERTY LINES, MINIMUM SPACING, MAXIMUM WIDTH, ETC.

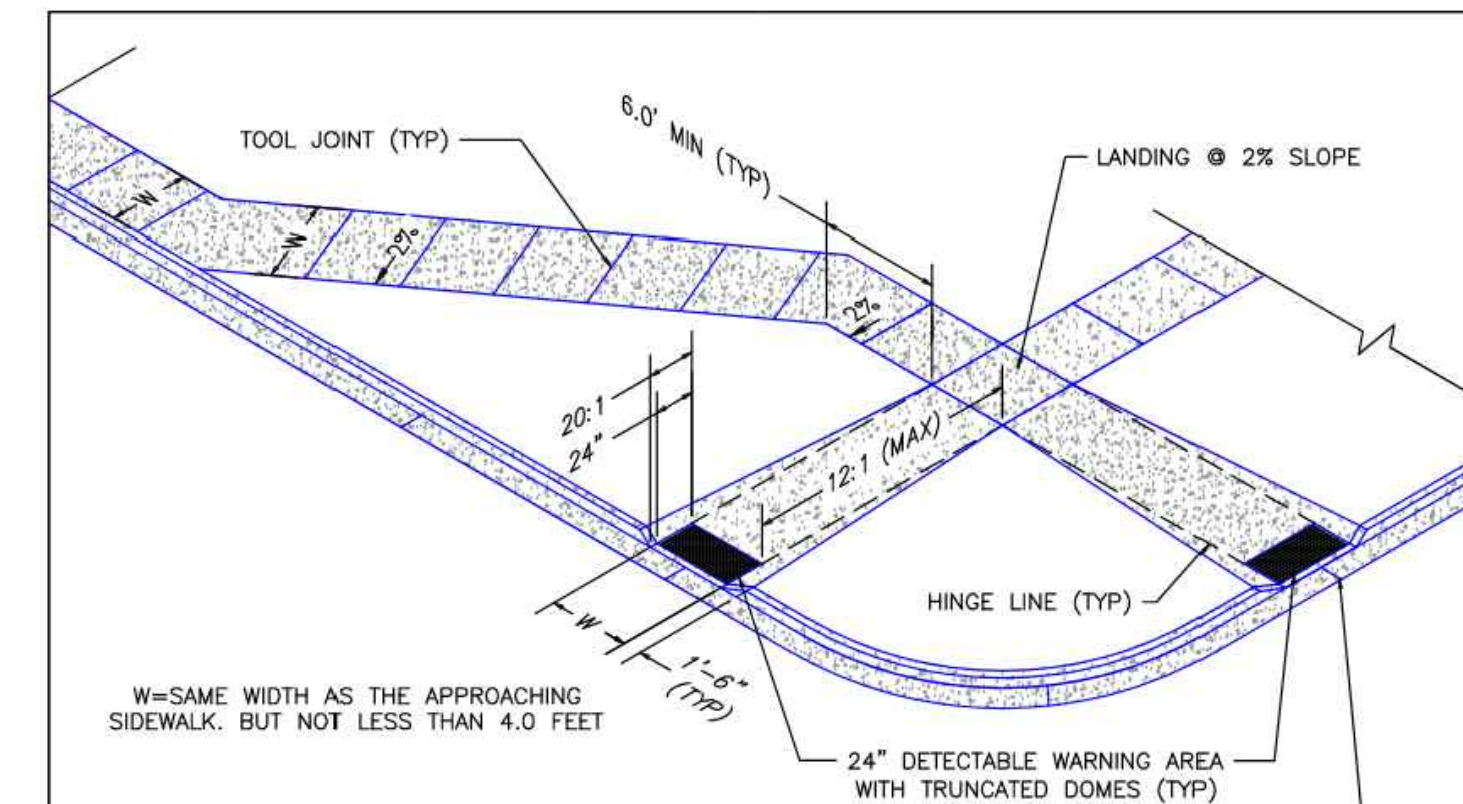
TOOLS JOINT SPACING		
DRIVEWAY WIDTH	A	B
12'	6'	3'
14'	7'	3'-6"
16'	8'	4'-6"
18'	9'	5'-6"
20'	10'	6'-6"
22'	11'	7'-6"
24'	12'	8'-6"
26'	13'	9'-6"
28'	14'	10'-6"
30'	15'	11'-6"

SCALE: NOT TO SCALE

DATE APPROVED: 8/11/11
André P. Brackin
DEPARTMENT OF TRANSPORTATION

Driveway Detail With Detached Sidewalk Standard Drawing
REVISION DATE: 11/10/04
FILE NAME: SD_2-25

EL PASO COUNTY DEPARTMENT OF TRANSPORTATION



DATE APPROVED: 7/9/09
André P. Brackin
DEPARTMENT OF TRANSPORTATION

Pedestrian Intersection Ramp Standard Drawing
REVISION DATE: 12/8/15
FILE NAME: SD_2-41

EL PASO COUNTY DEPARTMENT OF TRANSPORTATION

ROCKY MOUNTAIN GROUP
ARCHITECTS
Geotechnical
Materials Testing
Civil/Planning
RMG
ENGINEERS
Architectural
Structural
Forensics
SOUTHERN COLORADO
19375 BEACON LITE RD., MONUMENT, CO 80132
719.586.5145 WWW.RMGENGINEERS.COM
Structural Engineering, Driveway Design, Asphalt Pavement

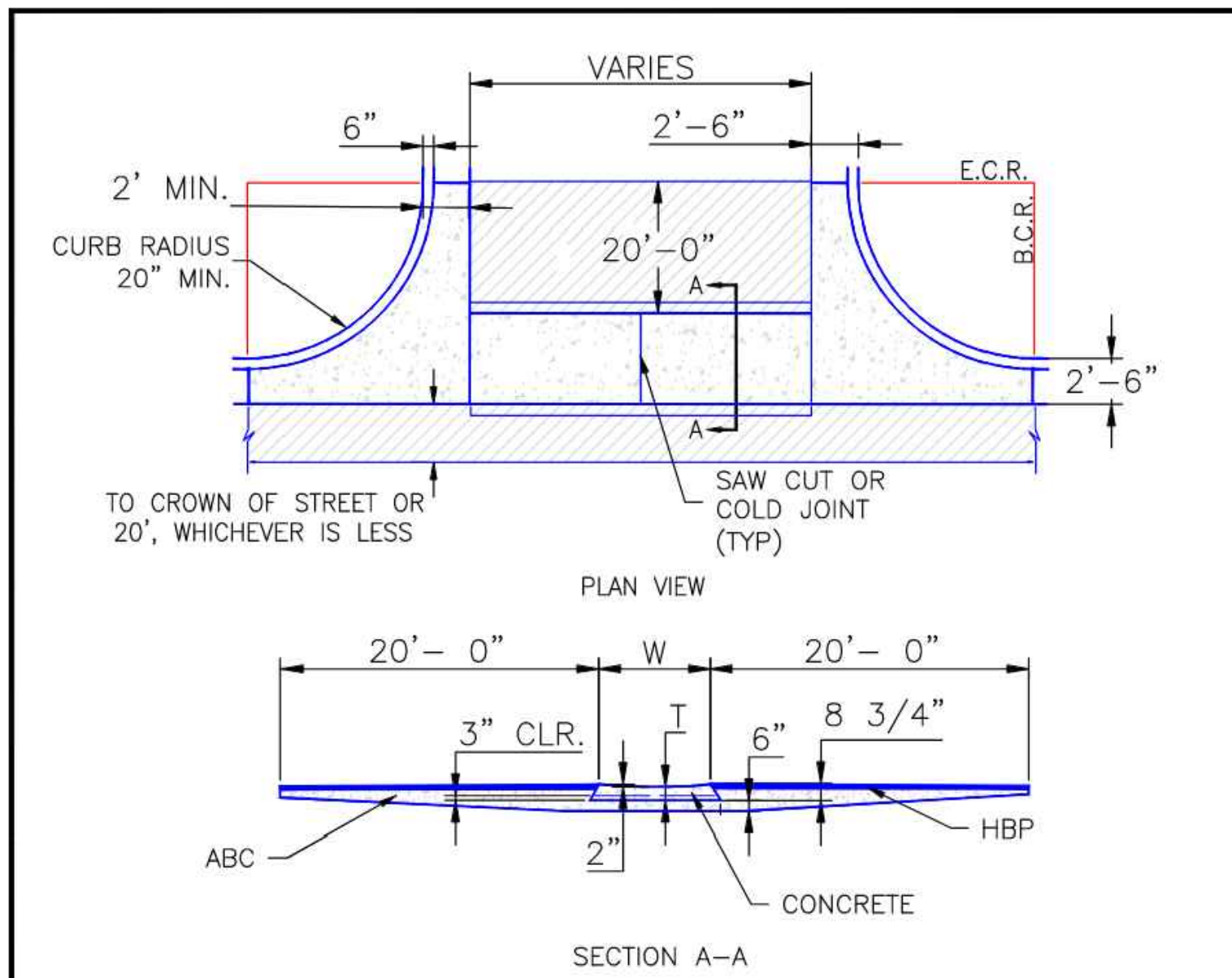
NOT FOR CONSTRUCTION FOR CIVIL ONLY

NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

SHEET NAME: CONSTRUCTION DETAILS 1
PROJECT STATUS: DESIGN DEVELOPMENT

ENG:	SAM	
DRAWN:	ASP	
CHECKED:	SAM	
DATE:	01/25/2022	
#	REVISION	DATE

JOB NO. 180649
SHEET NO. DP.06
of 11

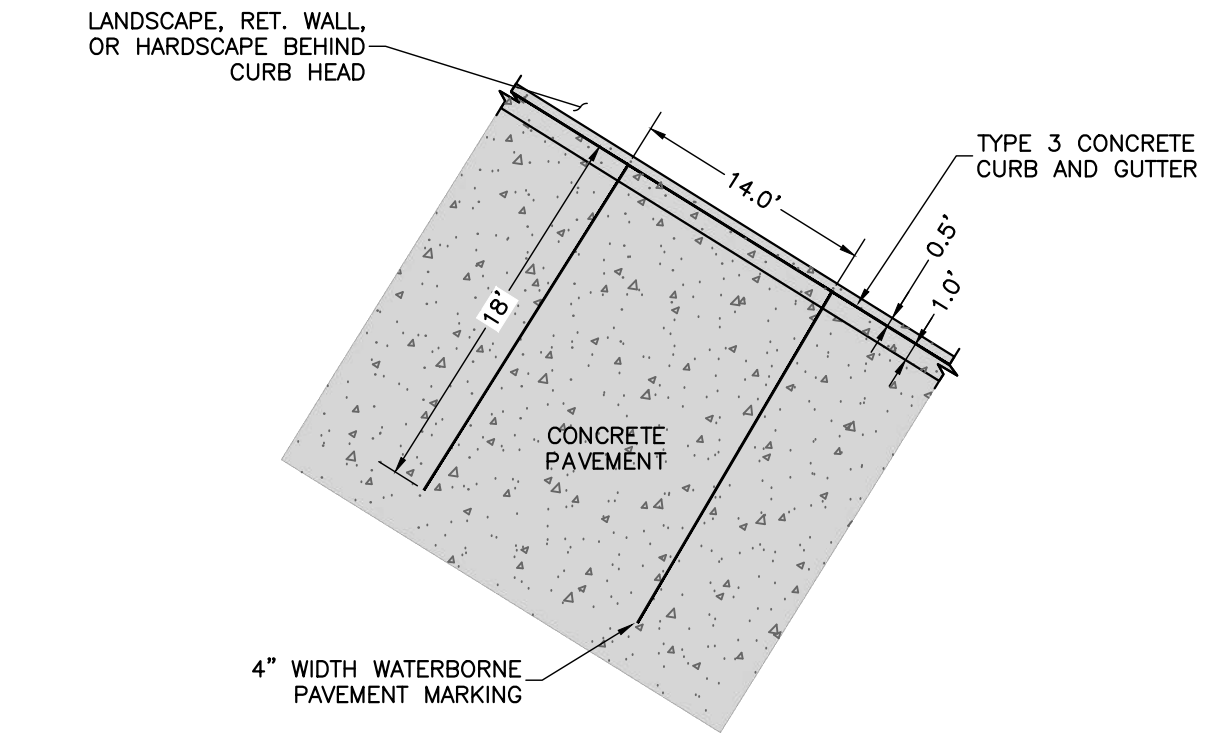


NOTES

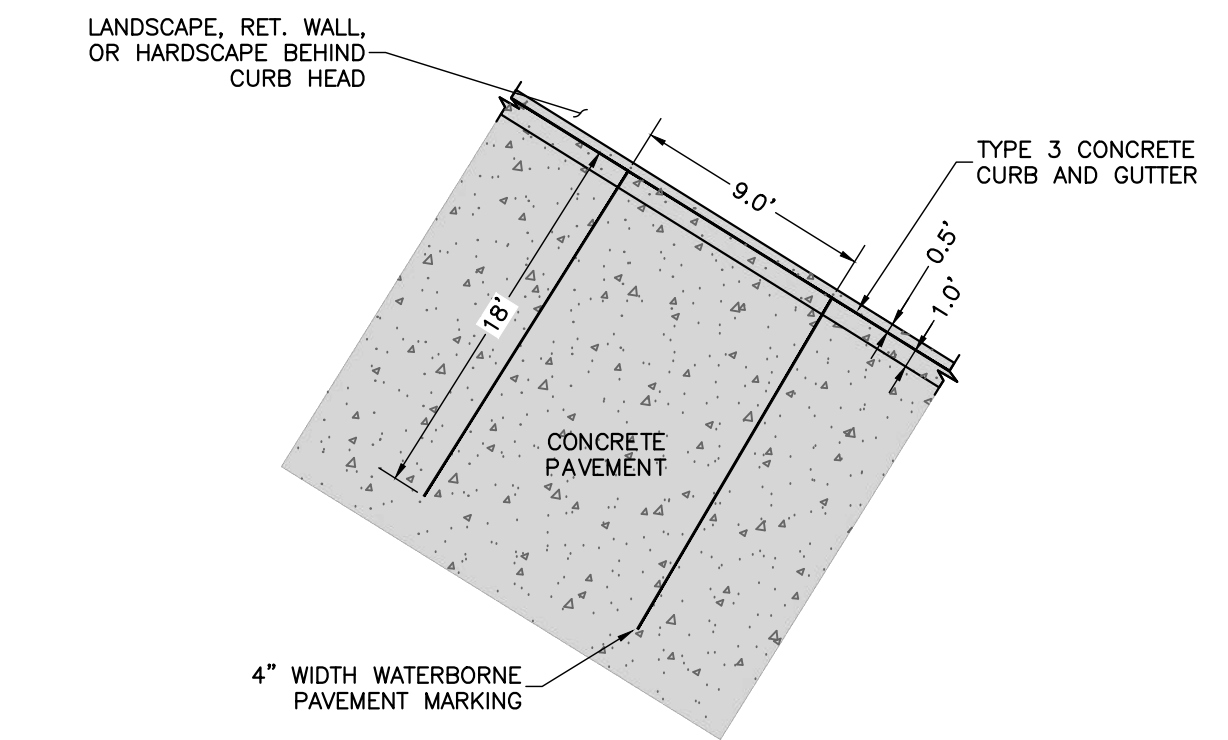
1. W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
2. T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
3. [Symbol] = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
4. DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

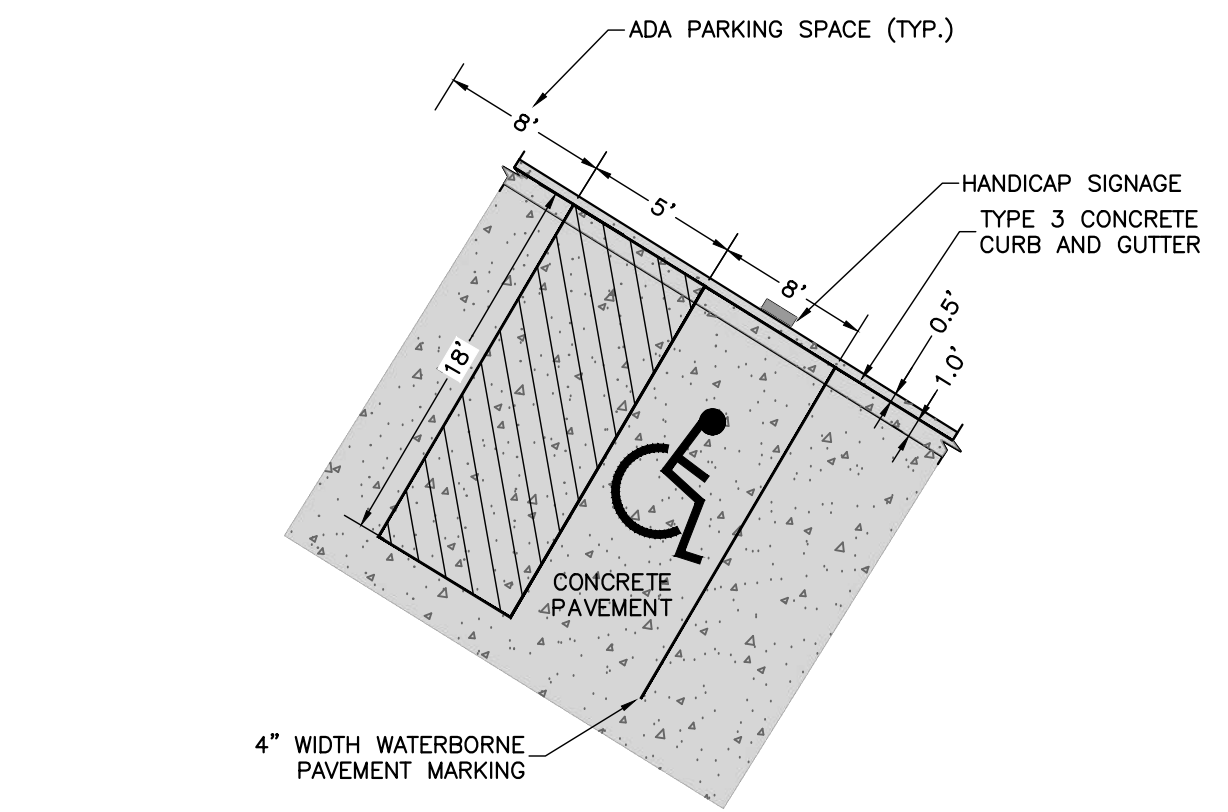
8/11/11 DATE APPROVED:	Typical Cross Pan Layout Detail Standard Drawing	
André P. Brackin DEPARTMENT OF TRANSPORTATION	REVISION DATE: 12/8/15	FILE NAME: SD_2-26



TYPICAL EQUIP LOAD/UNLOAD PARKING STALL

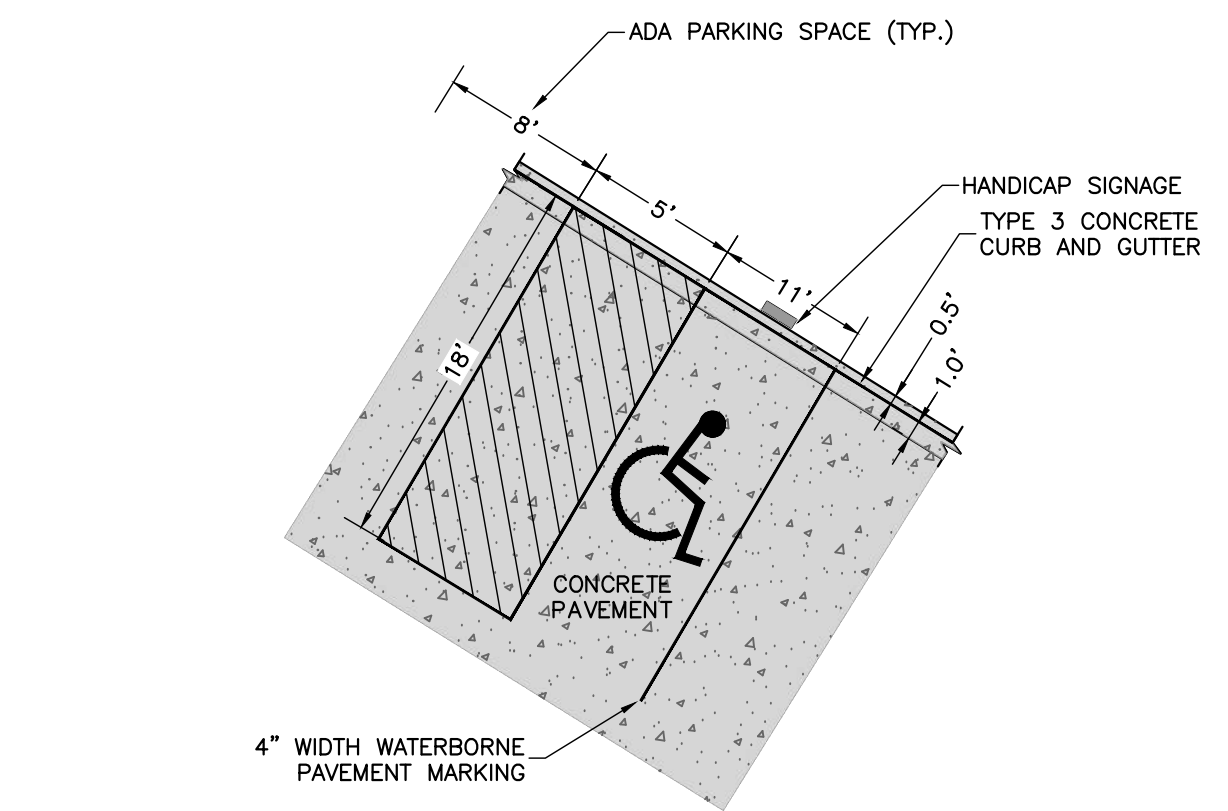


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP VAN PARKING STALL

*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.

NOT FOR CONSTRUCTION
FOR CIVIL ONLY

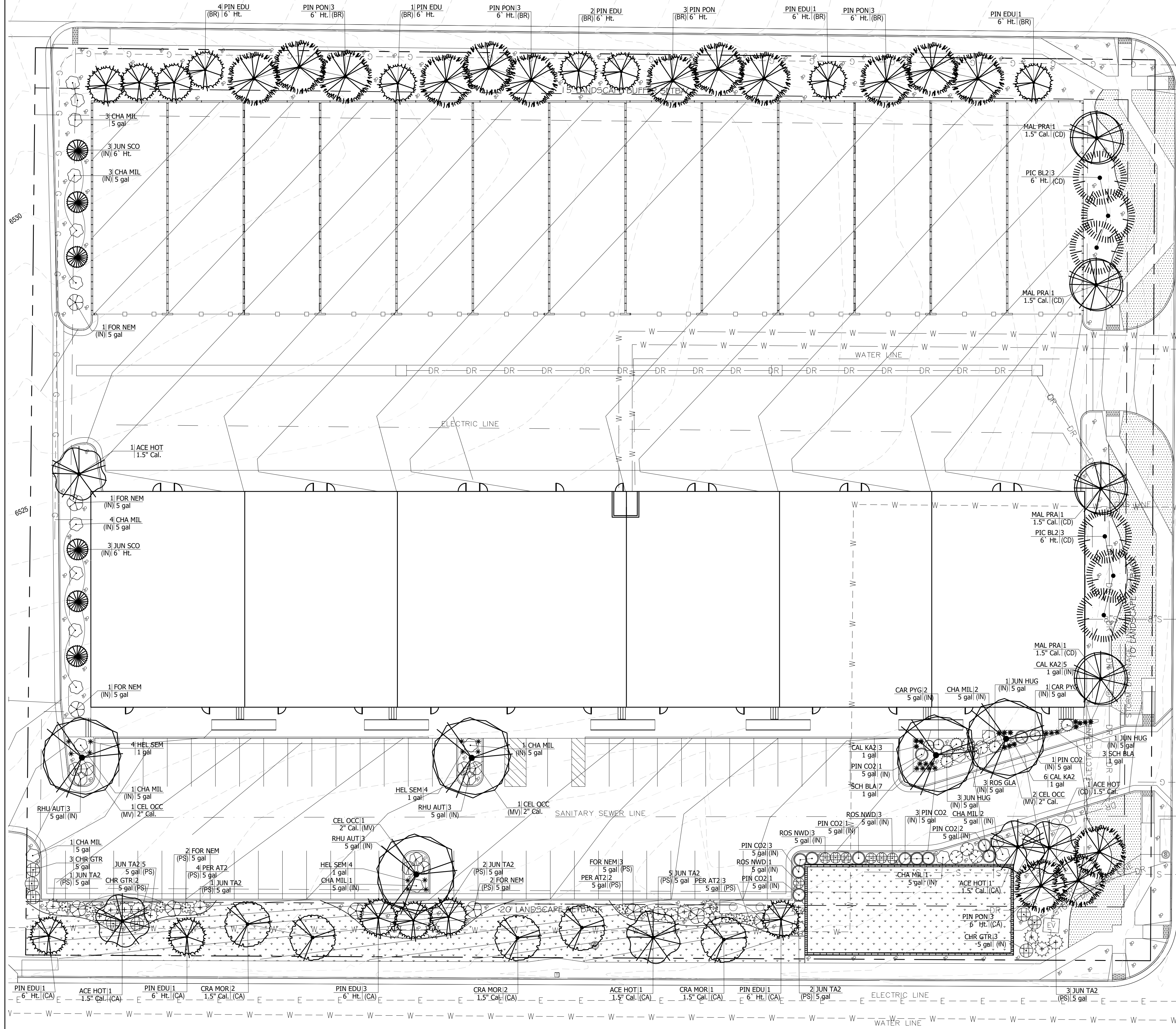
NORTHCREST PEMB DEVELOPMENT
2510 & 2522 CANADA DRIVE
COLORADO SPRINGS, COLORADO
LEISURE CONSTRUCTION

CONSTRUCTION DETAILS 2
DESIGN DEVELOPMENT

ENG:	SAM	
DRAWN:	ASP	
CHECKED:	SAM	
DATE:	01/25/2022	
#	REVISION	DATE
JOB NO.:	180649	
SHEET NO.:	DP.07	

LAST SAVED: 18/02/2022 8:19:32 AM PATH: T:\Projects\2020\Leisure Construction-180649\CAD Drawings\From RMS\Sheet_Sets\180649-SS-Construction-Avenue Project-Construction-Details.dwg

**BISMARCK ROAD
(NON-ARTERIAL)**



**CONSTITUTION AVE
(MINOR ARTERIAL)**

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
ACE HOT	5	Acer tatanicum 'Hot Wings'	Hot Wings Tatanian Maple	1.5" Cal.	B # B
CEL OCC	5	Celtis occidentalis	Common Hackberry	2" Cal.	B # B
CRA MOR	5	Crataegus x mordenensis 'Snowbird'	Snowbird Hawthorn	1.5" Cal.	B # B
JUN SCO	6	Juniperus scopulorum	Rocky Mountain Juniper	6" Ht.	B # B
MAL PRA	4	Malus x 'Prairifire'	Prairifire Crab Apple	1.5" Cal.	B # B
PIC BL2	6	Picea pungens glauca	Colorado Blue Spruce	6" Ht.	B # B
PIN EDU	15	Pinus cembroides edulis	Pinyon Pine	6" Ht.	B # B
PIN PON	15	Pinus ponderosa	Ponderosa Pine	6" Ht.	B # B

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAR PYG	3	Caragana pygmaea	Pygmy Peashrub	5 gal	
CHA MIL	19	Chamaebatiaria millefolium	Fernbush	5 gal	
CHR GTR	8	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal	
FOR NEM	10	Forestiera neomexicana	New Mexico Privet	5 gal	
JUN HUG	5	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal	
JUN TA2	19	Juniperus sabinia 'Tamaniscifolia'	Tammy Juniper	5 gal	
PER AT2	9	Perovskia atriplicifolia	Russian Sage	5 gal	
PIN CO2	12	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal	
RHU AUT	9	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 gal	
ROS GLA	6	Rosa glauca	Redleaf Rose	5 gal	
ROS NWD	7	Rosa x 'Nearly Wild'	Nearly Wild Rose	5 gal	

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAL KA2	14	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	
HEL SEM	12	Helictotrichon sempervirens	Blue Oat Grass	1 gal	
SCH BLA	10	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	1 gal	

PROPOSED GROUND PLANE TREATMENT

- PROPOSED IRRIGATED FESCUE BLEND SOD (APPROX. 3,860 SQ. FT.)
- PROPOSED IRRIGATED NATIVE SEED MIX WITH EROSION CONTROL BLANKET (APPROX. 7,260 SQ. FT.)
- PROPOSED 1.5" ROYAL GRANITE CRUSHED ROCK, 3" DEPTH, OVER DEWITT LANDSCAPE FABRIC (APPROX. 17,900 SQ. FT.)

SITE CATEGORY CALCULATIONS:

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Foot Req.	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Constitution Avenue	Minor arterial	20' / 20'	420'	1 / 25'	17 / 17	(CA)
Canada Drive	Non-arterial	10' / 10'	336'	1 / 30'	11 / 11	(CD)
Bismarck Road	Non-arterial	10' / 15'	418'	(see Buffer & Screens requirements)		

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
74	5 / 5	(MV)	Constitution Ave.	281'	185'

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
37 / 37	19 / 19	-	(PS)	75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
141,390 s.f.	5%	7,069 s.f. / 7,950 s.f.	14 / 7

Shrub Substitutes Required / Provided

70 / 70 (IN)

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (1/3) / Provided
Bismarck Road	15' / 15'	418'	21 / 21	7 / 21

Length of 8 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
370' / 370'	(BR)	75% / 75%



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jwlandarch@gmail.com

PROJECT FILE: northcrest const & canada flp.dwg

DEVELOPMENT PLAN FOR
NORTHCREST CENTER
Constitution Avenue, Colorado Springs, CO
El Paso County

PROJECT NAME:

LANDSCAPE PLAN

SHEET TITLE:

DATE: June 17, 2021

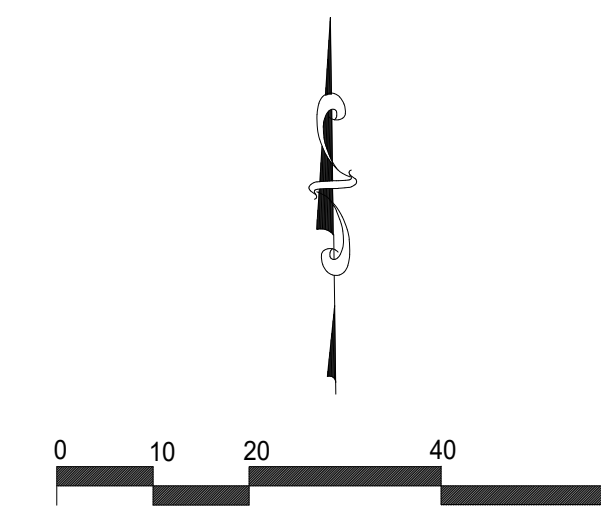
REVISION DATE: October 26, 2021

SHEET NO. / STAMP:

DP.08

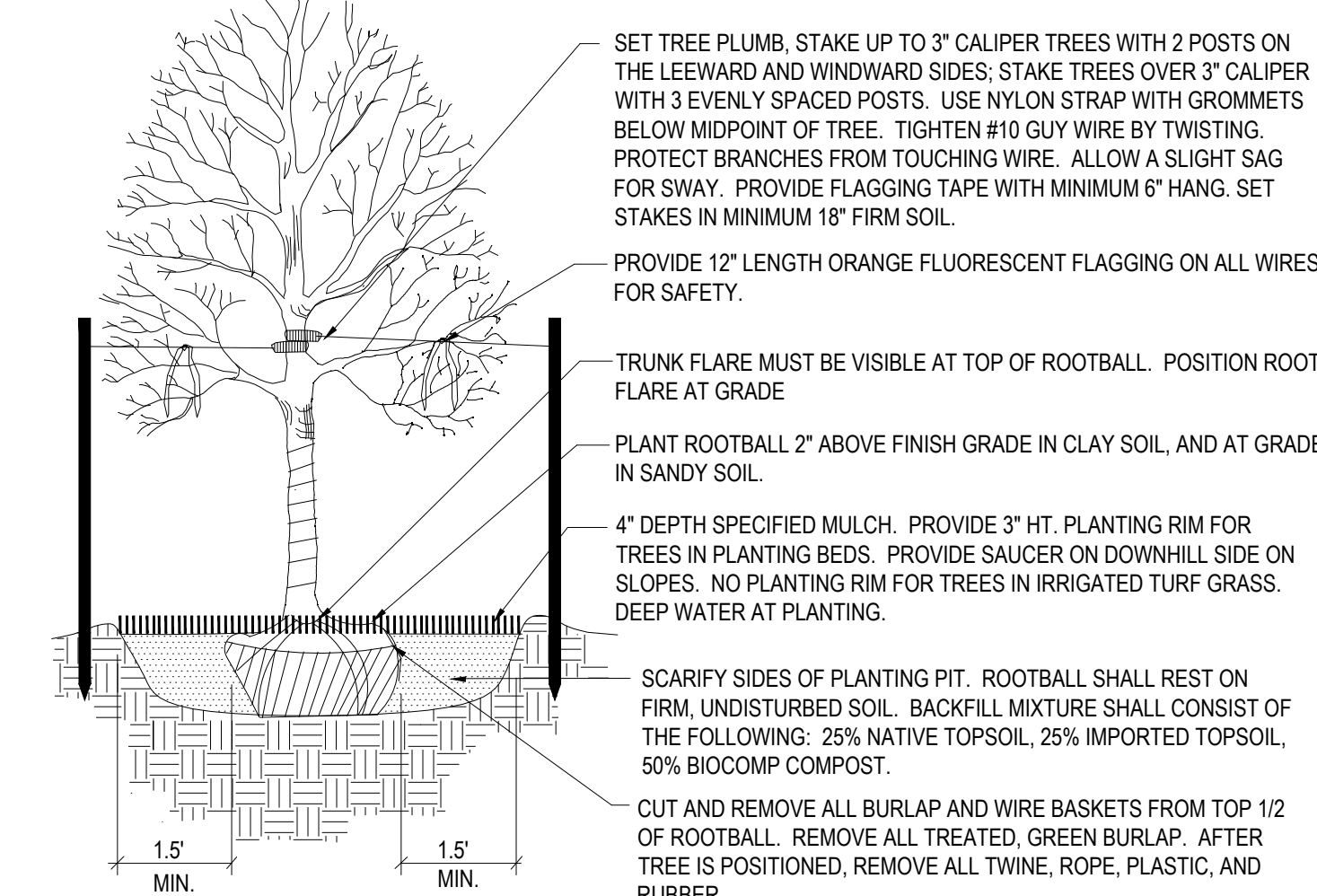
PCD FILE NO. PPR-21-036

SCALE: 1"=20'



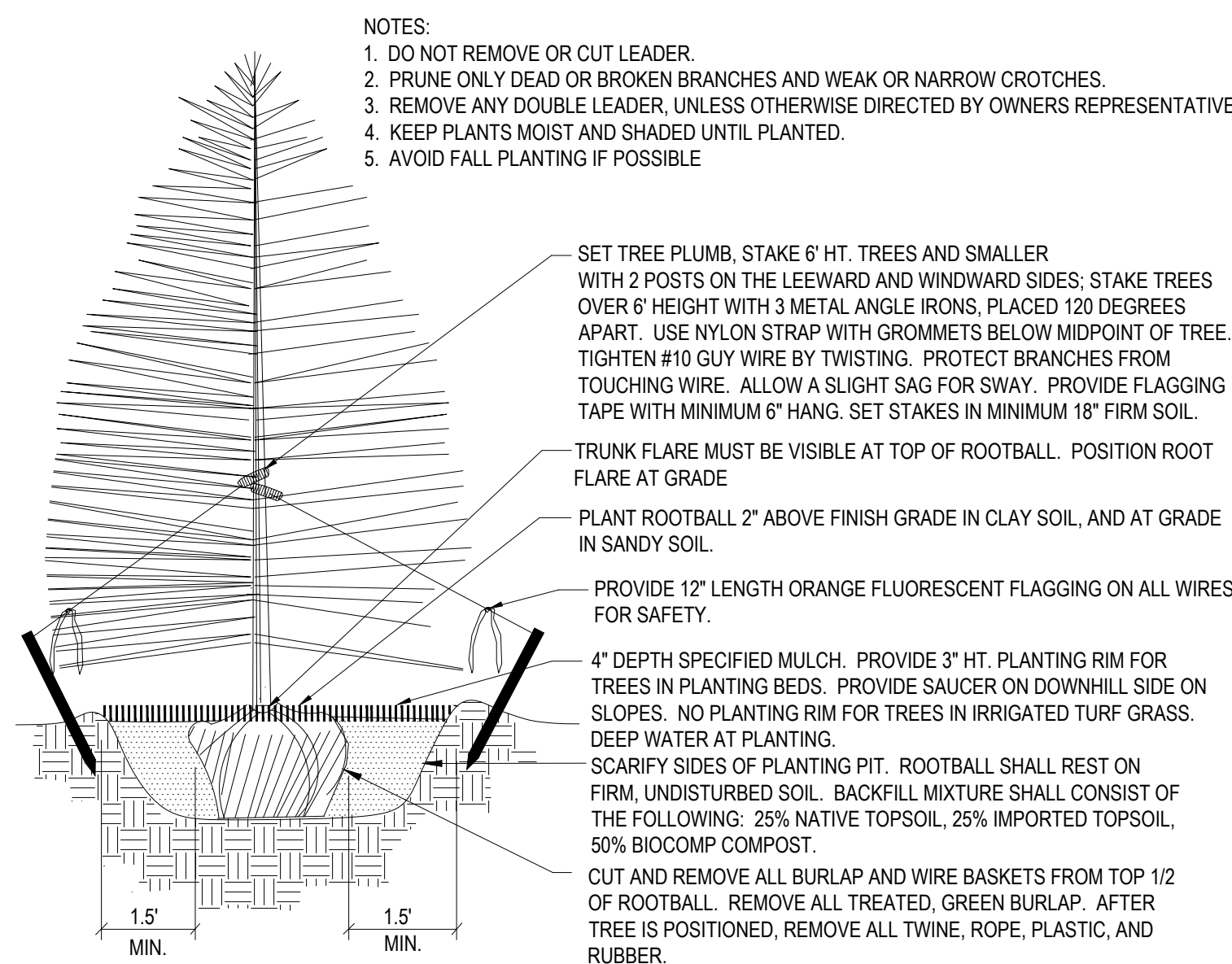
PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



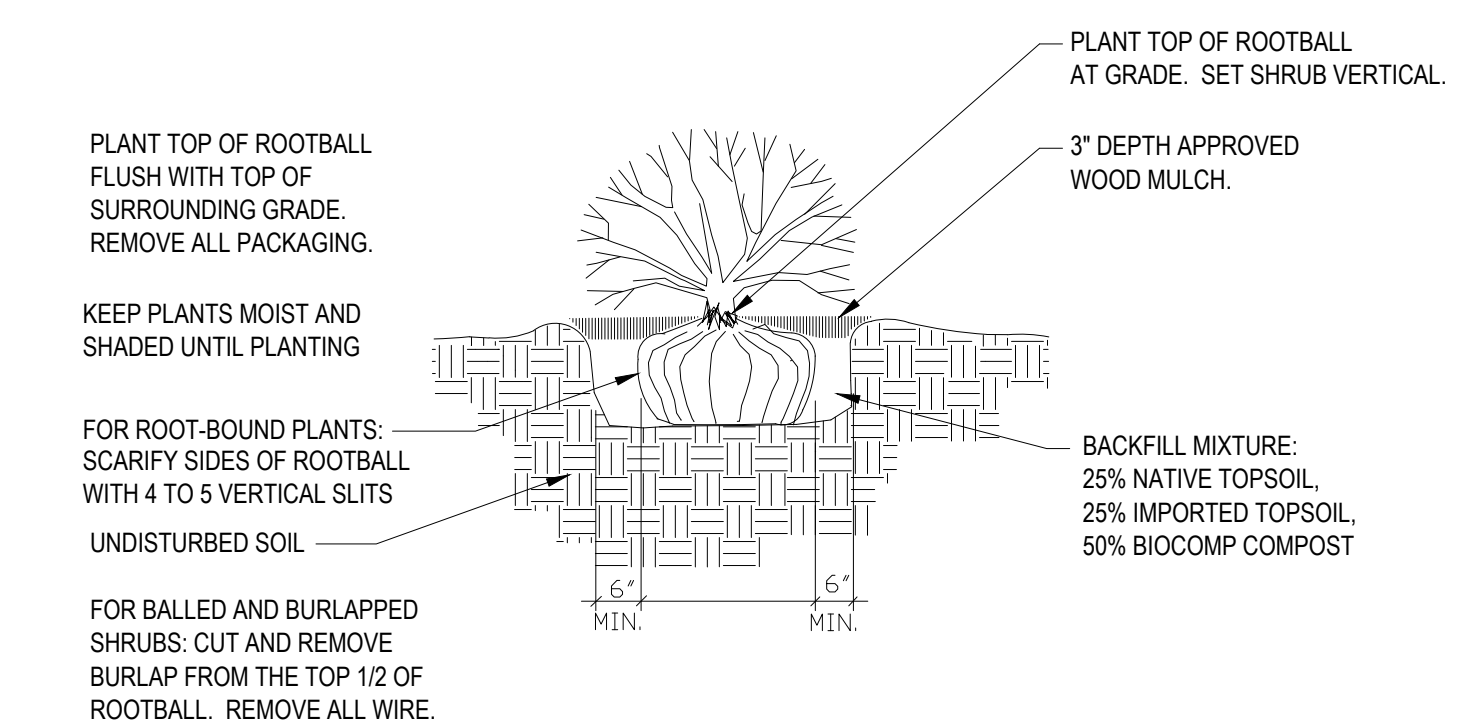
1 Deciduous Tree Planting Detail

NOT TO SCALE



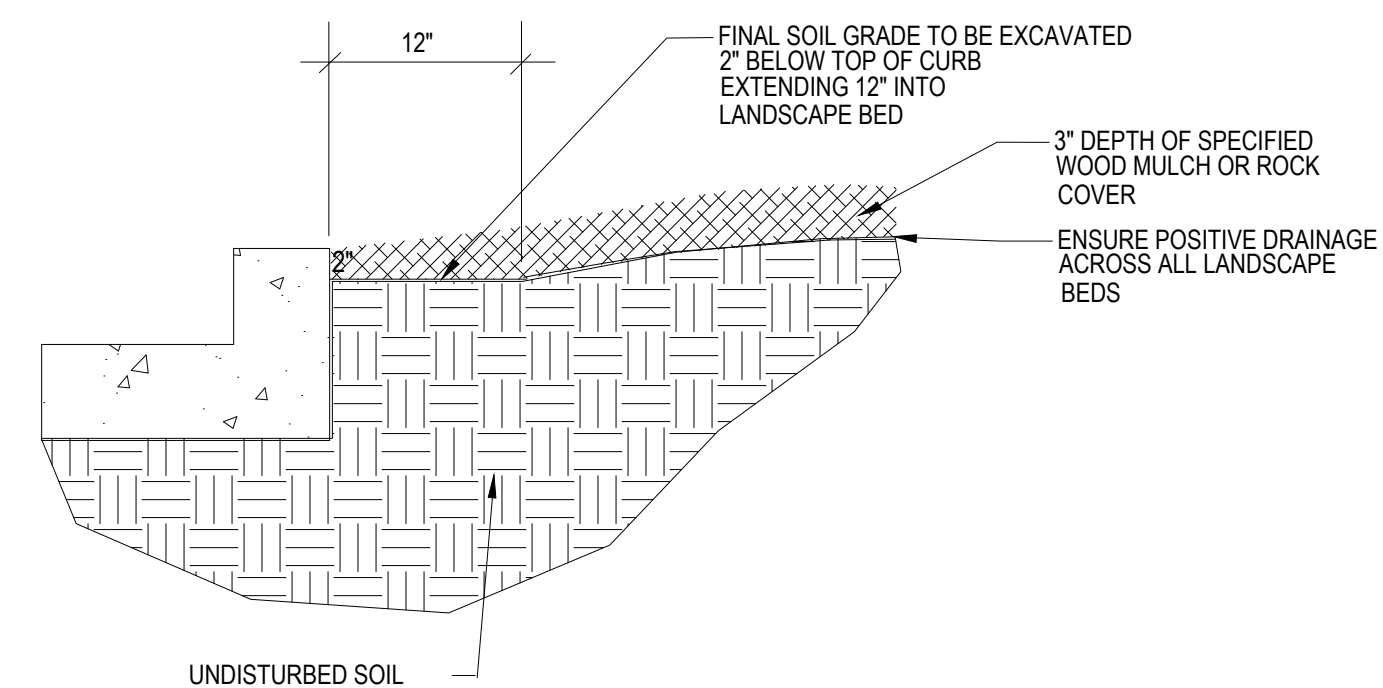
2 Coniferous Tree Planting Detail

NOT TO SCALE



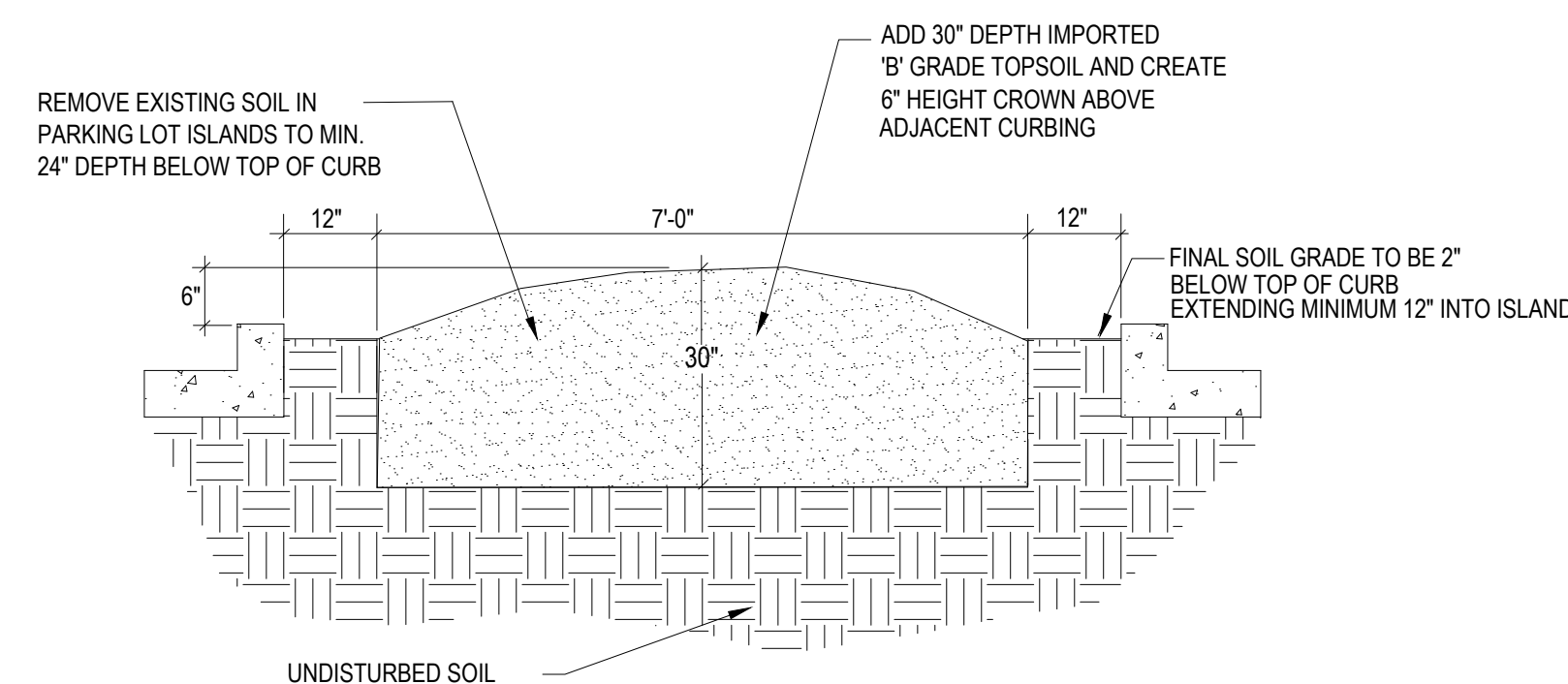
3 Shrub Planting Detail

SCALE: NOT TO SCALE



4 Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE



5 Parking Lot Island Excavation For Trees

SCALE: NOT TO SCALE

GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, SOD, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT.

PROJECT NOTES

- ALL EXISTING TREES, WHICH CONSIST OF VOLUNTEER SIBERIAN ELMS, ON THE PROJECT SITE ARE TO BE REMOVED.
- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
2" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS.
1" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR IRRIGATED TURF AND NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL AREAS SHOWN AS 'IRRIGATED NATIVE SEED MIX' TO BE SEEDDED WITH 'EL PASO COUNTY ALL PURPOSE LOW GROW MIX' (25% BUFFALOGRASS, 20% BLUE GRAMA, 29% SIDEOTS GRAMA, 5% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, AND 1% SAND DROPSEED) BY HYDRO-MULCH SEEDING AT A RATE OF 1 LB. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDDED AREAS TO RECEIVE EROSION CONTROL BLANKET- 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF 'DEWITT' WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- PROPOSED SOD IS TO CONSIST OF A FESCUE BLEND. SOD IS TO HAVE LOW CLAY CONTENT. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH. REFER TO DETAIL ON THIS SHEET.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS.
- GORILLA HAIR WOOD MULCH IS TO BE PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PRO-STEEL BROWN STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, NATIVE GRASS, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. SECURE TO GROUND WITH MANUFACTURER'S STAKES. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO STAKES SECURING OVERLAPPED ENDS.

SOIL PREPARATION NOTES

- PROPOSED FESCUE SOD AREAS:** ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED NATIVE GRASS AREAS:** ALL SEEDDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

IRRIGATION NOTES

- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL, SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED. PROVIDE (2) EXTRA IRRIGATION WIRES ALONG MAINLINE FOR TROUBLESHOOTING OR FUTURE REPAIRS.
- ALL FESCUE SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE.
- ALL NATIVE SEED AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE.

NATIVE SEED ESTABLISHMENT

INITIAL PLANTING
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

OVER SEEDING
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURER'S INSTRUCTIONS.



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PROJECT FINISH: northrest const & canada flp.dwg

DEVELOPMENT PLAN FOR
NORTHCREST CENTER
Constitution Avenue, Colorado Springs, CO
El Paso County

PROJECT NAME:

LANDSCAPE DETAILS

SHEET TITLE:

DATE: June 17, 2021

REVISION: October 26, 2021

STAMP:

SHEET NO. **DP.09**

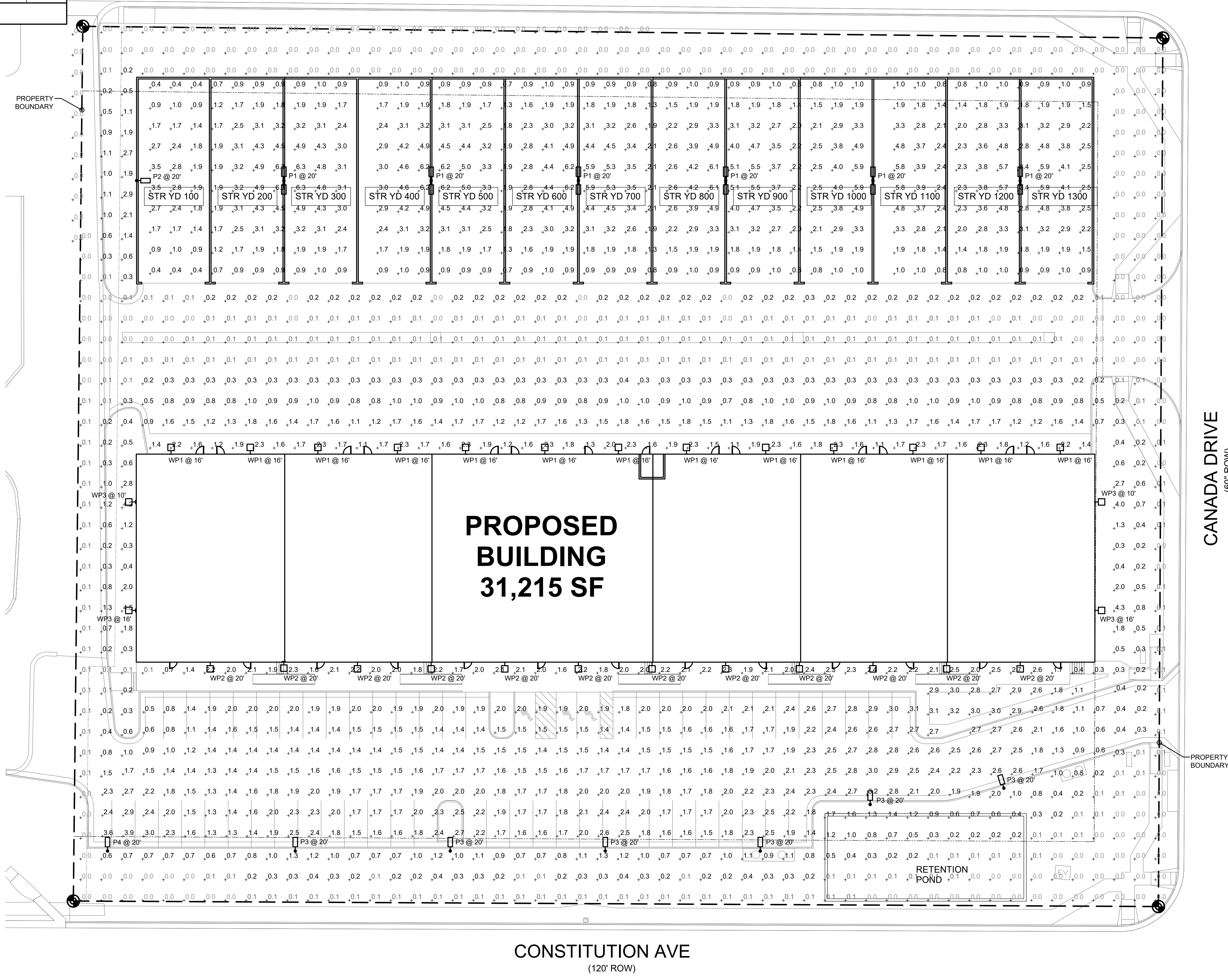
LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS
			QTY.	WATT	TYPE				
P1	LITHONIA	DSX1 LED P1 50K TSS MVOLT	2	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	108.0
P2	LITHONIA	DSX1 LED P1 50K TSS MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P3	LITHONIA	DSX1 LED P1 50K T4M MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P4	LITHONIA	DSX1 LED P1 50K LCCO MVOLT	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
WP1	LITHONIA	WDGE1 LED P1 50K 80CRI VF	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0
WP2	LITHONIA	WDGE1 LED P2 50K 80CRI VF	1	15.0	LED	SURFACE	WALLPACK	120/277	15.0
WP3	LITHONIA	WDGE1 LED P1 40K 90CRI VW	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0

CALCULATION ZONE STATISTICS

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.8	3.9	0.2	19.5:1	9.0:1
STORAGE YARD	+	2.6	6.3	0.4	15.8:1	6.5:1
TO PROPERTY LINE	+	0.5	4.5	0.0	N/A	N/A

BISMARCK ROAD
(80' ROW)



3 WDGE1 WALLPACK (WP1 - WP3)
DP.12 SCALE: NONE



2 DSX1 AREA LUMINAIRE (P1 - P4)
DP.12 SCALE: NONE

1 SITE PHOTOMETRIC PLAN
DP.12 SCALE: 1"=20'-0"

ROCKY MOUNTAIN GROUP
ARCHITECTS
ENGINEERS
1878 BEACON HILL BLVD. SUITE 200
DENVER, CO 80202
PH: 303.733.1111
WWW.RMG-ENGINEERS.COM

PROFESSIONAL SEAL
11.04.2021

McShea Consulting, LLC
MECHANICAL + ELECTRICAL + PLUMBING
4445 Northpark Dr. Suite 200
Colorado Springs, CO 80907
lab@mcshiconsulting.com
Project: 21-1024

NORTHCREST CENTER
2510 CANADA DR. SUITES 100-196,
COLORADO SPRINGS, CO 80922
LEISURE CONSTRUCTION

SHEET NAME: SITE PHOTOMETRIC PLAN
PROJECT STATUS: DEVELOPMENT PLANS

ARCHING:	FAO
DRAWN:	MRM
CHECKED:	
DATE:	11.04.2021
REVISION:	DATE
JOB NO.:	180649
SHEET NO.:	DP.10

EDGE1 LED Architectural Wall Sconce

Specifications
 Depth (D1): 5.5"
 Depth (D2): 1.5"
 Height: 8"
 Width: 9"
 Weight: 1.8 lbs
 (without options)

WEDGE LED Family Overview

Model	Depth (D1)	Depth (D2)	Height	Width	Weight
WEDGE1-LB	4W	-	-	1.20	2.00
WEDGE1-LB	10W	10W	Standard / High	2.00	2.00
WEDGE1-LB	15W	10W	Standard / High	2.50	3.00
WEDGE1-LB	15W	10W	Standard / High	3.00	3.00
WEDGE1-LB	15W	10W	Standard / High	3.50	3.00

Ordering Information EXAMPLE: WEDGE1 LED F2 40K 80CRI VF MVOLT SRM PE DBXDD

Model	Power	Color	Options
WEDGE1-LB	F1	27K	80CRI
WEDGE1-LB	F2	3000K	90CRI

Accessories

- WEDGE1-EB: Emergency battery backup, 3.6V NiMH (2x) (3.6V NiMH)
- WEDGE1-EB: Emergency battery backup, 3.6V NiMH (2x) (3.6V NiMH)
- WEDGE1-EB: Emergency battery backup, 3.6V NiMH (2x) (3.6V NiMH)

Commercial Outdoor One Lithonia Way • Corning, Georgia 30022 • Phone: 1-800-755-5276 • www.lithonia.com

D-Series Size 1 LED Area Luminaire

Specifications
 Depth: 1.5"
 Length: 12.5"
 Height: 3.5"
 Weight: 7.0 lbs
 Height (H): 3.5"
 Height (H): 3.5"
 Weight (W): 7.0 lbs

Mounting Options & Accessories

- EWBH - 4W Emergency Battery Backup
- EWB - Surface Mounted Back Box
- AWB - 2-Inch Architectural Wall Spacer

Ordering Information EXAMPLE: DSX1 LED P7 40K TMVOLT SP1A NLR2A PIRH2 DBXDD

Model	Power	Color	Options
DSX1-LB	P1	27K	80CRI
DSX1-LB	P2	3000K	90CRI

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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Temperature	Multiplier
0°C	1.00
5°C	0.99
10°C	0.98
15°C	0.97
20°C	0.96
25°C	0.95
30°C	0.94
35°C	0.93
40°C	0.92
45°C	0.91
50°C	0.90

Projected LED Lumen Maintenance

Hours	LM79-0	LM79-1	LM79-2	LM79-3	LM79-4	LM79-5
1000	95.0	94.0	93.0	92.0	91.0	90.0
2000	90.0	89.0	88.0	87.0	86.0	85.0
3000	85.0	84.0	83.0	82.0	81.0	80.0
4000	80.0	79.0	78.0	77.0	76.0	75.0
5000	75.0	74.0	73.0	72.0	71.0	70.0

Ordering Information

Model	Power	Color	Options
DSX1-LB	P1	27K	80CRI
DSX1-LB	P2	3000K	90CRI

Commercial Outdoor One Lithonia Way • Corning, Georgia 30022 • Phone: 1-800-755-5276 • www.lithonia.com

Performance Data

Lumen Output

Power	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume
10W	15°	1.02m	1.02m	0.01m²	0.01m³
15W	15°	1.53m	1.53m	0.02m²	0.02m³
15W	30°	3.06m	3.06m	0.08m²	0.08m³

Electrical Load

Power	Current	Voltage	Power Factor
10W	0.045A	120V	0.95
15W	0.068A	120V	0.95
15W	0.136A	120V	0.95

Lumen Multiplier for 90CRI

Power	Multiplier
10W	0.95
15W	0.95
15W	0.95

Lumen Output in Emergency Mode (4000K, 80 CRI)

Power	Output
10W	540
15W	640
15W	640

Lumen Ambient Temperature (LAT) Multipliers

Temperature	Multiplier
0°C	1.00
5°C	0.99
10°C	0.98
15°C	0.97
20°C	0.96
25°C	0.95
30°C	0.94
35°C	0.93
40°C	0.92
45°C	0.91
50°C	0.90

Projected LED Lumen Maintenance

Hours	LM79-0	LM79-1	LM79-2	LM79-3	LM79-4	LM79-5
1000	95.0	94.0	93.0	92.0	91.0	90.0
2000	90.0	89.0	88.0	87.0	86.0	85.0
3000	85.0	84.0	83.0	82.0	81.0	80.0
4000	80.0	79.0	78.0	77.0	76.0	75.0
5000	75.0	74.0	73.0	72.0	71.0	70.0

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Photometric Diagrams

Emergency Egress Options

Emergency Battery Backup

Dual Switching (DS) Option

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Ordering Information

Accessories

- EWBH - 4W Emergency Battery Backup
- EWB - Surface Mounted Back Box
- AWB - 2-Inch Architectural Wall Spacer

Options

- ESS - External Glass Shield

Drilling

Handhole Orientation

Tenon Mounting Slipfitter

Model	Power	Color	Options
DSX1-LB	P1	27K	80CRI
DSX1-LB	P2	3000K	90CRI

DSX1 Area Luminaire - EPA

Model	Power	Color	Options
DSX1-LB	P1	27K	80CRI
DSX1-LB	P2	3000K	90CRI

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Photometric Diagrams

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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Temperature	Multiplier
0°C	1.00
5°C	0.99
10°C	0.98
15°C	0.97
20°C	0.96
25°C	0.95
30°C	0.94
35°C	0.93
40°C	0.92
45°C	0.91
50°C	0.90

Projected LED Lumen Maintenance

Hours	LM79-0	LM79-1	LM79-2	LM79-3	LM79-4	LM79-5
1000	95.0	94.0	93.0	92.0	91.0	90.0
2000	90.0	89.0	88.0	87.0	86.0	85.0
3000	85.0	84.0	83.0	82.0	81.0	80.0
4000	80.0	79.0	78.0	77.0	76.0	75.0
5000	75.0	74.0	73.0	72.0	71.0	70.0

Ordering Information

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11.04.2021

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LEISURE CONSTRUCTION

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SITE PHOTOMETRIC PLAN

DEVELOPMENT PLANS

ARCHING: FAO
 DRAWN: MRM
 CHECKED: MRM

DATE: 11.04.2021

REVISION: DATE

JOB NO: 180649

SHEET NO: DP.11