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practical design and reliable service

PCD File No. PPR-21-036

October 15, 2021

John Green  
Project Manager  
El Paso County, Planning and Community Development  
2880 International Circle, Suite 110  
Colorado Springs, CO 80910

Re: Northcrest Center  
2510 & 2522 Canada Drive  
Lots 3, 4, & 5 Northcrest Center Filing No. 2 Phase 1  
Colorado Springs, Colorado 80922



Dear Mr. Green,

It is our pleasure to submit this letter of intent to pursue land use and related approvals for the development of the 3.32 total acres for the 3 properties in the city of Colorado Springs at 2510 & 2522 Canada Drive (Parcel numbers 53323-09-004, 53323-09-005, 53323-09-006), currently owned by K & S Development LLC, 4432 Slice Dr Colorado Springs.

The proposed development is located at 2510 & 2522 Canada Dr at the northwest corner of Constitution and Canada Ave. It will consist of 13 office /warehouse units (29,640 S.F. total) with dedicated outdoor storage yards (29,521 S.F.) screened by CMU walls. The site consists of proposed asphalt pavement for parking and driveway access from Canada and egress onto Bismark Rd. Concrete sidewalks are proposed along Bismark Rd, Canada Dr, and Constitution Av. in the public right of way connecting to existing sidewalk of the adjacent parcel and some internal sidewalk for the office building. The development also consists of improved landscaping.

The parcel in it's entirety consists of three lots combined for a total of 3.32 Acres total 144,776 S.F. and is currently zoned "CC CAD-O" Commercial Community w/ Commercial Airport District Overlay and shall remain under TSN:53323-09-004, 005, & 006.

A traffic memorandum was completed to demonstrate that the development does not overburden street capacity of local public facilities. The storage yards will be screened from the public way by an opaque an 8' min CMU wall that encloses each yard. The wall and the proposed building will step with the sites topography as to be less obtrusive. There is no anticipated noise pollution in excess of any typical Commercial use. Ingress and egress will be provided along Canada and Bismark to minimize impacts on Constitution Ave. The proposed parking is more than adequate for the proposed uses. The design preserves the natural topographic features as much as possible. The existing vegetation on the site is native grasses. Landscaping is proposed to screen the perimeter of the property and to visually buffer the project.

The parcel shall be provided with water and sewer utility services by Cherokee Metropolitan District, emergency Fire Protection services by Cimarron Hills Fire Department, Electric Service

from Mountain View Electric and CSU shall provide natural gas services. The client intends to access the site from Canada Drive on the east and Bismark Road from the north via existing access easement with the property to the west.

The purpose and request of this application is to approve the site development of lots 3, 4, and 5 with the proposed 29,640 S.F., (1) one story office/warehouse building with dedicated fenced and gated outdoor storage yards. Each Unit tenant will be required to have trash receptacles housed within their respective fenced storage yard. All associated on-site parking, landscaping, utilities and drainage facilities as shown in the supporting submittal plans and reports will be provided. The proposal complies with the current Commercial Community zoning regulations. Approval of this application shall not pose any negative effects to the surrounding or downstream properties.

The review criteria within the development plan checklist provided by El Paso County Planning and Community Development are satisfied by this proposed developments intent and design. Provide to El Paso County includes the Development plan set, Elevations, Floor plans, Financial assurance forms, Drainage Report, GEC plan, Landscape plans, Photometric Plans, ESQC Permit, SWM Plan, SWMP checklist, Traffic Memo, and Detention Maintenance agreement.

I hope this provides the information you have requested. Should you have questions, please feel free to contact me at 719-434-5630 or the Owners Sean Edwards at 727-424-5121.

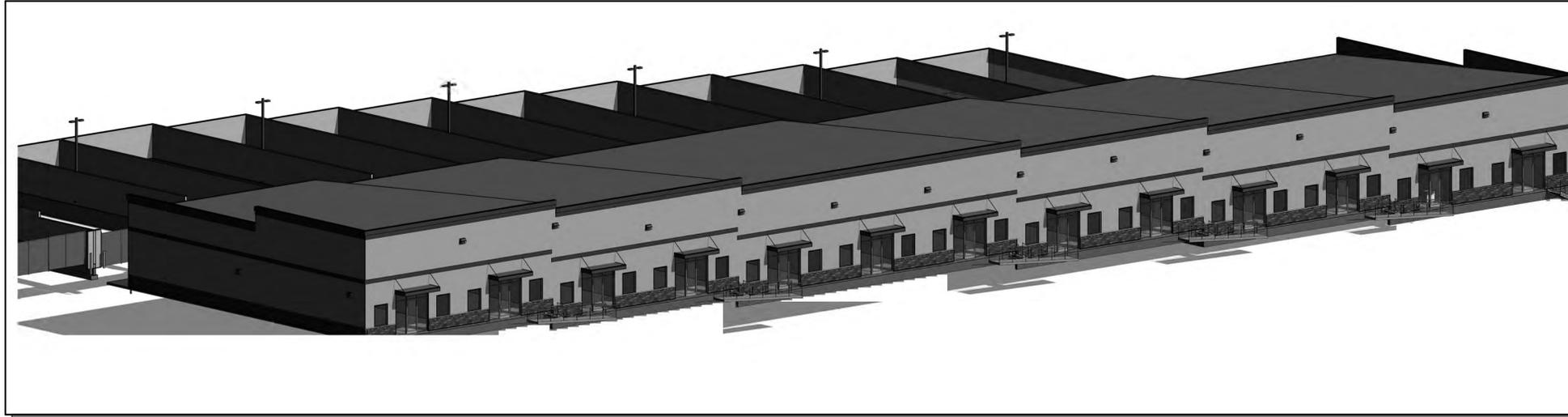
Respectfully,

Jennifer Zezlina

RMG Architects & Engineers

# NORTHCREST CENTER DEVELOPMENT PLAN

2510 & 2522 CANADA DR  
COLORADO SPRINGS, COLORADO 80922



## PROJECT INFORMATION

SITE AREA: 3.32 AC (144,776 S.F.)  
 DEVELOPMENT NAME: NORTHCREST CENTER (OFFICE/WAREHOUSE)  
 DESCRIPTION: OFFICE/ WAREHOUSE AND STORAGE YARD  
 TAX SCHEDULE NO: 53323 09 004, 53323 09 005, 53323 09 006  
 LEGAL DESCRIPTION: LOT 3, LOT 4 & LOT 5 NORTHCREST CENTER, FILING NO. 2  
 PROPERTY ADDRESS: 2510 & 2522 CANADA DR, COLORADO SPRINGS, COLORADO 80922  
 EXISTING ZONING: CC CAD-O (NO CHANGE)  
**BUILDING SETBACKS:**  
 FRONT 25'-0"  
 SIDE (STREET) 25'-0"  
 SIDE (INTERIOR LOT LINE) 0'-0"  
 REAR (NEXT TO RR ZONE) 15'-0"  
**LANDSCAPE SETBACKS:**  
 FRONT 20'-0"  
 SIDE (STREET) 10'-0"  
 SIDE (INTERIOR LOT LINE) 10'-0"  
 REAR (NEXT TO RR ZONE) 10'-0"  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: OFFICE/ WAREHOUSE  
 BUILDING HEIGHT: 40' MAX ALLOWED  
**BUILDING INFO:**  
 GROSS BUILDING AREA 31,492 S.F.  
 BUILDING OCCUPANCY (NON-SEPARATED USES) B, S-2  
 TYPE OF CONSTRUCTION V-B  
 FIRE SPRINKLER YES  
 AREA SEPERATION WALLS YES 1 HR BETWEEN UNITS AND OFFICE/ WAREHOUSE  
**LOT DATA & COVERAGE:**  
 LOT COVERAGE: 21.26%  
**IMPERVIOUS AREA:**  
 BUILDING 31,492 S.F.  
 STORAGE YARD/ POND WALLS 1,141 S.F.  
 PAVED 52,554 S.F.  
 SIDEWALKS 14,200 S.F.  
 TOTAL 99,387 S.F. (68.64% LOT)  
**PERVIOUS AREA:**  
 LANDSCAPING 29,020 S.F.  
 GRAVEL STORAGE YARD 28,210 S.F.  
 TOTAL 57,230 S.F. (39.53% LOT)  
**PARKING DATA:**  
 OFFICE 1/200 (8,270 S.F.) = 42 PS REQUIRED  
 WAREHOUSE 1/1000 (23,380 S.F.) = 24 PS REQUIRED  
 HC ACCESS (51-75) 3 HC SPACES REQ  
 TOTAL 66 PS REQUIRED  
 PARKING PROVIDED: 66 TOTAL PS (INCL 2 HC + 1 VAN)  
**SIGNAGE:**  
 A SIGNAGE PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY. INCLUDE ALL ON-SITE DIRECTIONAL SIGNS.  
 PROPOSED DEV. SCHED. FALL/WINTER 2021/2022



VICINITY MAP  
NOT TO SCALE



## GENERAL NOTES

### FLOODPLAIN STATEMENT:

THIS PROPERTY IS NOT LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA "X" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS-MAP NUMBER 08041C0276 G EFFECTIVE DECEMBER 7, 2018.

### ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

## SHEET LIST

SHEET NUMBER	SHEET NAME
DP-01	DEVELOPMENT PLAN -COVER SHEET
DP-02	DEVELOPMENT SITE PLAN
DP-03	FLOOR PLAN
DP-04	EXTERIOR ELEVATIONS
DP-05	UTILITY PLAN
DP-06	CONSTRUCTION DETAILS 1
DP-07	CONSTRUCTION DETAILS 2
DP-08	LANDSCAPE PLAN
DP-09	LANDSCAPE DETAILS
DP-10	SITE PHOTOMETRIC PLAN
DP-11	SITE PHOTOMETRIC PLAN DETAILS

## DEVELOPMENT TEAM

**Owner:**  
**LEISURE CONSTRUCTION**  
 3442 Tampa Rd, Suite B  
 Palm Harbor, FL 34684  
 Contact: SEAN EDWARDS  
 Sean@leisureconstruction.com  
 727-242-5121

**Civil Engineer:**  
**RMG- Rocky Mountain Group**  
 14 Inverness Dr E, Ste E-136  
 Englewood, CO 80112  
 Contact: Scott Marvel, P.E.  
 SMarvel@rmg-engineers.com  
 303-688-9475

**Landscape Architect:**  
**JWLA, LLC**  
 P.O. Box 354  
 Palmer Lake, CO 80133  
 Contact: Jon Walsh  
 jwlandarch@gmail.com  
 719-640-9428

**Architect/ Landplanning:**  
**RMG-Rocky Mountain Group**  
 19375 Beacon Lite Road  
 Monument, CO 80132  
 Contact: Keith Moore,  
 KMoore@rmg-engineers.com  
 719-203-3321



NORTHCREST CENTER - STORAGE  
YARD WALLS  
2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922  
LEISURE CONSTRUCTION

DEVELOPMENT PLAN  
-COVER SHEET  
DEVELOPMENT PLANS

ARCHING:	KEM
DRAWN:	JJZ
CHECKED:	KEM
DATE	08.09.22
REVISION	DATE
JOB NO:	180649
SHEET NO:	DP.01

ADJ PROP  
53323 08 031  
2508 WEYBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 08 032  
2507 WEYBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 08 040  
2630 TIBBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 08 041  
2610 TIBBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 08 042  
2625 TIBBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 08 043  
2625 TIBBURN WAY  
RS-6000 CAD-O  
RESIDENCE

ADJ PROP  
53323 09 007  
8805 BISMARCK RD  
CC CAD-O  
DAY CARE FACILITY

ADJ PROP  
53323 10 003  
2525 CANADA DR  
PUD CAD-O  
EDUCATION

ADJ PROP  
54052 18 002  
CANADA DR  
CC CAD-O  
BUSINESS

ADJ PROP  
54052 07 050  
2455 CANADA DR  
RM-30 CAD-O  
APARTMENTS

### BISMARCK ROAD

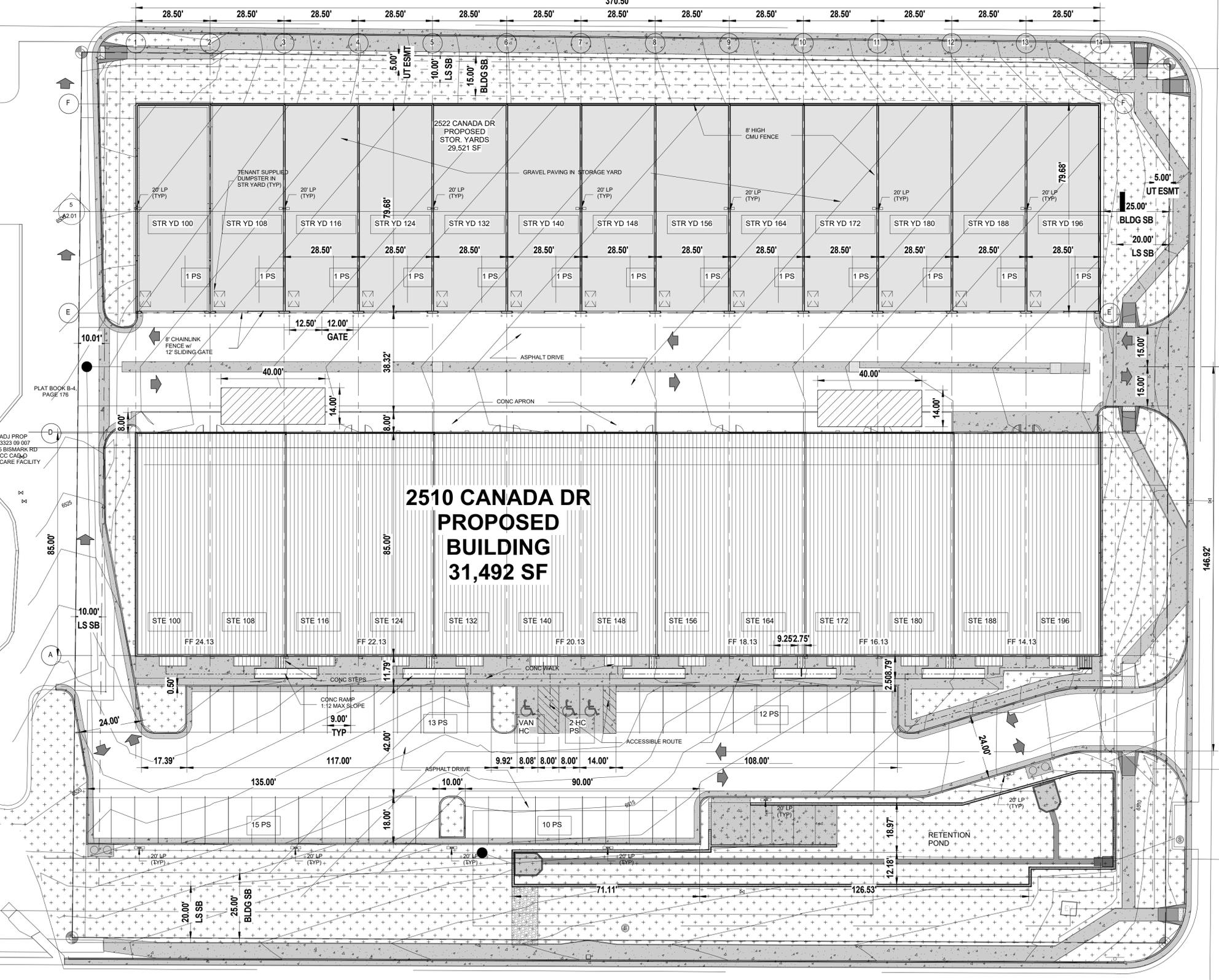
(80' ROW)  
LOCAL

### CONSTITUTION AVE

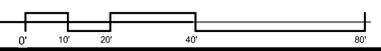
(120' ROW)  
MINOR ARTERIAL

### CANADA DRIVE

(60' ROW)  
URBAN LOCAL



**1** DEVELOPMENT SITE PLAN  
DP.02 SCALE: 1" = 20'-0"



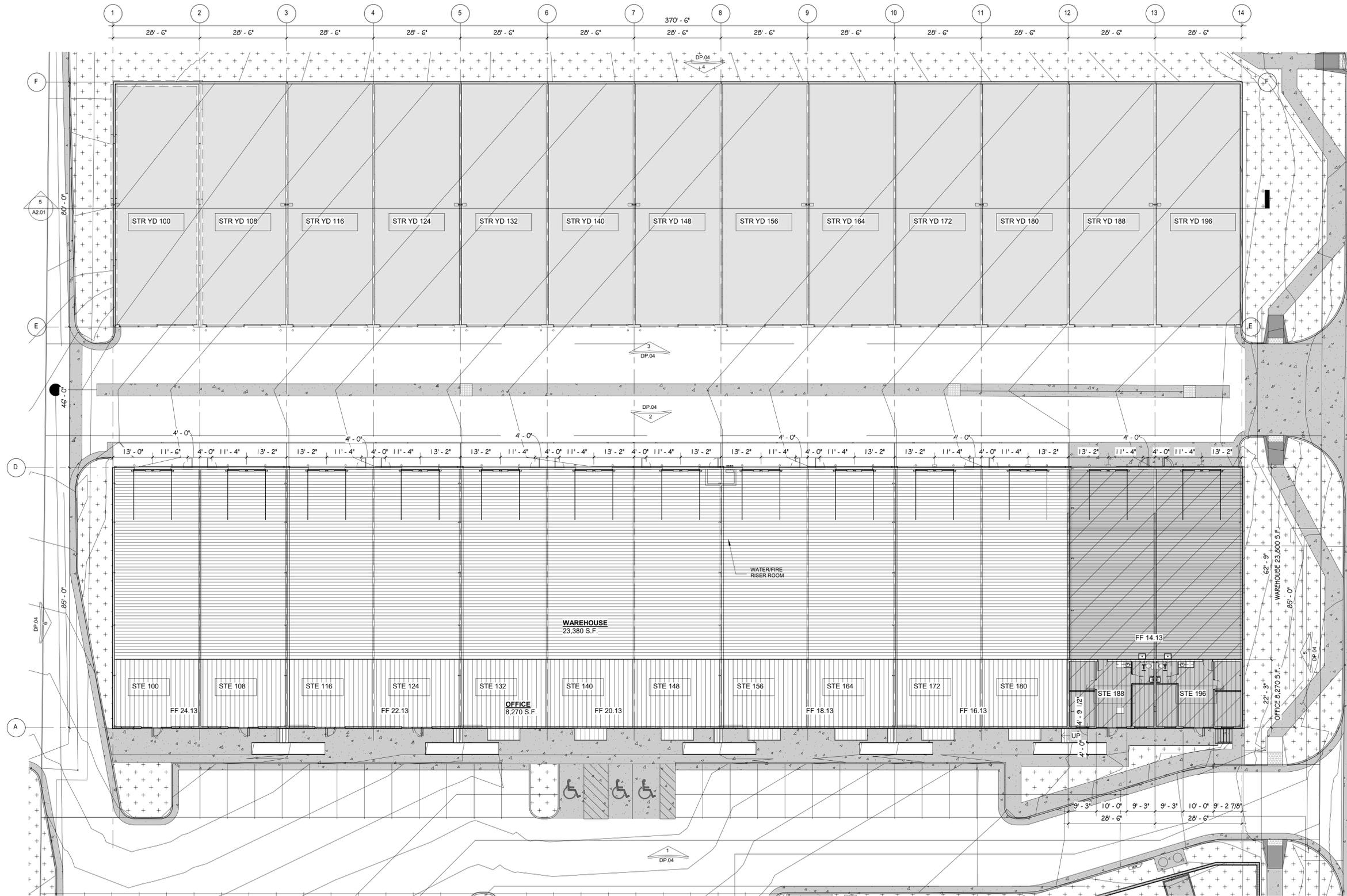
PCD FILE NO PPR-21-036

ROCKY MOUNTAIN GROUP  
Geotechnical  
Materials Testing  
Civil/Planning  
**RMG**  
ARCHITECTURAL  
STRUCTURAL  
FORENSIC

NORTHWEST CENTER - STORAGE  
YARD WALLS  
2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922  
LEISURE CONSTRUCTION

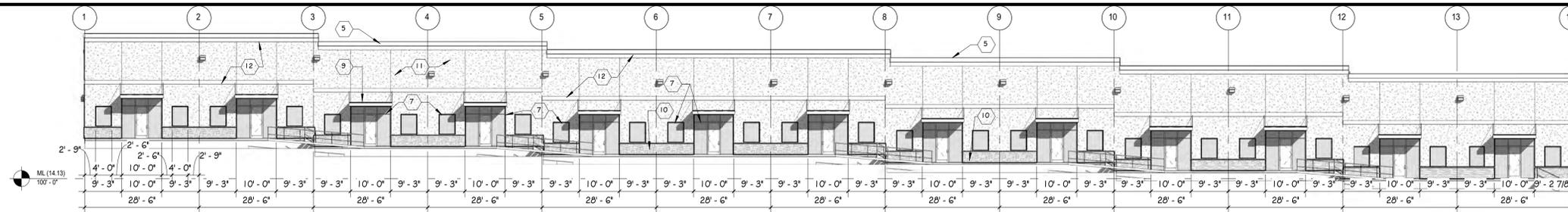
DEVELOPMENT SITE PLAN  
DEVELOPMENT PLANS

SHEET NAME	DEVELOPMENT SITE PLAN
PROJECT STATUS	DEVELOPMENT PLANS
ARCH/ENG	KEM
DRAWN	JUZ
CHECKED	KEM
DATE	08.09.22
REVISION	DATE
JOB NO.	180649
SHEET NO.	DP.02

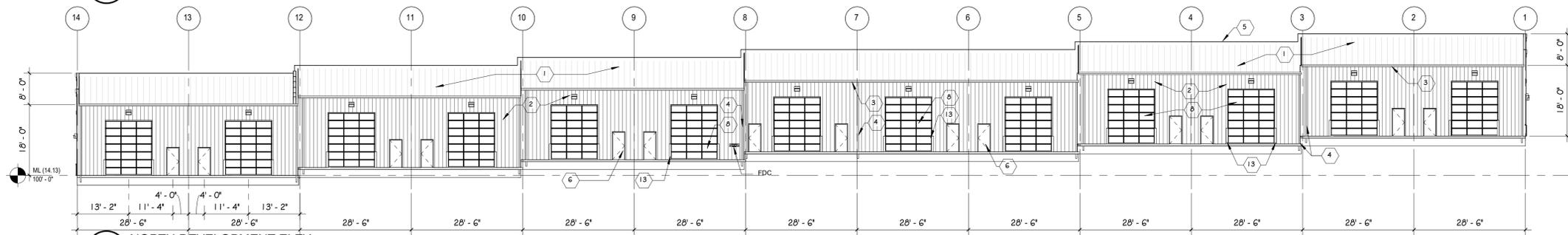


**1 FLOOR PLAN**  
 DP.03 SCALE: 1/16" = 1'-0"

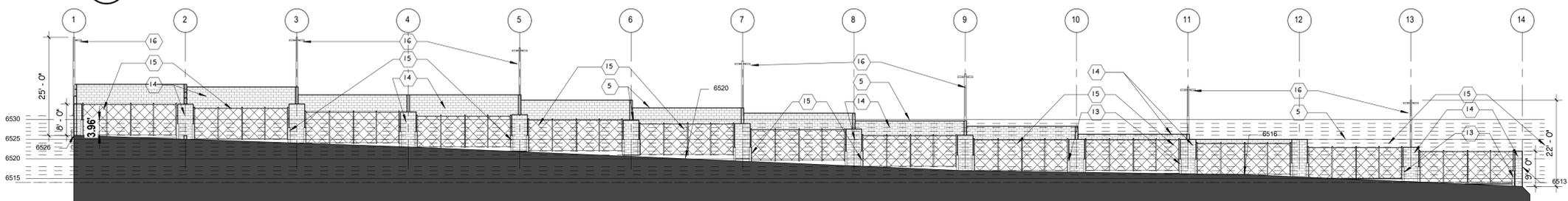
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ARCHENGE	KEM	
DRAWN	JUZ	
CHECKED	KEM	
DATE	08.09.22	
REVISION	DATE	
JOB NO.	180649	
SHEET NO.	DP.03	



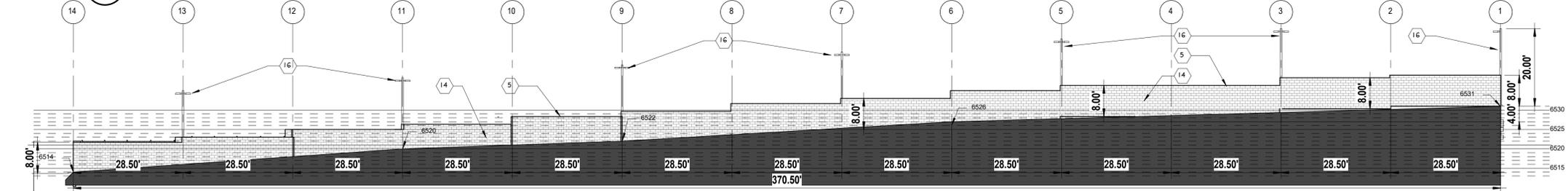
**1 SOUTH DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



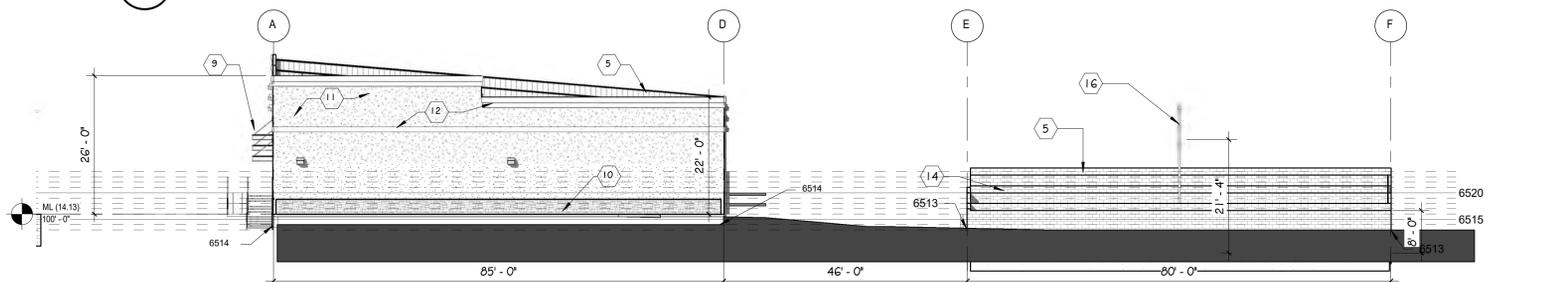
**2 NORTH DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



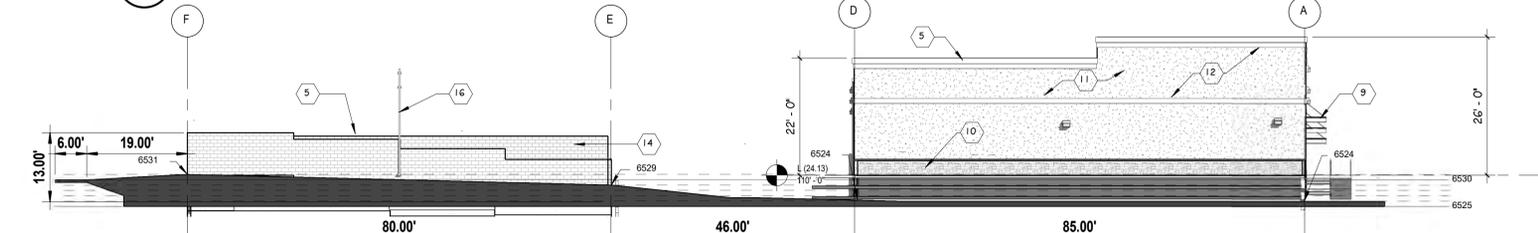
**3 SOUTH YARD DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**4 NORTH YARD DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**5 EAST DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**6 WEST DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"

MARK	MATERIAL	COLOR	FINISH
1	METAL ROOF (PEMB MFGR)	TBD	FACTORY
2	METAL SIDING (PEMB)	TBD	FACTORY
3	PRE FINISHED GUTTERS (PEMB)	TO MATCH SIDING	FACTORY
4	PRE FINISHED DOWNSPOUTS (PEMB)	TO MATCH SIDING	FACTORY
5	METAL CAP FLASHING	TBD	FACTORY
6	HM DOORS (INSULATED)	TBD	FACTORY
7	2'x4 1/2" ALUM STOREFRONT	CLEAR ANODIZED	FACTORY
8	OVERHEAD SECTIONAL DOORS	POLAR WHITE	FACTORY
9	STEEL AWNING (PEMB)	TBD	FACTORY
10	SYNTHETIC STONE VENEER	TBD	FACTORY
11	STUCCO SYSTEM	TBD	PAINT
12	STUCCO ASCENT COLOR	TBD	FACTORY
13	STEEL PIPE BOLLARDS	TRAFFIC YELLOW	FACTORY
14	SPLIT-FACED CMU	TRI-BLEND COLOR	FACTORY
15	CHAINLINK FENCE W/ SLATS	SLATS 90% OPACITY	FACTORY
16	LIGHT POLE	TBD	FACTORY

PCD FILE NO PPR-21-036

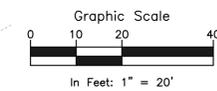
**ROCKY MOUNTAIN GROUP**  
 Geotechnical  
 Materials Testing  
 Civil/Planning  
**RMG**  
 ENGINEERS ARCHITECTS  
 SOUTHERN COLORADO  
 19375 BEACH LANE RD., MONUMENT, CO 80132  
 SOUTHERN COLORADO, COLORADO, NORTHWESTERN COLORADO

**NORTHCENT CENTER - STORAGE  
 YARD WALLS**  
 2510 & 2522 CANADA DR, COLORADO SPRINGS, CO 80922  
**LEISURE CONSTRUCTION**

**EXTERIOR ELEVATIONS**  
**DEVELOPMENT PLANS**

ARCH: KEM  
 DRAWN: JZJ  
 CHECKED: km  
 DATE: 08.09.22  
 REVISION DATE  
 JOB NO: 180649  
 SHEET NO: DP.04

BISMARK ROAD  
(80' PUBLIC R.O.W.)



CANADA DRIVE  
(60' PUBLIC R.O.W.)

CONSTITUTION AVENUE  
(120' PUBLIC R.O.W.)

6805 BISMARK ROAD  
SCH: 5332309007  
ZONING: CC CAD-O  
PLAT NO. 7776  
LOTS 1 & 2 NORTHCREST CENTER,  
A VACATION & REPLAT OF TRACT  
B NORTHCREST FIL NO 2 PHASE 1

PROPOSED COMMERCIAL CENTER BUILDING  
31,215 SF TOTAL  
PROPOSED USE: OFFICE/WAREHOUSE  
OCCUPANCY: B (BUSINESS) & S-1 (STORAGE)

(P) FULL SPECTRUM DETENTION BASIN  
5,000 SF BOTTOM, 5,800 SF TOP, 4.0' HT.,  
21,600 CF VOLUME  
(SEE WALL DESIGN BY SEPARATE DOCUMENT)

REMOVE APPROX. 140LF  
SS LATERAL AND CAP  
(P) 18" RCP STORM PIPE

**ROCKY MOUNTAIN GROUP**  
ARCHITECTS  
Structural  
Forensics  
ENGINEERS  
SOUTHERN COLORADO  
2910 ALPINE BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918  
719.536.6500 WWW.RMENGINEERS.COM  
Structural Engineering, Driveway Design, Right-of-Way

NOT FOR CONSTRUCTION  
FOR CIVIL ONLY

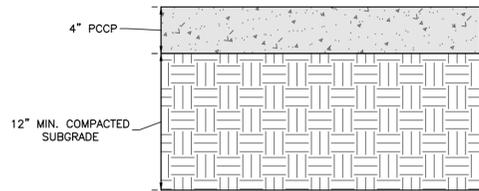
**NORTHCREST PEMB DEVELOPMENT**  
2510 & 2522 CANADA DRIVE  
COLORADO SPRINGS, COLORADO  
LEISURE CONSTRUCTION

**UTILITY PLAN**  
PROJECT STATUS  
**DESIGN DEVELOPMENT**

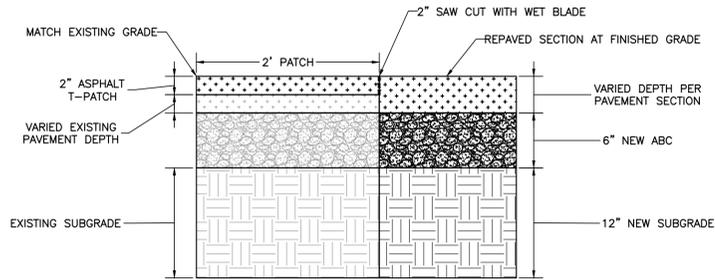
ENG:	DOV	
DRAWN:	TPT	
CHECKED:	DOV	
DATE:	08/12/2022	
#	REVISION	DATE
JOB NO.:	180649	
SHEET NO.:	DP.05	
of 11		

**PAVEMENT MATERIALS & SUBGRADE PREPARATION**

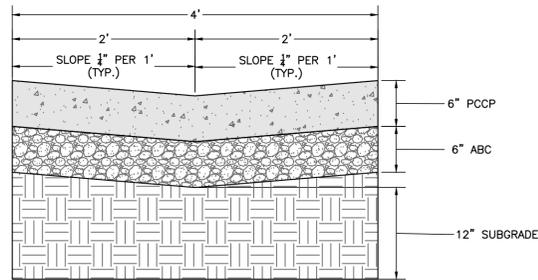
PAVEMENT MATERIALS AND SUBGRADE PREPARATION SHOULD BE SELECTED, PREPARED, AND PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY RMG-ROCKY MOUNTAIN GROUP DATED FEBRUARY 23, 2021 AS WELL AS THE CITY OF COLORADO SPRINGS ENGINEERING DEPARTMENT AND THE PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS. TESTS SHOULD BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES PRESENTED IN THE REPORT AND SPECIFICATIONS.



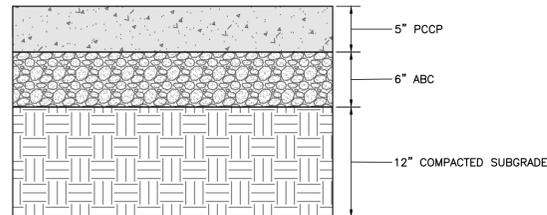
**A** TYPICAL SIDEWALK PAVEMENT SECTION  
NOT TO SCALE



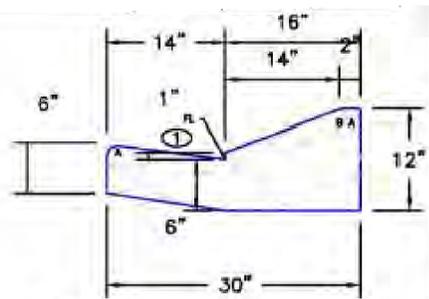
**B** ASPHALT PATCH PAVEMENT SECTION  
NOT TO SCALE



**C** CONCRETE DRAINAGE PAN  
NOT TO SCALE



**D** TYPICAL CONCRETE PAVEMENT SECTION  
NOT TO SCALE



**EPC OPT TYPE C CURB AND GUTTER (EPC STD SD\_2-20)**  
NOT TO SCALE

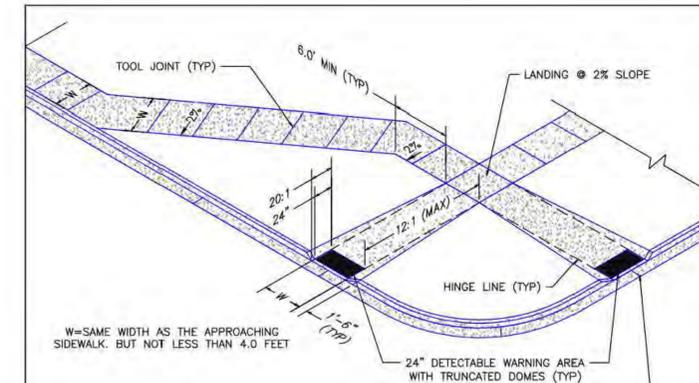
LEGEND FOR RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

DRIVEWAY WIDTH	A	B
12'	6'	3'
14'	7'	3'-6"
16'	8'	4'
18'	9'	4'-6"
20'	10'	5'
22'	11'	5'-6"
24'	12'	6'
26'	13'	6'-6"
28'	14'	7'
30'	15'	7'-6"

DATE APPROVED: 8/11/11  
André P. Brackin  
DEPARTMENT OF TRANSPORTATION

Driveway Detail With Detached Sidewalk Standard Drawing  
REVISION DATE: 11/10/04  
FILE NAME: SD\_2-25

SCALE: NOT TO SCALE



DATE APPROVED: 7/9/09  
André P. Brackin  
DEPARTMENT OF TRANSPORTATION

Pedestrian Intersection Ramp Standard Drawing  
REVISION DATE: 12/8/15  
FILE NAME: SD\_2-41

CONSTRUCTION DETAILS 1  
DESIGN DEVELOPMENT

DATE: 08/12/2022

#	REVISION	DATE

JOB NO. 180649  
SHEET NO. DP.06  
of 11

**ROCKY MOUNTAIN GROUP**  
ARCHITECTS  
Geotechnical  
Materials Testing  
Civil/Planning  
**RMG**  
ENGINEERS  
Architectural  
Structural  
Forensics

SOUTHERN COLORADO  
1937 S BEACON LITE RD., MONUMENT, CO 80132  
719.585.7145 WWW.RMGENGINEERS.COM  
Structural Engineering, Driveway Design, Right-of-Way

NORTHCREST PEMB DEVELOPMENT  
2510 & 2522 CANADA DRIVE  
COLORADO SPRINGS, COLORADO  
LEISURE CONSTRUCTION

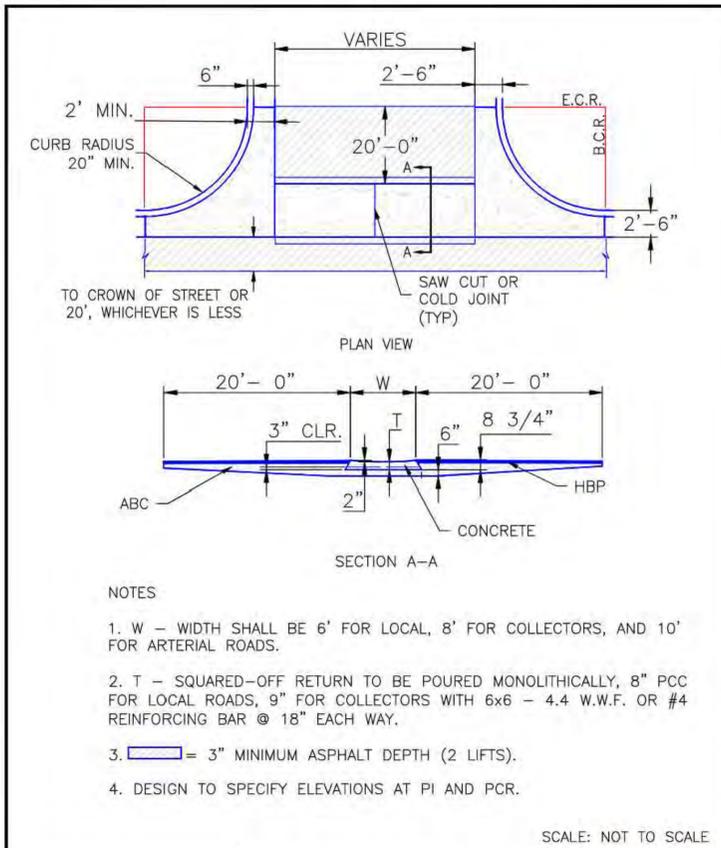
CONSTRUCTION DETAILS 1  
DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION FOR CIVIL ONLY

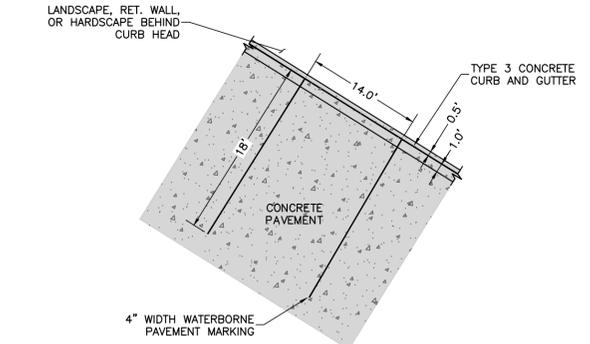
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LAST SAVED: 8/9/2022 2:13:08 PM PATH: C:\Projects\SD\_2-18\Drawings\Drawings\180649\CD\Drawings\180649\SS\Construction\180649\SS\Construction\Detail.dwg

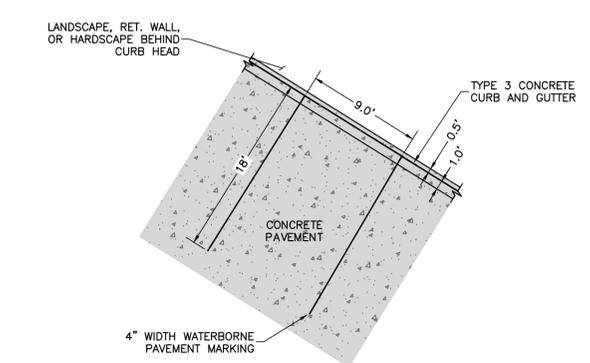
PCD FILE NO PPR-21-036



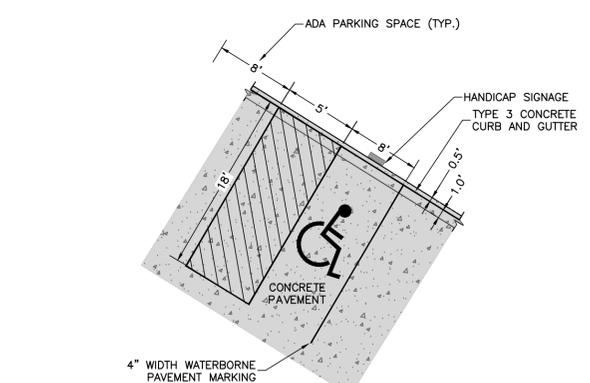
8/11/11	Typical Cross Pan Layout Detail Standard Drawing		
DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	



TYPICAL EQUIP LOAD/UNLOAD PARKING STALL

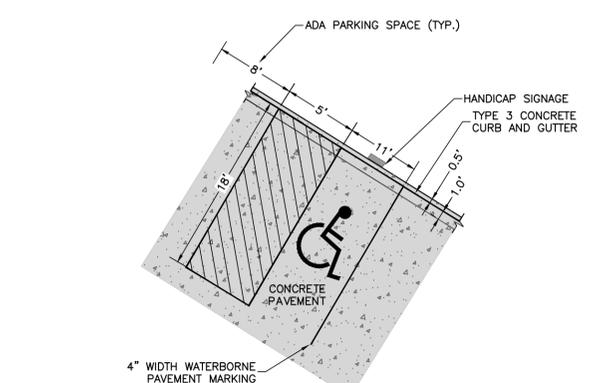


TYPICAL NON-HANDICAP PARKING STALL



TYPICAL HANDICAP PARKING STALL

\*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.



TYPICAL HANDICAP VAN PARKING STALL

\*REFER TO CITY OF COLORADO SPRINGS CODE OF ORDINANCES SECTION 7.4.205 F FOR DIMENSIONAL REQUIREMENTS.

**ROCKY MOUNTAIN GROUP**  
ARCHITECTS  
Geotechnical  
Materials Testing  
Civil Planning  
**RMG**  
ENGINEERS  
Architectural  
Structural  
Forensics

SOUTHERN COLORADO  
2910 AUSTIN BLUFFS PARKWAY, COLORADO SPRINGS, CO 80918  
PH: 719-534-0375, WWW.ROCKYMOUNTAINENGINEERS.COM  
SOUTHERN COLORADO ENGINEERING, ARCHITECTURE, PLANNING

**NORTHCREST PEMB DEVELOPMENT**  
2510 & 2522 CANADA DRIVE  
COLORADO SPRINGS, COLORADO  
LEISURE CONSTRUCTION

**CONSTRUCTION DETAILS 2**  
PROJECT STATUS:  
**DESIGN DEVELOPMENT**

ENG: DOW  
DRAWN: TPT  
CHECKED: DGW  
DATE: 08/12/2022

#	REVISION	DATE

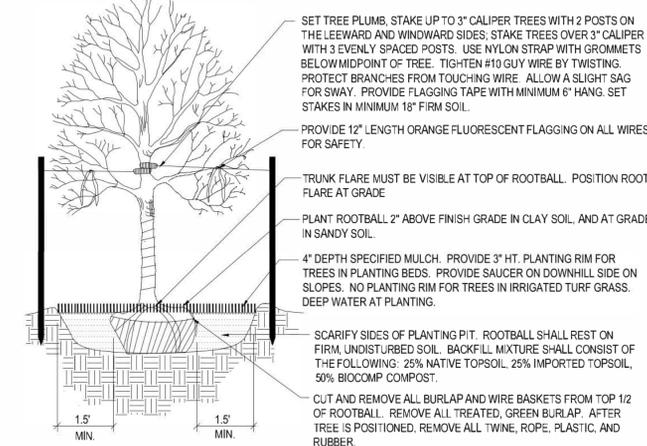
JOB NO.: 180649  
SHEET NO.: DP.07  
of 11

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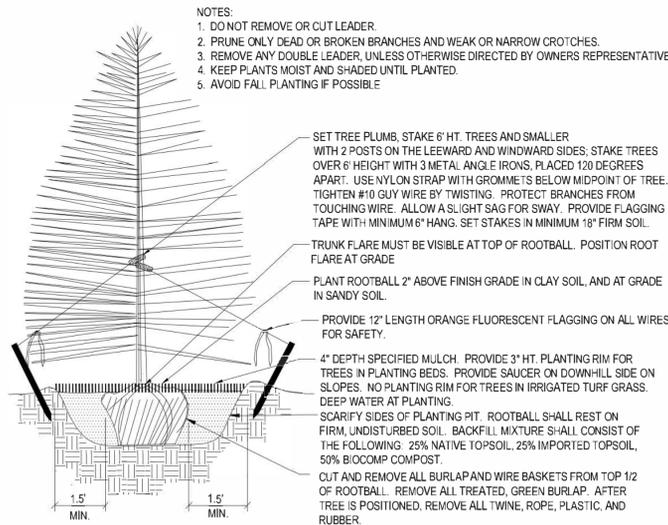
# PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



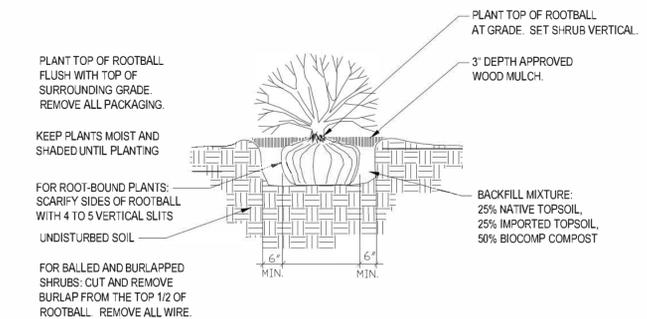
**1** Deciduous Tree Planting Detail

NOT TO SCALE



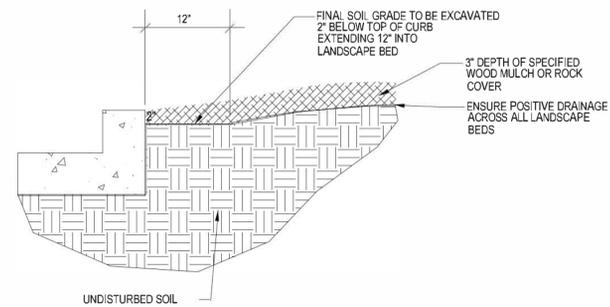
**2** Coniferous Tree Planting Detail

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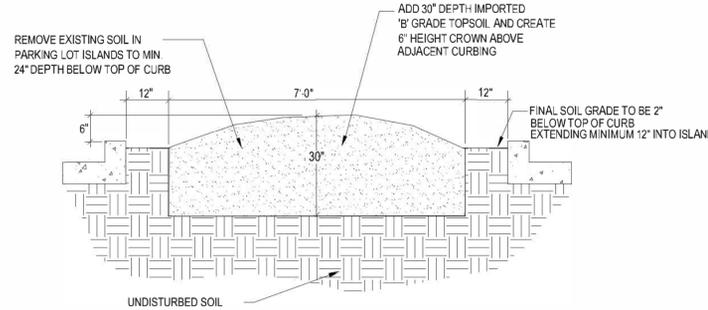
**3** Shrub Planting Detail

SCALE: NOT TO SCALE



**4** Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE



**5** Parking Lot Island Excavation For Trees

SCALE: NOT TO SCALE

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- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
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- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT.

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- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
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- ALL AREAS SHOWN AS 'IRRIGATED NATIVE SEED MIX' TO BE SEEDED WITH 'EL PASO COUNTY ALL PURPOSE LOW GROW MIX' (25% BUFFALOGRASS, 20% BLUE GRAMA, 29% SIDEOTS GRAMA, 5% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, AND 1% SAND DROPSEED) BY HYDRO-MULCH SEEDING AT A RATE OF 1 LB. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDED AREAS TO RECEIVE EROSION CONTROL BLANKET 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF DEWITT WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED @ 6" O.C. MAX.
- PROPOSED SOD IS TO CONSIST OF A FESCUE BLEND. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH. REFER TO DETAIL ON THIS SHEET.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS.
- GORILLA HAIR WOOD MULCH IS TO BE PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PRO-STEEL BROWN STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, NATIVE GRASS, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. SECURE TO GROUND WITH MANUFACTURER'S STAKES. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO STAKES SECURING OVERLAPPED ENDS.

# SOIL PREPARATION NOTES

- PROPOSED FESCUE SOD AREAS:** ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED NATIVE GRASS AREAS:** ALL SEEDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

# IRRIGATION NOTES

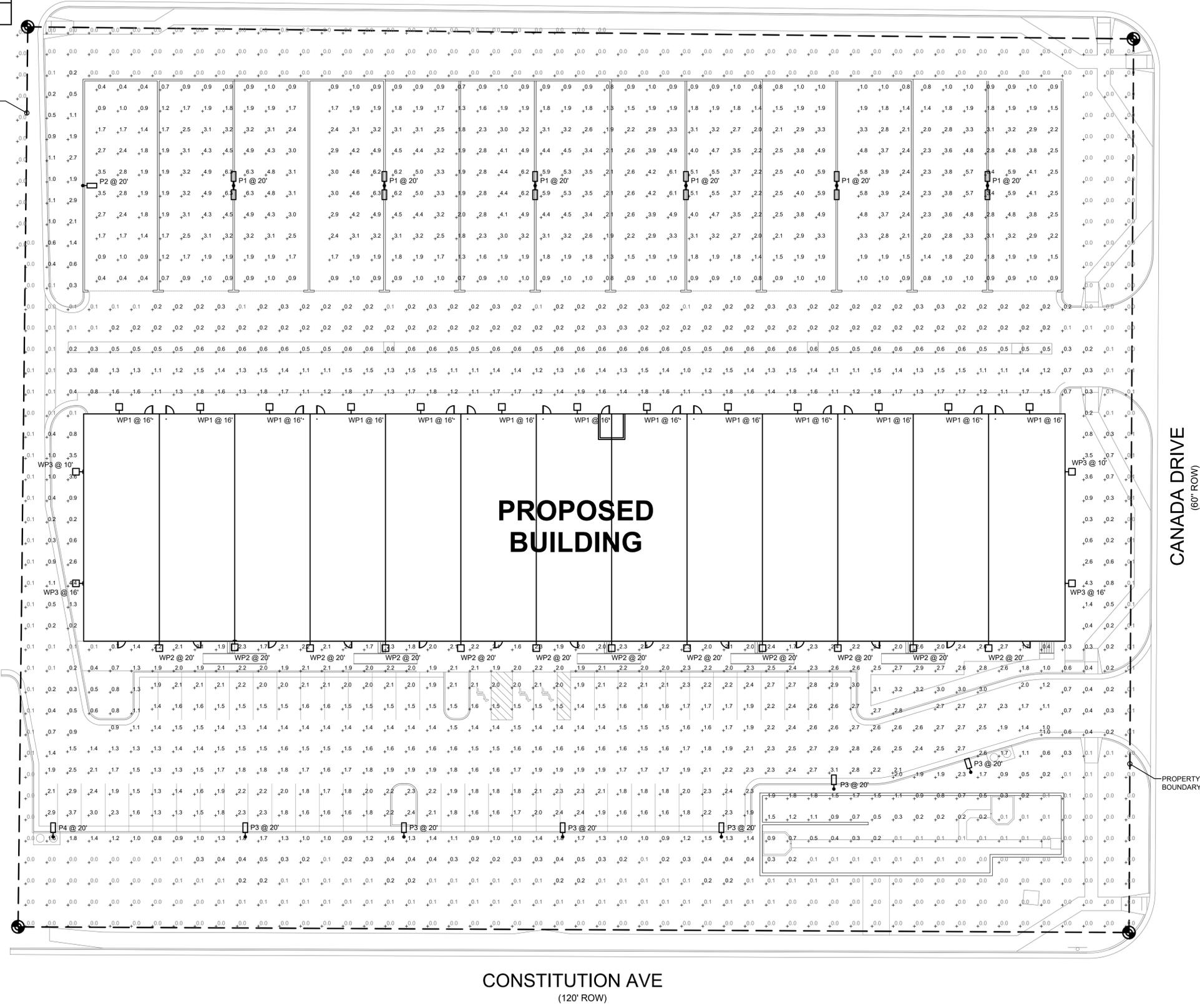
- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL, SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED. PROVIDE (2) EXTRA IRRIGATION WIRES ALONG MAINLINE FOR TROUBLESHOOTING OR FUTURE REPAIRS.
- ALL FESCUE SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE. SPRINKLERS ARE NOT TO SPRAY OVER SIDEWALKS.
- ALL NATIVE SEED AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE. SPRINKLERS ARE NOT TO SPRAY OVER SIDEWALKS.

### LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS
			QTY.	WATT	TYPE				
P1	LITHONIA	DSX1 LED P1 50K TSS MVOLT	2	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	108.0
P2	LITHONIA	DSX1 LED P1 50K TSS MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P3	LITHONIA	DSX1 LED P1 50K T4M MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P4	LITHONIA	DSX1 LED P1 50K LCCO MVOLT	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
WP1	LITHONIA	WDGE1 LED P1 50K 80CRI VF	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0
WP2	LITHONIA	WDGE1 LED P2 50K 80CRI VF	1	15.0	LED	SURFACE	WALLPACK	120/277	15.0
WP3	LITHONIA	WDGE1 LED P1 40K 90CRI VW	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0

### CALCULATION ZONE STATISTICS

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.9	3.7	0.9	4.1:1	2.1:1
STORAGE YARD	+	2.6	6.3	0.4	15.8:1	6.5:1
TO PROPERTY LINE	+	0.6	4.4	0.0	N/A	N/A



3 WDGE1 WALLPACK (WP1 - WP3)  
DP.12 SCALE: NONE



2 DSX1 AREA LUMINAIRE (P1 - P4)  
DP.12 SCALE: NONE

1 SITE PHOTOMETRIC PLAN  
DP.12 SCALE: 1"=20'-0"

ROCKY MOUNTAIN GROUP  
ARCHITECTS  
ENGINEERS  
1875 BEACON BLVD. SUITE 200  
DENVER, CO 80202  
PH: 303.733.1111  
WWW.RMGENGINEERS.COM

PROFESSIONAL SEAL  
07.26.2021

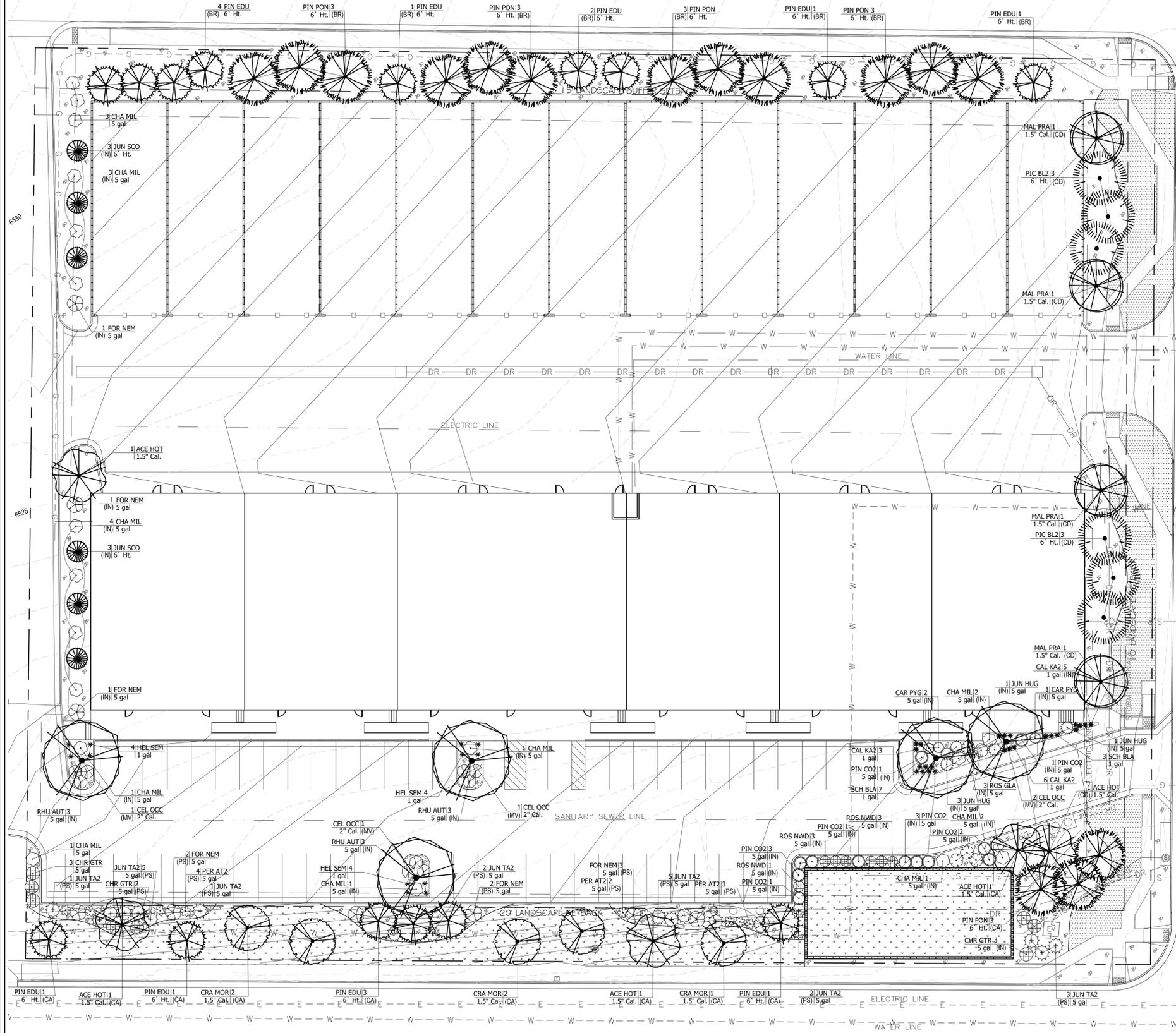
McShea Consulting, LLC  
MECHANICAL + ELECTRICAL + PLUMBING  
4445 Northpark Dr., Suite 200  
Colorado Springs, CO 80907  
fabian@mcshconsulting.com  
Project: 21-1024

NORTHCREST CENTER  
2510 CANADA DR. SUITES 100-196,  
COLORADO SPRINGS, CO 80922  
LEISURE CONSTRUCTION

SHEET NAME: SITE PHOTOMETRIC PLAN  
PROJECT STATUS: DEVELOPMENT PLANS  
ARCHING: FAO  
DRAWN: MRM  
CHECKED: MRM  
DATE: 11.04.2021  
REVISION: DATE  
JOB NO.: 180649  
SHEET NO.: DP.10  
PCD FILE NO. PPR-21-036



**BISMARCK ROAD  
(NON-ARTERIAL)**



**CONSTITUTION AVE  
(MINOR ARTERIAL)**

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
ACE HOT	5	Acer tatanicum 'Hot Wings'	Hot Wings Tatanian Maple	1.5" Cal.	B # B
CEL OCC	5	Celtis occidentalis	Common Hackberry	2" Cal.	B # B
CRA MOR	5	Crataegus x mordenensis 'Snowbird'	Snowbird Hawthorn	1.5" Cal.	B # B
JUN SCO	6	Juniperus scopulorum	Rocky Mountain Juniper	6" Ht.	B # B
MAL PRA	4	Malus x 'Prairifire'	Prairifire Crab Apple	1.5" Cal.	B # B
PIC BL2	6	Picea pungens glauca	Colorado Blue Spruce	6" Ht.	B # B
PIN EDU	15	Pinus cembroides edulis	Pinyon Pine	6" Ht.	B # B
PIN PON	15	Pinus ponderosa	Ponderosa Pine	6" Ht.	B # B

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAR PYG	3	Caragana pygmaea	Pygmy Peashrub	5 gal	
CHA MIL	19	Chamaebatiaria millefolium	Fernbush	5 gal	
CHR GTR	8	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal	
FOR NEM	10	Forestiera neomexicana	New Mexico Privet	5 gal	
JUN HUG	5	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal	
JUN TA2	19	Juniperus sabinia 'Tamaniscifolia'	Tammy Juniper	5 gal	
PER AT2	9	Perovskia atriplicifolia	Russian Sage	5 gal	
PIN CO2	12	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal	
RHU AUT	9	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 gal	
ROS GLA	6	Rosa glauca	Redleaf Rose	5 gal	
ROS NWD	7	Rosa x 'Nearly Wild'	Nearly Wild Rose	5 gal	

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CAL KA2	14	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	
HEL SEM	12	Helictotrichon sempervirens	Blue Oat Grass	1 gal	
SCH BLA	10	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	1 gal	

**PROPOSED GROUND PLANE TREATMENT**

- PROPOSED IRRIGATED FESCUE BLEND SOD (APPROX. 3,860 SQ. FT.)
- PROPOSED IRRIGATED NATIVE SEED MIX WITH EROSION CONTROL BLANKET (APPROX. 7,260 SQ. FT.)
- PROPOSED 1.5" ROYAL GRANITE CRUSHED ROCK, 3" DEPTH, OVER DEWITT LANDSCAPE FABRIC (APPROX. 17,900 SQ. FT.)

**SITE CATEGORY CALCULATIONS:**

**Landscape Setbacks**

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Constitution Avenue	Minor arterial	20' / 20'	420'	1 / 25'	17 / 17	(CA)
Canada Drive	Non-arterial	10' / 10'	336'	1 / 30'	11 / 11	(CD)
Bismarck Road	Non-arterial	10' / 15'	418'	(see Buffer & Screens requirements)		

**Parking**

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
74	5 / 5	(MV)	Constitution Ave.	281'	185'

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
37 / 37	19 / 19	-	(PS)	75% / 75%

**Internal Landscaping**

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
141,390 s.f.	5%	7,069 s.f. / 7,950 s.f.	14 / 7

**Shrub Substitutes Required / Provided**

70 / 70 (IN)

**Landscape Buffer & Screens**

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (1/3) / Provided
Bismarck Road	15' / 15'	418'	21 / 21	7 / 21

Length of 8 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
370' / 370'	(BR)	75% / 75%

**JWLA**  
**Jon Walsh.**  
**LANDSCAPE ARCHITECT**  
 LLC  
 P.O. Box 354  
 Palmer Lake, CO 80133  
 (719) 640-9428  
 jwlandarch@gmail.com

PROJECT FILE: northcrest const & canada flp.dwg

DEVELOPMENT PLAN FOR  
**NORTHCREST CENTER**  
 Constitution Avenue, Colorado Springs, CO  
 El Paso County

PROJECT NAME:

**LANDSCAPE PLAN**

REVISION DATE: SHEET TITLE:

June 17, 2021

October 26, 2021

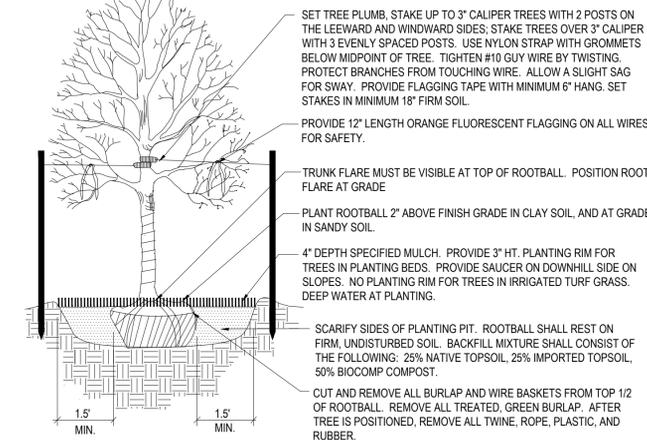
SHEET NO. / STAMP:

**DP.08**



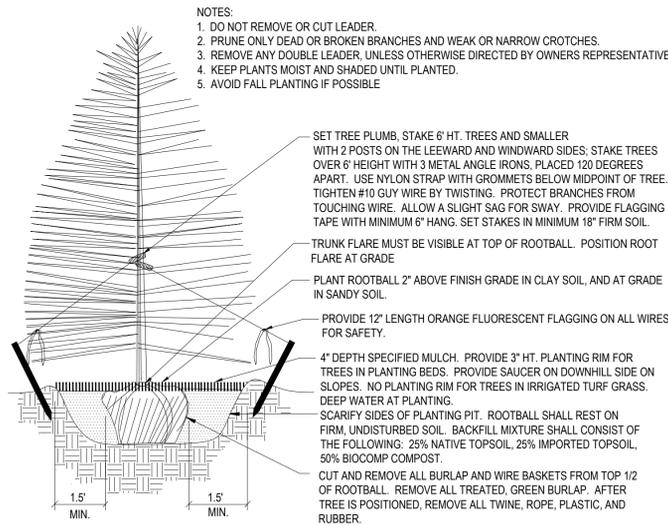
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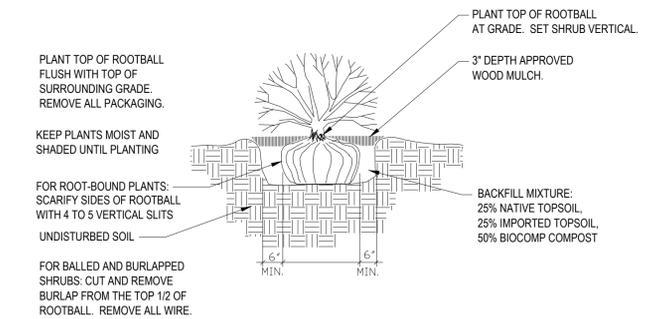
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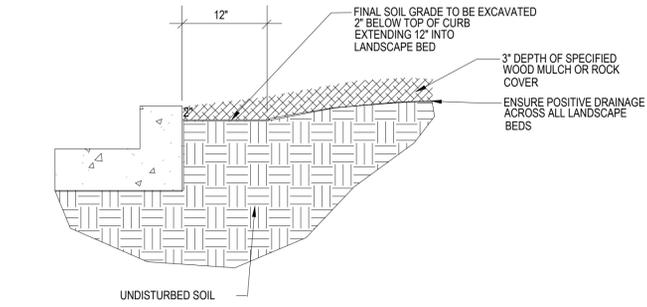
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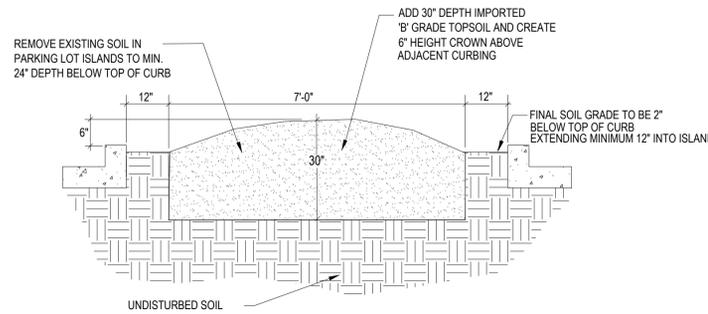
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- ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF 'DEWITT' WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
- PROPOSED SOD IS TO CONSIST OF A FESCUE BLEND. SOD IS TO HAVE LOW CLAY CONTENT. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION.
- ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH. REFER TO DETAIL ON THIS SHEET.
- AFTER PLANTING, BUT BEFORE LANDSCAPE FABRIC IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS.
- GORILLA HAIR WOOD MULCH IS TO BE PROVIDED AROUND ALL THE BASE OF ALL TREES, 4" DIAMETER, 3" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PRO-STEEL BROWN STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, NATIVE GRASS, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. SECURE TO GROUND WITH MANUFACTURER'S STAKES. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO STAKES SECURING OVERLAPPED ENDS.

# SOIL PREPARATION NOTES

- PROPOSED FESCUE SOD AREAS:** ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED NATIVE GRASS AREAS:** ALL SEEDDED AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

# IRRIGATION NOTES

- ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL, SHRUBS / ORNAMENTAL GRASSES TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED. PROVIDE (2) EXTRA IRRIGATION WIRES ALONG MAINLINE FOR TROUBLESHOOTING OR FUTURE REPAIRS.
- ALL FESCUE SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE.
- ALL NATIVE SEED AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE.

# NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURER'S INSTRUCTIONS.



P.O. Box 354  
Palmer Lake, CO 80133  
(719) 640-9428  
jwlandarch@gmail.com

PROJECT FINISHED  
northwest const & canada flp.dwg

DEVELOPMENT PLAN FOR  
**NORTHCREST CENTER**  
Constitution Avenue, Colorado Springs, CO  
El Paso County

PROJECT NAME:

LANDSCAPE DETAILS

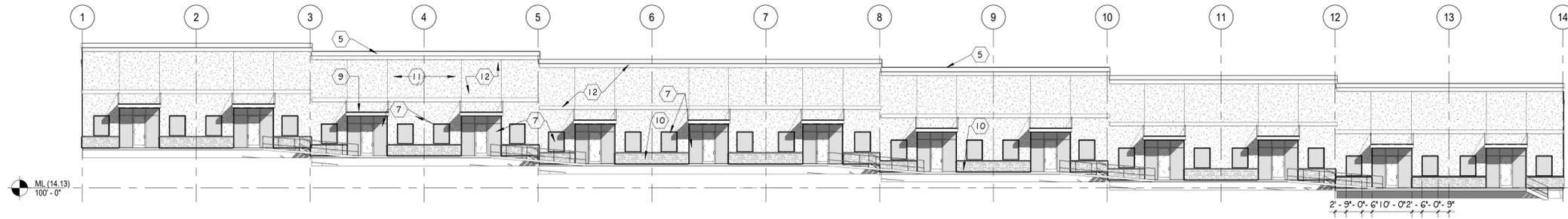
SHEET TITLE:

DATE: June 17, 2021

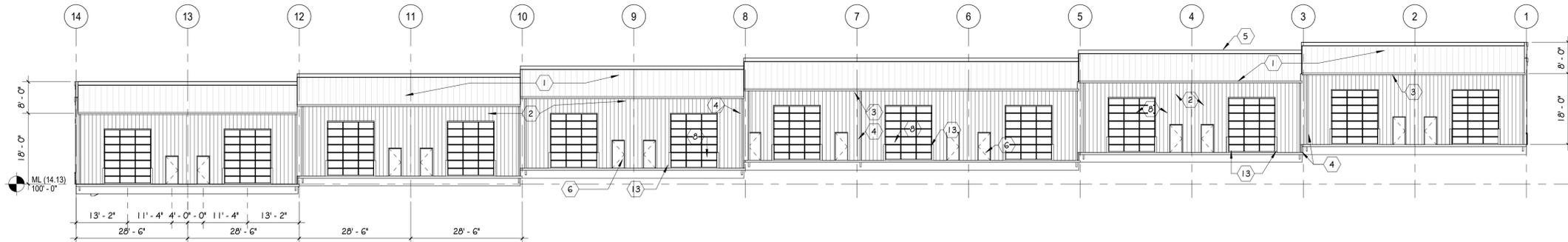
REVISION: October 26, 2021

STAMP:

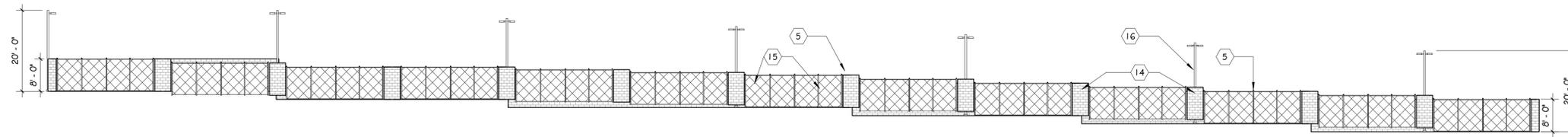
SHEET NO. **DP.09**



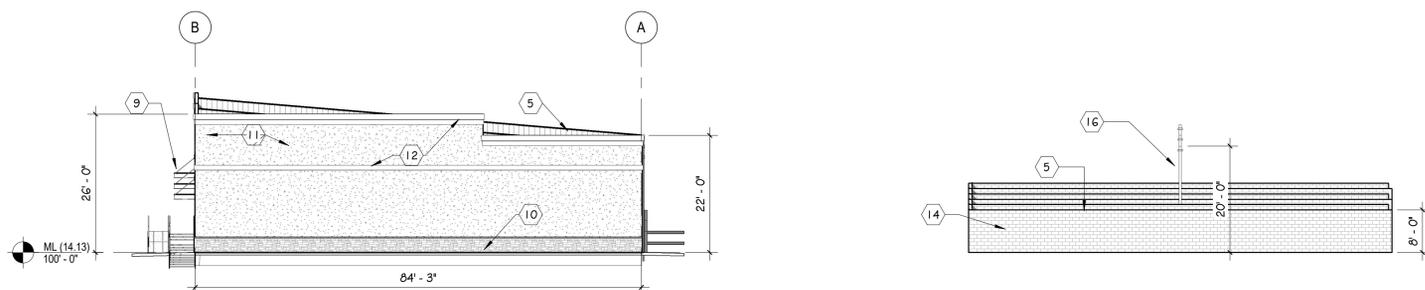
**1 SOUTH DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



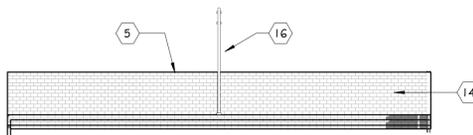
**2 NORTH DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**5 SOUTH YARD DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**3 EAST DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"



**4 WEST DEVELOPMENT ELEV**  
 DP.04 SCALE: 1/16" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MK	MATERIAL	COLOR	FINISH
1	METAL ROOF (PEMB MFGR)	TBD	FACTORY
2	METAL SIDING (PEMB)	TBD	FACTORY
3	PRE FINISHED GUTTERS (PEMB)	TO MATCH SIDING	FACTORY
4	PRE FINISHED DOWNSPOUTS (PEMB)	TO MATCH SIDING	FACTORY
5	METAL CAP FLASHING	TBD	FACTORY
6	HM DOORS (INSULATED)	TBD	FACTORY
7	2"x4 1/2" ALUM STOREFRONT	CLEAR ANODIZED	FACTORY
8	OVERHEAD SECTIONAL DOORS	POLAR WHITE	FACTORY
9	STEEL AWNING (PEMB)	TBD	FACTORY
10	SYNTHETIC STONE VENEER	TBD	FACTORY
11	STUCCO SYSTEM	TBD	PAINT
12	STUCCO ASCENT COLOR	TBD	FACTORY
13	STEEL PIPE BOLLARDS	TRAFFIC YELLOW	FACTORY
14	SPLIT-FACED CMU	TRI-BLEND COLOR	FACTORY
15	CHAINLINK FENCE W/ SLATS	SLATS 90% OPACITY	FACTORY
16	LIGHT POLE	TBD	FACTORY

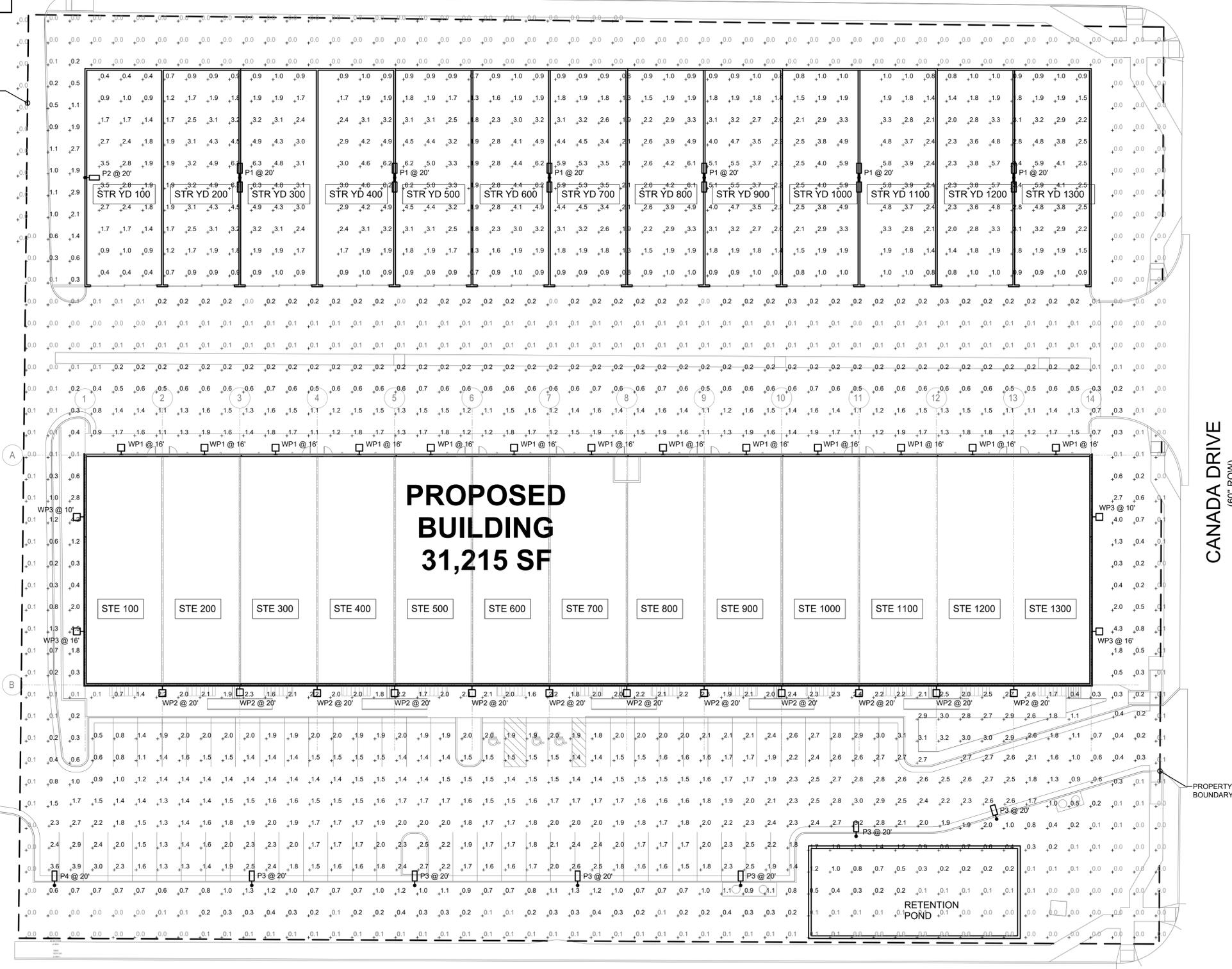
### LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS
			QTY.	WATT	TYPE				
P1	LITHONIA	DSX1 LED P1 50K TSS MVOLT	2	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	108.0
P2	LITHONIA	DSX1 LED P1 50K TSS MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P3	LITHONIA	DSX1 LED P1 50K T4M MVOLT HS	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
P4	LITHONIA	DSX1 LED P1 50K LCCO MVOLT	1	54.0	LED	POLE @ 20'-0"	AREA LUMINAIRE	120/277	54.0
WP1	LITHONIA	WDGE1 LED P1 50K 80CRI VF	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0
WP2	LITHONIA	WDGE1 LED P2 50K 80CRI VF	1	15.0	LED	SURFACE	WALLPACK	120/277	15.0
WP3	LITHONIA	WDGE1 LED P1 40K 90CRI VW	1	10.0	LED	SURFACE	WALLPACK	120/277	10.0

### CALCULATION ZONE STATISTICS

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.8	3.9	0.2	19.5:1	9.0:1
STORAGE YARD	+	2.6	6.3	0.4	15.8:1	6.5:1
TO PROPERTY LINE	+	0.5	4.5	0.0	N/A	N/A

BISMARCK ROAD  
(80' ROW)



**PROPOSED BUILDING**  
**31,215 SF**

STE 100 STE 200 STE 300 STE 400 STE 500 STE 600 STE 700 STE 800 STE 900 STE 1000 STE 1100 STE 1200 STE 1300

STR YD 100 STR YD 200 STR YD 300 STR YD 400 STR YD 500 STR YD 600 STR YD 700 STR YD 800 STR YD 900 STR YD 1000 STR YD 1100 STR YD 1200 STR YD 1300



3 WdGE1 WALLPACK (WP1 - WP3)  
DP.12 SCALE: NONE



2 DSX1 AREA LUMINAIRE (P1 - P4)  
DP.12 SCALE: NONE

1 SITE PHOTOMETRIC PLAN  
DP.12 SCALE: 1"=20'-0"

ROCKY MOUNTAIN GROUP  
ARCHITECTS  
MECHANICAL  
ELECTRICAL  
PLUMBING  
ENGINEERS

**RMG**  
ENGINEERS

SOUTHERN COLORADO  
1978 BEACON 2145 WWW.RMGENGINEERS.COM  
1719-488-2145  
SOUTHERN COLORADO, DENVER METRO, NORTHERN COLORADO

COLORADO REGISTERED PROFESSIONAL ENGINEER

08.05.2021

**McShea Consulting, LLC**  
MECHANICAL + ELECTRICAL + PLUMBING  
4445 Northpark Dr. Suite 200  
Colorado Springs, CO 80907  
mcshaeconsulting.com  
Project: 21-1024

NORTHCREST CENTER  
CONSTITUTION AVE., COLORADO SPRINGS, CO  
LEISURE CONSTRUCTION

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SHEET NAME: SITE PHOTOMETRIC PLAN  
PROJECT STATUS: DEVELOPMENT PLANS

ARCHENING: CCF  
DRAWN: CCF  
CHECKED: MRM

DATE: 08.05.2021

REVISION	DATE

JOB NO.: 180649  
SHEET NO.: DP.12

C:\Users\ConeForrester\OneDrive\Projects\2024 - Northcrest Center\Drawings\MEP\Northcrest Center - Site Photometric.dwg, 8/5/2021 9:57:00 AM, AutoCAD PDF (General Documentation).pc3

### WEDGE1 LED Architectural Wall Sconce

**Specifications**

Depth (D1): 5.5"  
 Depth (D2): 1.5"  
 Height: 8"  
 Width: 9"  
 Weight: 1.9 lbs (without options)

**WEDGE LED Family Overview**

Model	Height	Depth	Width	Weight	Material	Finish
W021L10	10"	5.5"	9"	2.5 lbs	Aluminum	Black
W021L12	12"	5.5"	9"	3.0 lbs	Aluminum	Black
W021L14	14"	5.5"	9"	3.5 lbs	Aluminum	Black
W021L16	16"	5.5"	9"	4.0 lbs	Aluminum	Black
W021L18	18"	5.5"	9"	4.5 lbs	Aluminum	Black
W021L20	20"	5.5"	9"	5.0 lbs	Aluminum	Black

**Ordering Information**

EXAMPLE: W021L16 P7 40K 80CRI VF MVOLT SRM PE DBXDD

**Accessories**

- W021L10-20: WEDGE1 LED Architectural Wall Sconce
- W021L10-20: WEDGE1 LED Architectural Wall Sconce

**Notes:**

- 1. Not available in 90CRI.
- 2. Not available in 80CRI.
- 3. Not available in 90CRI.
- 4. Not available in 80CRI.
- 5. Not available in 90CRI.
- 6. Not available in 80CRI.

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### D-Series Size 1 LED Area Luminaire

**Specifications**

Depth: 12.5"  
 Length: 30"  
 Height: 13"  
 Height (H1): 7.5"  
 Height (H2): 3.5"  
 Weight: 22 lbs

**Mounting Options & Accessories**

- EW4W - 4W Emergency Battery Backup
- SBW - Surface Mounted Back Box
- AW3 - 3-Inch Architectural Wall Spacer

**Performance Data**

**Lumen Output**

Model	Height	Width	Depth	Weight	Material	Finish
D01L10	10"	30"	12.5"	22 lbs	Aluminum	Black
D01L12	12"	30"	12.5"	22 lbs	Aluminum	Black
D01L14	14"	30"	12.5"	22 lbs	Aluminum	Black
D01L16	16"	30"	12.5"	22 lbs	Aluminum	Black
D01L18	18"	30"	12.5"	22 lbs	Aluminum	Black
D01L20	20"	30"	12.5"	22 lbs	Aluminum	Black

**Ordering Information**

EXAMPLE: D01L16 P7 40K 2M TMOV SPLA NR2A PIR2H DBXDD

**Accessories**

- EW4W: 4W Emergency Battery Backup
- SBW: Surface Mounted Back Box
- AW3: 3-Inch Architectural Wall Spacer

**Notes:**

- 1. Not available in 90CRI.
- 2. Not available in 80CRI.
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- 6. Not available in 80CRI.

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### WEDGE1 LED Architectural Wall Sconce

**Performance Data**

**Lumen Output**

Model	Height	Width	Depth	Weight	Material	Finish
W021L10	10"	9"	5.5"	1.9 lbs	Aluminum	Black
W021L12	12"	9"	5.5"	2.0 lbs	Aluminum	Black
W021L14	14"	9"	5.5"	2.1 lbs	Aluminum	Black
W021L16	16"	9"	5.5"	2.2 lbs	Aluminum	Black
W021L18	18"	9"	5.5"	2.3 lbs	Aluminum	Black
W021L20	20"	9"	5.5"	2.4 lbs	Aluminum	Black

**Ordering Information**

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**Accessories**

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- W021L10-20: WEDGE1 LED Architectural Wall Sconce

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### D-Series Size 1 LED Area Luminaire

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**Ordering Information**

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**Accessories**

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- AW3: 3-Inch Architectural Wall Spacer

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### WEDGE1 LED Architectural Wall Sconce

**Performance Data**

**Lumen Output**

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### WEDGE1 LED Architectural Wall Sconce

**Photometric Diagrams**

**Emergency Egress Options**

**Emergency Battery Backup**

**Dual Switching (DS) Option**

**Accessories**

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### D-Series Size 1 LED Area Luminaire

**Photometric Diagrams**

**Handhole Orientation**

**Tenon Mounting Slipfitter**

**DSX1 Area Luminaire - EPA**

**Accessories**

- EW4W: 4W Emergency Battery Backup
- SBW: Surface Mounted Back Box
- AW3: 3-Inch Architectural Wall Spacer

**Notes:**

- 1. Not available in 90CRI.
- 2. Not available in 80CRI.
- 3. Not available in 90CRI.
- 4. Not available in 80CRI.
- 5. Not available in 90CRI.
- 6. Not available in 80CRI.

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### WEDGE1 LED Architectural Wall Sconce

**Photometric Diagrams**

**Emergency Egress Options**

**Emergency Battery Backup**

**Dual Switching (DS) Option**

**Accessories**

- W021L10-20: WEDGE1 LED Architectural Wall Sconce
- W021L10-20: WEDGE1 LED Architectural Wall Sconce

**Notes:**

- 1. Not available in 90CRI.
- 2. Not available in 80CRI.
- 3. Not available in 90CRI.
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### D-Series Size 1 LED Area Luminaire

**Photometric Diagrams**

**Handhole Orientation**

**Tenon Mounting Slipfitter**

**DSX1 Area Luminaire - EPA**

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NORTHCREST CENTER

CONSTITUTION AVE., COLORADO SPRINGS, CO

LEISURE CONSTRUCTION

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SHEET NAME: SITE PHOTOMETRIC PLAN

PROJECT STATUS: DEVELOPMENT PLANS

ARCHING: CCF

DRAWN: MRM

CHECKED: MRM

DATE: 08.05.2021

REVISION: DATE

JOB NO.: 180649

SHEET NO.: DP.13