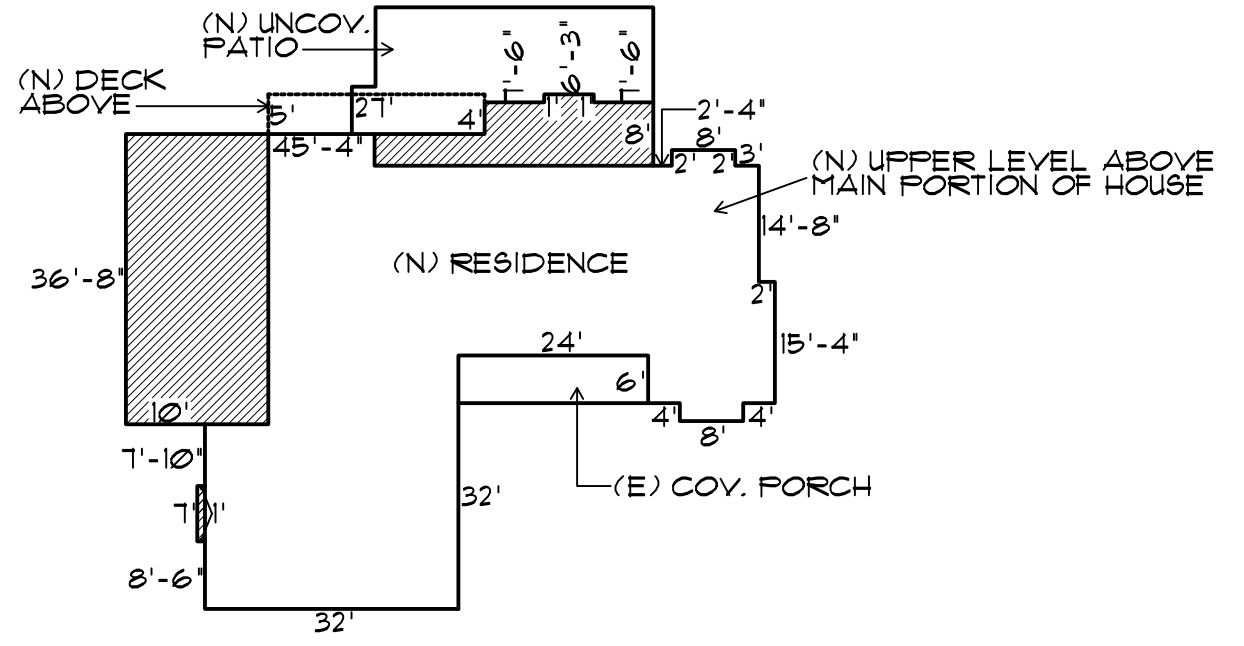
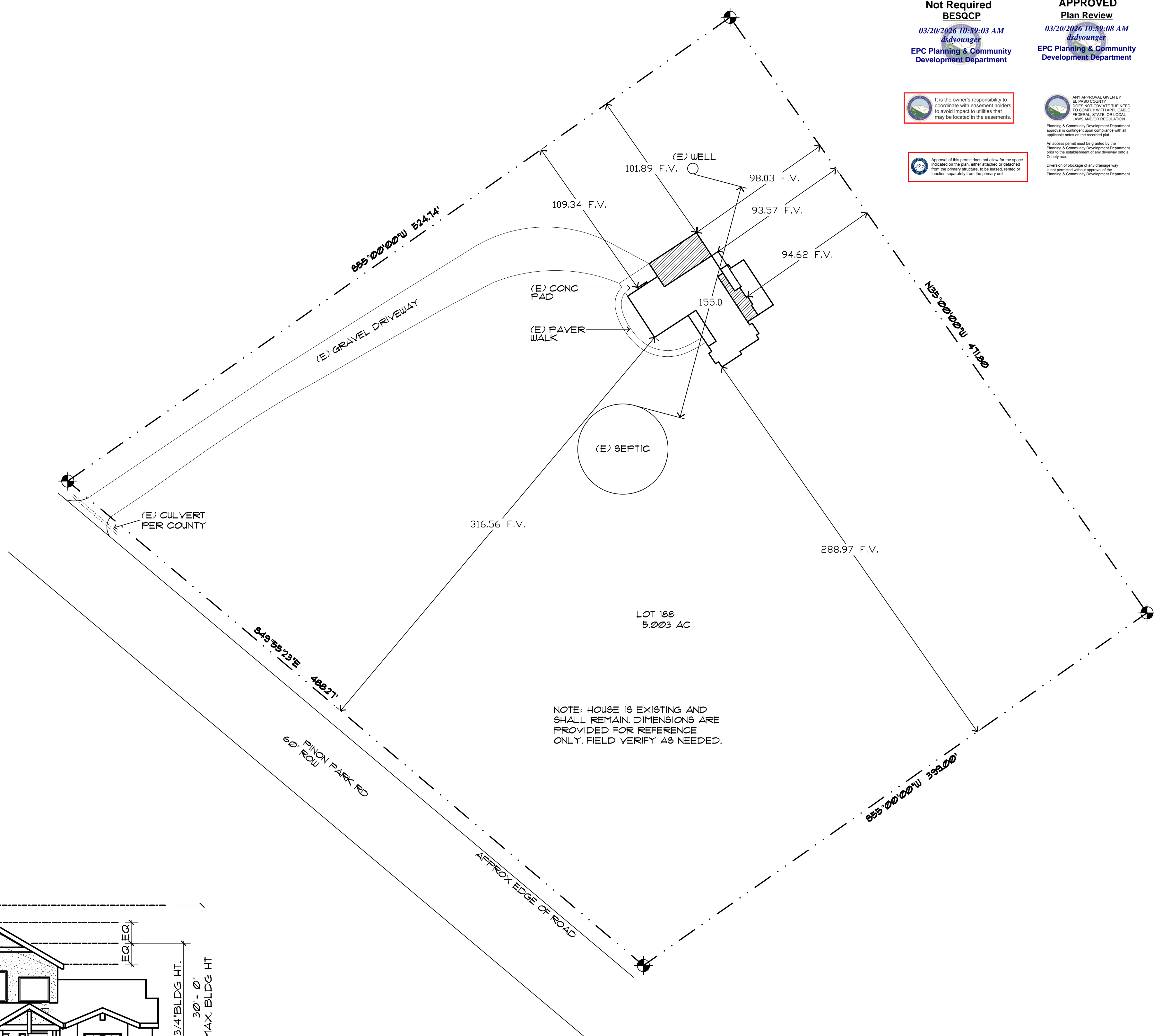


VICINITY MAP
NO SCALE



HOUSE FOOTPRINT
NO SCALE



NOTE: HOUSE IS EXISTING AND SHALL REMAIN. DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY. FIELD VERIFY AS NEEDED.

ADD26125

Not Required
BESQCP
03/20/2026 10:59:03 AM
d.younger
EPC Planning & Community Development Department

APPROVED
Plan Review
03/20/2026 10:59:08 AM
d.younger
EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY UTILITIES OWNED BY COLORADO COUNTY OR FEDERAL AGENCIES ARE TO BE MAINTAINED AND NOT TO BE REMOVED OR ALTERED WITHOUT THE WRITTEN APPROVAL OF THE AGENCY.

Approval of this permit does not allow for the space indicated on the plan, either elevated or otherwise from the primary structure, to be added, removed or function separately from the primary unit.

Division of landscape site planning may be required and approved by the Planning & Community Development Department prior to the construction of any landscape.

NOTE: EXISTING HOUSE FOOTPRINT SQUARE FOOTAGE INCLUDES EXISTING GARAGE FOOTPRINT THAT IS CONVERTED TO NEW HOUSE

SITE INFO:

ADDRESS:
1790 PINON PARK RD
FILE NO. 3
LEGAL:
LOT 188, PEYTON PINES,
EL PASO COUNTY, COLORADO.
SITE DATA:
LOT SIZE = 211,911.4 SQFT
BUILDING FOOTPRINT =
(N) HOUSE = 2,636 SQFT
(N) HOUSE = 856 SQFT
(E) COV. PORCH = 199 SQFT
(N) UPPER DECK = 137 SQFT
TOTAL = 3,828 SQFT
LOT COVERAGE = 1.75%
ZONING = RR-5
FLAT # = R05346
TAX SCHEDULE # = 3110007036
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others as needed.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

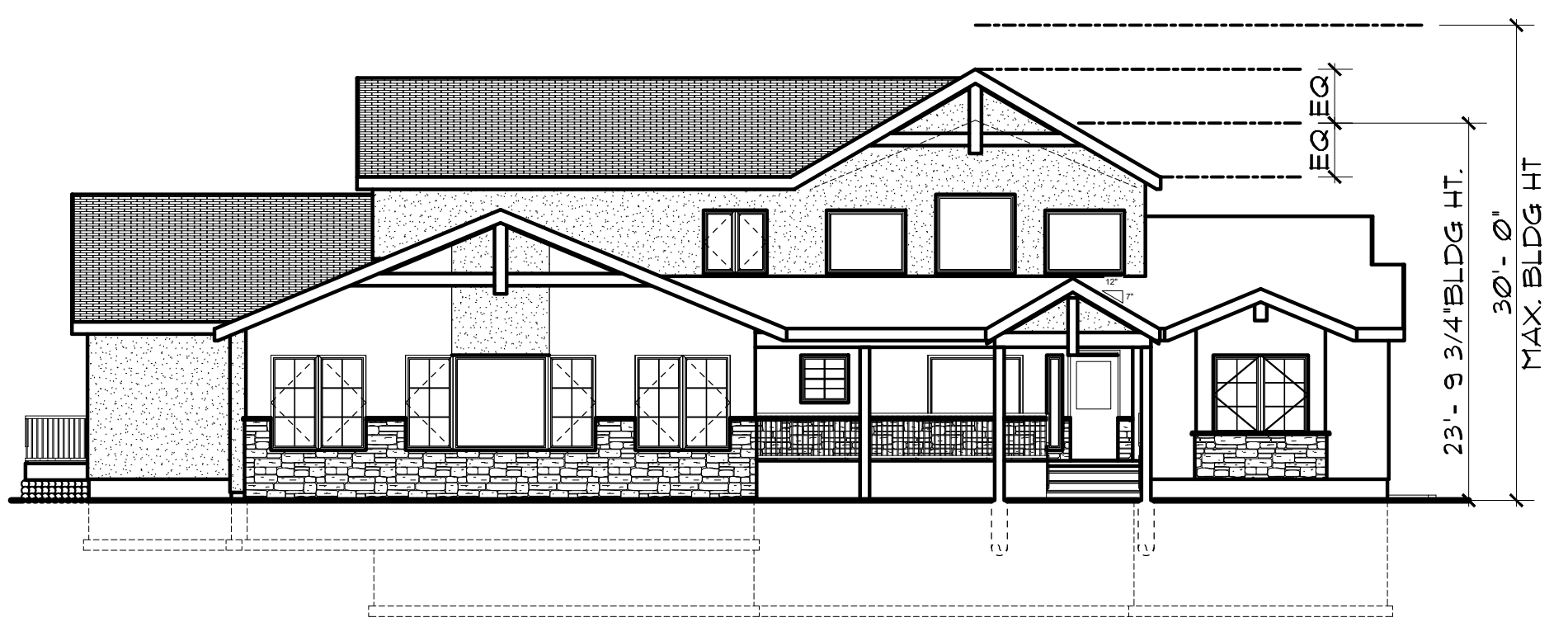
- PROPERTY LINES & CORNERS
- PROPOSED ADDITION
- EXISTING RESIDENCE

SITE TERMS:

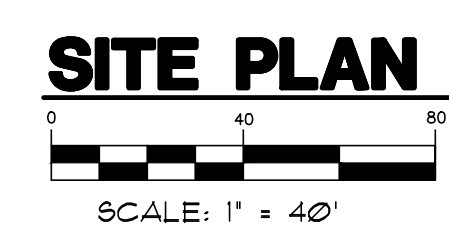
- ABBREVIATIONS:**
BOU= BOTTOM OF RETAINING WALL
(E)= EXISTING TO REMAIN
LL= LOWER LEVEL
ML= MAIN LEVEL
(N)= NEW CONSTRUCTION
(R)= REMOVE
ROW= RIGHT OF WAY
SB= SETBACK
SQ. FT. OR SF= SQUARE FEET
TOF= TOP OF FOUNDATION
TOW= TOW OF RETAINING WALL
UL= UPPER LEVEL
WO= WALKOUT

REFERENCE INFO:

CLIENT/OWNER INFO:
WAYNE BOOTE
1790 PINON PARK RD
PEYTON, CO. 80831
PHONE #: (307) 679-8111
EMAIL: WAYNE@ALLWEST.NET



FRONT ELEV & BLDG HT CALC
NO SCALE



SITE PLAN
NORTH
SCALE: 1" = 40'

REVISIONS

LGA STUDIOS
201 E. Las Animas Street Suite 113
Colorado Springs, CO. 80903
Phone: (719) 635-0880
Email: Office@LGAstudios.com
Website: www.lgastudios.com

CONTRACTOR
321 RENOVATIONS
180 HIGH VIEW CIRCLE
WOODLAND PARK, CO 80883
PHONE: (719) 337-0700
EMAIL: christiane@321renovations.com

THE
BOOTE ADDITION & REMODEL
1790 PINON PARK RD
COMPUTER FILE # 25-2525 A

DRAWN BY: FMR

CHECKED BY: LGA
PLOT 02/18/25 7:10 AM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets

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RESIDENTIAL



2023 PPRBC
2021 IECC Amended

Address: 17910 PINON PARK RD, PEYTON

Parcel: 3118007036

Plan Track #: 210604 

Received: 02-Mar-2026 (MELISSAF)


Description:

ADDITION / GARAGE CONVERSION / REMODEL

Contractor:

Type of Unit:

Required PPRBD Departments (5)

<p>Floodplain</p> <p>(N/A) RBD GIS</p>	<p>Construction</p>
<p>Electrical</p> <p>Released for Permit 03/19/2026 1:19:31 PM</p> 	<p>Mechanical</p>
<p>Plumbing</p>	

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (2)

County Zoning

APPROVED
Plan Review

03/20/2026 11:00:27 AM
dsyounger

EPC Planning & Community
Development Department

EPC Health Dept