



VIEW FROM COLE VIEW
CONCEPTUAL SKETCH
NOT FOR CONSTRUCTION

FIRE DEPARTMENT NOTES

1. INSTALL BUILDING ADDRESS AND UNIT NO. ON STREET SIDE OF BUILDING
2. INSTALL ONE 5# ABC FIRE EXTINGUISHER FOR EACH 3000 SF. OF TENANT AREA OR MAX 75 TRAVEL DISTANCE FROM ANY LOCATION TO CLOSEST FIRE EXTINGUISHER.

TRASH DUMPSTER LOCATION BEHIND CHAIN LINK FENCE. PROVIDE OPAQUE FABRIC ON FENCE @ AREAS WHERE DUMPSTER MAY BE VISIBLE FROM STREET OR NEIGHBORING PROPERTIES. SEE CHAIN LINK FENCE DETAIL ON SHEET 2

47.66' WIDE PRIVATE INGRESS AND EGRESS PUBLIC UTILITY AND DRAINAGE EASEMENT (RECEPTION # 207712506)

PROVIDE SAFETY BOLLARD AT EXPOSED CORNERS OF BUILDING ADJACENT TO DRIVE AISLES & OVERHEAD DOOR LOCATIONS, TYP. VERIFY LOCATIONS W/ OWNER

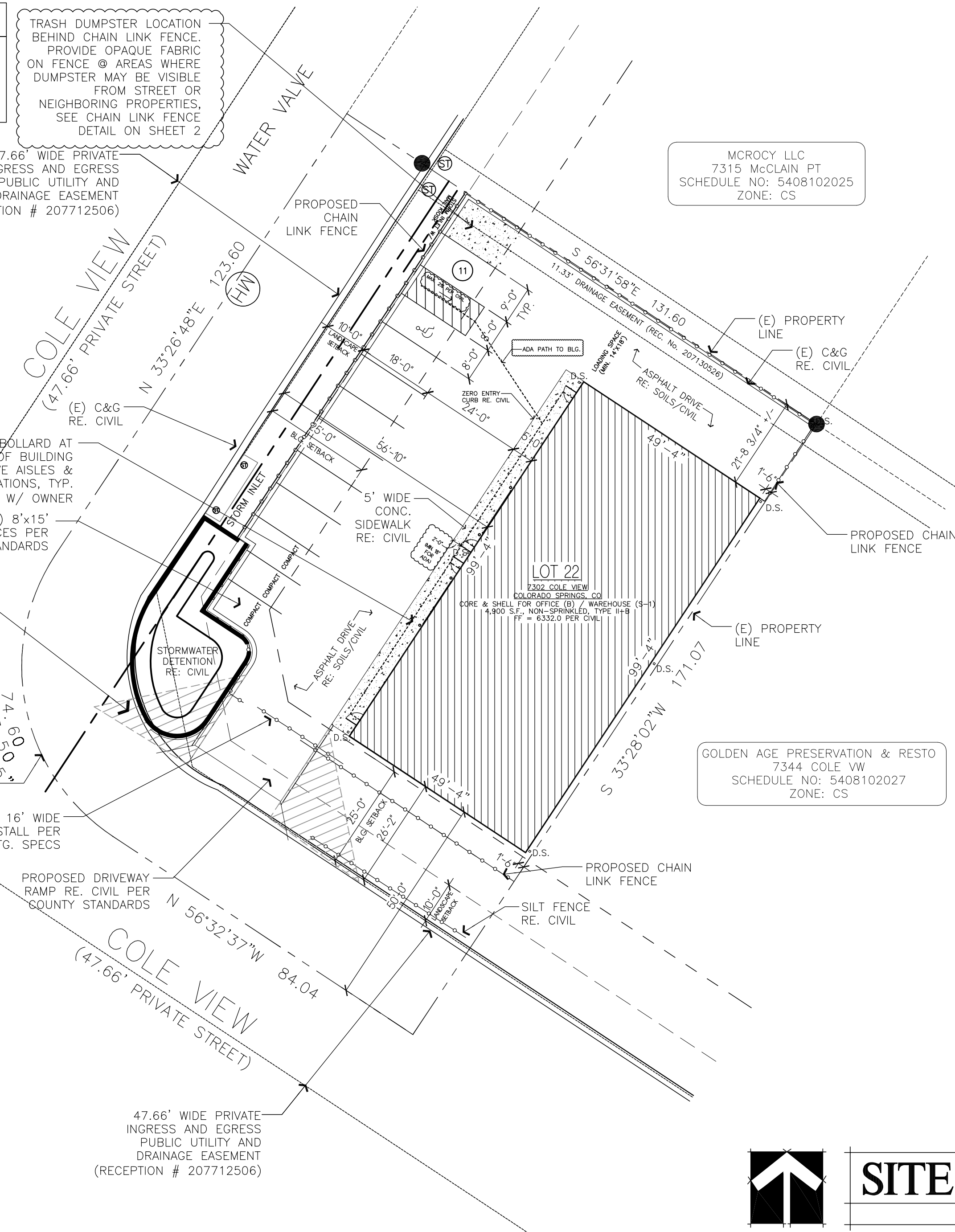
HATCH INDICATES SITE TRIANGLE NO OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE IS ALLOWED TO BE MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

(3) 8'x15' COMPACT SPACES PER COUNTY STANDARDS

PROPOSED 16' WIDE GATE, INSTALL PER MFG. SPECS

PROPOSED DRIVEWAY RAMP RE. CIVIL PER COUNTY STANDARDS

47.66' WIDE PRIVATE INGRESS AND EGRESS PUBLIC UTILITY AND DRAINAGE EASEMENT (RECEPTION # 207712506)



MCRUCY LLC
7315 McCLAIN PT
SCHEDULE NO: 5408102025
ZONE: CS

GOLDEN AGE PRESERVATION & RESTO
7344 COLE VW
SCHEDULE NO: 5408102027
ZONE: CS



PROJECT DATA

PROJECT/CODE INFORMATION

JURISDICTION: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT
 OCCUPANCY GROUP: B/S-1 (OFFICE/WAREHOUSE)
 CONSTRUCTION TYPE: II-B
 SPRINKLER SYSTEM: NO
 ALLOWABLE AREA: 17500 SF (BASED ON WORST CASE S-1 OCCUPANCY GROUP)
 PROPOSED AREA: 4900 SF.
 ALLOWABLE HEIGHT: 45' PER EL PASO LAND DEVELOPMENT CODE: CHAPTER 5, TABLE 5-5
 PROPOSED HEIGHT: 20'-3" - 1 STORY

APPLICABLE CODES

2017 PIKES PEAK REGIONAL BUILDING CODE (PPRBC)
 2015 INTERNATIONAL BUILDING CODE (IBC)
 2014 NATIONAL ELECTRIC CODE (NEC)
 2015 INTERNATIONAL PLUMBING CODE (IPC)
 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2009 ICC/ANSI 117.1 ACCESSIBILITY STANDARD
 2015 INTERNATIONAL FIRE CODE (IFC)
 EL PASO COUNTY LAND DEVELOPMENT CODE

SITE INFORMATION

PROJECT ADDRESS: 7302 COLE VIEW
 COLORADO SPRINGS, CO 80915
 TAX SCHEDULE NO: 5408102026
 LEGAL DESCRIPTION: LOT 22 CLAREMONT BUSINESS PARK FIL NO 2
 PROJECT DESCRIPTION: NEW CONSTRUCTION OF A CORE & SHELL BUILDING FOR FUTURE OFFICE / WAREHOUSE TENANT
 COUNTY ZONING: CS (COMMERCIAL SERVICE)
 LAND USE: COMMERCIAL OFFICE / WAREHOUSE
 LOT AREA: 22,024 SF.
 FLOODPLAIN: X
 BLG COVERAGE: 4900 x 22,024 SF. / 100 = 22.3%
 BLG SETBACKS: FRONT = 25'
 NOTE: NO MINIMUM SETBACK REQUIRED ON INTERNAL SIDE OR REAR LOT LINE WITHIN THE SAME DISTRICT

EXT. WALL SEPARATION: MIN. 10' PER 15 IBC, TABLE 602 FOR ALL NON-RATED WALLS WALLS < 5' TO BE 2 HOUR FIRE RATED PER TABLE 602

PARKING

ESTIMATED PARKING REQUIRED: OFFICE: 1250 SF. (max) @ 1200 = 625
 WAREHOUSE: 3,750 SF. @ 1000 = 375
 TOTAL ESTIMATED PARKING REQUIRED = 10 SPACES
 ADDITIONAL ACCESSIBLE PARKING REQUIRED = 1 SPACE
 TOTAL PARKING PROVIDED = 10 SPACES
 + 1 ADDITIONAL ACCESSIBLE PARKING SPACE
 1 14'x18' LOADING SPACE PROVIDED

NOTE: ALL FUTURE TENANTS WILL BE SUBJECT TO THE REQUIRED PARKING CALCULATIONS PER EL PASO COUNTY LAND DEVELOPMENT CODE REQUIREMENTS. THE PARKING NOTED IN THE CALCULATIONS ABOVE ARE SIMPLY AN ESTIMATE BASED ON PARKING PROVIDED.

NOTE: PARKING TO CONFORM WITH EL PASO COUNTY LAND DEVELOPMENT CODE REQUIREMENTS

GENERAL NOTES

1. Fire lane striping shall be installed to meet all applicable requirements.
2. Accessible parking space design shall meet all County and ADA criteria:
 - a. Ramps shall not be placed in accessible access aisle
 - b. Access aisle may not exceed a 2% slope in any direction
 - c. Handicapped ramps may not exceed a slope of 8%
 - d. Minimum width for ramps is 36 inches
3. Lot owners are responsible for the maintenance of shared common access drive.
4. Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
5. All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
6. Dimensions:
 - a. Do not scale these drawings.
 - b. Contractor to verify overall building layout dimensions prior to construction.
 - c. Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

PROJECT TEAM

OWNER

TONY WETHERBEE
 WETHERBEE DRYWALL INC.
 1950 VICTOR PLACE, #110
 COLORADO SPRINGS, CO 80915
 (719) 499-4179

ARCHITECT

BUCHER DESIGN STUDIO, INC.
 BRIAN K. BUCHER, AIA, NCARB
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 (719) 484-0480
 (719) 352-3641 fax

CONTRACTOR

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 COLORADO SPRINGS, CO 80921
 (719) 380-1140 office

LANDSCAPE ARCHITECT

NEIL McLANE, RLA, CLARB, LEED AP
 NATURAL DESIGN SOLUTIONS
 (303) 443-0388

CIVIL ENGINEER

JOHN P. SCHWAB
 JPS ENGINEERING, INC.
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 COLORADO SPRINGS, CO
 (719)-477-9429, office

PRE-ENGINEERED METAL BLD. SUPPLIER

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 B&C STEEL
 PO BOX 1099 SCOTTSBLUFF, NE
 (308) 672-4310

M.E.P. ENGINEER

PSI LLC
 110 S. SIERRA MADRE
 COLORADO SPRINGS, CO 80903
 (719) 520-9279

FOUNDATION ENG.

MIBAR ENGINEERING
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 COLORADO SPRINGS, CO 80908
 (719) 487-0812
 (719) 481-9204 fax

DRAWING INDEX

SHT. #	DESCRIPTION
01	COVER SHEET
02	SITE DEVELOPMENT DETAILS
03 / C11	SITE GRADING & EROSION CONTROL PLAN
04 / C2	CIVIL NOTES & DETAILS
05 / C3	GRADING & EROSION CONTROL NOTES & DETAILS
06 / U11	SITE UTILITY PLAN
07	LANDSCAPE PLAN
08	LANDSCAPE GENERAL NOTES & DETAILS
09	PHOTOMETRIC PLAN
10	FLOOR PLAN
11	EXTERIOR ELEVATIONS
12	EXTERIOR ELEVATIONS



12325 ORACLE BLVD, Suite 111
 Colorado Springs, CO 80921
 (719) 484-0480

Brian K. Bucher, AIA
 Architect
 CO license no. C-4889
 CA license no. C 23506

A PROPOSED
CORE & SHELL
FOR

MR.
WETHERBEE

7302 COLE VIEW
 COLORADO SPRINGS, CO

Sheet Title:
**SITE PLAN/
 COVER SHEET**

Drawing Status:
SDP SUBMITTAL

NOT FOR CONSTRUCTION

Revisions:
 No. Description By Date

No.	Description	By	Date

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Date: 10/08/18

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:

01
Of 12

VICINITY MAP

