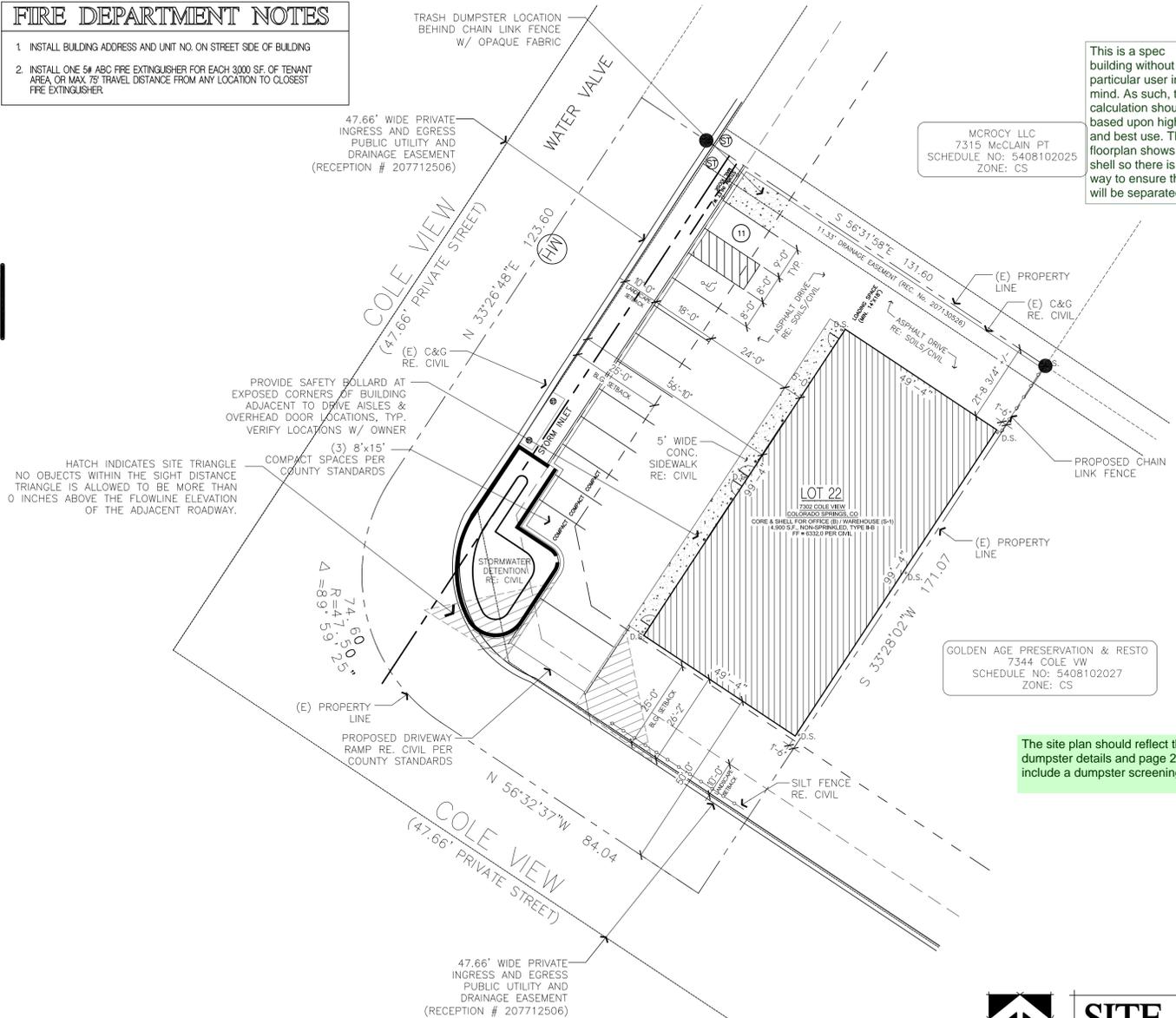




VIEW FROM COLE VIEW  
CONCEPTUAL SKETCH  
NOT FOR CONSTRUCTION

**FIRE DEPARTMENT NOTES**

1. INSTALL BUILDING ADDRESS AND UNIT NO. ON STREET SIDE OF BUILDING
2. INSTALL ONE 5# ABC FIRE EXTINGUISHER FOR EACH 3000 SF. OF TENANT AREA OR MAX. 75' TRAVEL DISTANCE FROM ANY LOCATION TO CLOSEST FIRE EXTINGUISHER.



This is a spec building without a particular user in mind. As such, the calculation should be based upon highest and best use. The floorplan shows a shell so there is no way to ensure the use will be separated out.

The site plan should reflect the dumpster details and page 2 should include a dumpster screening detail.

**PROJECT DATA**

**PROJECT/CODE INFORMATION**  
 JURISDICTION: EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT  
 OCCUPANCY GROUP: B/S-1 (OFFICE/WAREHOUSE)  
 CONSTRUCTION TYPE: II-B  
 SPRINKLER SYSTEM: NO  
 ALLOWABLE AREA: 17500 SF (BASED ON WORST CASE S-1 OCCUPANCY GROUP)  
 PROPOSED AREA: 4900 SF  
 ALLOWABLE HEIGHT: 45' PER EL PASO LAND DEVELOPMENT CODE: CHAPTER 5, TABLE 5-5  
 PROPOSED HEIGHT: 20'-3" - 1 STORY

**APPLICABLE CODES**  
 2017 Pikes Peak Regional Building Code (PPRBC)  
 2015 International Building Code (IBC)  
 2014 National Electric Code (NEC)  
 2015 International Plumbing Code (IPC)  
 2015 International Mechanical Code (IMC)  
 2015 International Energy Conservation Code (IECC)  
 2009 ICC/ANSI 117.1 Accessibility Standard  
 2015 International Fire Code (IFC)  
 EL PASO COUNTY LAND DEVELOPMENT CODE

**SITE INFORMATION**  
 PROJECT ADDRESS: 7302 COLE VIEW, COLORADO SPRINGS, CO 80915  
 TAX SCHEDULE NO: 5408102026  
 LEGAL DESCRIPTION: LOT 22 CLAREMONT BUSINESS PARK FIL NO 2  
 PROJECT DESCRIPTION: NEW CONSTRUCTION OF A CORE & SHELL BUILDING FOR FUTURE OFFICE / WAREHOUSE TENANT (COMMERCIAL SERVICE)  
 COUNTY ZONING: CS (COMMERCIAL SERVICE)  
 LAND USE: COMMERCIAL OFFICE / WAREHOUSE  
 LOT AREA: 22,024 SF.  
 FLOODPLAIN: X  
 BLG. COVERAGE: 4900 x 22,024 SF. / 100 = 223%  
 BLG. SETBACKS: FRONT = 25'  
 NOTE: NO MINIMUM SETBACK REQUIRED ON INTERNAL SIDE OR REAR LOT LINE WITHIN THE SAME DISTRICT

**EXT. WALL SEPARATION:** MIN. 10' PER 15 IBC, TABLE 602 FOR ALL NON-RATED WALLS  
 WALLS < 9' TO BE 2 HOUR FIRE RATED PER TABLE 602

**PARKING:**  
 ESTIMATED PARKING REQUIRED: OFFICE: 1000 SF. @ 1200 = 5  
 WAREHOUSE: 4000 SF. @ 11000 = 4

TOTAL PARKING REQUIRED = 9 SPACES  
 ACCESSIBLE PARKING REQUIRED = 1 SPACE (PER 1-25 REQUIREMENT)

TOTAL PARKING PROVIDED = 11 SPACES  
 ACCESSIBLE PARKING PROVIDED = 1 SPACE

1 14'x18' LOADING SPACE PROVIDED

NOTE: PARKING TO CONFORM WITH EL PASO COUNTY LAND DEVELOPMENT CODE REQUIREMENTS

**GENERAL NOTES**

1. Fire lane striping shall be installed to meet all applicable requirements.
2. Accessible parking space design shall meet all County and ADA criteria:
  - a. Ramps shall not be placed in accessible access aisle
  - b. Access aisle may not exceed a 2% slope in any direction
  - c. Handicapped ramps may not exceed a slope of 8%
  - d. Minimum width for ramps is 36 inches
3. Lot owners are responsible for the maintenance of shared common access drive.
4. Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
5. All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
6. Dimensions:
  - a. Do not scale these drawings.
  - b. Contractor to verify overall building layout dimensions prior to construction.
  - c. Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:  
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

**PROJECT TEAM**

**OWNER**  
 TONY WETHERBEE  
 WETHERBEE DRYWALL, INC.  
 1950 VICTOR PLACE, #110  
 COLORADO SPRINGS, CO 80915  
 (719) 499-4179

**ARCHITECT**  
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 BRIAN K. BUCHER, AIA, NCARB  
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 PALMER LAKE, CO 80133  
 (719) 484-0480  
 (719) 352-3641 fax

**CONTRACTOR**  
 CASCO CONSTRUCTION  
 MIKE CASIMIRO  
 1775 JET STREAM DR, SUITE 102  
 COLORADO SPRINGS, CO 80921  
 (719) 380-1140 office

**LANDSCAPE ARCHITECT**  
 NEIL McLANE, FLA, CLARB, LEED AP  
 NATURAL DESIGN SOLUTIONS  
 (303) 443-0388

**CIVIL ENGINEER**  
 JOHN P. SCHWAB  
 JPS ENGINEERING, INC.  
 19 E. WILLAMETTE AVE  
 COLORADO SPRINGS, CO  
 (719)-477-9429, office

**PRE-ENGINEERED METAL BLDG. SUPPLIER**  
 CHRIS HERRON  
 B&C STEEL  
 PO BOX 1099 SCOTTSBLUFF, NE  
 (308) 672-4310

**FOUNDATION ENG.**  
 MIBAR ENGINEERING  
 6825 SILVER PONDS HEIGHTS, SUITE 101  
 COLORADO SPRINGS, CO 80908  
 (719) 487-0812  
 (719) 481-9204 fax

**DRAWING INDEX**

SHT. #	DESCRIPTION
01	COVER SHEET
02	SITE DEVELOPMENT DETAILS
03 / C11	SITE GRADING & EROSION CONTROL PLAN
04 / C2	CIVIL NOTES & DETAILS
05 / C3	GRADING & EROSION CONTROL NOTES & DETAILS
06 / U11	SITE UTILITY PLAN
07	LANDSCAPE PLAN
08	LANDSCAPE GENERAL NOTES & DETAILS
09	PHOTOMETRIC PLAN
10	FLOOR PLAN
11	EXTERIOR ELEVATIONS
12	EXTERIOR ELEVATIONS



**BUCHER DESIGN STUDIO**  
 architecture • planning

12325 ORACLE BLVD, Suite 111  
 Colorado Springs, CO 80921  
 (719) 484-0480

Brian K. Bucher, AIA  
 Architect  
 CO license no. C-4889  
 CA license no. C.23506

A PROPOSED CORE & SHELL FOR MR. WETHERBEE

7302 COLE VIEW, COLORADO SPRINGS, CO

Sheet Title: SITE PLAN/COVER SHEET

Drawing Status: SDP SUBMITTAL

NOT FOR CONSTRUCTION

Revisions:

No.	Description	By	Date

All ideas, designs, arrangements and plans indicated or represented by the drawing are owned by, and the property of BUCHER DESIGN STUDIO and were created, issued and delivered for use on, and in conjunction with, the specified project. None of such ideas, designs, arrangements or plans shall be used by, or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of BUCHER DESIGN STUDIO.

Date: 10/08/18

Drawn by:

Checked by:

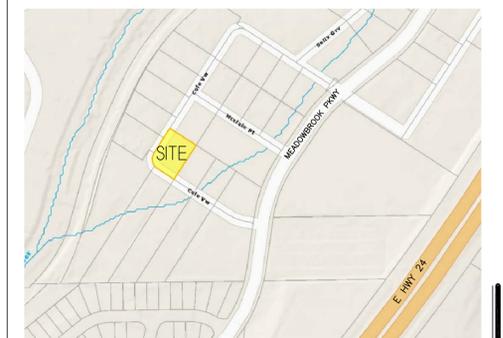
Scale: AS NOTED

Job No.:

Sheet No.:

01 Of 12

**VICINITY MAP**



Add PCD File #

**SITE PLAN**

SCALE: 1"=20'-0"



