

GENERAL NOTES:

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
- NO NEW POLE MOUNTED LIGHTING IS SHOWN WITH THE ADDITION OF THE BUILDING PROPOSED WITH THIS SITE DEVELOPMENT PLAN. EXISTING POLE LIGHTING IS DETAILED HEREON.
- THE CURRENT PARKING CONFIGURATION WILL NOT CHANGE FROM WHAT IS ALREADY EXISTING ON THE SITE AND AS SHOWN ON THIS PLAN.
- NO NEW SIGNAGE WILL BE ADDED TO THE SITE OR TO THE PROPOSED BUILDING. EXISTING SIGNAGE IS DETAILED HEREON.
- THERE IS NO ANTICIPATED TRAFFIC IMPACT DUE TO THE CONSTRUCTION OF THE PROPOSED BUILDING. THE BUILDING WILL SIMPLY REPLACE EXISTING BUILDINGS AND OUTSIDE TIRE CHANGING AND STORAGE FACILITIES ON THE SITE.
- MINIMAL GRADING IS TO OCCUR AT AND SURROUNDING THE PROPOSED BUILDING SITE. THE GRADING WILL PRIMARILY INVOLVE THE REMOVAL OF EXISTING BUILDINGS, ASPHALT AND CONCRETE AND SLAB/FOOTING BACKFILL OF THE NEW BUILDING. THE PROPOSED BUILDING FINISHED FLOOR WILL BE FIELD SET BY THE CONTRACTOR.

LEGAL DESCRIPTION

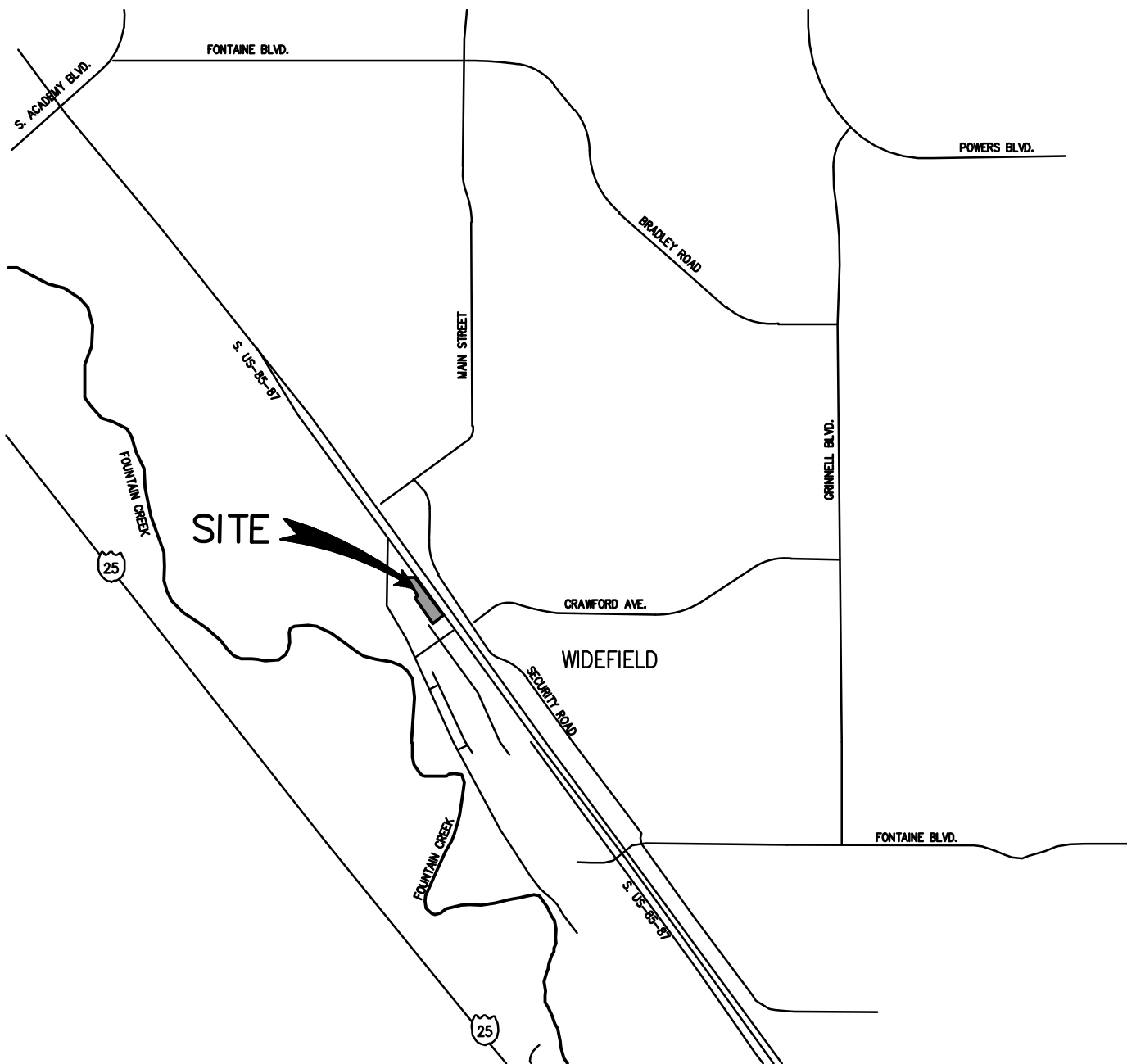
THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M..DESCRIBED MORE PARTICULARLY AS FOLLOWS, TO WIT: COMMENCING AT A POINT NORTH 6 DEGREES 24 MINUTES WEST. 336.6 FEET FROM THE QUARTER CORNER COMMON TO SECTIONS 13 AND 14. OF THE ABOVE MENTIONED TOWNSHIP AND RANGE, WHICH POINT IS ON THE WESTERLY RIGHT OF WAY LINE OF THE DENVER AND RIO GRANDE RAILROAD; THENCE SOUTH 55 DEGREES 58 MINUTES WEST. 713 FEET TO THE EASTERLY RIGHT OF WAY LINE OF A COUNTY ROAD; THENCE NORTH 28 DEGREES 14 MINUTES WEST 205 FEET ALONG SAID RIGHT OF WAY LINE; THENCE NORTH 32 DEGREES 12 MINUTES WEST 365 FEET ALONG SAID RIGHT OF WAY LINE: THENCE NORTH 35 DEGREES 12 MINUTES WEST, 413 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING OF THE TRACT TO BE HEREBY DESCRIBED; THENCE CONTINUE THIS LAST MENTIONED COURSE NORTH 35 DEGREES 12 MINUTES WEST, 221 FEET ALONG SAID RIGHT OF WAY LINE; THENCE NORTH 0 DEGREES 30 MINUTES WEST 159 FEET ALONG SAID RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 41MINUTES EAST 200 FEET; THENCE NORTH 0 DEGREES 30 MINUTES WEST 218 FEET. TO THE SOUTH LINE OF THE WIDEFIELD SCHOOL GROUNDS; THENCE SOUTH 89 DEGREES 41 MINUTES EAST, TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 85-87; THENCE SOUTH 36 DEGREES 22 MINUTES EAST 541 FEET; THENCE SOUTH 53 DEGREES 38 MINUTES WEST 242 FEET; THENCE NORTH 36 DEGREES 22 MINUTES WEST 43 FEET; THENCE SOUTH 89 DEGREES 28 MINUTES WEST 376 FEET, MORE OR LESS TO THE POINT OF BEGINNING, EXCEPT THAT PORTION CONVEYED TO NORMAN L. AMIDON AND VIOLET L. AMIDON IN BOOK 2444 AT PAGE 845, SAID EXCEPTION PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., EI PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE DENVER & RIO GRANDE RAILROAD THAT IS N 6° 24' W A DISTANCE OF 336.6 FEET FROM THE QUARTER CORNER COMMON TO SECTIONS 14 AND 13 IN THE ABOVE MENTIONED TOWNSHIP AND RANGE; THENCE S 55° 58' W A DISTANCE OF 713.0 FEET TO THE EASTERLY RIGHT OF WAY LINE OF A COUNTY ROAD; THENCE N 28° 14' W ALONG SAID RIGHT OF WAY 205.0 FEET; THENCE N 32° 12' W ALONG SAID RIGHT OF WAY LINE 365.0 FEET; THENCE N 35° 12' W ALONG SAID RIGHT OF WAY LINE 413.0 FEET FOR THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED; THENCE CONTINUE N 35° 12' WEST ALONG SAID RIGHT OF WAY LINE 221.0 FEET MORE OR LESS TO AN ANGLE POINT IN COUNTY ROAD; THENCE N 0° 30' W ALONG SAID RIGHT OF WAY LINE 159.00 FEET TO A POINT ON THE SOUTH LINE OF A TRACT BEEN RECORDED IN BOOK 215 I AT PAGE 837 OF EI PASO COUNTY, RECORDS; THENCE S 88° 59' E, ALONG SAID SOUTH LINE 200.0 FEET TO THE SOUTHEAST CORNER OF SAID TRACT; THENCE N 1° 01' E ON THE EAST BOUNDARY OF SAID TRACT 218.0 FEET TO THE NORTHEAST CORNER THEREOF SAID CORNER BEING ON THE SOUTH LINE OF THE WIDEFIELD SCHOOL TRACT; THENCE S 89° 41' E, 63.9 FEET TO A POINT. SAID POINT BEING 146.8 FEET N 89° 41' W FROM THE POINT OF INTERSECTION OF THE EXTENSION OF THE LAST COURSE WITH THE SOUTHWESTERLY LINE OF U.S. HIGHWAY #85-87; THENCE S 30° 22' E A DISTANCE 01'259.3 FEET; THENCE S 53° 38' W A DISTANCE OF 25.0 FEET TO INTERSECT A LINE PARALLEL TO AND 170.0 FEET SOUTHWESTERLY OF THE SOUTHWESTERLY LINE OF U.S. HIGHWAY #85-87; THENCE S 36° 22" E A DISTANCE 01'385.0 FEET; THENCE S 53° 38' W A DISTANCE OF 72.00 FEET; THENCE N 36° 22" W A DISTANCE OF 43.0; THENCE S 89° 28' W A DISTANCE 01'376.0 FEET, MORE OF LESS TO THE POINT OF BEGINNING, COUNTY OF EL PASO. STATE OF COLORADO

H & H TIRE

5770 S. HIGHWAY 85/87

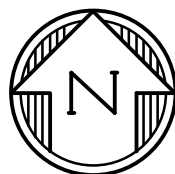
EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN



VICINITY MAP

NOT TO SCALE



CERTIFICATION OF OWNERSHIP

I, _____, HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTERESTS IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS 5770 S. HIGHWAY 85/87, EL PASO COUNTY. TAX SCHEDULE NO. 65141-00-022 CASE NO. _____.

OWNER/AUTHORIZED AGENT _____ DATE _____

FLOODPLAIN STATEMENT:

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL #08041C0951 G (MARCH 1997) SHOWS THE SITE LOCATED WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRM AS ABOVE THE 500-YEAR FLOOD LEVEL).

Approved

By: **Craig Dossey, Executive Director**
Date: **09/23/2020**



El Paso County Planning & Community Development

SHEET INDEX

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- 8 - BUILDING ELEVATIONS
- 9 - BUILDING ELEVATIONS
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SITE/BUILDING DATA:

OWNER: QUENTYN L. HOUTCHENS
4320 STAR RANCH ROAD COLORADO SPRINGS, CO. 80906-7641

TAX SCHEDULE NUMBER: 65141-00-022

DEVELOPMENT PLAN/LOT AREA: 1.89 AC.

ZONING: (EXISTING & PROPOSED) CC (COMMERCIAL COMMUNITY)

LAND USE: RETAIL, SERVICE & STORAGE GARAGE

DRAINAGE BASIN: WINDMILL GULCH

BUILDING CONTRUCTION TYPE: II-A

BUILDING HEIGHTS ALLOWED (CC) 40'
PROPOSED 25'

BUILDING SETBACKS FRONT 25'
SIDE/(FROM ZONE DISTRICT BOUNDARY) 0'/25'
REAR/(FROM ZONE DISTRICT BOUNDARY) 0'/25'

MAXIMUM LOT COVERAGE (IMPERVIOUSNESS) N/A

LOT COVERAGE:

EXISTING BUILDINGS	19,014 SF	13.8%
PROPOSED BUILDING	5,000 SF	6.3%
EXISTING PAVING	62,026 SF	65.6%
EXISTING LANDSCAPE/UNPAVED	13,450 SF	14.3%
TOTAL EXISTING IMPERVIOUS COVERAGE	81,040 SF	85.7%

PARKING SPACES REQUIRED:

GENERAL RETAIL (1:250) - 4,822 SF	20 SPACES
WAREHOUSE (1:1000) - 16,000 SF	16 SPACES
HANDICAP SPACES (1:25)	2 SPACE

PARKING SPACES PROVIDED:

STANDARD SPACES	38 SPACES
HANDICAP SPACES	2 SPACES

Approval includes an alternative landscape plan pursuant to Section 6.2.2.A.4 of the Land Development Code.

APPROXIMATE SCHEDULE OF DEVELOPMENT: BEGIN FALL 2020
COMPLETE WINTER 2020

PCD FILE NO.: PPR-20-016

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPRINGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719) 560-0887
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

CLIENT:

5770 S. HIGHWAY 85/87
COLORADO SPRINGS, CO. 80911
(719) 392-4819
CONTACT: QUENTYN HOUTCHENS

SITE DEVELOPMENT PLAN

H & H TIRE
5770 S. HIGHWAY 85/87
EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL SUBMITTAL	02/19/20
LATEST ISSUE	09/17/20
DESIGNED BY:	TDM
DRAWN BY:	CRS
CHECKED BY:	TDM
FILE NAME:	20898-01CSV01

DRAWING SCALE:

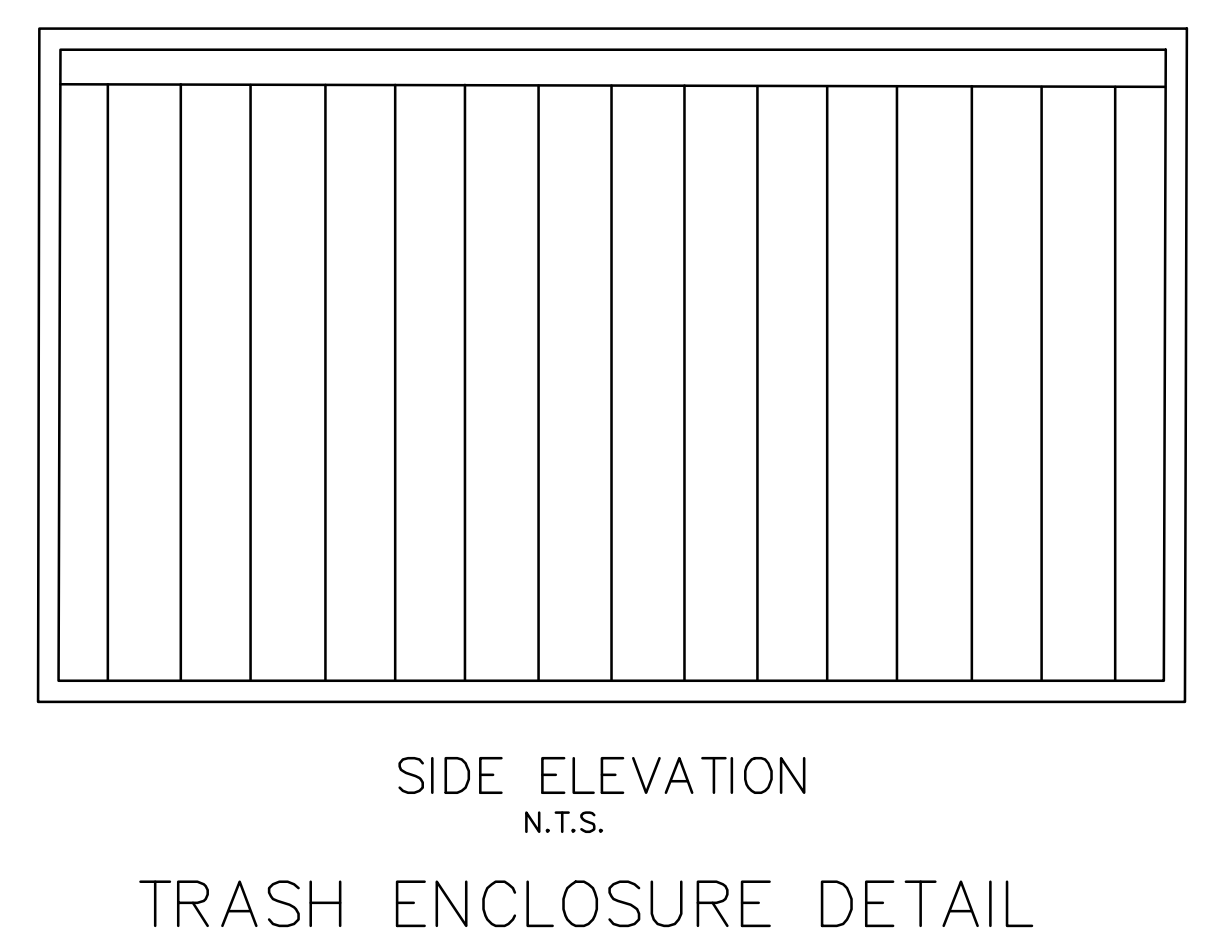
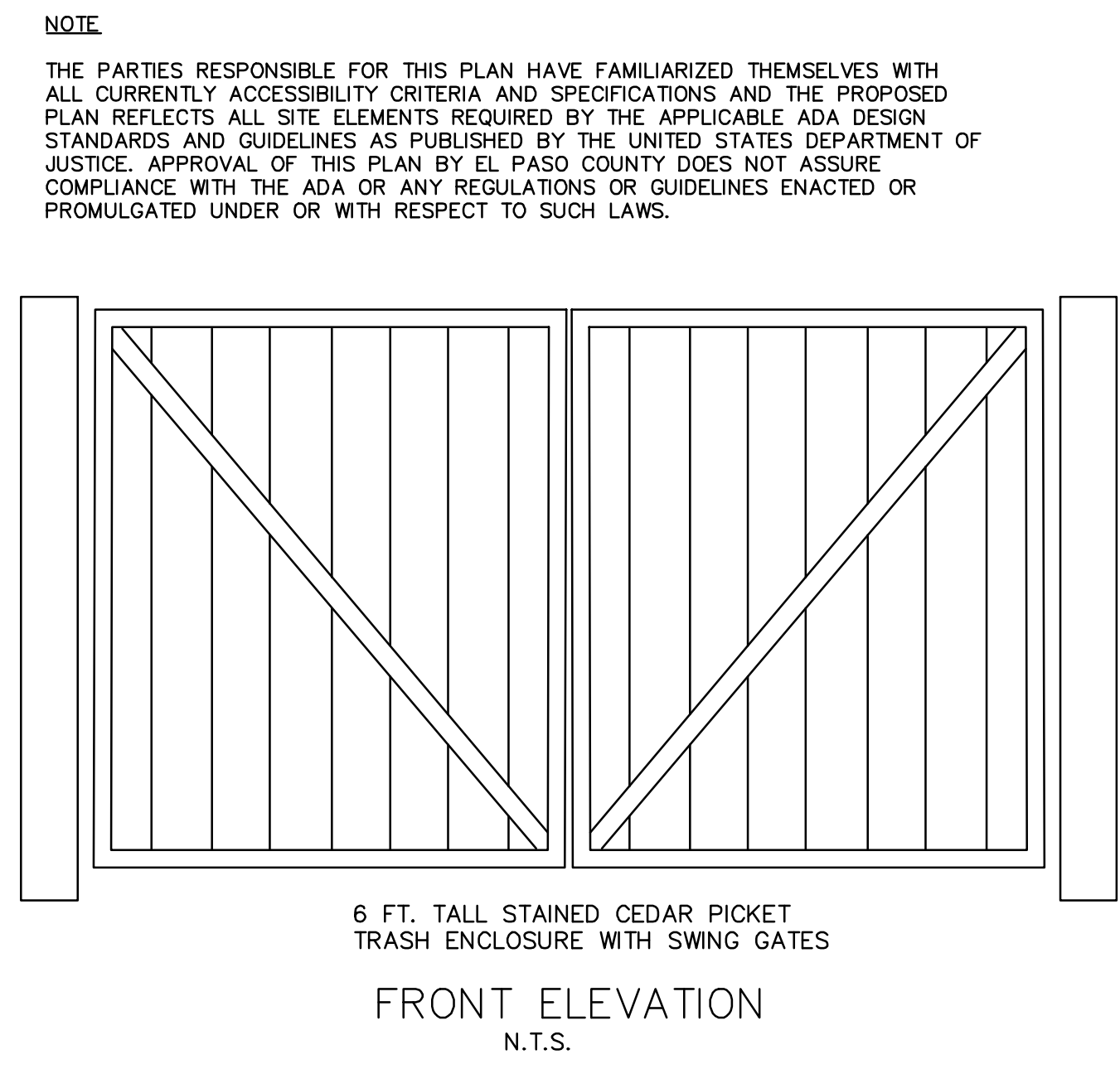
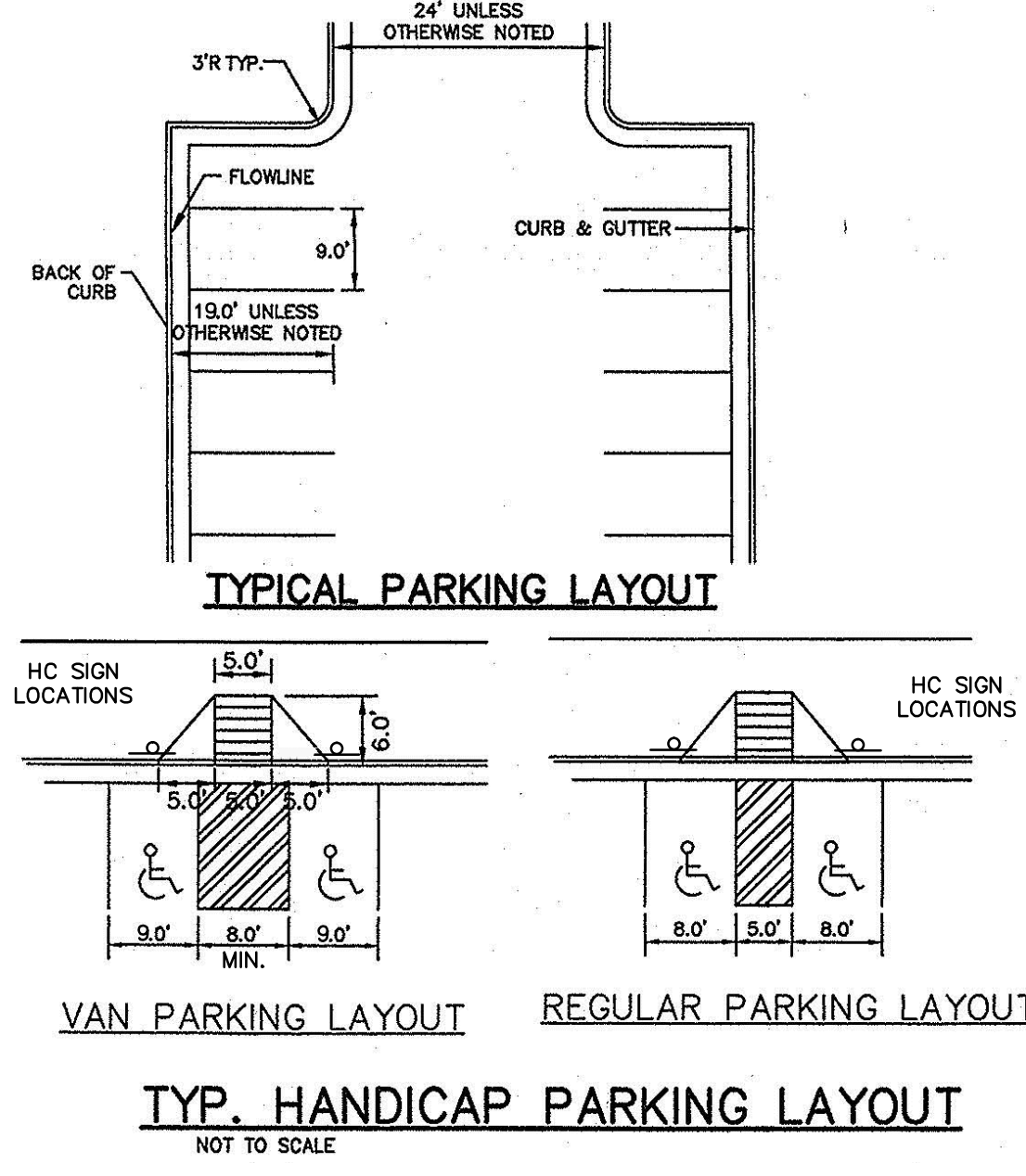
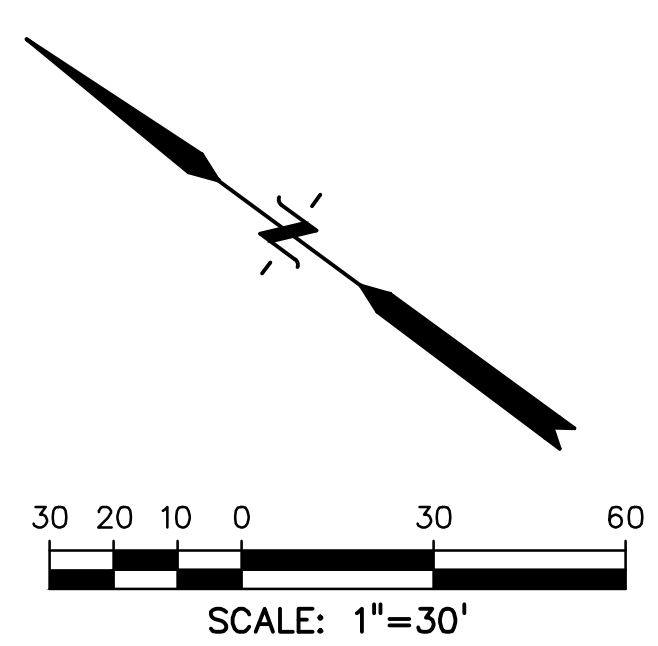
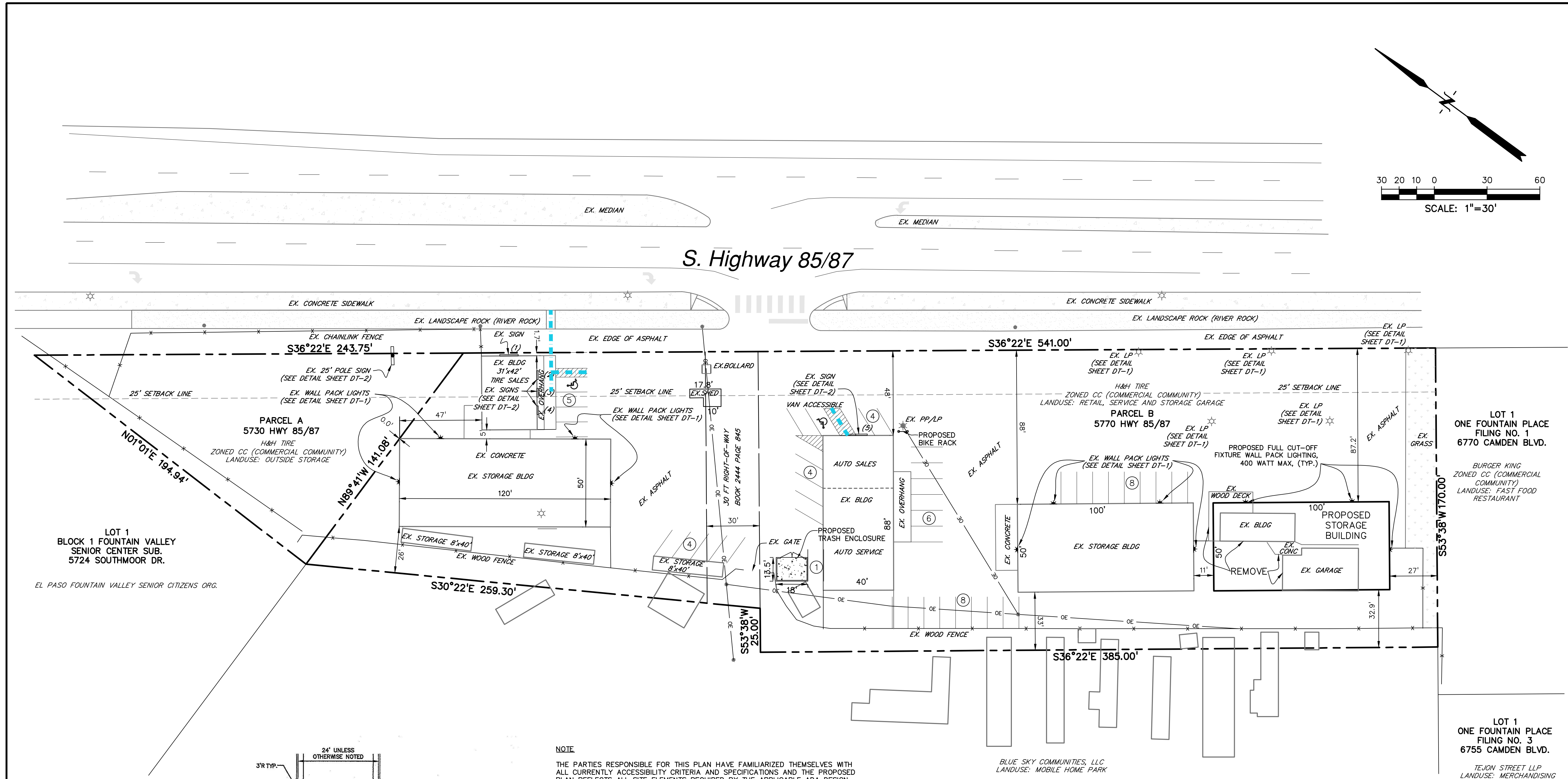
HORIZONTAL: N/A
VERTICAL: N/A

COVER SHEET

PROJECT NO. 20898-01CSV01
DRAWING NO.

DP1

SHEET: 1 OF 12



NOTE
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENTLY ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

LEGEND

PROPERTY LINE	---
EASEMENT	- - - - -
PARKING STALL COUNT	④
WALL PACK LIGHTS	*
EX. LIGHT POLE	☆
EX. POWER POLE	•
EX. 6" CEDAR FENCE	×
EX. OVERHEAD POWER AND ELECTRIC	— OE —
SIGN NUMBER	(1)
ADA ACCESSIBLE ROUTE	—

811 Know what's below.
Call before you dig.
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPRINGS, CO. 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

CLIENT:
H&H
Tires & Service
5770 S. HIGHWAY 85/87
COLORADO SPRINGS, CO. 80911
(719)392-4819
CONTACT: QUENTYN HOUTCHENS

SITE DEVELOPMENT PLAN
H & H TIRE
5770 S. HIGHWAY 85/87
EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL SUBMITTAL	02/19/20
LATEST ISSUE	09/17/20
DESIGNED BY:	TDM
DRAWN BY:	CRS
CHECKED BY:	TDM
FILE NAME:	20898-01SP01

DRAWING SCALE:
HORIZONTAL: 1" = 30'
VERTICAL: N/A

SITE PLAN

PROJECT NO. 20898-01CSCV
DRAWING NO.

SDP

SHEET: 2 OF 12

GENERAL:

1. Dimensions: The structural drawings shall be considered as a part of the complete set of Contract drawings, including the drawings of all disciplines. It is intended that the Structural drawings will provide sufficient dimensions to locate the primary structural elements and members. Location of secondary members which are affected by systems detailed by others may require reference to the drawings of other disciplines and layout and coordination by the contractor. If direct conflict between dimensions of two or more disciplines is encountered, such conflicts shall be resolved by the Architect. Do not use scaled dimensions. Use written dimensions or where dimensions are not provided, consult the architect for clarifications before proceeding with the work in question.
2. Omissions or conflicts between various elements of the drawings, specifications, notes, and details shall be brought to the attention of the structural engineer and resolved before proceeding with the work. The contractor must submit in writing any requests for modifications to the plans and specifications. Shop drawings submitted to the structural engineer for review do not constitute "in writing" unless it is clearly noted that specific changes are being requested.
3. Deferred Submittals: Where Structural components are fully or partially designed and detailed by the supplier or fabricator, complete shop drawings and calculations, signed and sealed by a professional engineer registered in the state where the project is located, shall be submitted to the structural engineer for review. In addition, a copy of these documents shall be submitted to the Building Official for approval in accordance with IBC Section 107.3.4.1.
4. The Contract drawings and specifications represent the finished structure. They do not indicate the method of construction. The contractor shall provide all measures necessary to protect the structure during construction. Such measures shall include but not be limited to bracing and shoring for loads due to construction equipment and materials.

DESIGN CRITERIA:

1. Used 2015 International Building Code.
2. ASD Design Loads:

A. Roof: D.L. = 5#/SF., L.L. = 30#/SF. Snow.
3. Wind load = 101 MPH (nominal), 130 MPH (ultimate), exposure C, Iw = 1.0.
4. Seismic: Equivalent Static Force Design Procedure.

Seismic Design Category B, Site Class D.

Ss = 0.175 SDS = 0.186

S1 = 0.060 SD1 = 0.097

R = 2.5 – Light framed walls w/ shear panels all other materials.

Ie = 1.0.

**Per ICC Commentary:

"Wind speeds are designated as "ultimate design" or "nominal design" wind speeds and are used for either strength design or allowable stress designs respectively. The ultimate design wind speeds are indicated in Figures 1609A, B & C, and vary based on the building's risk category and location. The ultimate design for wind speeds for a Risk Category II building vary from 110 mph on the West Coast to 180 mph in hurricane-prone areas in southern Florida. These wind speeds would convert to a nominal design wind speed, or what was previously called the "basic wind speed" 85 mph for the West Coast and 139 mph for southern Florida when using allowable stress design."

QUALITY ASSURANCE:

FOUNDATIONS:

1. Maximum foundation soil bearing pressure used = 1500#/SF.

MATERIALS:

CONCRETE:

1. Mix design shall be established in accordance to Chapter 5 of ACI 318.
2. Minimum cement content = 376#/YD.
3. Maximum slump = 4".
4. 28 day strength f'c = 2500 PSI.

Special inspection not required per IBC 1705.3, exception 2.

STRUCTURAL AND MISCELLANEOUS STEEL:

1. All steel work shall conform with AISC specifications.
2. Bolts ASTM A307 for connections to concrete.

Bolts ASTM A325 for steel to steel connections. Bolts to be snug tight except bolts indicated as S.C. to be fully tightened.
3. Roof Steel shall be painted 29 Ga, ribbed steel and shall be attached to framing with 1 ½" x #9 screws with neoprene washers at 9" o.c.
4. Wall Steel shall be painted 29 Ga, ribbed steel and shall be attached to framing with 1 ½" x #9 screws with neoprene washers at 9" o.c.

LUMBER:

1. Sawn lumber for studs, joists, etc.(2x6 or larger) = No.2 Doug Fir larch.
2. 2x4's = Standard Doug Fir larch.
3. Posts = So. Pine #1 Nail-lam.
4. All nails are to be common nails unless noted otherwise.
5. For connections of "SIMPSON" hardware or equivalent follow manufacturers recommendations.
6. Trus-Joist products:

A. Roof joists shown as TJL etc. shall be designed for the loads specified and shall conform to Trus-Joist specification.

B. Joists exceeding 24' in length shall be cambered to a standard radius of R = 2250.

C. Any alternate joist system(s) shall be the same depth and load Carrying capacity as the Trus-Joist system show on the drawings.

D. Micro Lam (LVL) E-1,900,000 psi.

7. Premanufactured Trusses

- A. Truss Loading:

Top Chord D.L. = 5 PSF.

Bottom Chord D.L. = 2 PSF.

Top Chord L.L. = 30 PSF.

Bottom Chord L.L. = 2 PSF. Does not act concurrently with top chord L.L.
- B. Member Properties:

Chords shall be #2 Douglas Fir or better.

Webs shall have minimum Modulus of Elasticity of 1,500,000 psi.
- C. All truss blocking shall be provided by the truss manufacturer and constructed with approved plates.
- D. Truss Manufacturer shall verify all truss dimensions, accounting for tolerances, connections, and splice requirements.
- E. Truss profiles shown are representations of possible configurations of Web locations and member sizes. Truss manufacturer shall submit shop drawings for approval. All trusses shall be designed by a registered professional engineer and all shop drawings shall be stamped and signed by a registered professional engineer.
- F. Truss manufacturer shall provide proof of approved third party I inspection as required by IBC chapter 2303.4.
- G. Truss manufacturer shall design all truss to truss connections and shall indicate said connections on the shop drawings.
- H. Each truss shall be marked with the following information:

1. Manufacturers identity.

2. Design Load.

3. Truss spacing.

8. All lumber in contact with concrete, masonry, or ground shall be preservative treated wood in accordance with AWPAs standards. Posts embedded in the ground shall comply with UC4B .60 treatment or greater.

2015 IBC CODE ANALYSIS

Occupancy =	S-1	
Construction Type =	V-B	
Building Area =	9,000 s.f. allowable	
	5,000 s.f. actual	
Frontage Increase =	16.7%	
Allowable Area =	10,500 s.f.	
Unlimited Area =	N/A	
Bldg. Height =	40 ft. allowable;	24 ft proposed
(Table 504.3)		
Occupant Load =	10.0 allowable;	8.0 proposed
(Table 1004.1.2)		

Travel Dist. W/O Sprinklers =	200 ft. max.
(Table 1017.2)	130 ft. actual
Exits =	2 req'd
(Table 1006.3.1)	



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PH: 800-833-9997
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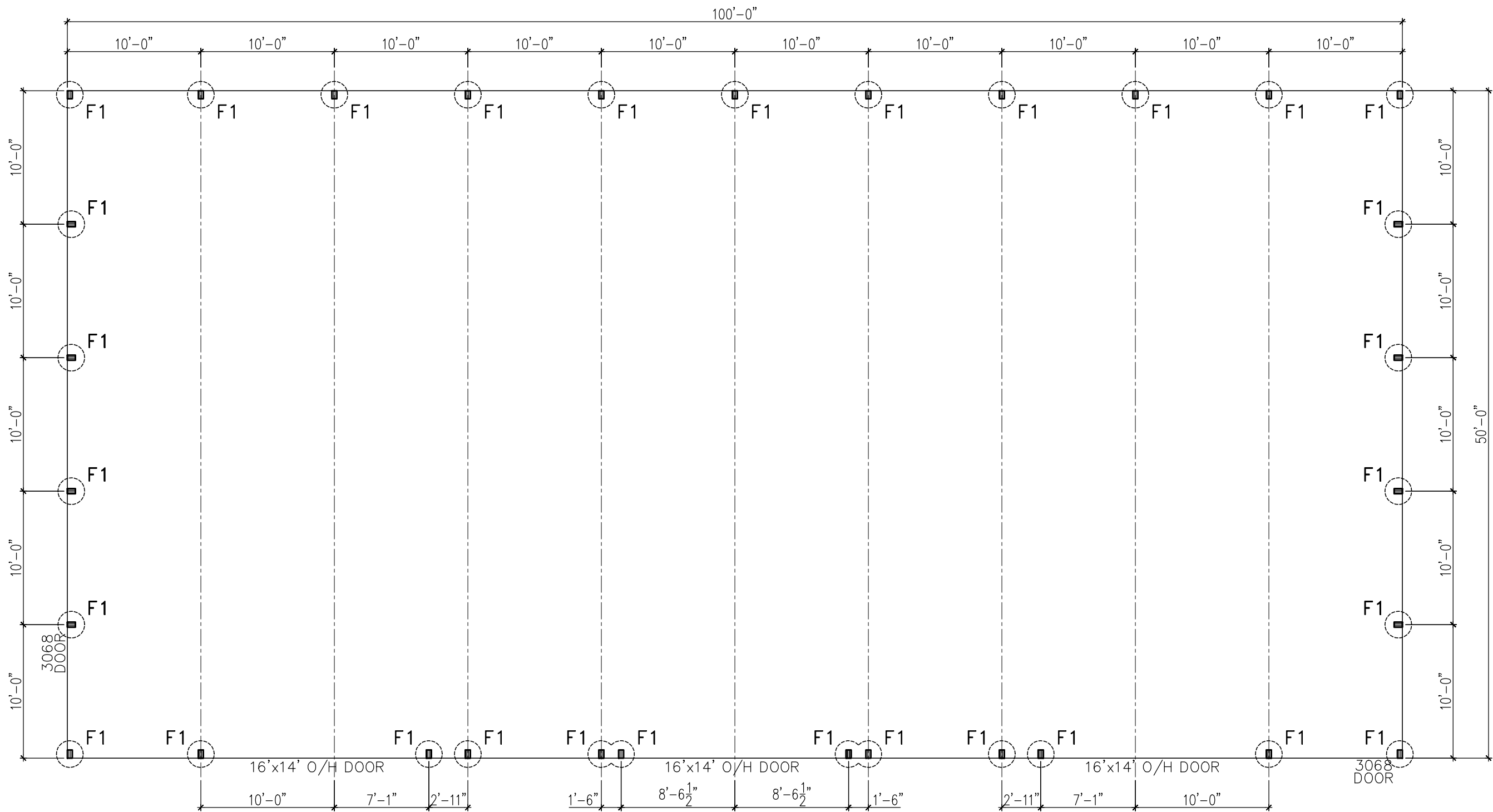
NO.	REVISIONS	DATE



POST FRAME BLDG FOR:

5792 HWY 85

DRAWN	BW
DATE	12/19/19
JOB NO.	11431
SHEET	SO



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

FOUNDATION NOTES:

1 PROVIDE 2x4 STRONGBACKS ON ALL WALL GIRTS > 8'-0". ATTACH W/(1) 16d @ 12" O.C. TYP.

FOOTING SCHEDULE				
MARK	"D"	DEPTH	POST	DETAIL
F1	2'-0"ø	4'-0"	(3)2x8 So. Pine #1 Nail-lam	2/S3
F2	—	—	—	—
F3	—	—	—	—
F4	—	—	—	—



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FOUNDATION PLAN

NO.	REVISIONS	DATE

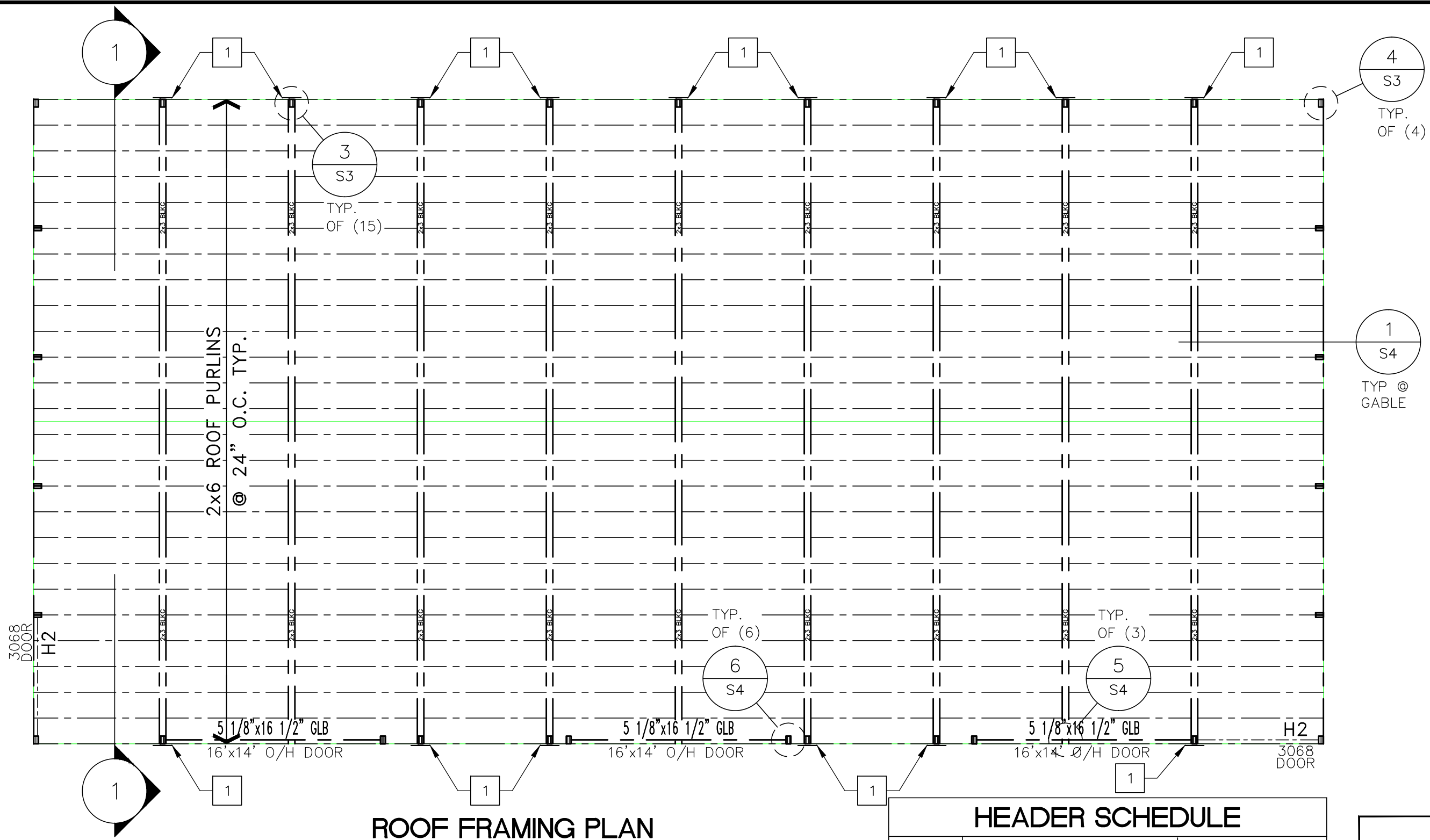
H&H TIRE

FOUNTAIN, COLORADO

5792 HWY 85

POST FRAME BLDG FOR:

DRAWN	BW
DATE	12/19/19
JOB NO.	11431
SHEET	S1




ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

ROOF FRAMING NOTES:

- (1) MST27 STRAP – PLACE AT INSIDE OF FASCIA BOARD IF NO OVERHANGS. PLACE AT INSIDE FACE OF TOP WALL GIRT IF OVERHANGS

HEADER SCHEDULE		
MARK	MEMBER	SUPPORT
H1	(1) 2x10 DF#2 V; (1) 2x8 DF#2 H	(1) 2x8 TRIMMER
H2	(1) 2x6 DF#2 V; (1) 2x8 DF#2 H	—
H3	(1) 2x6 DF#2 V	—
NOTE: REFER TO DETAILS 2, 3 & 4/S4.1 FOR HEADER FRAMING CONDITIONS.		



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ROOF FRAMING PLAN

NO.	REVISIONS	DATE



POST FRAME BLDG FOR:

5792 HWY 85

DRAWN

BW

DATE

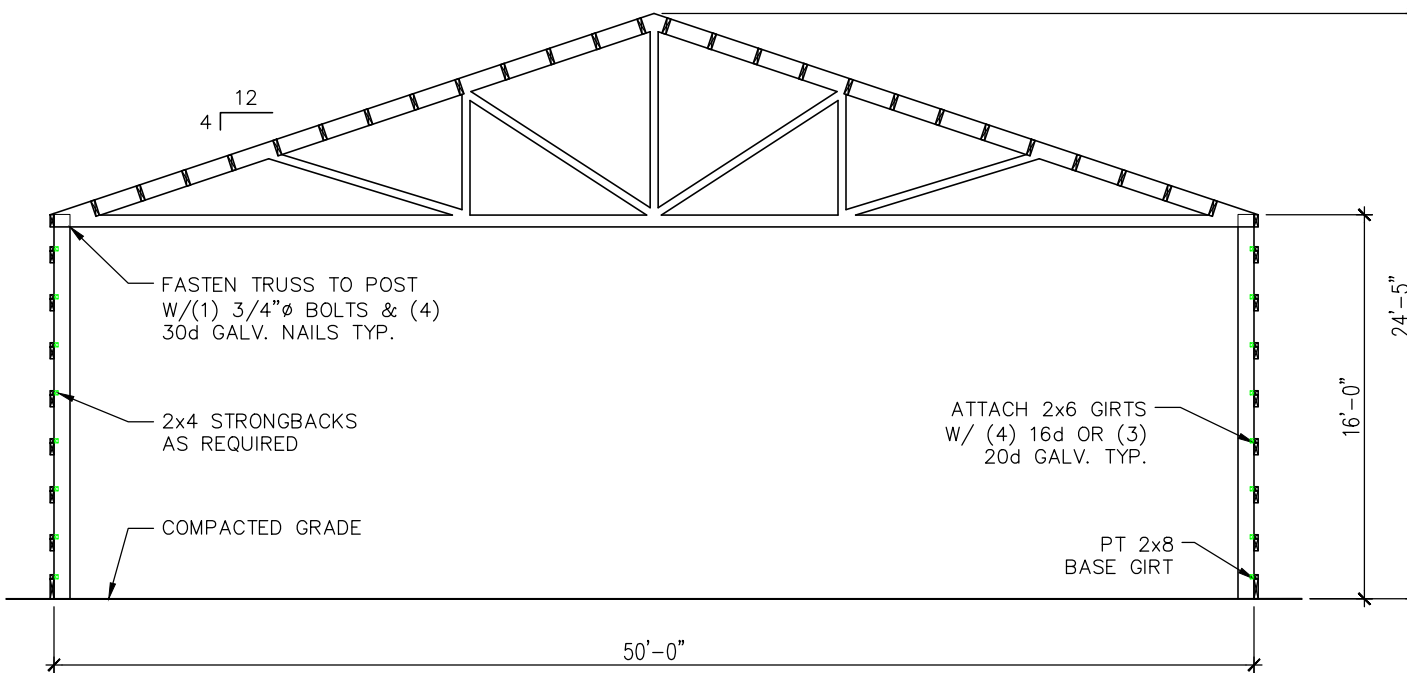
12/19/19

JOB NO.

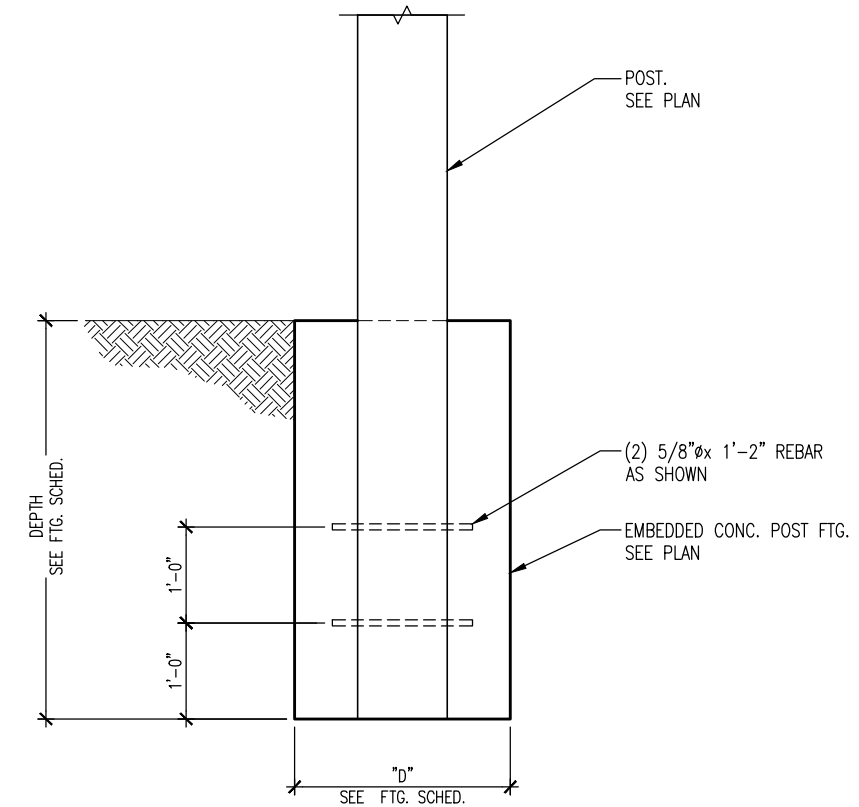
11431

SHEET

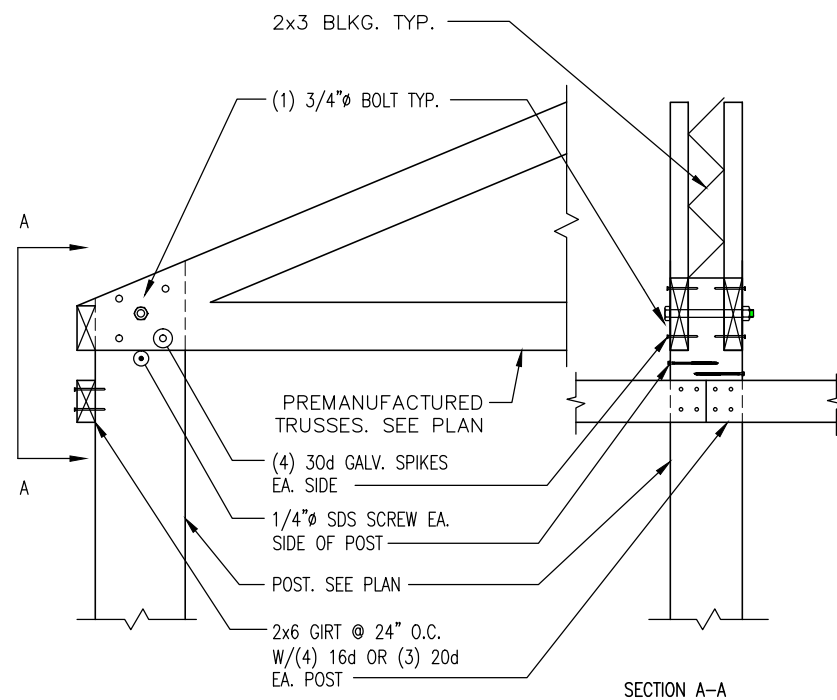
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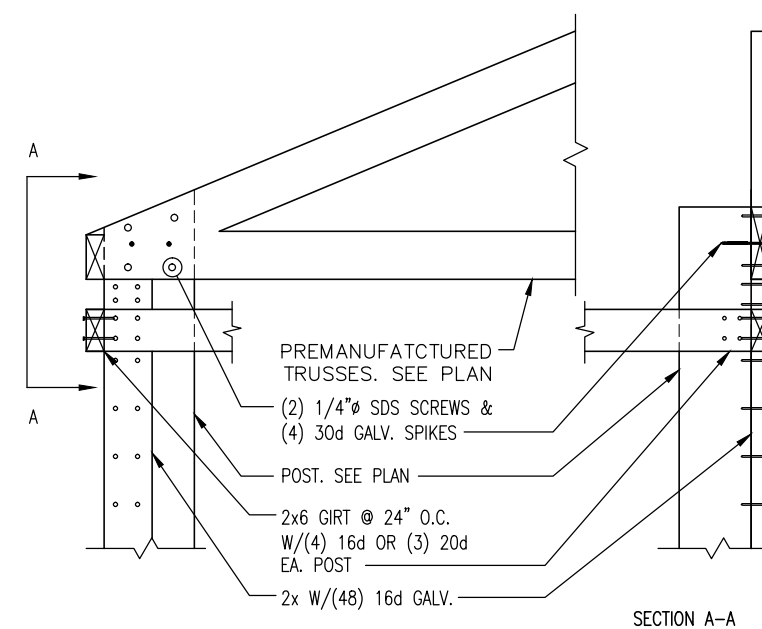
1 SECTION 1-1 SCALE: 1/8" = 1'-0"



2 POST FOOTING SCALE: 1/2"=1'-0"



3 MAIN FRAME TRUSS BEARING DETAIL SCALE: 1/2"=1'-0"



4 GABLE END TRUSS BEARING DETAIL SCALE: 1/2"=1'-0"



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BLDG. SECTION
AND FRAMING
DETAILS

NO.	REVISIONS	DATE



FOUNTAIN, COLORADO

H&H TIRE

POST FRAME BLDG FOR:

5792 HWY 85

DRAWN	BW
DATE	12/19/19
JOB NO.	11431
SHEET	11431

S3

PCD FILE NO.: PPR-20-016

DATE	
REVISIONS	
NO.	



FOUNTAIN, COLORADO

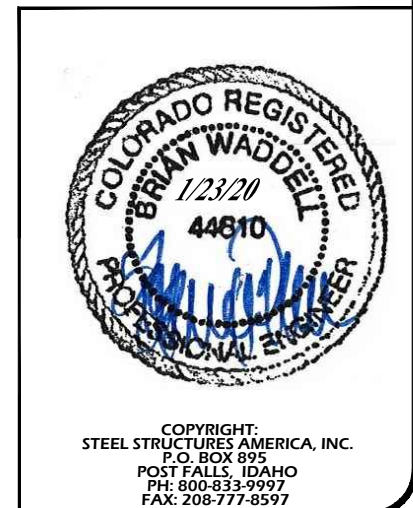
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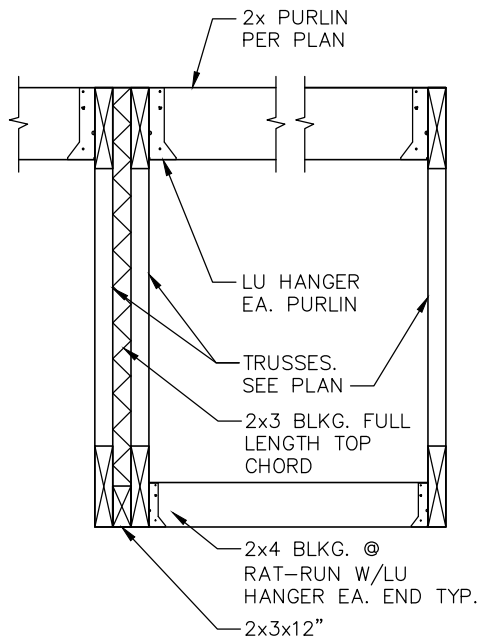
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DRAWN	BW
DATE	11/13/18
JOB NO.	11431
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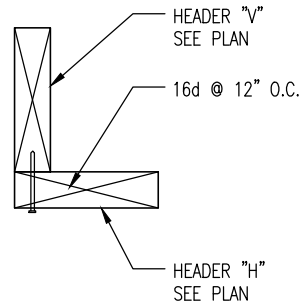
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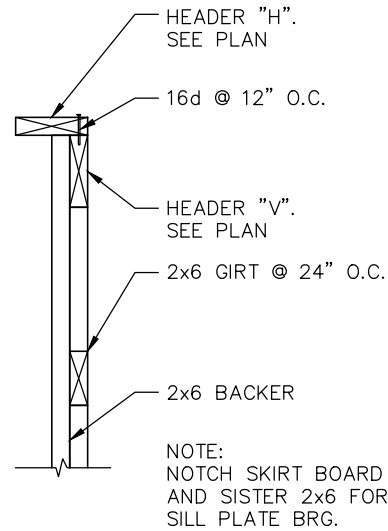
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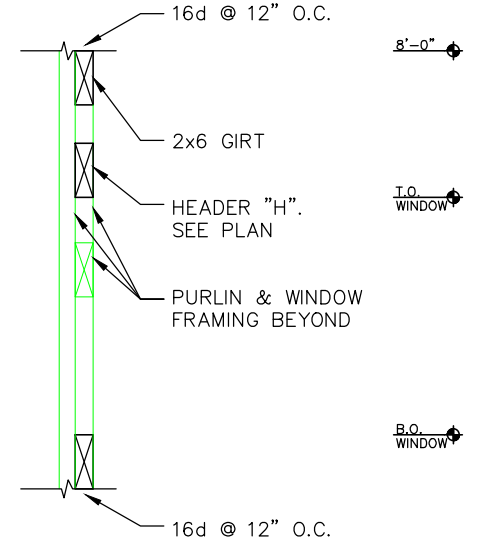
1 GABLE TRUSS FRAMING DETAIL SCALE: 1/2"=1'-0"



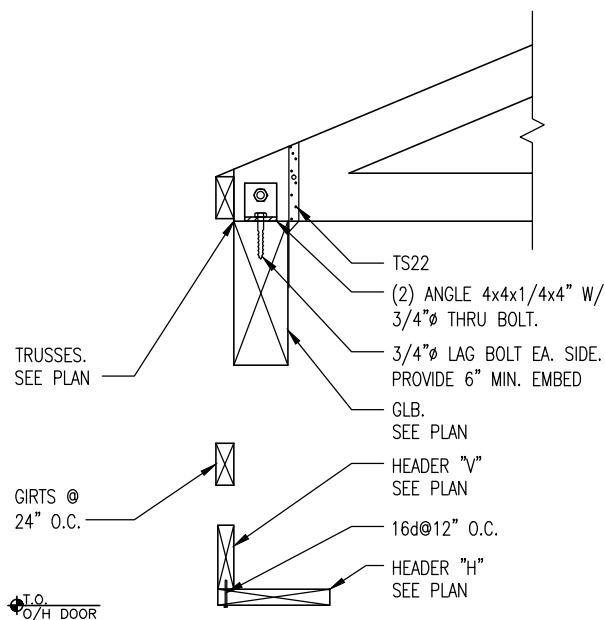
2 HEADER DETAIL SCALE: 1"=1'-0"



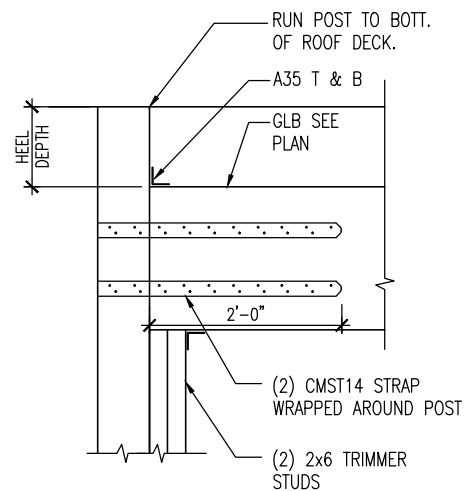
3 MAN DOOR HEADER DETAIL SCALE: 1/2"=1'-0"



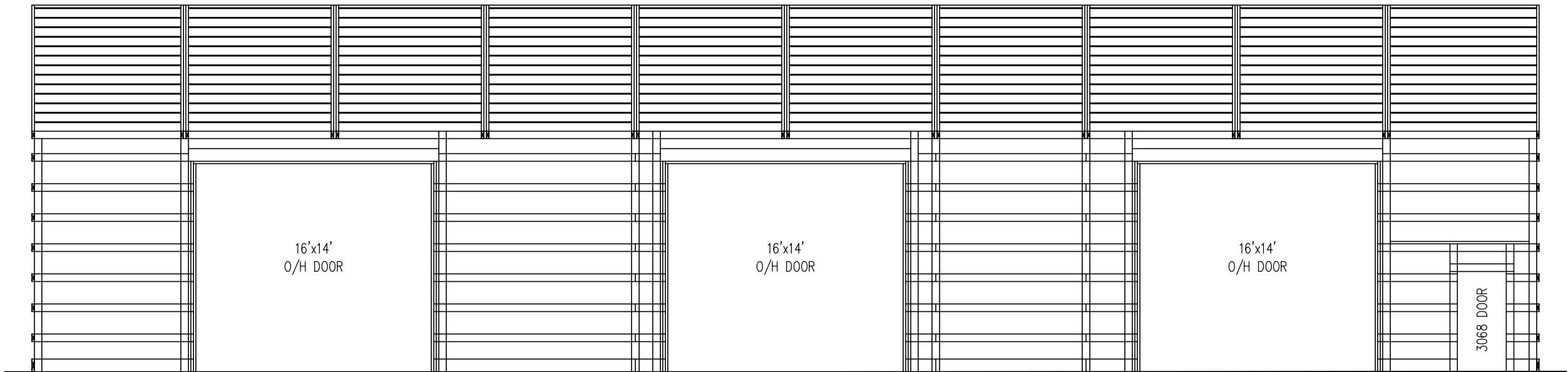
4 WINDOW HEADER DETAIL SCALE: 1/2"=1'-0"



5 TRUSS TO GLB DETAIL SCALE: 1/2"=1'-0"

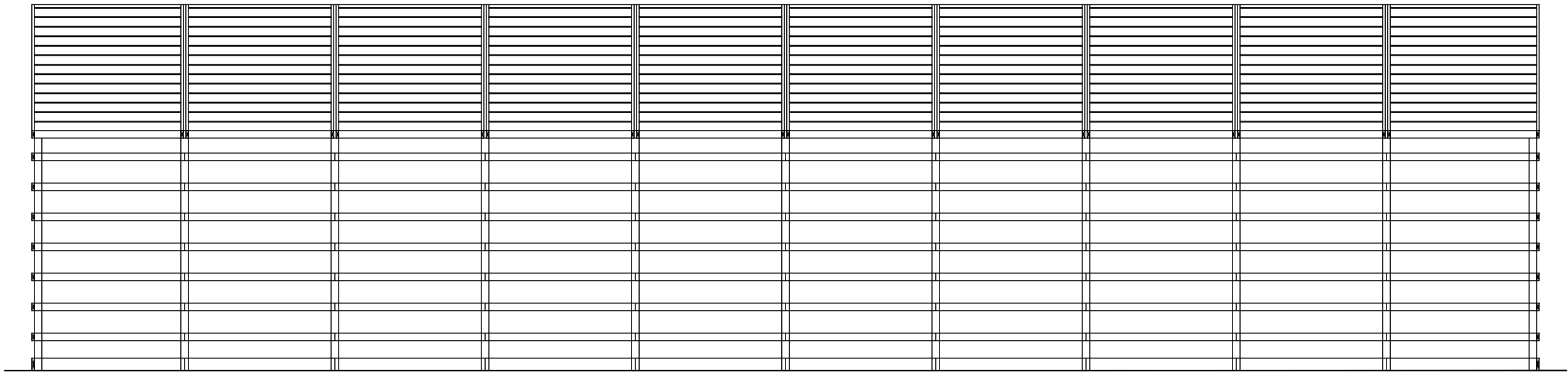


6 JAMB DETAIL SCALE: 1/2"=1'-0"



1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"



2 BACK ELEVATION

SCALE: 1/8" = 1'-0"



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PCD FILE NO.: PPR-20-016

NO.	REVISIONS	DATE



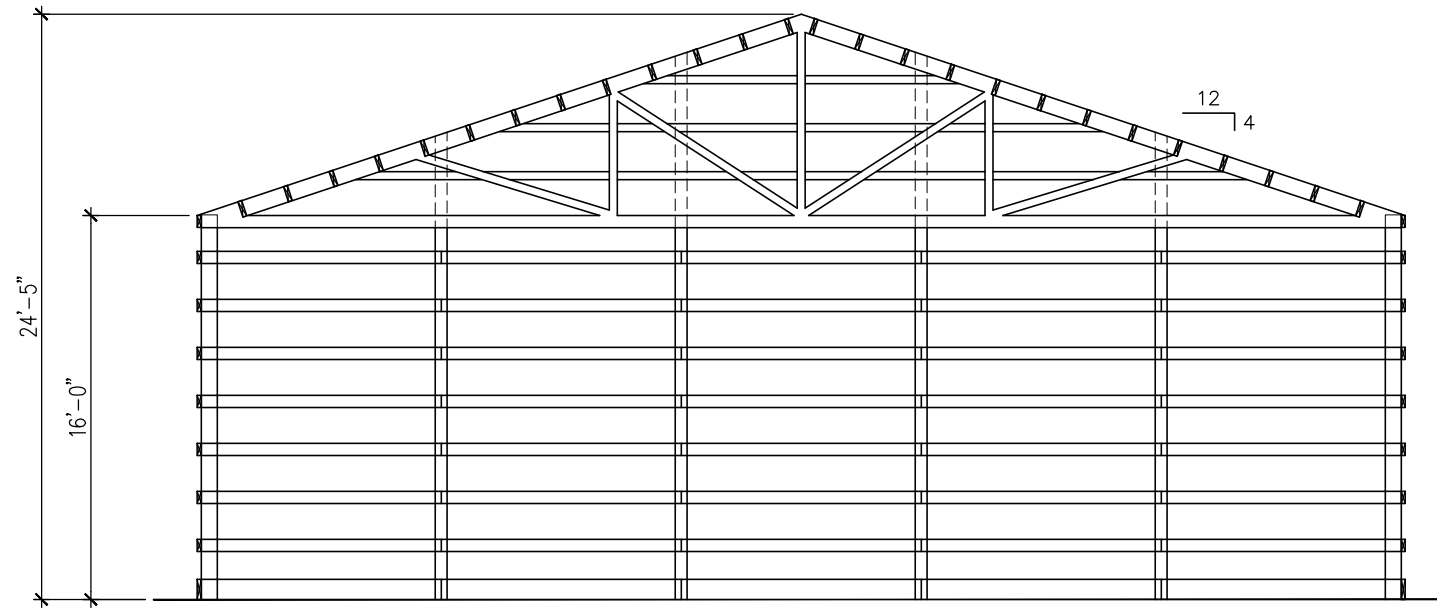
POST FRAME BLDG FOR:

H&H TIRE

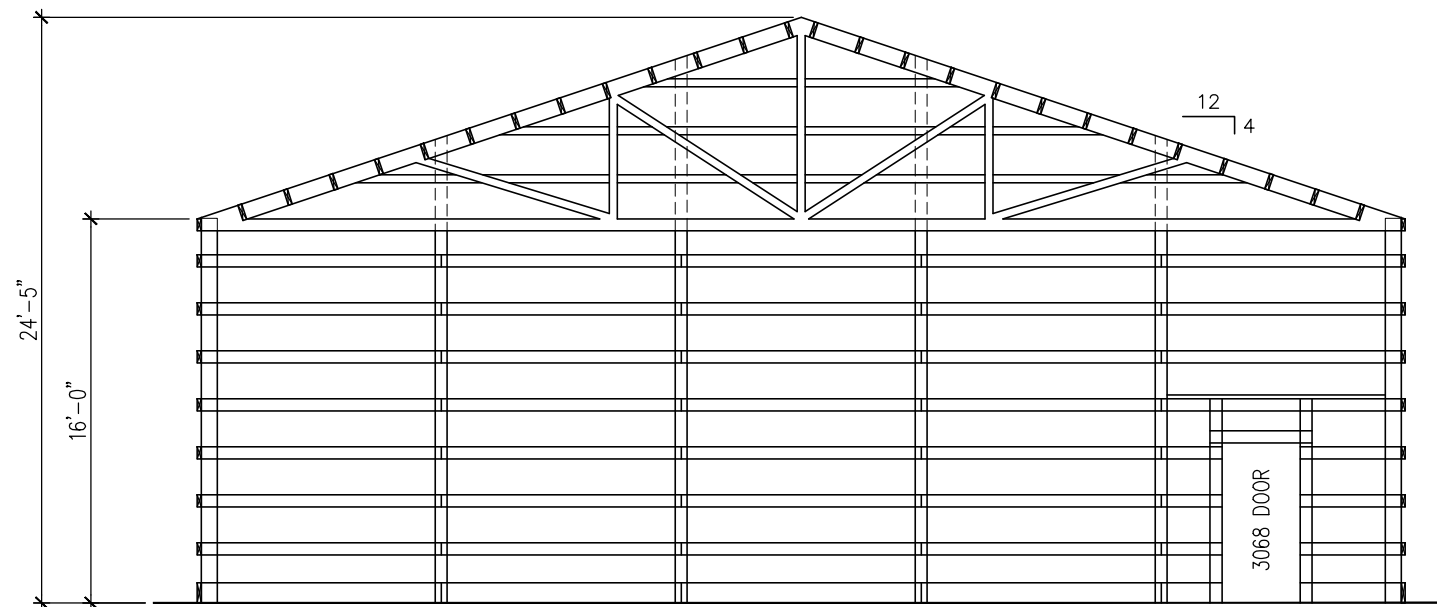
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5792 HWY 85

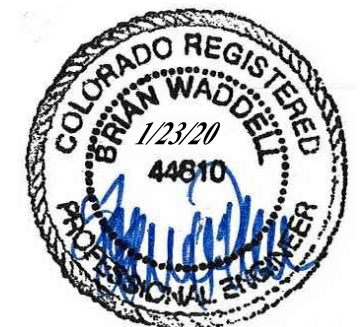
DRAWN	BW
DATE	12/19/19
JOB NO.	11431
SHEET	S5.1



1 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



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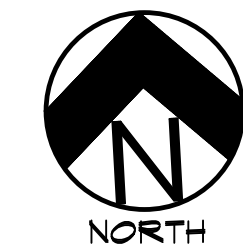
ELEVATIONS

NO.	REVISIONS	DATE



POST FRAME BLDG FOR:
H&H TIRE
FOUNTAIN, COLORADO
5792 HWY 85

DRAWN	BW
DATE	12/19/19
JOB NO.	11431
SHEET	S5.2



OVERALL LANDSCAPE PLAN



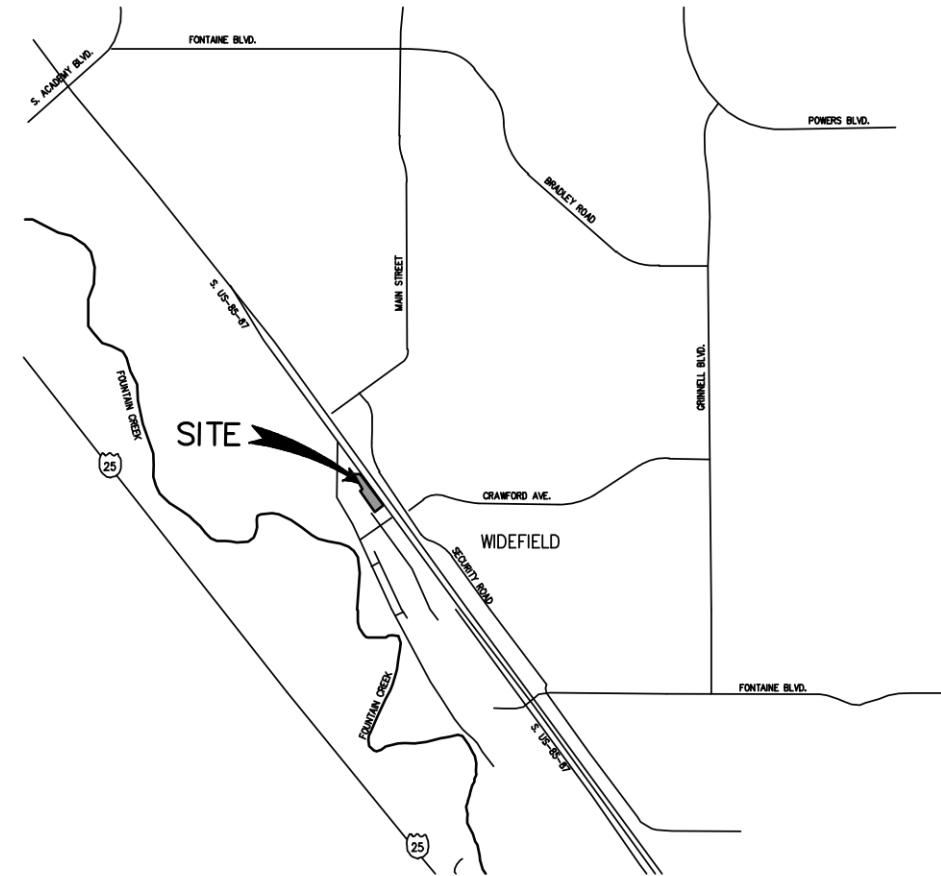
UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY UTILITY AND 10' FROM GAS MAINS. FOR SANITARY SEWER AND WATER MAIN LINES TREES SHALL BE PLACED A MINIMUM OF 15' FROM LINES. REFER TO LOCAL CODE.

ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL. SEE LOCAL CODE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

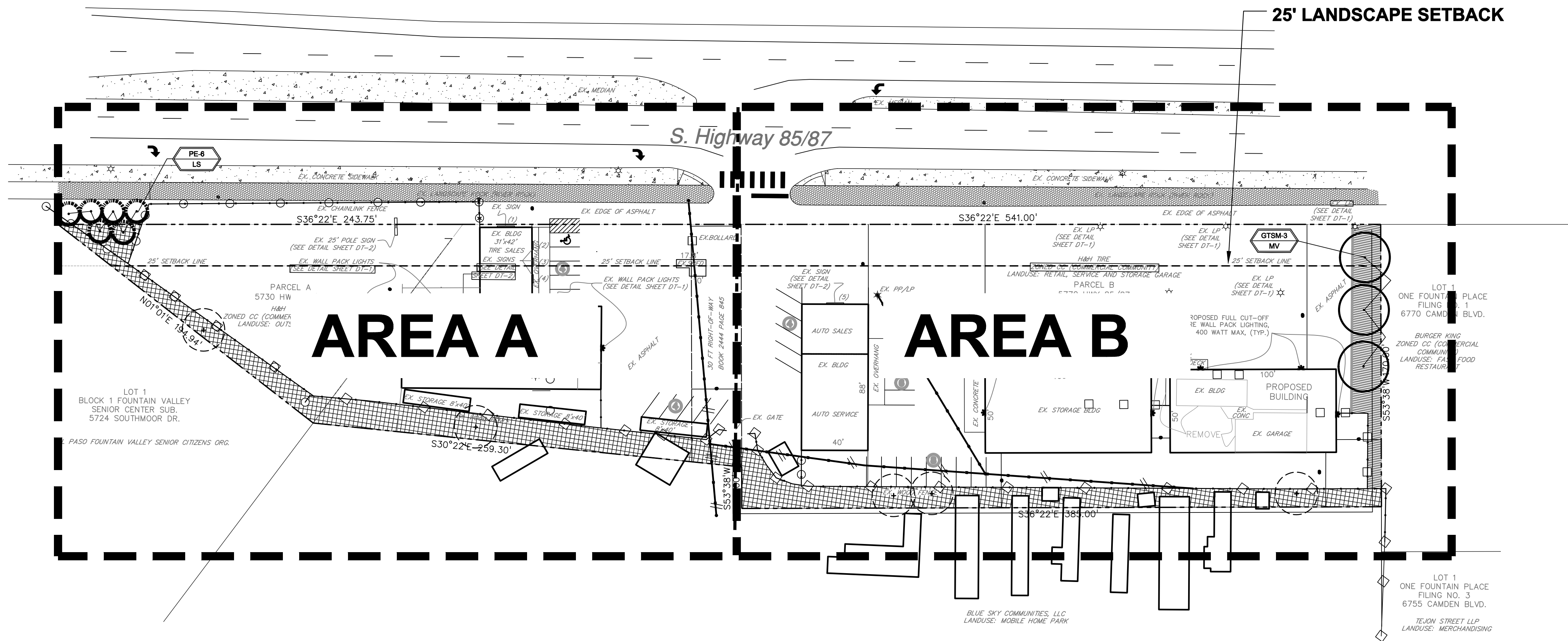
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VICINITY MAP
NOT TO SCALE



CODE REQUIREMENTS					
LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
HWY 85/87	EXPRESSWAY	25/25 FT	760 LF	1/20 FT	38/6
MOTOR VEHICLE LOTS (MV)					
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)		
35	3	N/A	0		
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.				
0	0				
INTERNAL LANDSCAPING (IL)					
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.					
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)		
108,080 SF	NON-RESIDENTIAL	5,453 SF/ 12,226 SF	11/5 EXISTING (ALTERNATIVE REQUEST)		
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN		PERCENT GROUND PLANE VEG. REQ./PROV.		
0	IL		50%/50%		
LANDSCAPE BUFFERS AND SCREENS (LB)					
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER REQ. / PROV.	BUFFER TREES (1/25) REQ./PROV.	EVERGREEN TREES (1/3) REQ./PROV.	
NOT REQUIRED	0	0	0	0	



HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
COLORADO SPRINGS, CO 80917
Phone 719-477-1646
Fax 719-468-1122



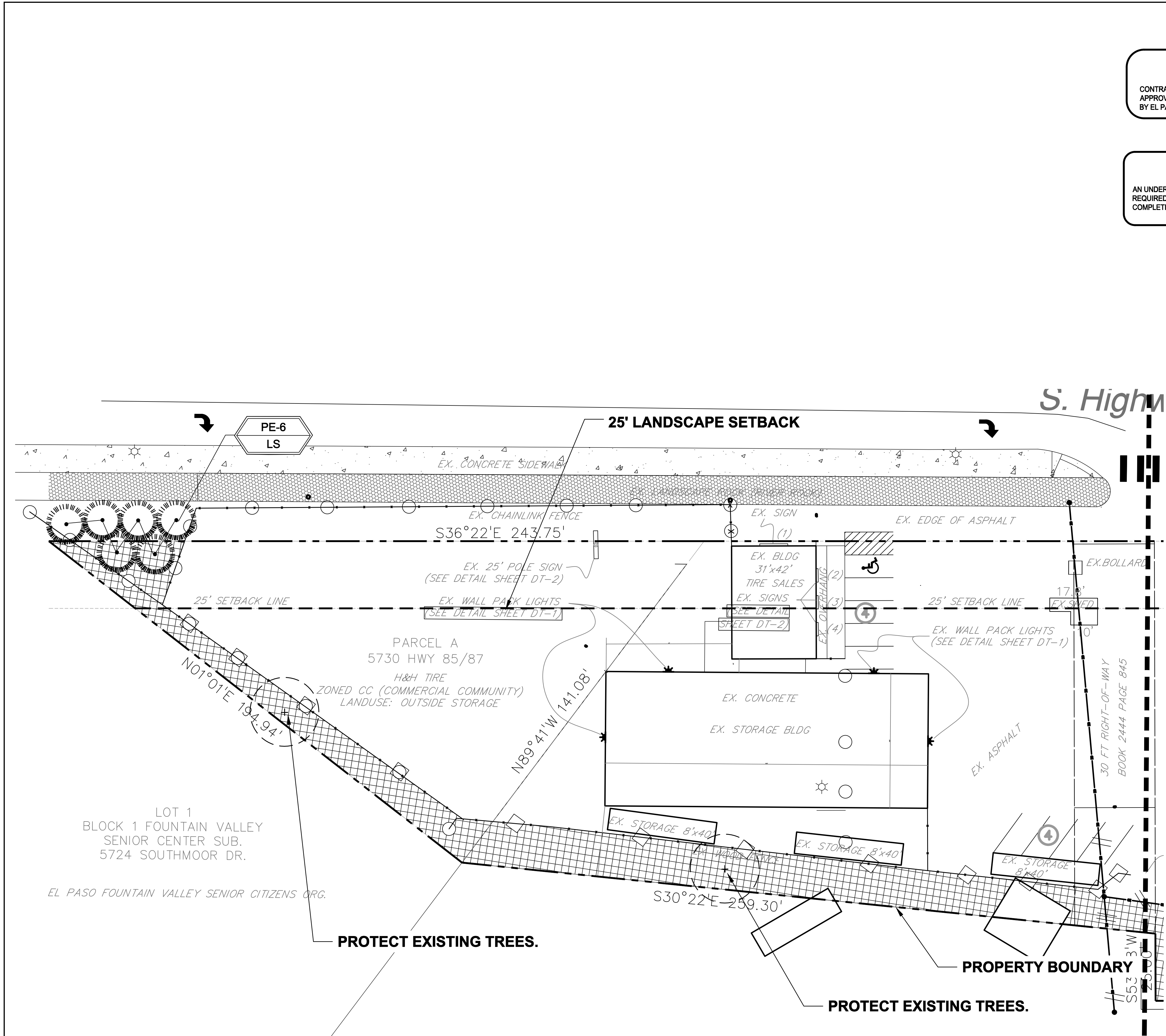
H & H TIRE
5770 S. HIGHWAY 85/87
EL PASO COUNTY, CO

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PREPARED FOR:
HAMMERS CONSTRUCTION
PM: ROBERT GREEN

FOR APPROVAL ONLY

NOT FOR CONSTRUCTION	JOB NUMBER
	905-20
	REVISIONS
ORIGINAL DATE	4-20-20
	DRAWN BY
	LANDSCAPE PLAN
	SHEET NO.
L1.1	



LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

IRRIGATION SYSTEM DESCRIPTION NOTE

AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AS REQUIRED PER PLAN. IRRIGATION SYSTEM TO BE DESIGN/BUILD. AS-BUILT PLAN SHALL BE PROVIDED TO OWNER ONCE INSTALLATION IS COMPLETE AND APPROVED.

PLANT SCHEDULE						
Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Width/Height	Size
EVERGREEN TREES:						
	PE	6	Pinus edulis	Pinyon Pine	15'X15'	6' ht.
DECIDUOUS TREES:						
	GTSM	3	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	30'X30'	1-1/2" cal.
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND QUANTITIES ARE FOR REFERENCE ONLY.						

GROUND COVER LEGEND		
SYMBOL	DESCRIPTION	APPROX. SF
	Protect Existing Landscape	9,902 SF
	Protect Existing Grass	2,323 SF
	Protect Existing Rock (Off-site)	7,994 SF
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.		

GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

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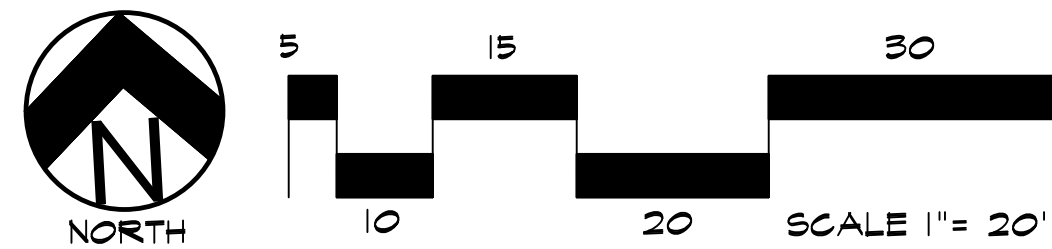
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HAMMERS CONSTRUCTION
PM: ROBERT GREEN

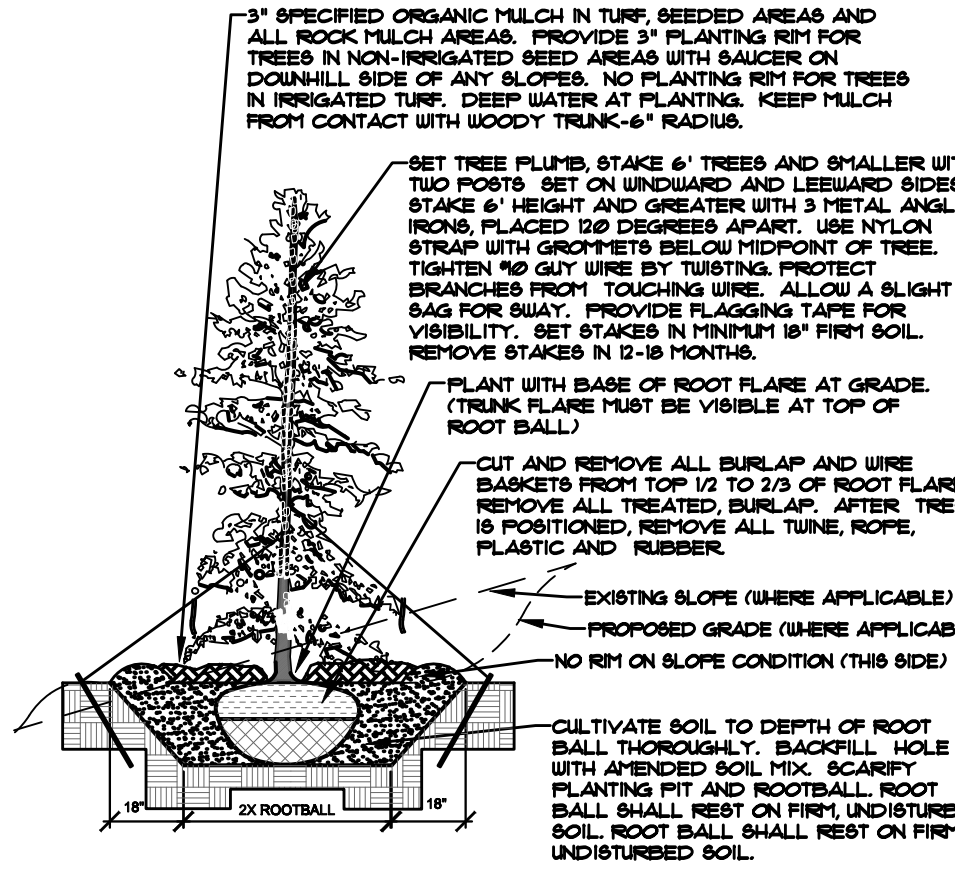
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	REVISIONS	
	ORIGINAL DATE	4-20-20
	DRAWN BY	
	DESCRIPTION	LANDSCAPE PLAN
	SHEET NO.	L1.2

LANDSCAPE PLAN - A



- **NOTES:**
- **PLANT NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.**
- **DO NOT REMOVE OR CUT LEADER.**
- **REMOVE ONLY DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING.**
- **REMOVE ALL DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.**
- **KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.**
- **AVOID FALL PLANTING IF POSSIBLE.**
- **AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.**
- **PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING (SEE CONFERENCER TREE NOTE ON PLANTING NOTES SHEET)**



B EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



JOB NUMBER		905-20	
REVISIONS			
ORIGINAL DATE		4-20-20	
DRAWN BY			
DESCRIPTION			
LANDSCAPE PLAN			
SHEET NO.		L1.3	