

APPROVED
 BY: [Signature] DATE: 10/14/19
 FOR NOTES: Detached garage
 EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT

BESQCP Not Required
 by [Signature] on 10/14/19

PARCEL 53130-00-124
 6050 N MERIDIAN RD
 38.81 ACRES

Planning and Community Development approval is contingent upon compliance with all applicable notes on the recorded plat.
 An access permit must be granted by the Planning and Community Development Engineering Division prior to the establishment of any driveway onto a County Road.
 Diversion of blockage of any drainage way is not permitted without the approval of the Planning and Community Development Engineering Division.
 Any approval given by El Paso County does not obviate the need to comply with applicable Federal, State or Local laws and/or regulations.

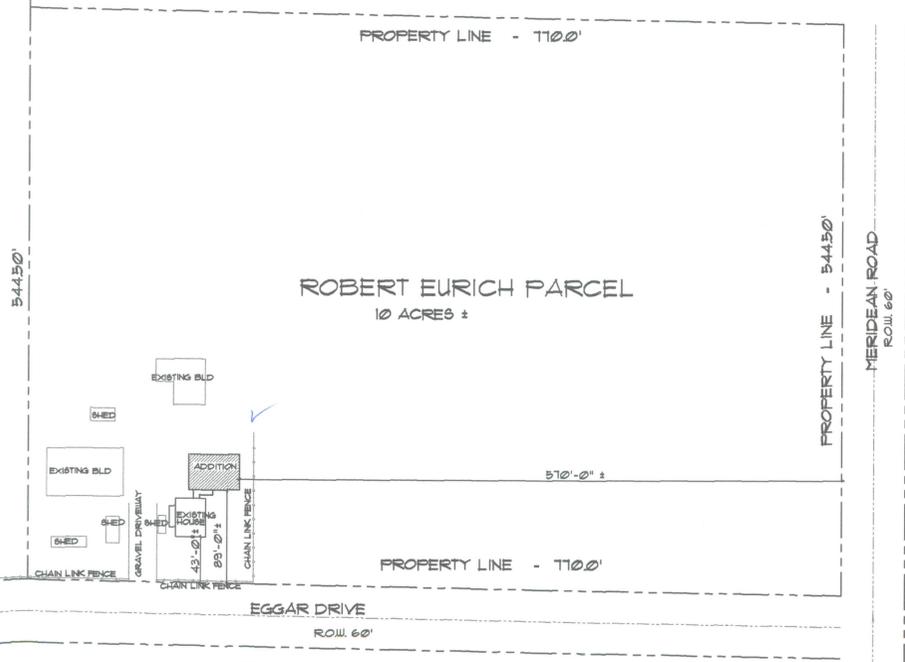
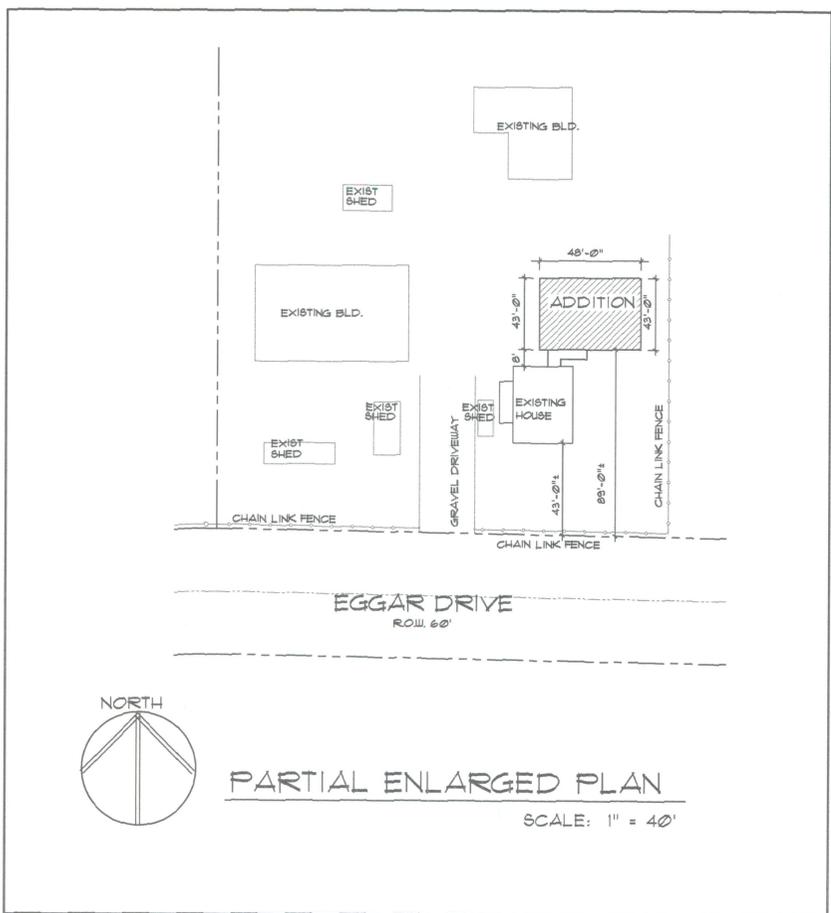
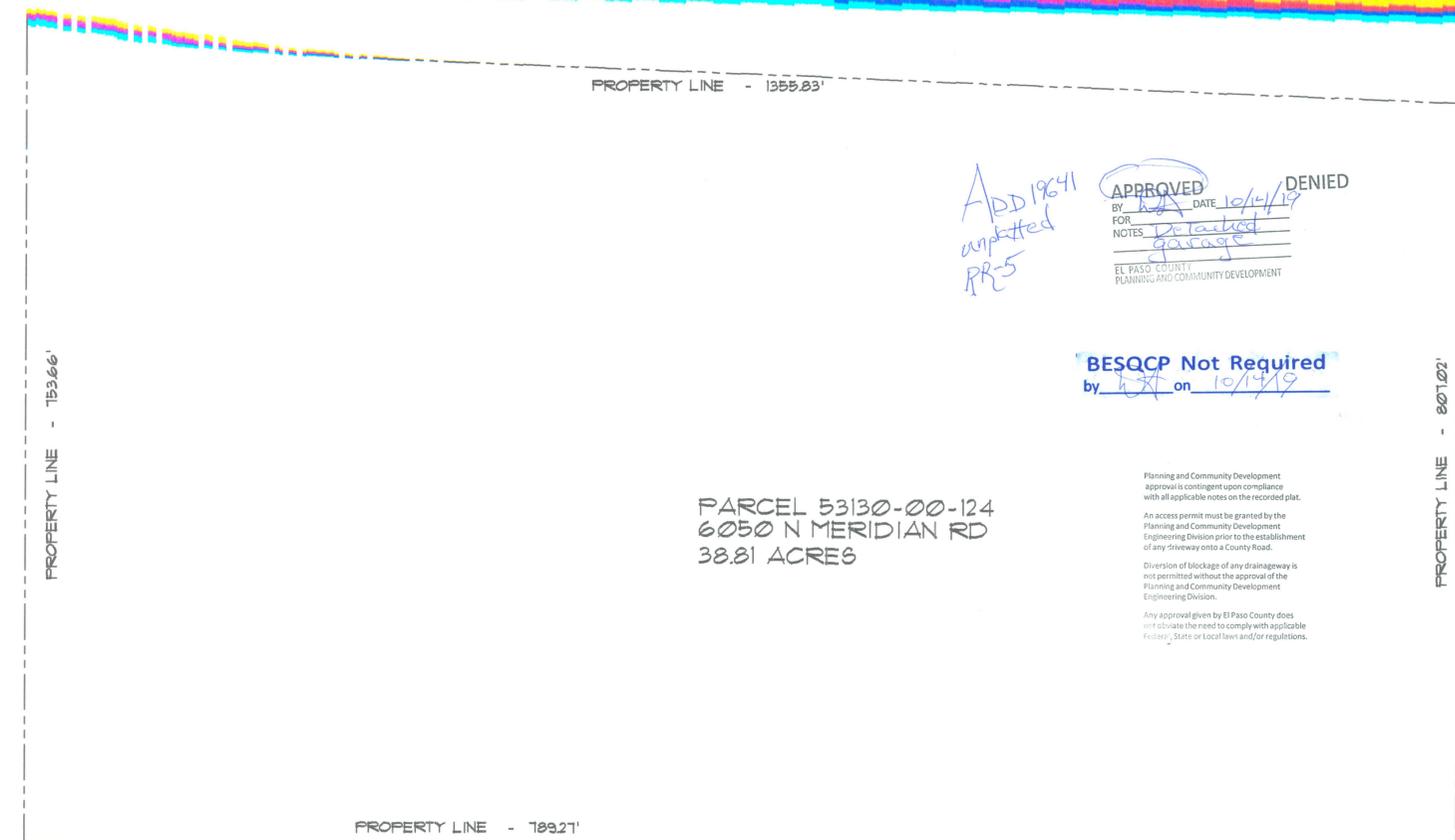
LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE NORTH ONE HALF OF SECTION 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF N. MERIDIAN ROAD (60' ROW - ROAD RECORD BOOK A, PAGE 18, EL PASO COUNTY, COLORADO RECORDS) WITH THE NORTHERLY RIGHT-OF-WAY LINE OF EGGAR DRIVE (60' ROW) OR PLATTED WITH HADDEN HEIGHTS (FLAT BOOK Z-2), PAGE 24, SAID EL PASO COUNTY RECORDS) (OFF BEARINGS IN THIS DESCRIPTION ARE RELATIVE TO THE MOST NORTHERLY LINE OF SAID HADDEN HEIGHTS, WHICH BEARS 89°26'11"E "ASSUMED"); THENCE N00°33'49"E ALONG SAID N. MERIDIAN ROAD'S WESTERLY RIGHT-OF-WAY LINE, 544.50 FEET TO A POINT ON THE NORTHERLY LINE OF THAT TRACT DESCRIBED BY DOCUMENT (BOOK 3171, PAGE 614, SAID RECORDS); THENCE N89°26'11"W ALONG SAID TRACT'S NORTHERLY LINE, 110.00' TO AN ANGLE POINT OF SAID TRACT, SAID POINT ALSO BEING ON THE EASTERLY LINE OF THAT TRACT DESCRIBED BY DOCUMENT (BOOK 3174, PAGE 380, SAID RECORDS) (THE FOLLOWING THREE (3) COURSES ARE ALONG THE LINES OF SAID BOOK 3174, PAGE 380'S TRACT: 1) N00°33'49"E 807.02 FEET; 2) N88°52'55"W, 1355.83 FEET; 3) 600°53'25"W, 153.66 FEET; THENCE N90°00'00", 169.21 FEET; THENCE S28°29'43"E, 111.68 FEET TO A POINT ON A SOUTHERLY LINE OF SAID BOOK 3174, PAGE 380'S TRACT, SAID LINE ALSO BEING COINCIDENT WITH SAID EGGAR DRIVE'S NORTHERLY RIGHT-OF-WAY LINE; THENCE NORTHEASTERLY ON A NON-TANGENT CURVE TO THE RIGHT AND ALONG SAID COINCIDENT LINES, SAID CURVE HAVING A CENTRAL ANGLE OF 29°03'32", A RADIUS OF 444.16 FEET, OR ARC LENGTH OF 225.57 FEET (THE CHORD OF SAID CURVE BEARS N16°02'03"E, A DISTANCE OF 223.16 FEET) TO AN ANGLE POINT OF SAID BOOK 3174, PAGE 380'S TRACT, SAID POINT ALSO BEING AN ANGLE POINT OF SAID BOOK 3171, PAGE 614'S TRACT; THENCE 89°26'11" ALONG THE SOUTHERLY LINE OF SAID BOOK 3171, PAGE 614'S TRACT, SAID LINE ALSO BEING COINCIDENT WITH SAID EGGAR DRIVE'S NORTHERLY RIGHT-OF-WAY LINE 110.00 FEET TO THE POINT OF BEGINNING.

RESIDENCE ADDITION
EURICH
 6050 MERIDIAN ROAD, FALCON, CO

DAVID WEESNER ASSOCIATES
 ARCHITECTURE and PLANNING
 2236 East Pikes Peak Avenue
 Colorado Springs, Colorado 80909
 (719) 473-2010 fax 473-2011



SITE PLAN
 SCALE: 1" = 80'

TAX ID NUMBER 53130 00 112

UTILITY LOCATION REQUIRED - CALL BEFORE YOU DIG
 DO NOT EXCAVATE WITHOUT CALLING FOR UNDERGROUND UTILITY LOCATION SERVICE.
 CALL 1-800-922-1987

ARCHITECTURAL	
SP	SITE PLAN / COVER SHEET
A1	BASEMENT FLOOR PLAN
A2	MAIN FLOOR & UPPER FLOOR PLANS
A2	EXTERIOR ELEVATIONS
A4	BUILDING CROSS SECTION
A5	CROSS SECTION AT STAIR
A6	ENDWALL & STAIR SECTIONS / DETAILS
STRUCTURAL	
S1	FOUNDATION PLAN / DETAILS
S2	MAIN FLOOR AND UPPER FLOOR FRAMING PLANS
S2	UPPER ROOF FRAMING PLAN, ATTIC VENTILATION

Released for Permit
OCT 11 2019
 MA
 RBD Construction