

DAVID WEESENER ASSOCIATES
ARCHITECTURE and PLANNING
2236 East Pike Peak Avenue
Colorado Springs, Colorado 80909
(719) 473-2010 fax 473-2011

S P

SHEET 1 OF 10

PROPERTY LINE - 15366'

PROPERTY LINE - 789.27

PROPERTY LINE - - T1168

PROPERTY LINE - 807.02'

PROPERTY LINE - 770.0'

PROPERTY LINE - 544.50'

MERIDEAN ROAD
ROW, 60'

PROPERTY LINE - 770.0'

EGGAR DRIVE
ROW. 60

A circular diagram with a vertical line and two diagonal lines meeting at a point at the top, labeled 'NORTH'.

SCALE: 1" = 80'

TAX ID NUMBER 53130 00 112

DO NOT EXCAVATE WITHOUT CALLING FOR UNDERGROUND UTILITY LOCATION SERVICE
CALL 1-800-922-1987

BEGINNING AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF N. MERIDIAN ROAD (60' R.O.W. - ROAD RECORD BOOK A, PAGE 18, EL PASO COUNTY, COLORADO RECORDS) WITH THE NORTHERLY RIGHT-OF-WAY LINE OF EGGAR DRIVE (60' R.O.W.) OR FLATTED WITH HADDEN HEIGHTS (PLAT BOOK Z-2), PAGE 24, SAID EL PASO COUNTY RECORDS OF BEARINGS IN THIS DESCRIPTION ARE RELATIVE TO THE MOST NORTHERLY LINE OF SAID HADDEN HEIGHTS, WHICH BEARS 89°26'11"E "ASSUMED"; THENCE N80°33'49"E ALONG SAID N. MERIDIAN ROAD WESTERLY RIGHT-OF-WAY LINE, 544.50 FEET TO A POINT ON THE NORTHERLY LINE OF THAT TRACT DESCRIBED BY DOCUMENT (BOOK 3717, PAGE 614, SAID RECORDS); THENCE N83°26'11"W ALONG SAID TRACT'S NORTHERLY LINE, 710.00' TO AN ANGLE POINT OF SAID TRACT, SAID POINT ALSO BEING ON THE EASTERLY LINE OF THAT TRACT DESCRIBED BY DOCUMENT (BOOK 3714, PAGE 380, SAID RECORDS); (THE FOLLOWING THREE (3) COURSES ARE ALONG THE LINES OF SAID BOOK 3714, PAGE 380'S TRACT); 1) N00°33'49"E 801.02 FEET; 2) N88°52'55"W, 135.53 FEET; 3) S00°53'25"W, 153.66 FEET; THENCE N90°00'00", 16.921 FEET; THENCE S28°29'43"E, 711.68 FEET TO A POINT ON A SOUTHERLY LINE OF SAID BOOK 3714, PAGE 380'S TRACT, SAID LINE ALSO BEING COINCIDENT WITH SAID EGGAR DRIVE'S NORTHERLY RIGHT-OF-WAY LINE; THENCE NORTHEASTERLY ON A NON-TANGENT CURVE TO THE RIGHT AND ALONG SAID COINCIDENT LINES, SAID CURVE HAVING A CENTRAL ANGLE OF 29°33'32", A RADIUS OF 444.16 FEET, OR ARC LENGTH OF 225.51 FEET (THE CHORD OF SAID CURVE BEARS N76°02'03"E, A DISTANCE OF 223.16 FEET) TO AN ANGLE POINT OF SAID BOOK 3714, PAGE 380'S TRACT, SAID POINT ALSO BEING AN ANGLE POINT OF SAID BOOK 3717, PAGE 614'S TRACT; THENCE S89°26'11" ALONG THE SOUTHERLY LINE OF SAID BOOK 3717, PAGE 614'S TRACT, SAID LINE ALSO BEING COINCIDENT WITH SAID EGGAR DRIVE'S NORTHERLY RIGHT-OF-WAY LINE 710.00 FEET TO THE POINT OF BEGINNING.

BESQCP Not Required
by hjt on 10/14/19

Planning and Community Development approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning and Community Development Engineering Division prior to the establishment of any driveway onto a County Road.

Diversion of blockage of any drainageway is not permitted without the approval of the Planning and Community Development Engineering Division.

Any approval given by El Paso County does not obviate the need to comply with applicable Federal, State or local laws and regulations.

PARCEL 53130-00-124
6050 N MERIDIAN RD
38.81 ACRES

SCALE: 1" = 40'

S1 FOUNDATION PLAN / DETAILS
S2 MAIN FLOOR AND UPPER FLOOR FRAMING PLANS
S2 UPPER ROOF FRAMING PLAN, ATTIC VENTILATION

Released for Permit
OCT 11 2019
MA
RBD Construction

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