

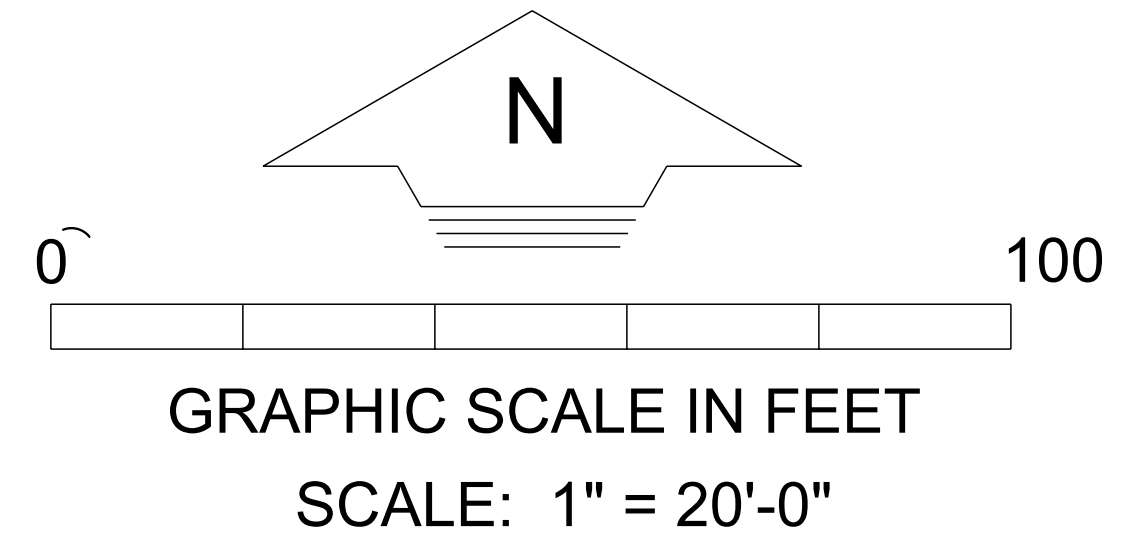
N89 54'06" W 332.99'

N89 54'06" W 333.00'

**BOUNDRY OF DISTURBANCE AREA : 27,600 SQUARE FEET LESS THAN 1 ACRE 27,600 /109,956 sf SF x100 = 25.2%**

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**GRADE KEY**

	PROPOSED GRADES
	EXISTING GRADES

**IMPERVIOUS COVERAGE CALCS**

STRUCTURE: 3,326 SQ.FT

DRIVEWAY AND SIDEWALK: 4,717 SQ.FT

TOTAL IMPERVIOUS AREA: 8,043 SQ.FT

LOT AREA: Area: 109,956 SQFT 2.510ac

% OF IMPERVIOUS COVERAGE= 8,043/109,335 sf x 100 = 7.3%

**BOUNDRY OF DISTURBANCE AREA : 27,600 SQUARE FEET LESS THAN 1 ACRE 27,600 /109,956 sf SF x100 = 25.2%**

**APPROVED BESQCP**  
09/08/2022 9:52:09 AM  
dsdyounger  
EPC Planning & Community Development Department

**APPROVED Plan Review**  
09/08/2022 9:52:13 AM  
dsdyounger  
EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBTAIN THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

**GENERAL CONDITIONS and LIMITED LIABILITY**

It is the intent of the drawings and specifications to be guidelines for construction. The contractor shall be responsible for verifying that all construction data inputs and design factors are all correct to the specifications of the residence being built. BY PURCHASING THIS DESIGN IT IS AGREED THAT THE PROJECT HAS BEEN ACCORDED AND THEREFORE LIMITS THE DESIGNER'S LIABILITY TO CORRECTION OF THE ORIGINAL DRAWINGS AND SUPPORT DATA ONLY. THE EVENT THAT MECHANICAL, DESIGN ERRORS CAUSE CONSTRUCTION PROBLEMS DURING ANY PHASE OF THE BUILDING PROCESS, LATIGO HOME DESIGN MUST BE NOTIFIED IMMEDIATELY TO TAKE APPROPRIATE ACTION. NO LIABILITY ASSUMED FOR DEVIATION FROM PRINT INCLUDING BUT NOT LIMITED TO: EQUIPMENT BRAND/BU, CFM, RATED STATIC PRESSURE, DUCT SIZE, LENGTH, TEL & MATERIAL.

**GENERAL NOTES:**

- The contractor and homeowner shall review and verify all information on these drawings and be responsible for the same. Report all discrepancies to the designer for proper adjustment.
- All smoke detectors (SD) must be interconnected (hardwired) and shall have battery back-up.
- LP gas-burning appliances are not permitted in basement or crawl space areas.
- A Colorado licensed architect or engineer shall design all footings and foundation walls. This report/design shall be incorporated with these drawings and shall be available at the building site at all times.
- All foundations and piers (including deck supports) shall bear on undisturbed soil. All footings and piers shall be protected with a minimum earthen cover of 30" for protection.
- All dimensions shown on these drawings are to face of framing members unless specifically indicated to the contrary. Note dimensions shall take precedence over scaled dimensions. PLEASE DO NOT SCALE DRAWINGS.
- All structural hardware shown on these drawings shall be as manufactured by Simpson Strong-Tie Company of San Leandro, California. The home designer prior to installation shall approve any substitutions.
- Roof ventilation shall equal 1/50 of the net attic area with 50% located at the eaves and 50% located at the upper portion of the area to be ventilated. A minimum of 1 inch of air space shall be provided between the insulation and the roof sheathing at eaves. (Compliance with 2009 IRC R806.2 is mandatory)
- Dryer to vent to exterior > 36" from any openings.

**SPECIFICATIONS:**

- Typical exterior walls shall be 2x6 studs at 16" o/c with insulation as per Energy Calcs. Studs shall be sheathed with 7/16" OSB typical. Exterior finish materials shall be as per elevation pages. See elevation pages for additional information.
- Typical floor framing shall be 11-7/8" TJI 210 joists at 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
- Typical headers are (2) 2x8 HF#2 & Better. Use (1) trimmer and (2) kingstuds at openings from 0'0" to 3'11". Use (2) trimmers and (2) kingstuds at openings from 3'11" to 5'11". Use (3) trimmers and (3) kingstuds at openings from 5'11" to 7'11". All others are noted. Beams and headers shown on the framing plan shall take precedence.
- All interior walls shall be 2x4 studs at 16" o/c (typical); unless noted to the contrary.
- Typical wall finish shall be textured 1/2" gypsum board. Use 5/8" type "X" gypsum board at all garage common walls, ceilings, & structural members.
- All stairs or steps to grade shall have a maximum rise of 7 1/2" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
- Windows shall be to builder with double pane insulated low-E glass. All windows must have a U-value as specified in the Energy Calcs.
- Fascia shall be 5/4"x7/8" textured Profim over 2x6 sub-fascia. Soffit material shall be 7/16" masonite (typical).
- The roof covering for this building shall be Class II asphalt shingles. Asphalt shingles weighing less than 240#/100 sq.ft. may only be installed between May and October. For elevations 7000' and greater, ice & water shield required starting at one and continuing to a point 2' inside exterior wall line. All gutters shall be 3" (self-flashing) pre-primed with minimum 36" top-outs. (Solid flex pipe to daylight is highly recommended).
- Exhaust duct up through attic space, minimum R-6 insulation & 25' max run.

**ROOF NOTES:**

- All roof trusses shall be placed at 24" o/c (max) unless noted to the contrary. The typical standard truss heels for this job shall be 6-6 (6/12). Please refer to roof framing plan which takes precedence.
- Shaded areas indicate valleys. All valleys shall be framed with 2x6 #2 roof rafters at 24" o/c atop 2x valley purlin while using 2x6 HF #2 rafterchords. All members longer than 6'0" shall be supported to structural roof members below with 2x4 supports at 48" o/c (max). At installed areas, use valley trusses at 24" o/c perpendicular to structural trusses below. Connect valley trusses with Simpson VCTZ clips at 24" o/c per Simpson instructions (page 149).
- Individual truss drawings, as noted, shall be labeled to match this plan and be submitted to the home designer for review prior to submission to the building dept. The governing authority for this project is: Pikes Peak Regional Building DEPARTMENT.
- Typical headers are (2) 2x8 HF#2 & Better. (Unless noted to the contrary.) Use (1) trimmer and (1) kingstud each end of all openings from 0'0" to 3'11". Use (2) trimmers and (2) kingstuds at openings from 3'11" to 5'11". Use (3) trimmers and (3) kingstuds at openings from 5'11" to 7'11". All others are noted. Beams and headers shown on the framing plan shall take precedence.
- Simpson Strong-Tie Company of San Leandro shall manufacture all hardware shown on this plan. The home designer shall approve any substitutions prior to installation.
- Structural roof members shall be secured to the building's top plates (or beams) with Simpson 102.5T truss anchors at each bearing location unless noted otherwise.

**FLOOR NOTES:**

- Framer shall plate up foundation to insure headroom of 8'-9" from the bottom of the floor joists to the concrete slab at the unfinished basement. The minimum headroom under the lowest beam shall be 7'-11".
- Typical floor system shall be framed 11-7/8" TJI 210 joists @ 16" o/c. (Floor will be engineered to minimum of L-480 live load deflection.) Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
- Typical headers are (2) 2x8 HF#2 & Better. Use (1) trimmer and (1) kingstud at openings from 0'-0" to 3'-11". Use (2) trimmers and (2) kingstuds at openings from 3'-11" to 5'-11". Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11". All others are noted. Beams and headers shown on the framing plan shall take precedence.
- All decks shall be framed with 2x10 HF#2 2 floor joists at 16" o/c. Support beams shall be as shown on the framing plan. All girders for joists shall be Simpson LUS210. All deck joists within 18" of grade shall be treated material.
- Install all cardelvers and floor joists above unheated space with insulation as per Energy Calcs.

Released for Permit  
09/02/2022 2:18 PM  
REGIONAL Building Department  
beasya ENUMERATION

**7464 TRUCHAS TRAIL**  
Legal: LOT 6 Saddlehorn Ranch Filing No.1  
Area: 109,956 sf 2.501 ac  
Schedule #: 4310001002  
Zoning: RR-2.5 **PLAT 14749**

200' MIN. WIDTH AT FRONT  
FRONT SETBACK 25'  
SIDE SETBACK 15'  
REAR SETBACK 25'

30' MAX BUILDING HEIGHT

**SFD22261**

**CODE INFORMATION:**

2017	Pikes Peak Regional Building Code (2017 PPRBC)
2015	International Residential Code (2015 IRC)*
2015	International Existing Building Code (IEBC)*
2015	International Energy Conservation Code* (IECC)
2015	International Mechanical Code*
2015	International Fuel Gas Code*
2018	International Plumbing Code**
2017	National Electric Code**
*	As amended by 2017 PPRBC
**	Or the latest edition adopted by the State of Colorado

**STRUCTURAL DESIGN LOADS:**

	Live Load	Dead Load	Total Load
Floor	40 psf	16 psf	56 psf
Roof	40 psf	16 psf	56 psf
ENTRY/VAULT	60 psf	16 psf	76 psf
		Wind	130 mph - Vult

**AREA TABLE:**

LOWER LEVEL (Finished)	1,760 Sq.Ft.
LOWER LEVEL (TOTAL)	1,820 Sq.Ft.
MAIN LEVEL	1,946 Sq.Ft.
2 Car Garage	641 Sq.Ft.
2 Car TANDEM	678 Sq.Ft.
TOTAL GARAGES	1,319 Sq.Ft.
COVERED FRONT PORCH	164 Sq.Ft.
COVERED REAR DECK	220 Sq.Ft.
GARAGE PATIO/DECK	80 Sq.Ft.
TOTAL COVERED AREA	3,711 Sq.Ft.

**Night Hawk Design**  
a Hawk Companies, Inc. Business  
2848 Country Club Drive, Colorado Springs, Colorado 80909-1019  
Rod Wiebe Dennis Asher Dave Tenace  
rod@hawkcompanies.com 719.477.9441 [fax]

**ABD**  
TBD  
Colorado Springs, Colorado  
719-649-9354  
Akeem Seriki  
Builder

Sandra Lehmann, Realtor  
The Lehmann Team Leader  
RE/MAX Real Estate Group  
Office: 719-534-7900  
Cell: 719-629-6330



2022 4th ANNUAL LEVEL 5 CAR TANDEM GARAGE BEST WINNING

"1930 sf GreenHorn 4-Car Residence"  
7464 Truchas Trail  
Elbert-CO-96106 PEYTON, CO 80831  
Legal: LOT 6 Saddlehorn Ranch Filing No.1  
Area: 2.5 Acres SQFT 1,830 Sq. Ft.  
Schedule #: 4310001002 Zoning: RR-2.5  
Owner: Saddlehorn Ranch LLC  
Nepea, California 94556

**REVISION DATE**

BID SET	09-28-2021
REVISION	10-20-2021

**PAGE C1**

# RESIDENTIAL



2017 PPRBC

Address: 7464 TRUCHAS TRL, PEYTON

Parcel: 4310001002

Plan Track #: 157475

Received: 28-Jan-2022 (AUSTINK)

## Description:

### RESIDENCE

Contractor:

Type of Unit:

Garage	1319	
Lower Level 1	60	
Lower Level 2	1760	
Main Level	1946	
	5085	Total Square Feet

## Required PPRBD Departments (4)

**Enumeration**

Released for Permit  
02/01/2022 8:44:55 AM  
  
Betsy A  
ENUMERATION

**Floodplain**

(N/A) RBD GIS

**Construction**

Released for Permit  
02/15/2022 8:38:38 AM  
  
D. Phillips  
CONSTRUCTION

**Mechanical**

Released for Permit  
02/15/2022 11:50 AM  
  
Justin C  
MECHANICAL

## Required Outside Departments (1)

**County Zoning**

**APPROVED**  
**Plan Review**  
09/08/2022 9:52:45 AM  
*dsdyounger*  
  
EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.