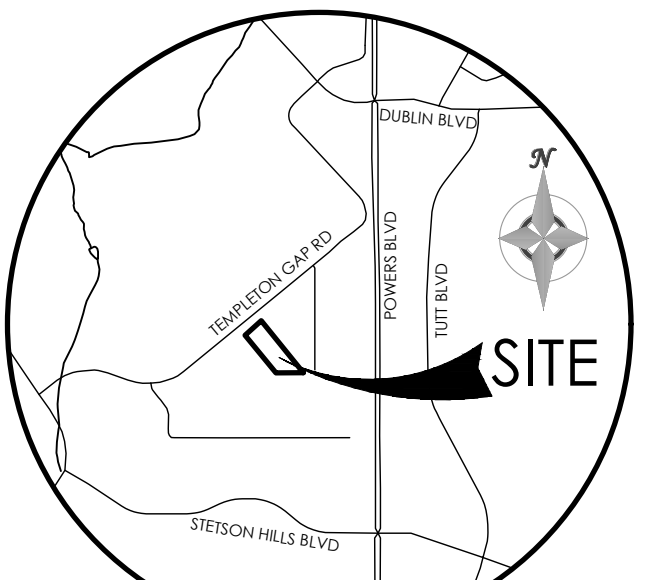


# SITE PLAN

## FOR

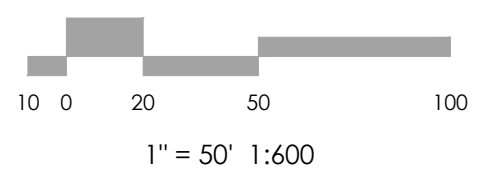
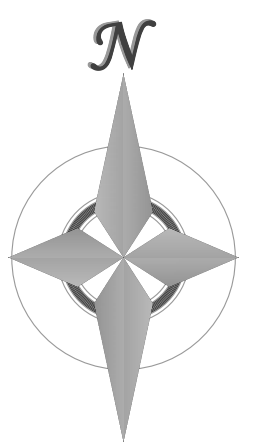
# 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 LeLaray Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

5935 TEMPLETON  
GAP ROAD

SITE PLAN

SP-1 MVE PROJECT 61206  
MVE DRAWING SP-CS

May 1, 2024  
SHEET 1 OF 3

### LEGEND

- EXISTING**
- PROPERTY LINE
  - - - EASEMENT LINE
  - LOT LINE
  - - - BUILDING SETBACK LINE
  - - - ADJACENT PROPERTY LINE
  - - -5985- INDEX CONTOUR
  - - -84- INTERMEDIATE CONTOUR
  - SIGN
  - W — WATER LINE
  - W — WATER VALVE
  - W — FIRE HYDRANT
  - O — OVEHEAD ELEC LINE
  - E — ELECTRIC POLE
  - G — GAS LINE
  - F — FIBER OPTIC LINE
  - T — TELECOMMUNICATIONS VAULT
  - X — GAS LINE
  - G — BARBED WIRE FENCE
  - REGULATORY SIGN

### PROPOSED

- 5985— INDEX CONTOUR
- 84— INTERMEDIATE CONTOUR
- [Pattern] CONCRETE AREA
- [Pattern] ASPHALT AREA
- [Pattern] CURB AND GUTTER

### ABBREVIATION LEGEND

- |           |                  |
|-----------|------------------|
| ASPH      | ASPHALT          |
| CONC      | CONCRETE         |
| C & G     | CURB & GUTTER    |
| DET.      | DETAIL           |
| ESMT      | EASEMENT         |
| ME        | MATCH EXISTING   |
| P.B., PG. | PLAT BOOK, PAGE  |
| PVMT      | PAVEMENT         |
| RET. WALL | RETAINING WALL   |
| REC. NO.  | RECEPTION NUMBER |
| ROW       | RIGHT-OF-WAY     |
| SF        | SQUARE FOOT      |
| STBK      | SETBACK          |
| SW        | SIDEWALK         |
| UTIL      | UTILITY          |
| ⊙         | CATCH CURB       |
| ⊙         | SPILL CURB       |



SITE LOCATION MAP  
1" = 100'  
(SEE SITE PLAN ON PAGE 2 FOR SITE DETAILS)

### SITE DATA

**OWNER**  
GREAT WEST CONSTRUCTION  
PROPERTIES LLC  
5935 TEMPLETON GAP ROAD  
COLORADO SPRINGS, CO 80923  
(719) 380 - 8100

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635 - 5736

**ZONING**  
AGRICULTURE [A-5]  
COMMERCIAL AIRPORT OVERLAY DISTRICT  
(CAD-O)

**TAX SCHEDULE NO.**  
63130 - 00 - 009

**PROPERTY ADDRESS**  
5935 TEMPLETON GAP ROAD

### EXISTING COVERAGE DATA

BUILDINGS:	8,023 SF	1.6%
PAVEMENT (DRIVE/WALK):	7,616 SF	3.5%
LANDSCAPING :	93,911 SF	43.1%
STORAGE AREA	108,250 SF	49.7%

TOTAL AREA: 217,800 SF 100.0% = 5.0± ACRES

### PROPOSED COVERAGE DATA

BUILDINGS:	8,023 SF	1.6%
PAVEMENT (DRIVE/PARKING/WALK):	31,300 SF	14.4%
LANDSCAPING :	91,789 SF	42.2%
STORAGE AREA	86,688 SF	39.8%

TOTAL AREA: 217,800 SF 100.0% = 5.0± ACRES

### PARKING SCHEDULE

REQUIRED:  
OFFICE = 1300 SF  
1 SPACE PER 200 SF = 7 SPACES  
INCLUDING VAN ACCESSIBLE ADA SPACE = 1  
TOTAL SPACES REQUIRED = 7

PROVIDED:  
STANDARD SPACES = 11  
VAN ACCESSIBLE ADA SPACE = 1  
TOTAL SPACES PROVIDED = 12

### BUILDING TYPE

OFFICE BUILDING AREA - 2400 SF  
TWO STORY - TYPE V-B  
NON - SPRINKLED (NS)

### BUILDING HEIGHT

ALLOWED MAXIMUM BUILDING HEIGHT = 25'-0"  
ACTUAL BUILDING HEIGHT = 17'-4" TO 18'-0"

### SETBACKS

25' FRONT  
25' SIDE  
25' REAR

### LAND DESCRIPTION

A TRACT IN THE SE 1/4 OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY COLORADO DESCRIBED AS FOLLOWS:  
COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 189 WITH THE NORTH LINE OF TEMPLETON HEIGHTS SUBDIVISION, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE FOR 726.61 FEET TO THE POINT OF BEGINNING FOR SAID TRACT; THENCE CONTINUE ALONG THE SAME COURSE FOR 301 FEET; ANGLE RIGHT 90° (SOUTHERLY) 847.84 FEET TO THE NORTH LINE OF A FOREMENTIONED TRACT; THENCE WESTERLY ALONG SAID NORTH LINE FOR 390.23 FEET, THENCE NORTHERLY 599.50 FEET TO SAID POINT OF BEGINNING.

### DEVELOPMENT NOTES

- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED, WELL AND SEPTIC IN PLACE.
- NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
- ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
- FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0536G, EFFECTIVE DECEMBER 7, 2018.

PPR

# SITE PLAN

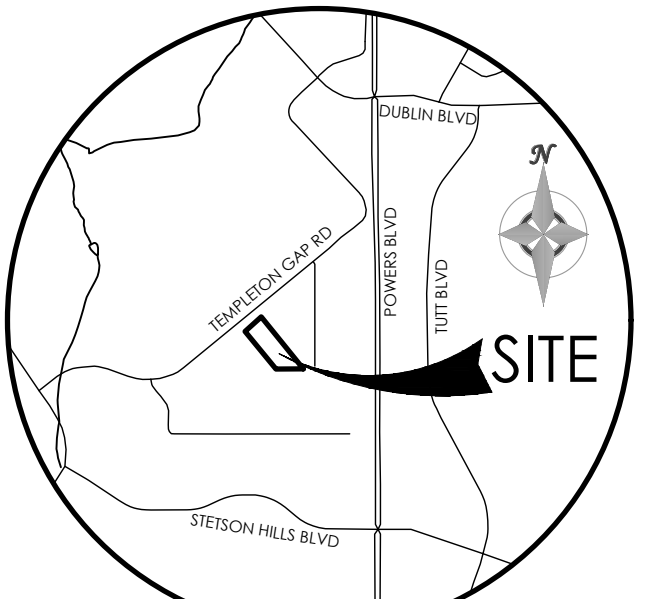
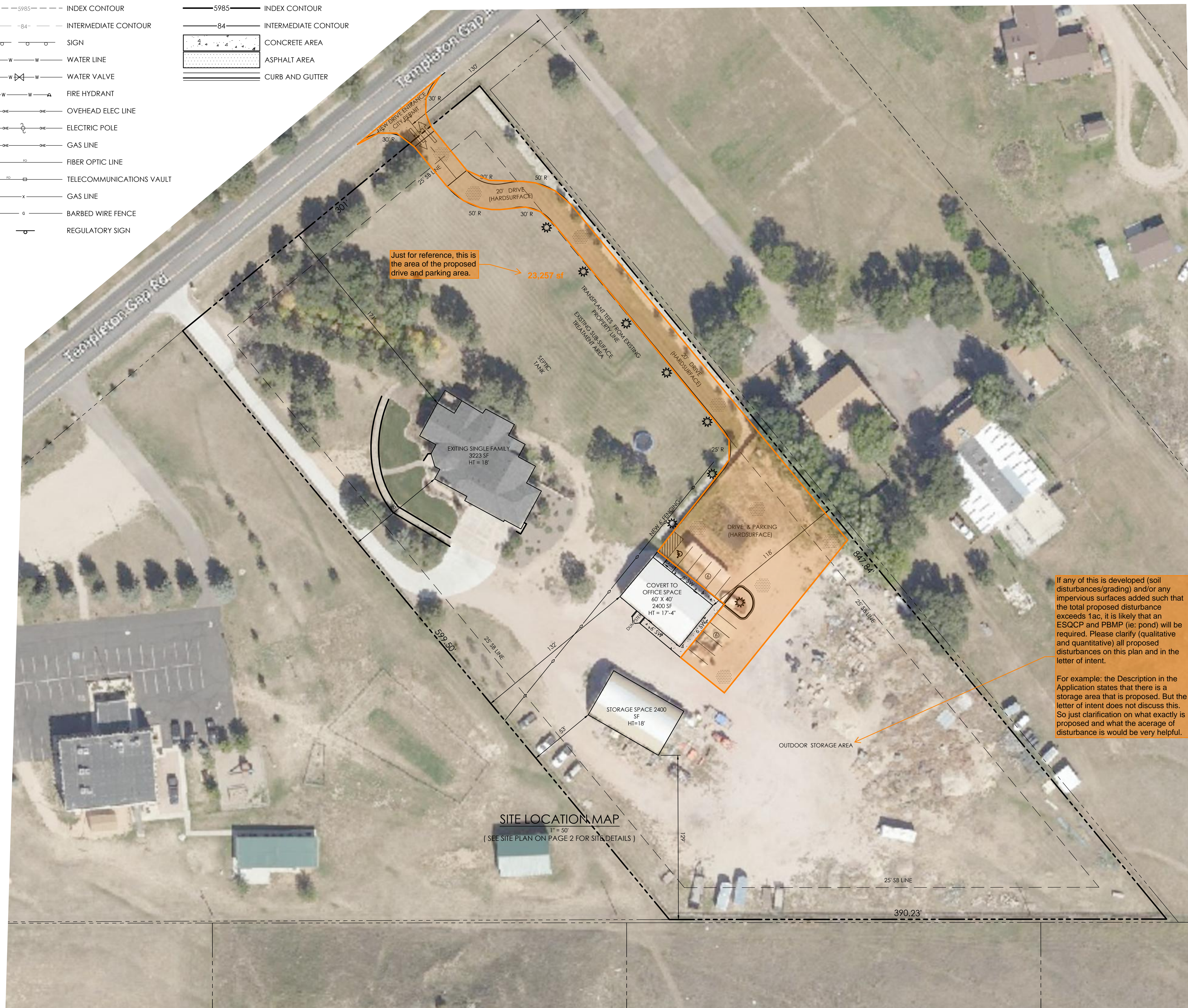
FOR

## 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO

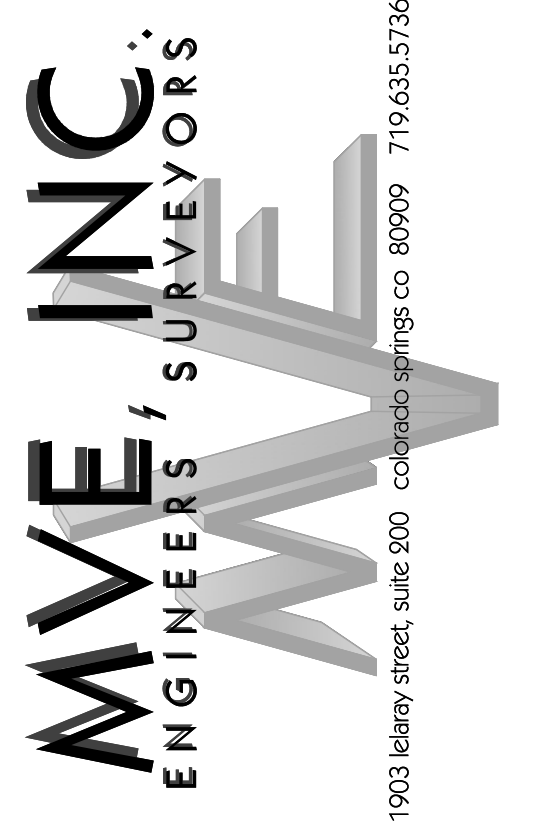
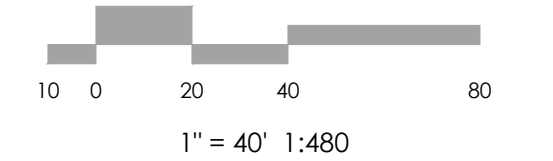
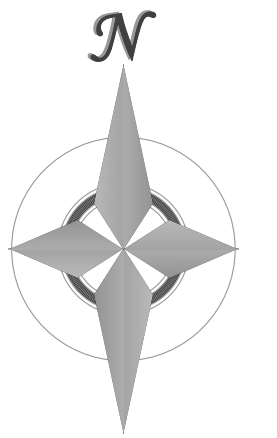
### LEGEND

---	PROPERTY LINE	---	5985	INDEX CONTOUR
- - - - -	EASEMENT LINE	---	84	INTERMEDIATE CONTOUR
---	LOT LINE	▒		CONCRETE AREA
- - - - -	BUILDING SETBACK LINE	▒		ASPHALT AREA
---	ADJACENT PROPERTY LINE	▒		CURB AND GUTTER
<b>EXISTING</b>				
---	INDEX CONTOUR			
---	INTERMEDIATE CONTOUR			
○	SIGN			
—W—W—	WATER LINE			
—W—W—	WATER VALVE			
—W—W—	FIRE HYDRANT			
—OE—	OVEHEAD ELEC LINE			
—OE—	ELECTRIC POLE			
—OE—	GAS LINE			
—FO—	FIBER OPTIC LINE			
—FO—	TELECOMMUNICATIONS VAULT			
—X—	GAS LINE			
—G—	BARBED WIRE FENCE			
—R—	REGULATORY SIGN			
<b>PROPOSED</b>				
---	INDEX CONTOUR			
---	INTERMEDIATE CONTOUR			
▒	CONCRETE AREA			
▒	ASPHALT AREA			
▒	CURB AND GUTTER			



VICINITY MAP  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

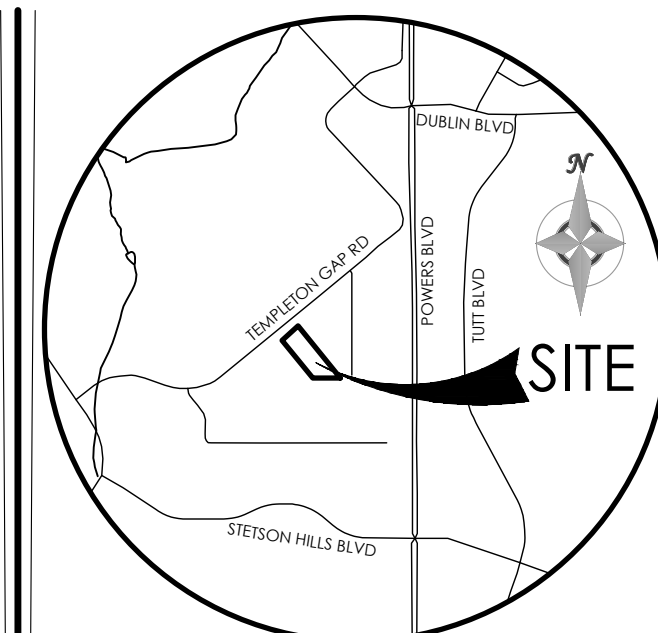
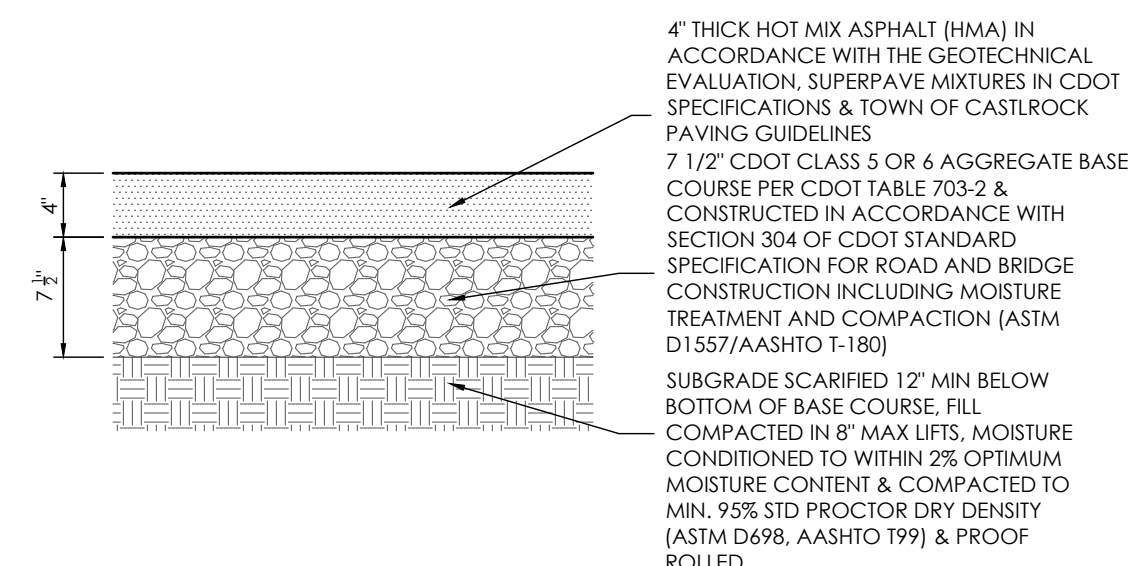
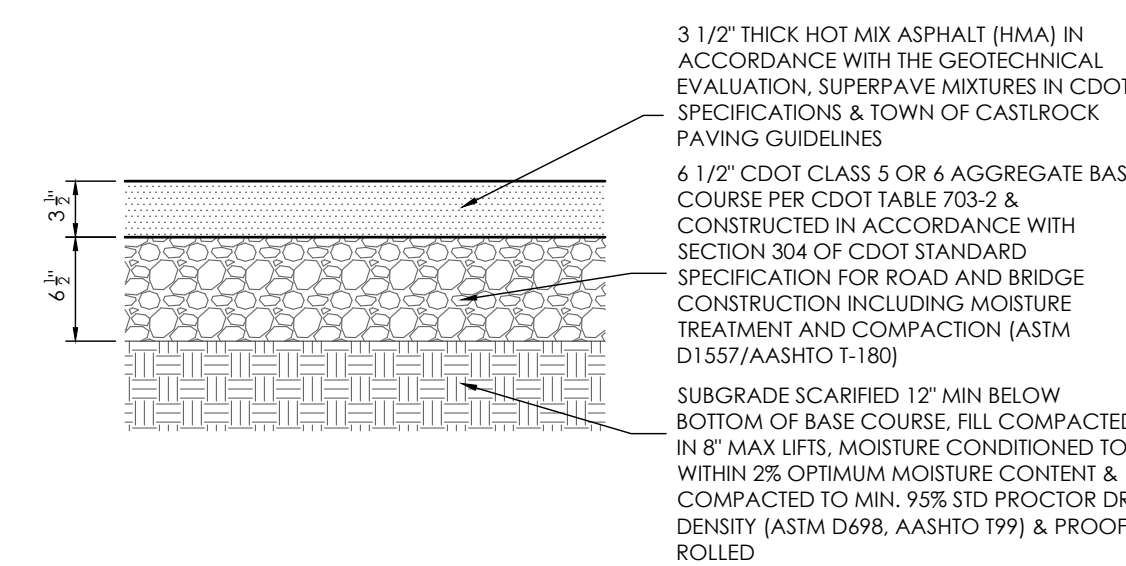
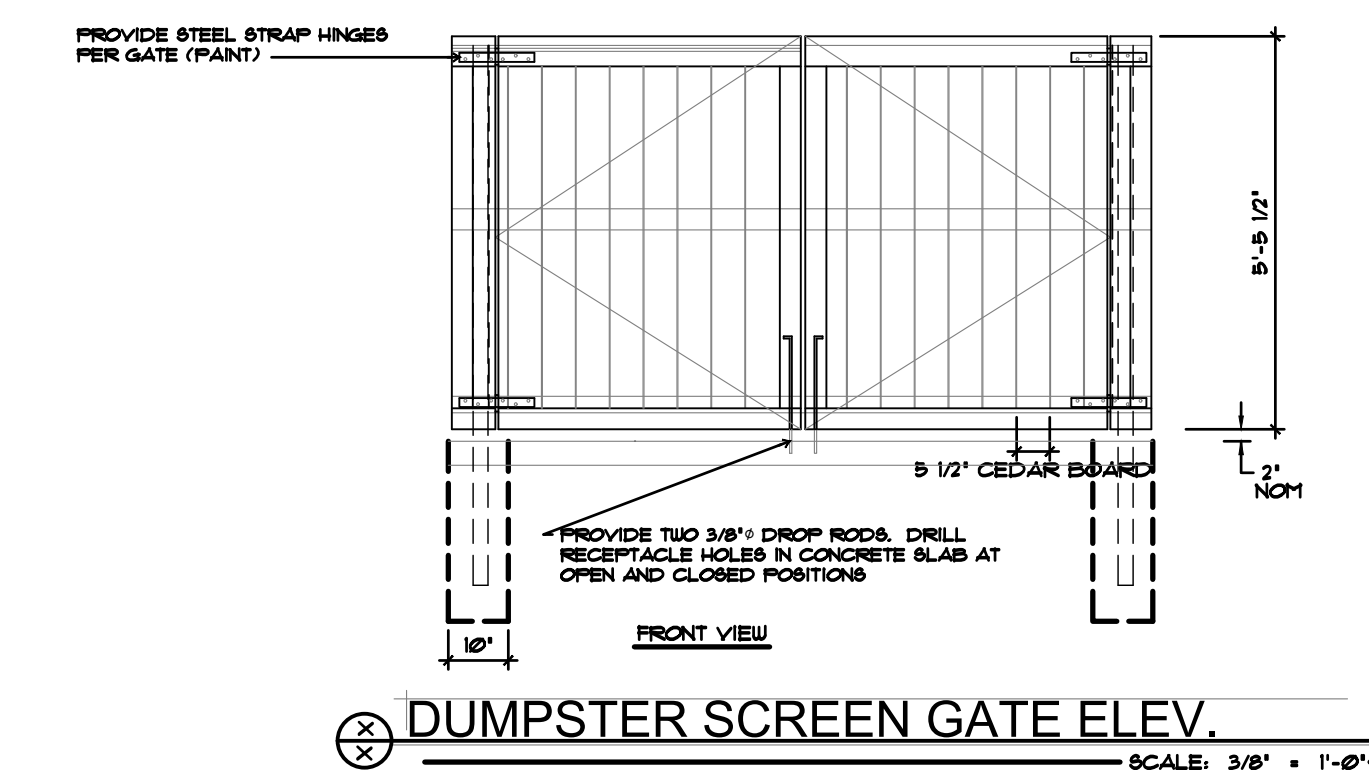
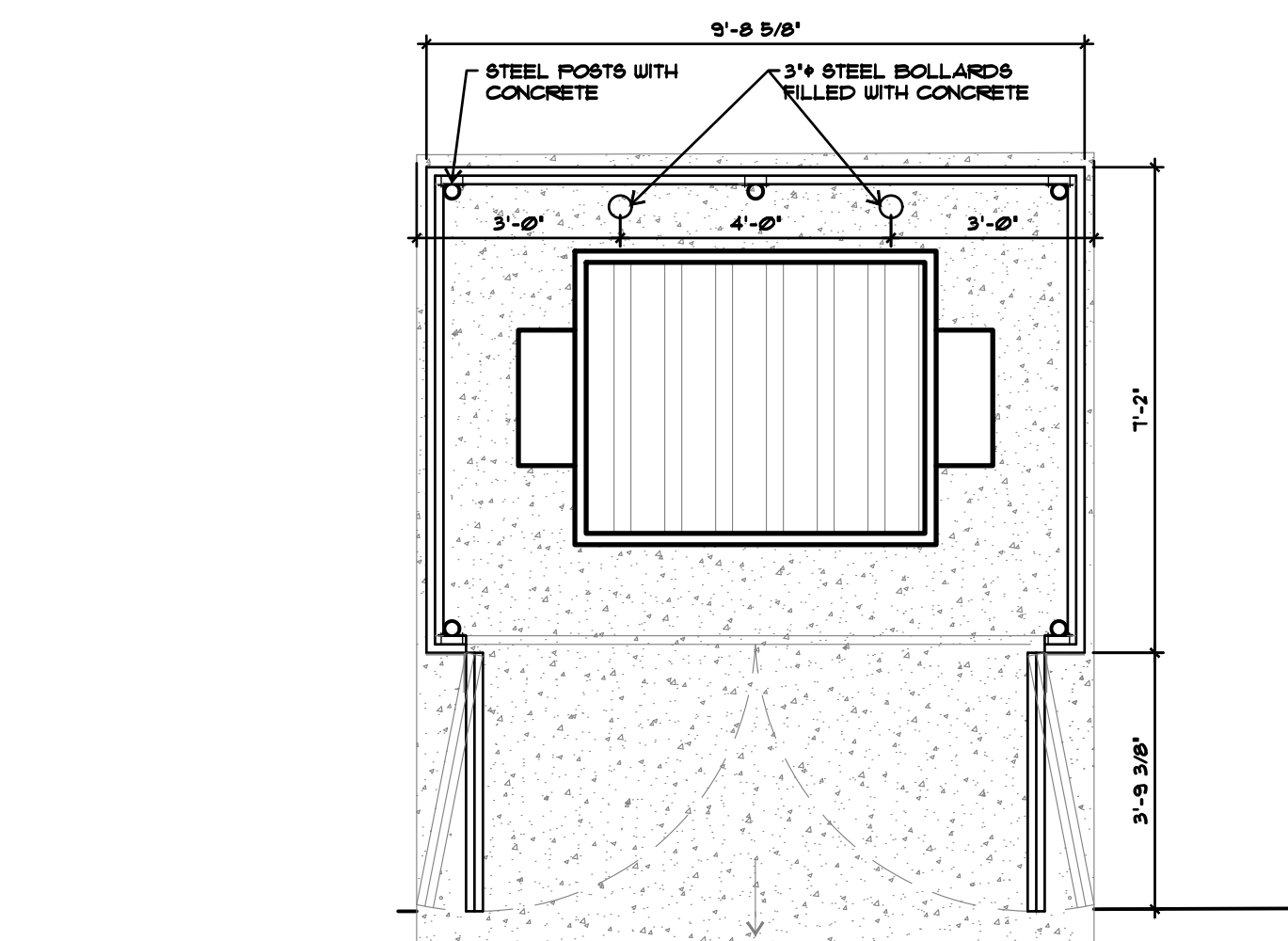
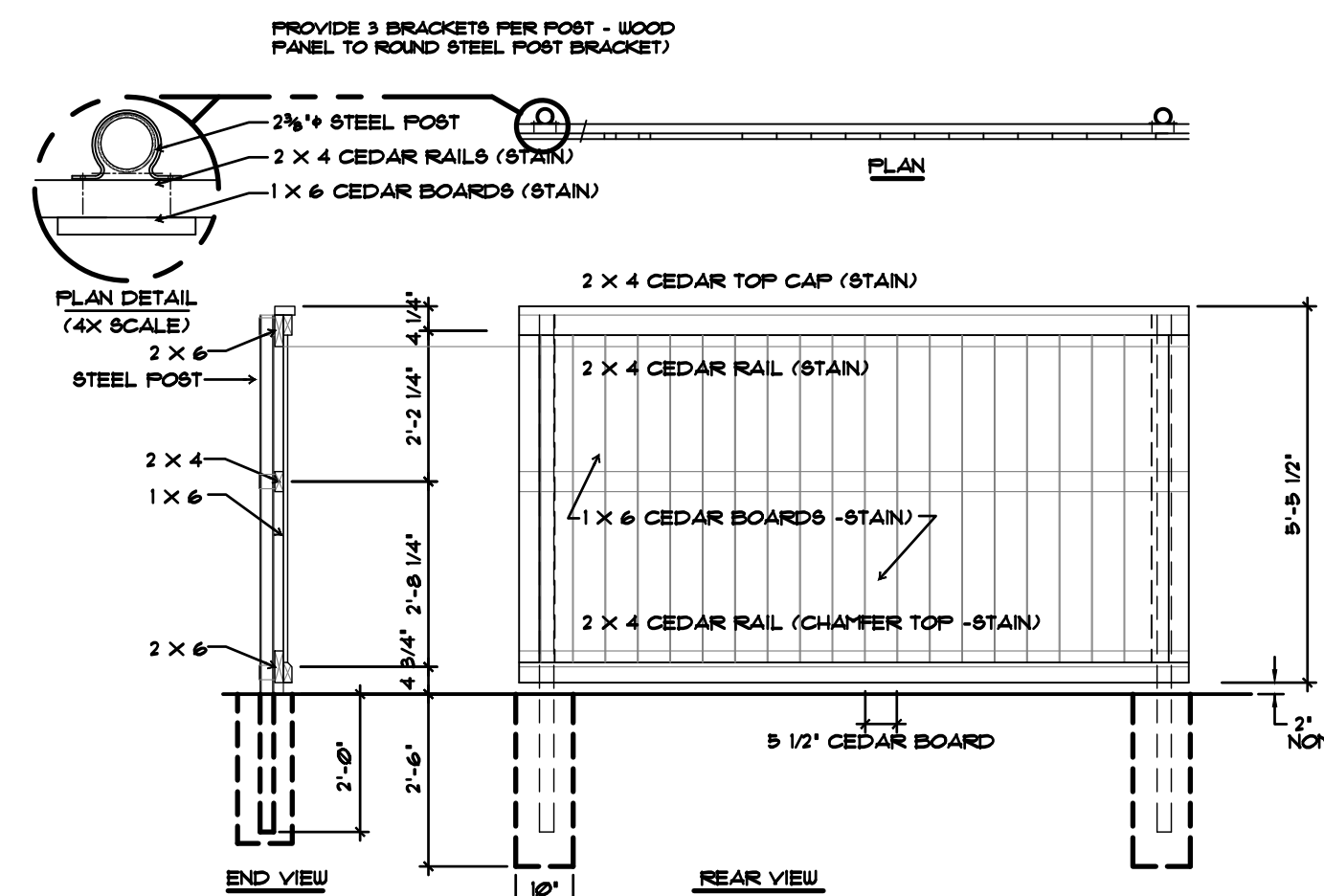
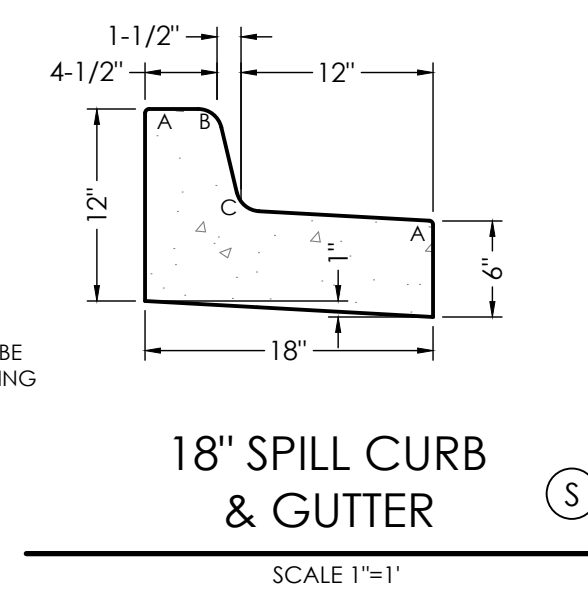
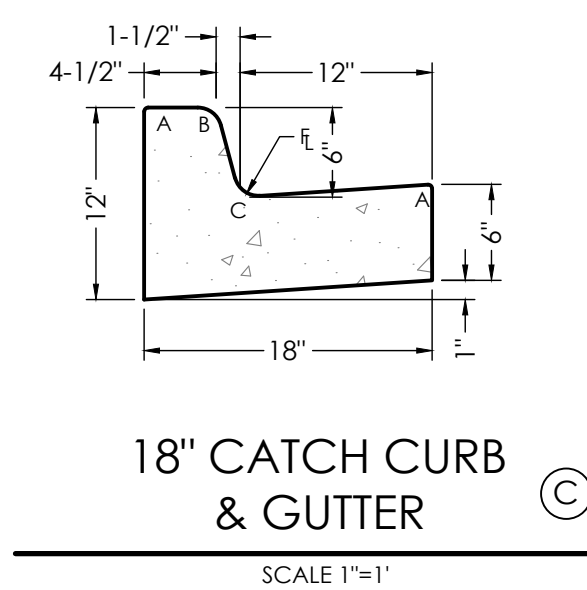
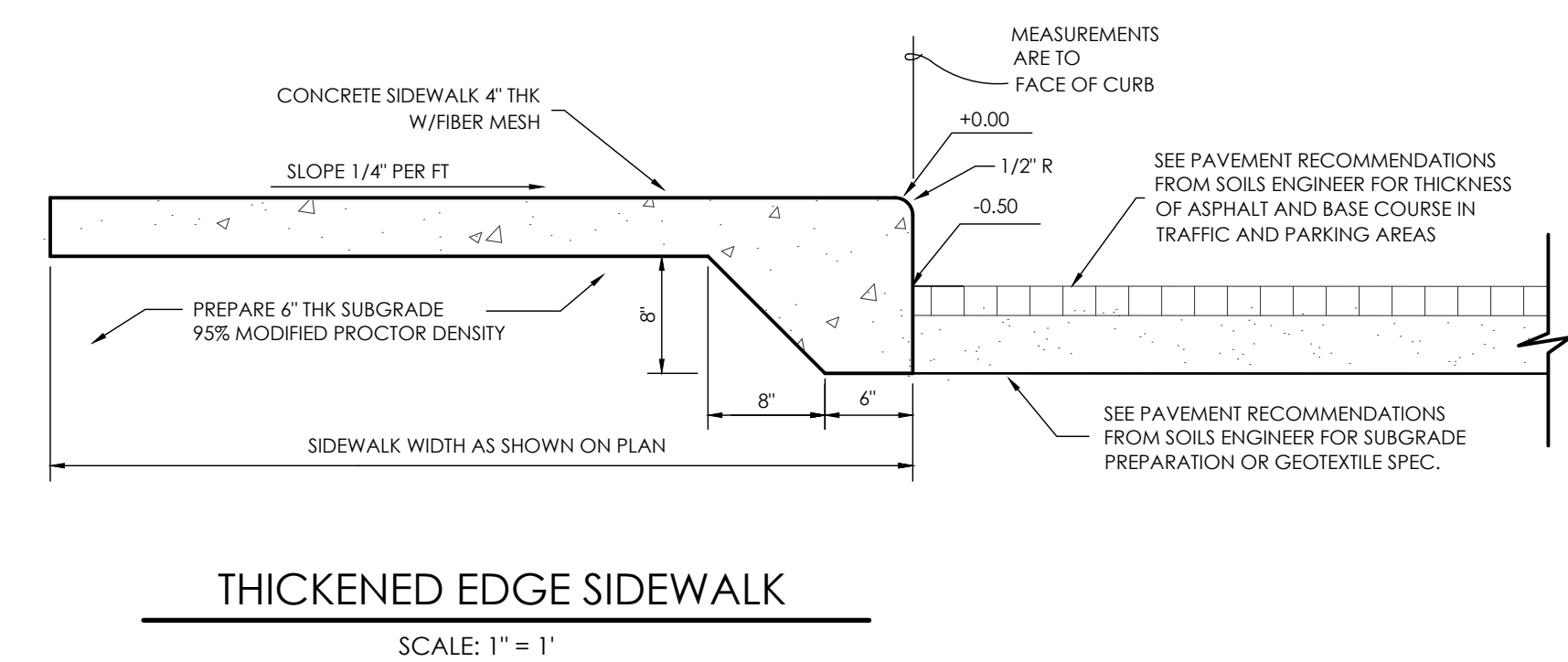
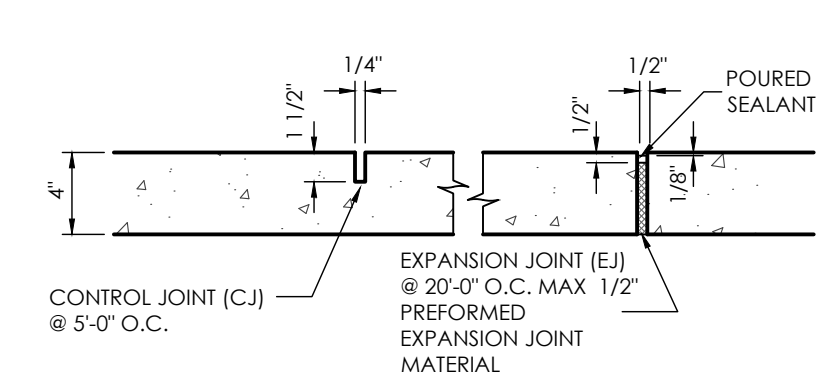
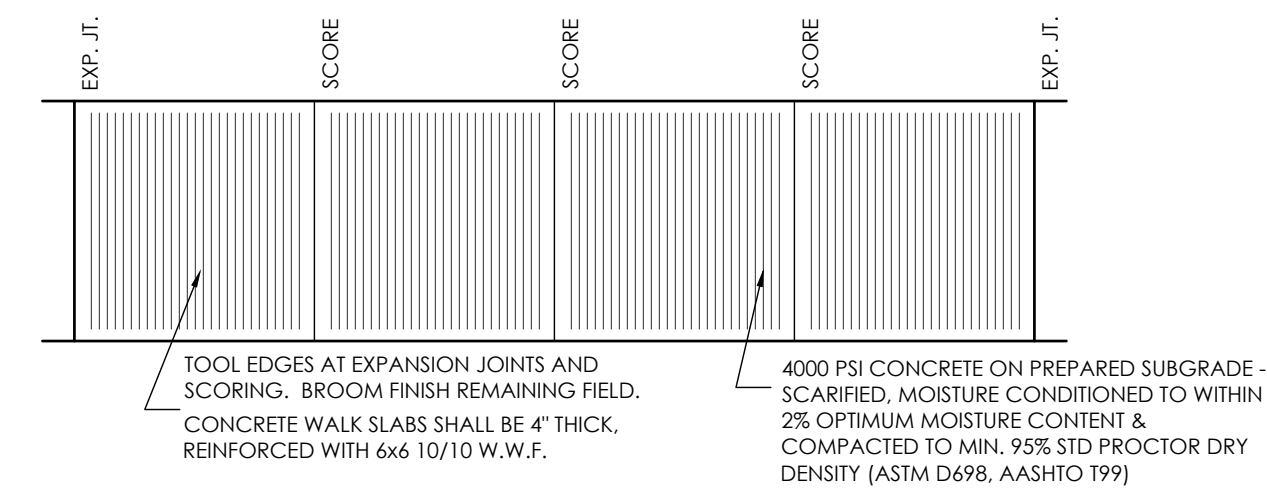
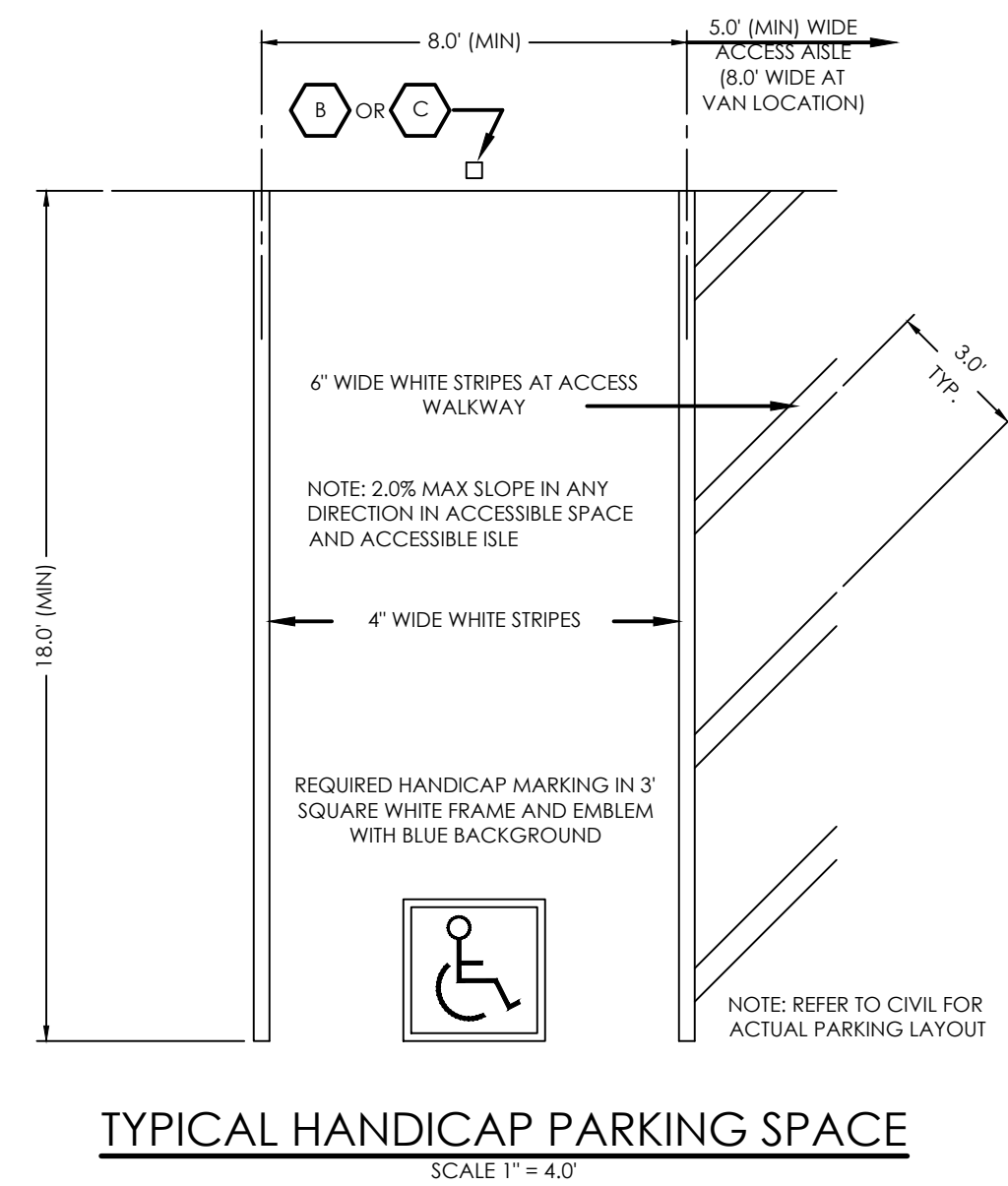
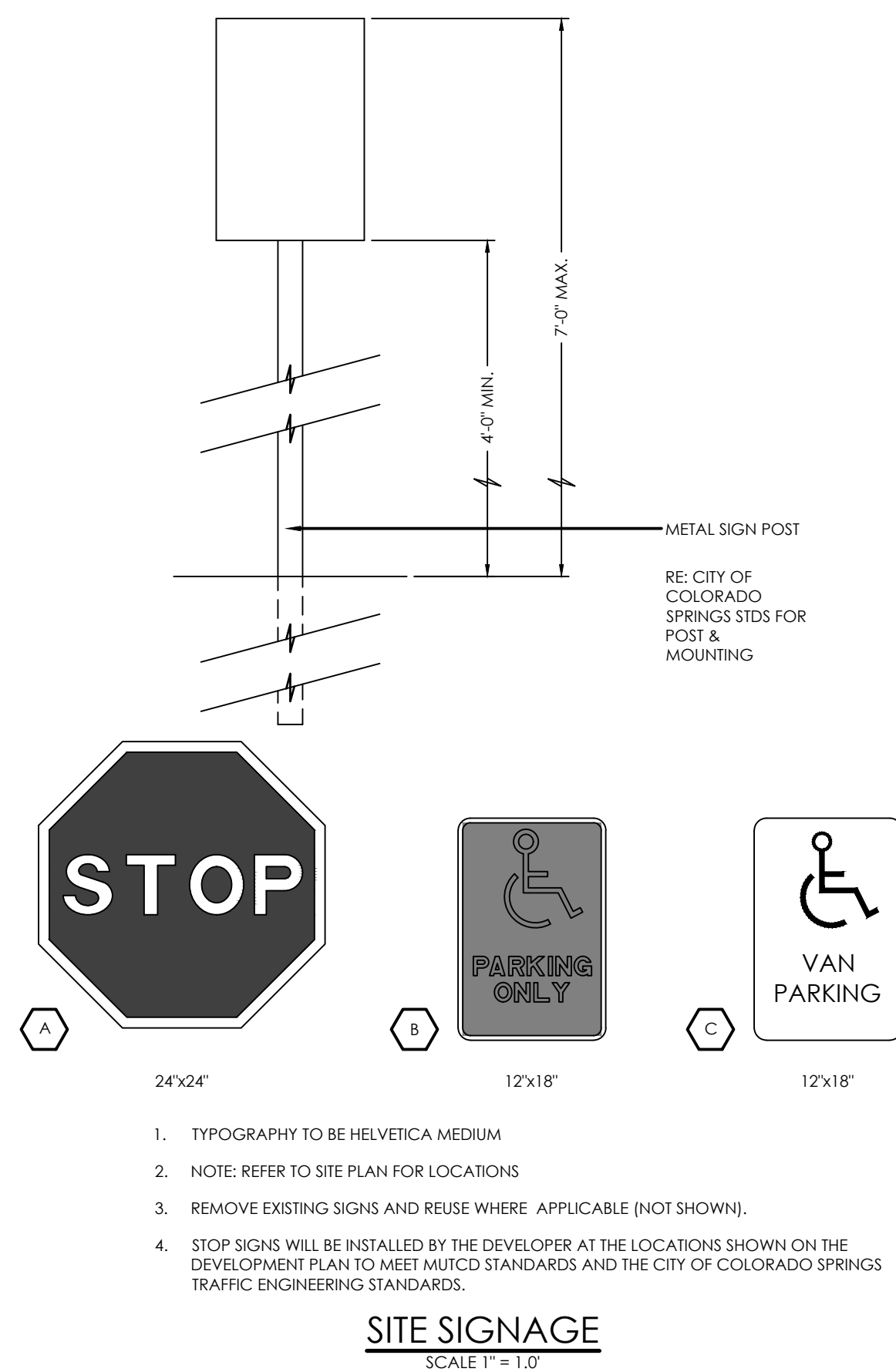
5935 TEMPLETON GAP ROAD

SITE PLAN

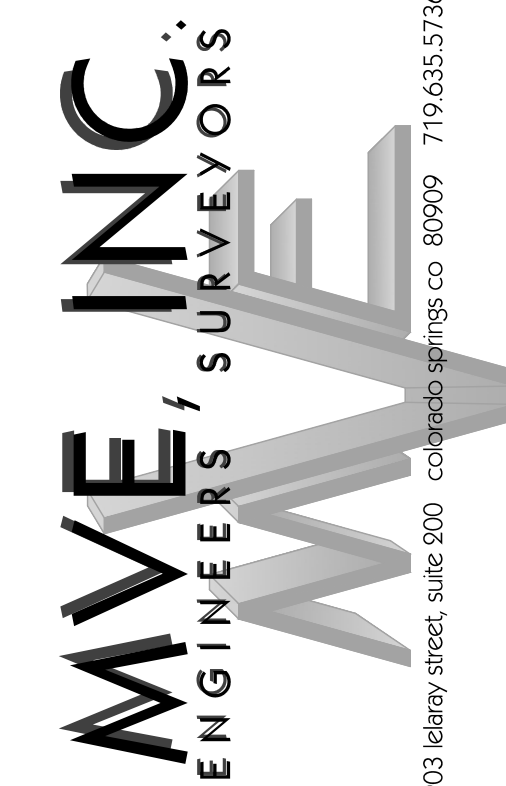
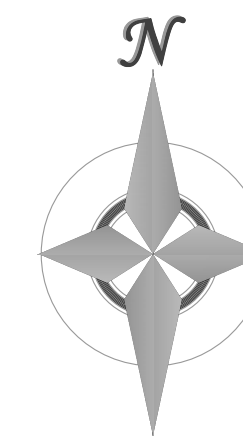
SP-2 MVE PROJECT 61206  
MVE DRAWING SP-CS

May 1, 2024  
SHEET 2 OF 3

PPR



BENCHMARK



REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

5935 TEMPLETON  
GAP ROAD

SITE PLAN  
DETAIL SHEET

SP-3 MVE PROJECT 61206  
MVE DRAWING SP-DS

May 1, 2024  
SHEET 3 OF 3

PPR