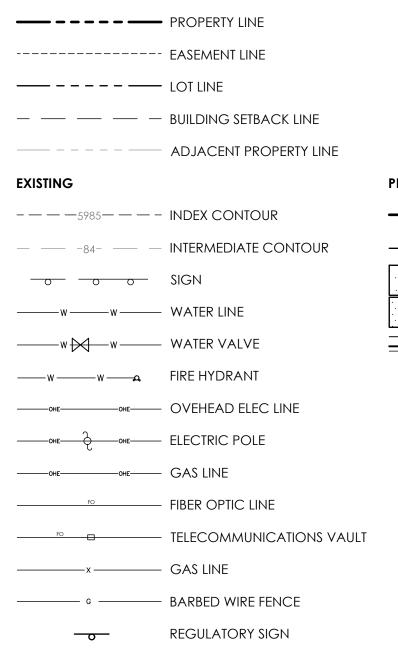
SITE PLAN 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

LEGEND



ABBREVIATION LEGEND	
ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
ROW	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY

CATCH CURB

SPILL CURB



SITE LOCATION MAP (SEE SITE PLAN ON PAGE 2 FOR SITE DETAILS)

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0536G, EFFECTIVE DECEMBER 7, 2018.

SITE DATA

OWNER	EXIS
GREAT WEST CONSTRUCTION	
PROPERTIES LLC	BUIL
5935 TEMPLETON GAP ROAD	PAV
COLORADO SPRINGS, CO 80923	LAN
(719) 380 - 8100	STOI

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200

COLORADO SPRINGS, CO 80909 (719) 635 - 5736

COMMERCIAL AIRPORT OVERLAY DISTRICT

63130 - 00 - 009

PROPERTY ADDRESS
5935 TEMPLETON GAP ROAD

ISTING COVERAGE DATA

ILDINGS: VEMENT (DRIVE/WALK): 7,616 SF 3.5% NDSCAPING: 93,911 SF 43.1% DRAGE AREA

217,800 SF 100.0% = 5.0± ACRES

217,800 SF 100.0% = 5.0± ACRES

PROPOSED COVERAGE DATA

PAVEMENT (DRIVE/PARKING/WALK): 31,300 SF 14.4% LANDSCAPING : STORAGE AREA 91,789 SF 42.2%

PARKING SCHEDULE

TOTAL AREA:

TOTAL AREA:

REQUIRED: OFFICE = 1300 SF 1 SPACE PER 200 SF = 7 SPACES

INCLUDING VAN ACCESSIBLE ADA SPACE = 1 TOTAL SPACES REQUIRED = 7

PROVIDED: STANDARD SPACES = 11 VAN ACCESSIBLE ADA SPACE = 1 TOTAL SPACES PROVIDED = 12

BUILDING TYPE

OFFICE BUILDING AREA - 2400 SF TWO STORY - TYPE V-B NON - SPRINKLED (NS)

BUILDING HEIGHT

ALLOWED MAXIMUM BUILDING HEIGHT = 25'-0" ACTUAL BUILDING HEIGHT = 17'-4" TO 18'-0"

25' SIDE

LAND DESCRIPTION

A TRACT IN THE SE 1/4 OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY COLORADO DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 189 WITH THE NORTH LINE OF TEMPLETON HEIGHTS SUBDIVISION, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE FOR 726.61 FEET TO THE POINT OF BEGINNING FOR SAID TRACT; THENCE CONTINUE ALONG THE SAME COURSE FOR 301 FEET; ANGLE RIGHT 90 ° (SOUTHERLY) 847.84 FEET TO THE NORTH LINE OF AFOREMENTIONED TRACT; THENCE WESTERLY ALONG SAID NORTH LINE FOR 390.23 FEET, THENCE NORTHERLY 599.50 FEET TO SAID POINT OF BEGINNING.

DEVELOPMENT NOTES

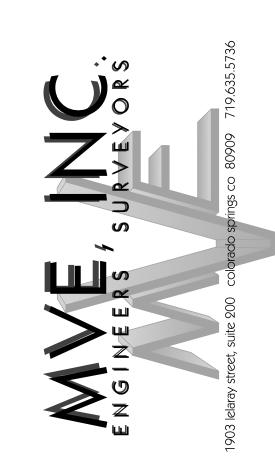
- 1. NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC IN PLACE.
- 2. NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES. 3. ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
- 4. FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.

VICINITY MAP

BENCHMARK



1" = 50' 1:600



REVISIONS

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY CHECKED BY

5935 TEMPLETON GAP ROAD

SITE PLAN

MVE DRAWING SP-CS

<u>LEGEND</u>

PROPERTY LINE

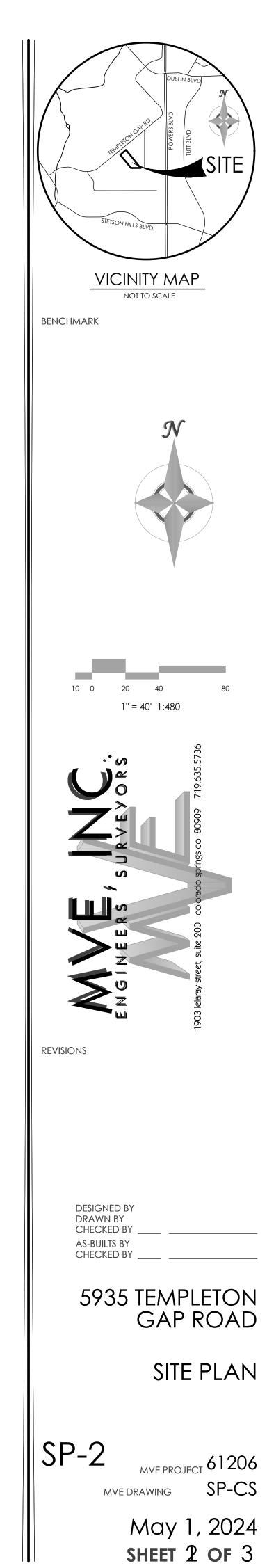
----- EASEMENT LINE

SITE PLAN

FOR

5935 TEMPLETON GAP ROAD







MVE DRAWING

MVE PROJECT 61206

SITE PLAN DETAIL SHEET

5935 TEMPLETON GAP ROAD

CHECKED BY

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY

REVISIONS

VICINITY MAP

NOT TO SCALE

BENCHMARK

MEASUREMENTS ARE TO

FACE OF CURB

+0.00

RADII

A 1/8" TO 1/4" B 1-1/2"

18" SPILL CURB

& GUTTER

SCALE 1"=1"

DIVISION STANDARD SPECIFICATIONS.



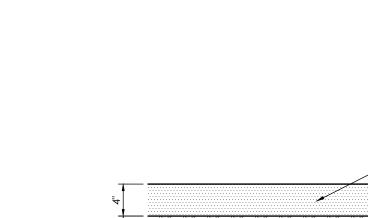








NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



4" THICK HOT MIX ASPHALT (HMA) IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION, SUPERPAVE MIXTURES IN CDOT PAVING GUIDELINES

SPECIFICATIONS & TOWN OF CASTLROCK 7 1/2" CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE PER CDOT TABLE 703-2 &
CONSTRUCTED IN ACCORDANCE WITH SECTION 304 OF CDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING MOISTURE TREATMENT AND COMPACTION (ASTM D1557/AASHTO T-180) SUBGRADE SCARIFIED 12" MIN BELOW BOTTOM OF BASE COURSE, FILL COMPACTED IN 8" MAX LIFTS, MOISTURE

CONDITIONED TO WITHIN 2% OPTIMUM

MOISTURE CONTENT & COMPACTED TO

MIN. 95% STD PROCTOR DRY DENSITY

(ASTM D698, AASHTO T99) & PROOF





LIGHT DUTY TRAFFIC PARKING STALLS

TOOL EDGES AT EXPANSION JOINTS AND

SCORING. BROOM FINISH REMAINING FIELD.

CONCRETE WALK SLABS SHALL BE 4" THICK,

TYPICAL SIDEWALK DETAIL

CONCRETE SIDEWALK 4" THK

SLOPE 1/4" PER FT

- PREPARE 6" THK SUBGRADE 95% MODIFIED PROCTOR DENSITY

SCALE 1"=1"

W/FIBER MESH

SIDEWALK WIDTH AS SHOWN ON PLAN

THICKENED EDGE SIDEWALK

SCALE: 1" = 1'

3 1/2" THICK HOT MIX ASPHALT (HMA) IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION, SUPERPAVE MIXTURES IN CDOT

SPECIFICATIONS & TOWN OF CASTLROCK

6 1/2" CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE PER CDOT TABLE 703-2 &

CONSTRUCTED IN ACCORDANCE WITH

SPECIFICATION FOR ROAD AND BRIDGE

CONSTRUCTION INCLUDING MOISTURE

TREATMENT AND COMPACTION (ASTM

SUBGRADE SCARIFIED 12" MIN BELOW

BOTTOM OF BASE COURSE, FILL COMPACTED

IN 8" MAX LIFTS, MOISTURE CONDITIONED TO

WITHIN 2% OPTIMUM MOISTURE CONTENT &

COMPACTED TO MIN. 95% STD PROCTOR DRY

SECTION 304 OF CDOT STANDARD

PAVING GUIDELINES

D1557/AASHTO T-180)

REINFORCED WITH 6x6 10/10 W.W.F.

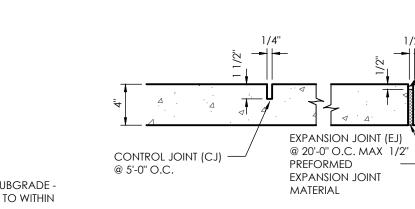
DENSITY (ASTM D698, AASHTO T99) & PROOF

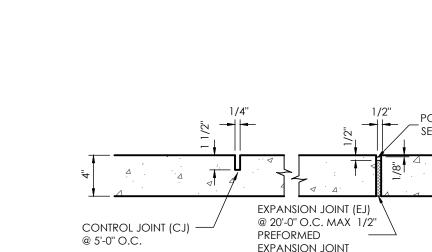
ASPHALT PAVEMENT SECTION

HEAVY DUTY TRAFFIC DRIVE LANES

SCALE 1" = 1.0'

4000 PSI CONCRETE ON PREPARED SUBGRADE -SCARIFIED, MOISTURE CONDITIONED TO WITHIN 2% OPTIMUM MOISTURE CONTENT & COMPACTED TO MIN. 95% STD PROCTOR DRY DENSITY (ASTM D698, AASHTO T99)





SEE PAVEMENT RECOMMENDATIONS

OF ASPHALT AND BASE COURSE IN TRAFFIC AND PARKING AREAS

SEE PAVEMENT RECOMMENDATIONS FROM SOILS ENGINEER FOR SUBGRADE

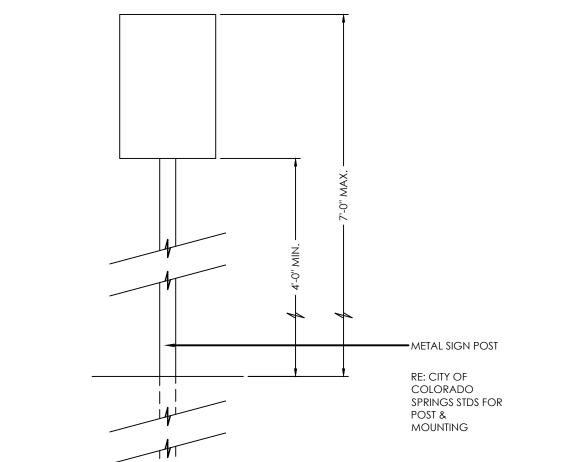
PREPARATION OR GEOTEXTILE SPEC.

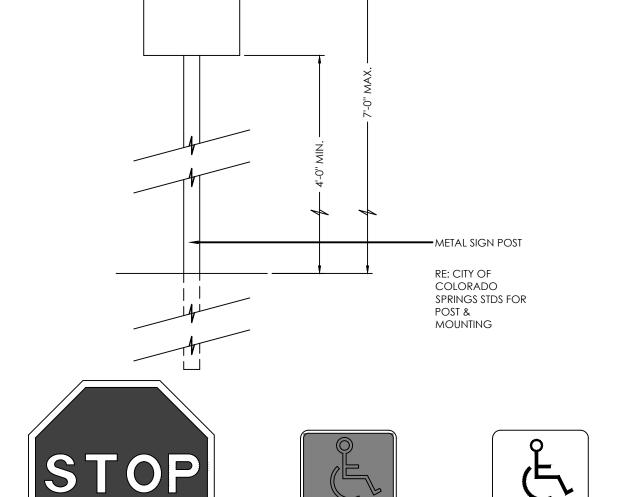
FROM SOILS ENGINEER FOR THICKNESS

CONCRETE SIDEWALK

DETAIL

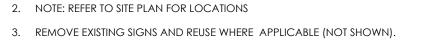
NOT TO SCALE

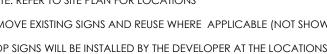




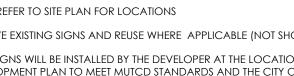












SITE SIGNAGE

PROVIDE 3 BRACKETS PER POST - WOOD PANEL TO ROUND STEEL POST BRACKET)

2 X 4 CEDAR TOP CAP (STAIN)

1 x 6 CEDAR BOARDS -STAIN) -

DUMPSTER SCREEN SECTION / ELEV.

NOTE: -FILL STEEL POSTS WITH CONCRETE -FASTEN EACH RAIL END USING THREE *8 x I-1/4" RAIL SCREWS -ATTACH RAILS TO CORNER POSTS USING ONE POSCLIP PER RAIL END -ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS

2 × 4 CEDAR RAIL (CHAMFER TOP -STAIN)

5 1/2" CEDAR BOARD

2 X 4 CEDAR RAIL (STAIN)

-1 × 6 CEDAR BOARDS (STAIN)

___2%'+ STEEL POST

STEEL POST----

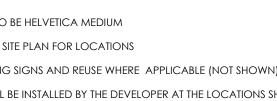
2 × 4—

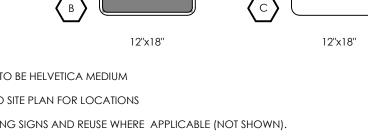
1×6-

2 × 6













5.0' (MIN) WIDE

(8.0' WIDE AT

VAN LOCATION)

NOTE: REFER TO CIVIL FOR

ACTUAL PARKING LAYOUT

9'-8 5/8**'**

4'-0"

PROVIDE TWO 3/8" DROP RODS. DRILL RECEPTACLE HOLES IN CONCRETE SLAB AT OPEN AND CLOSED POSITIONS

DUMPSTER SCREEN GATE ELEV.

- SCALE: 3/8' = 1'-@'--

- Steel Posts with Concrete

DUMPSTER SCREEN PLAN

3'0 STEEL BOLLARDS RILLED WITH CONCRETE

໌ 3'-໌**⊘'** ∜

B OR C

6" WIDE WHITE STRIPES AT ACCESS WALKWAY

NOTE: 2.0% MAX SLOPE IN ANY

AND ACCESSIBLE ISLE

DIRECTION IN ACCESSIBLE SPACE

REQUIRED HANDICAP MARKING IN 3' SQUARE WHITE FRAME AND EMBLEM

WITH BLUE BACKGROUND

TYPICAL HANDICAP PARKING SPACE