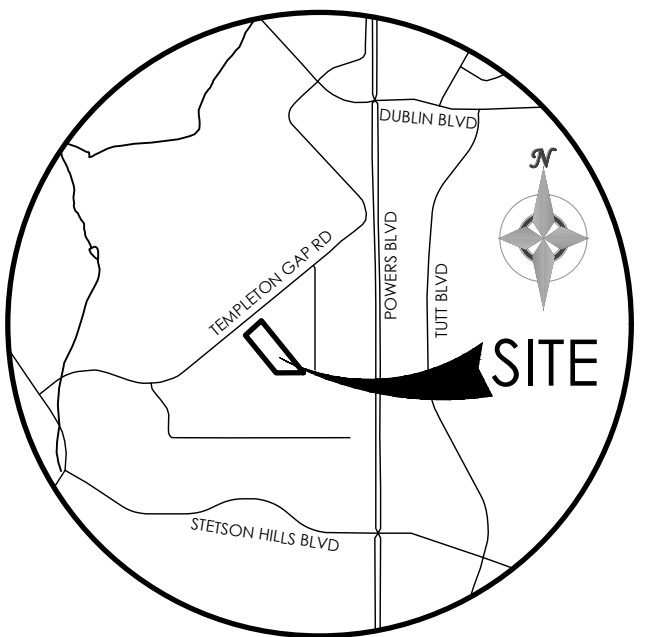


# SITE PLAN

## FOR

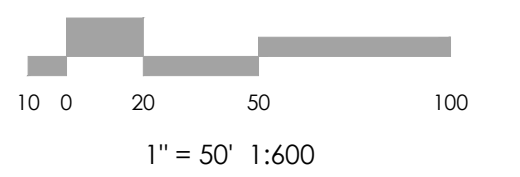
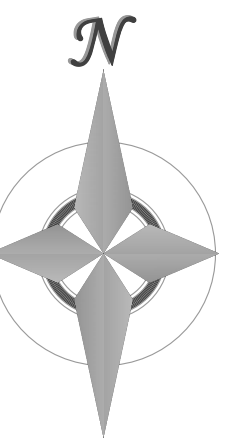
# 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

5935 TEMPLETON  
GAP ROAD

SITE PLAN

SP-1 MVE PROJECT 61206  
MVE DRAWING SP-CS

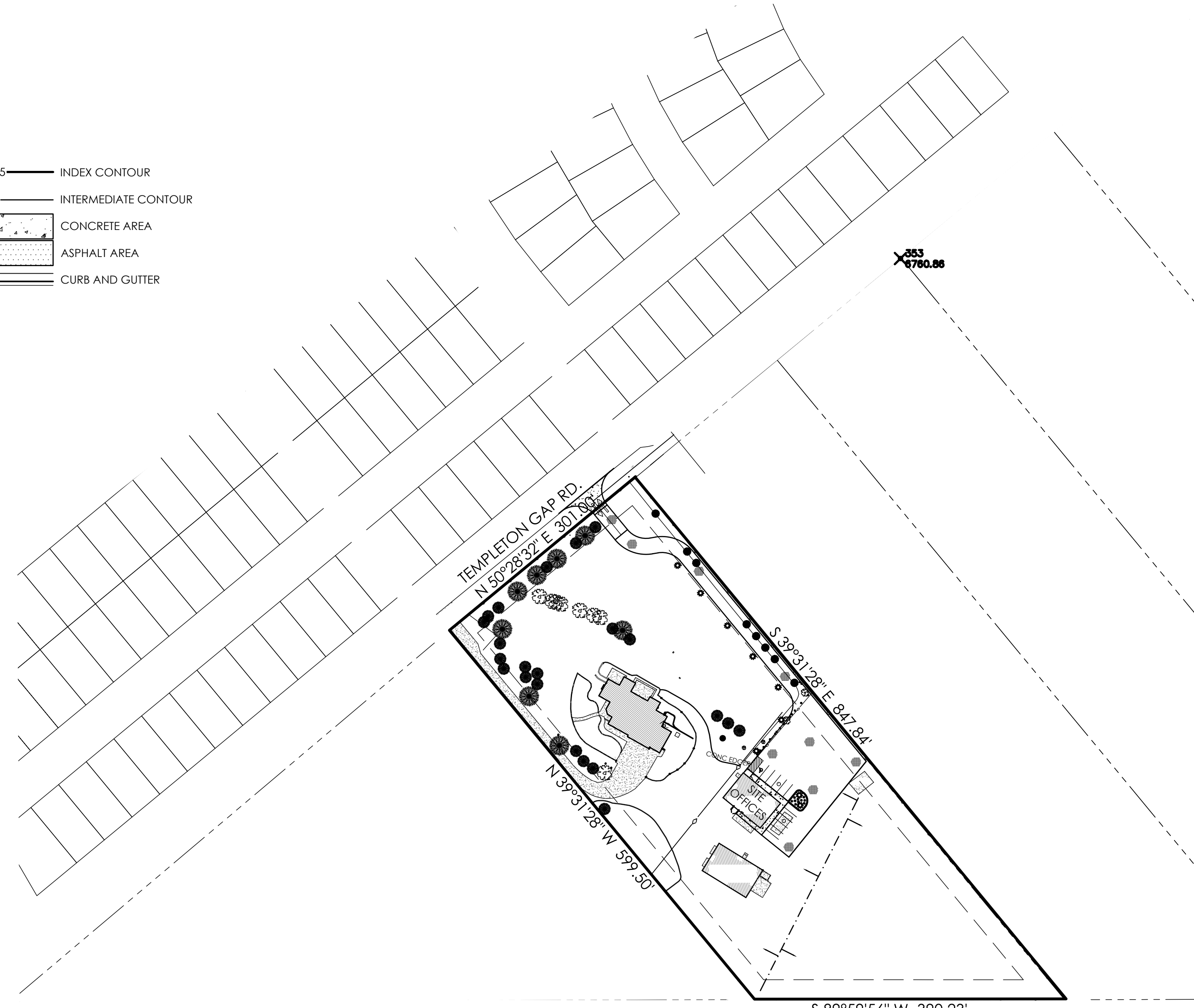
JULY 1, 2024  
SHEET 1 OF 3

### LEGEND

- EXISTING**
- PROPERTY LINE
  - - - - - EASEMENT LINE
  - LOT LINE
  - - - - - BUILDING SETBACK LINE
  - - - - - ADJACENT PROPERTY LINE
  - - - - 5985 - INDEX CONTOUR
  - - - - 84 - INTERMEDIATE CONTOUR
  - SIGN
  - W — W — WATER LINE
  - W — W — WATER VALVE
  - W — W — FIRE HYDRANT
  - O — O — OVEHEAD ELEC LINE
  - ○ — ○ — ELECTRIC POLE
  - ○ — ○ — GAS LINE
  - ○ — ○ — FIBER OPTIC LINE
  - ○ — ○ — TELECOMMUNICATIONS VAULT
  - x — x — GAS LINE
  - g — g — BARBED WIRE FENCE
  - REGULATORY SIGN
- PROPOSED**
- 5985 — INDEX CONTOUR
  - 84 — INTERMEDIATE CONTOUR
  - CONCRETE AREA
  - ASPHALT AREA
  - CURB AND GUTTER

### ABBREVIATION LEGEND

- ASPH ASPHALT
- CONC CONCRETE
- C & G CURB & GUTTER
- DET. DETAIL
- ESMT EASEMENT
- ME MATCH EXISTING
- P.B., PG. PLAT BOOK, PAGE
- PVMT PAVEMENT
- RET. WALL RETAINING WALL
- REC. NO. RECEPTION NUMBER
- ROW RIGHT-OF-WAY
- SF SQUARE FOOT
- STBK SETBACK
- SW SIDEWALK
- UTIL UTILITY
- ⊙ CATCH CURB
- ⊙ SPILL CURB



SITE LOCATION MAP  
1" = 100'  
(SEE SITE PLAN ON PAGE 2 FOR SITE DETAILS)

### SITE DATA

<b>OWNER</b> GREAT WEST CONSTRUCTION PROPERTIES LLC 5935 TEMPLETON GAP ROAD COLORADO SPRINGS, CO 80923 (719) 380 - 8100	<b>EXISTING COVERAGE DATA</b>
	BUILDINGS: 8,023 SF 1.6%
	PAVEMENT (DRIVE/WALK): 7,616 SF 3.5%
	LANDSCAPING: 93,911 SF 43.1%
	STAGING AREA: 108,250 SF 49.7%
	<b>TOTAL AREA: 217,800 SF 100.0% = 5.0± ACRES</b>

<b>CONSULTANT/ENGINEER</b> M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635 - 5736	<b>PROPOSED COVERAGE DATA</b>
	BUILDINGS: 8,023 SF 1.6%
	PAVEMENT (DRIVE/PARKING/WALK): 31,300 SF 14.4%
	LANDSCAPING: 91,789 SF 42.2%
	STAGING AREA: 86,688 SF 39.8%
	<b>TOTAL AREA: 217,800 SF 100.0% = 5.0± ACRES</b>

<b>ZONING</b> AGRICULTURE [A-5] COMMERCIAL AIRPORT OVERLAY DISTRICT (CAD-O)	<b>PROPOSED DISTURBANCE DATA</b>
	AREA TO BE DISTURBED = 30,000 SF

<b>TAX SCHEDULE NO.</b> 63130 - 00 - 009	<b>PARKING SCHEDULE</b>
	REQUIRED:
	OFFICE = 1300 SF
	1 SPACE PER 200 SF = 7 SPACES
	INCLUDING VAN ACCESSIBLE ADA SPACE = 1
	TOTAL SPACES REQUIRED = 7
	PROVIDED:
	STANDARD SPACES = 11
	VAN ACCESSIBLE ADA SPACE = 1
	TOTAL SPACES PROVIDED = 12

<b>PROPERTY ADDRESS</b> 5935 TEMPLETON GAP ROAD	<b>BUILDING TYPE</b>
	OFFICE BUILDING AREA - 2400 SF
	TWO STORY - TYPE V-B
	NON - SPRINKLED (NS)

	<b>BUILDING HEIGHT</b>
	ALLOWED MAXIMUM BUILDING HEIGHT = 25'-0"
	ACTUAL BUILDING HEIGHT = 17'-4" TO 18'-0"
	<b>SETBACKS</b>
	25' FRONT
	25' SIDE
	25' REAR

	<b>LAND DESCRIPTION</b>
	A TRACT IN THE SE 1/4 OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY COLORADO DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 189 WITH THE NORTH LINE OF TEMPLETON HEIGHTS SUBDIVISION, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE FOR 726.61 FEET TO THE POINT OF BEGINNING FOR SAID TRACT; THENCE CONTINUE ALONG THE SAME COURSE FOR 301 FEET; ANGLE RIGHT 90° (SOUTHERLY) 847.84 FEET TO THE NORTH LINE OF A FOREMENTIONED TRACT; THENCE WESTERLY ALONG SAID NORTH LINE FOR 390.23 FEET; THENCE NORTHERLY 599.50 FEET TO SAID POINT OF BEGINNING.

	<b>ROAD IMPACT FEE</b>
	THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER, SUCCESSORS AND/OR ASSIGNS THAT SUBDIVIDER AND/OR SAID SUCCESSORS OR ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471). ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS, THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

	<b>DEVELOPMENT NOTES</b>
	1. NO DOMESTIC WATER OR SEWER SERVICE PROVIDED, WELL AND SEPTIC IN PLACE.
	2. NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
	3. ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
	4. FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.
	5. No permanent outdoor storage under this development application.

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0536G, EFFECTIVE DECEMBER 7, 2016.

VA243

# SITE PLAN

FOR

## 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO

### LEGEND

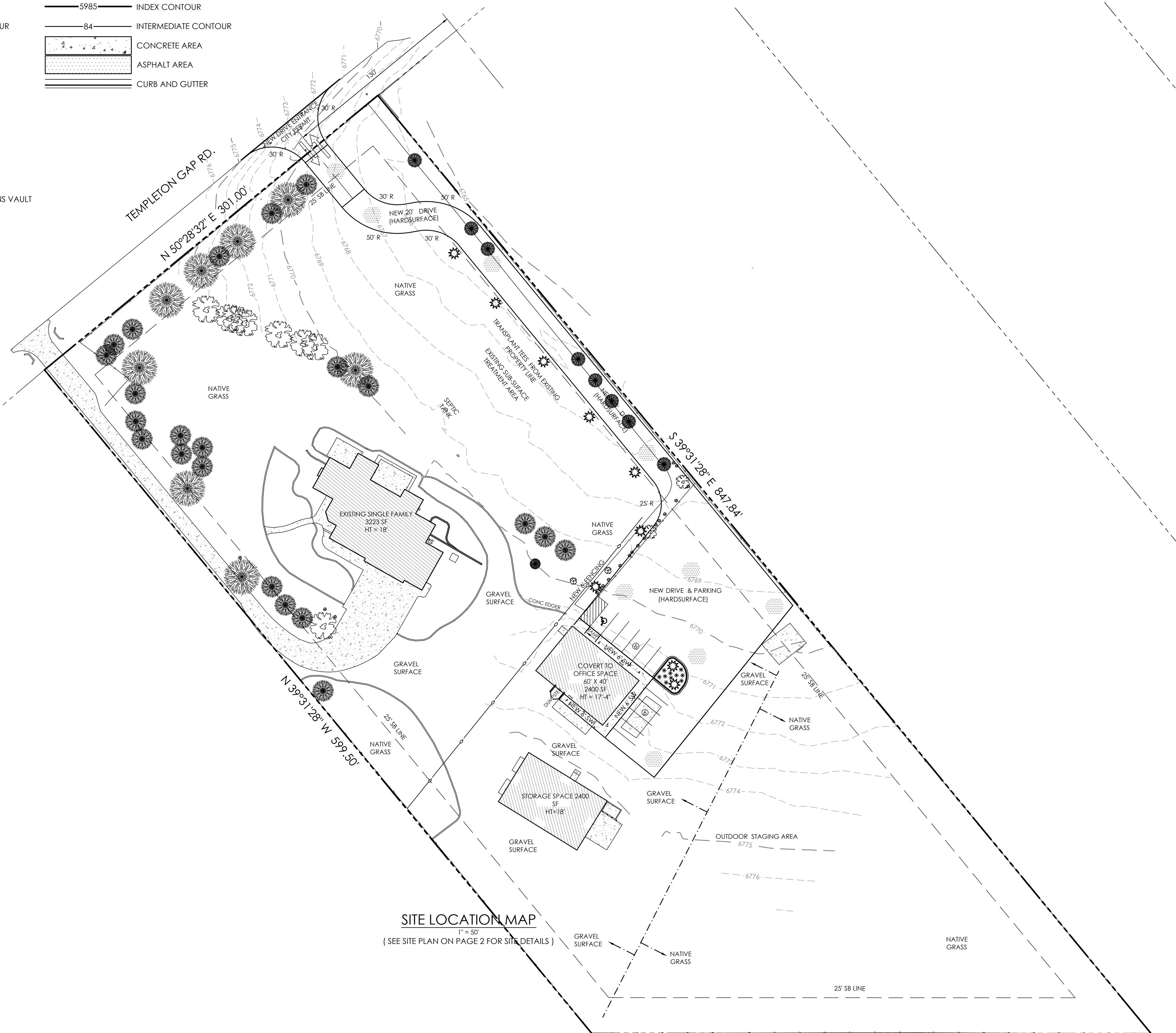
- PROPERTY LINE
- - - EASEMENT LINE
- LOT LINE
- - - BUILDING SETBACK LINE
- - - ADJACENT PROPERTY LINE

#### EXISTING

- 5985 --- INDEX CONTOUR
- 84 --- INTERMEDIATE CONTOUR
- ○ ○ SIGN
- W — W WATER LINE
- W ∇ — W WATER VALVE
- W — W ∆ FIRE HYDRANT
- OE — OE OVERHEAD ELEC LINE
- OE — OE ELECTRIC POLE
- OE — OE GAS LINE
- FO — FO FIBER OPTIC LINE
- TV — TV TELECOMMUNICATIONS VAULT
- X — X GAS LINE
- G — G BARBED WIRE FENCE
- R — R REGULATORY SIGN

#### PROPOSED

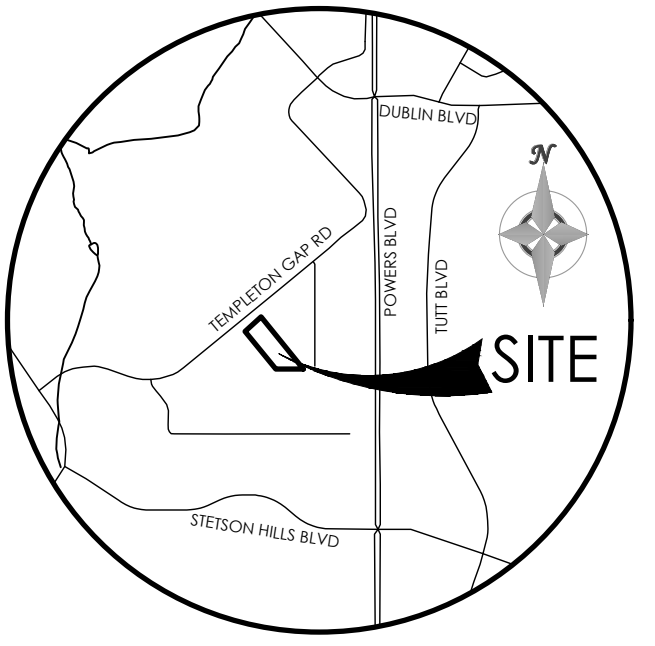
- 5985 --- INDEX CONTOUR
- 84 --- INTERMEDIATE CONTOUR
- [Pattern] CONCRETE AREA
- [Pattern] ASPHALT AREA
- [Pattern] CURB AND GUTTER



**SITE LOCATION MAP**  
1" = 50'  
(SEE SITE PLAN ON PAGE 2 FOR SITE DETAILS)

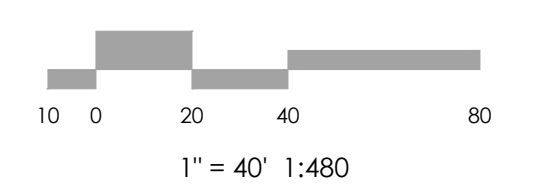
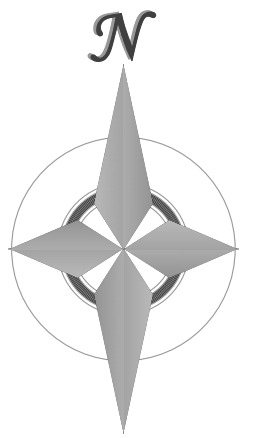
### LANDSCAPE NOTES

1. 5935 TEMPLETON GAP ROAD IS A PRE-DEVELOPED SINGLE FAMILY LOT.
2. TEN PLUS ROADWAY TREES EXIST ALONG TEMPLETON GAP ROAD.
3. TREES AND FENCING EXIST ALONG THE NORTHEASTERN AND SOUTHEASTERN PROPERTY LINES AND PROVIDE BUFFERING OF ADJACENT PROPERTIES.
4. FENCING EXISTS ALONG SOUTHERN PROPERTY LINE AND PROVIDES BUFFERING.
5. NEW CONSTRUCTION ON SITE WILL CONSIST OF AN ENTRANCE DRIVE, AND PARKING AREA FOR NEW OFFICE RENOVATION.
6. NEW DRIVE WILL HAVE FIVE (5) TRANSPLANTED TREES ALONG THE SOUTHEASTERN SIDE OF DRIVE AND TWO (2) TRANSPLANTED TREES ALONG NORTHWESTERN SIDE OF NEW PARKING AREA.
7. A NEW FENCE WILL SEPARATE & BUFFER THE EXISTING SINGLE FAMILY RESIDENCE FROM THE TWO EXISTING OUT STRUCTURES AND NEW PARKING AREA.
8. TWO (2) TREES AND TEN (10) 36" HIGH LOW WATER SHRUBS WILL BE PLANTED IN THE NEW PARKING ISLAND SITUATE AT THE CORNER OF THE PARKING SPACES.
9. NOT MORE THAN 30,000 SF OF AREA WILL BE DISTURBED AND THE EXISTING AND PROPOSED LANDSCAPING MEETS THE CURRENT COUNTY INTERNAL LANDSCAPE REQUIREMENTS.



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

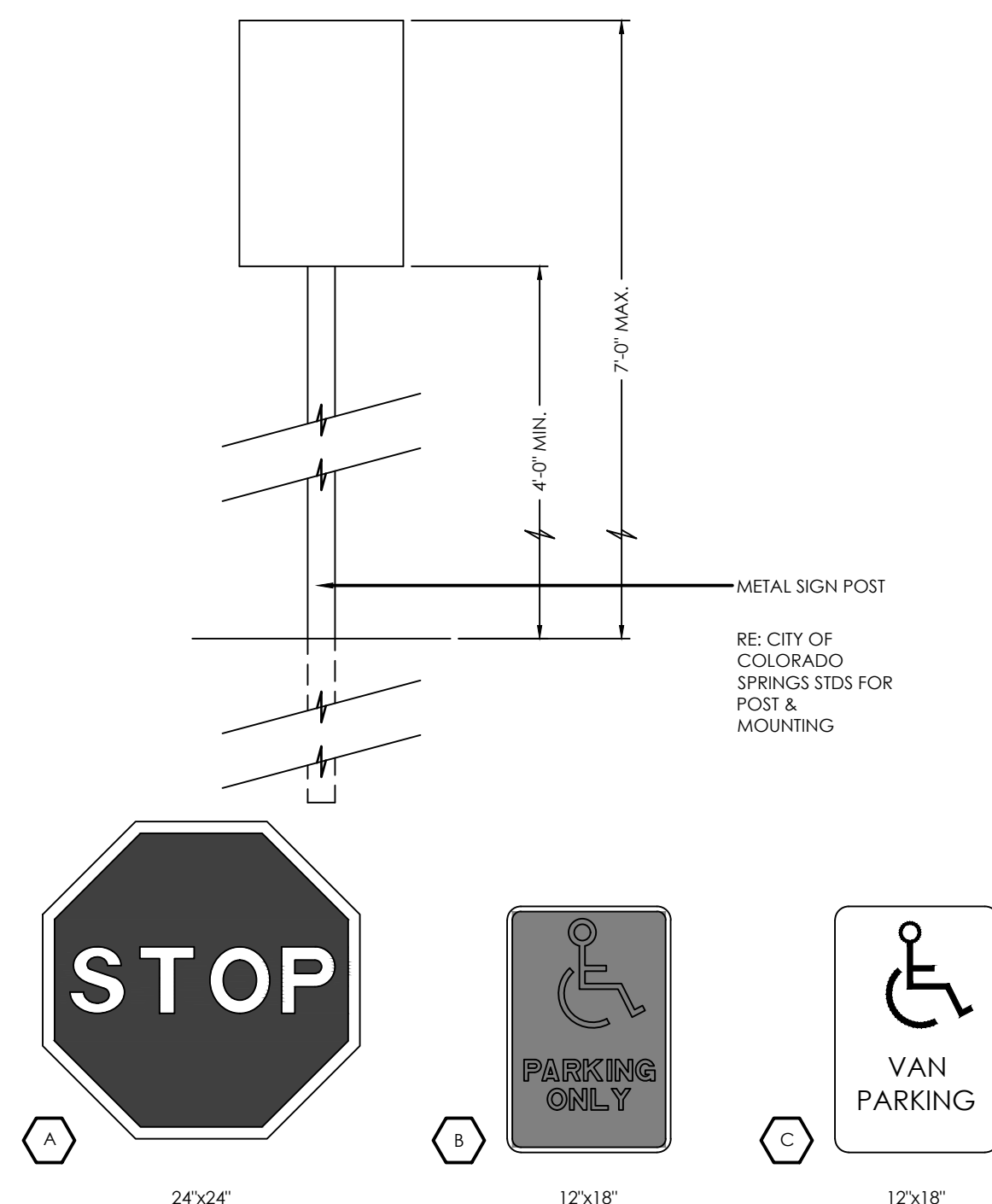
**5935 TEMPLETON GAP ROAD**

**SITE PLAN**

**SP-2** MVE PROJECT 61206  
MVE DRAWING SP-CS

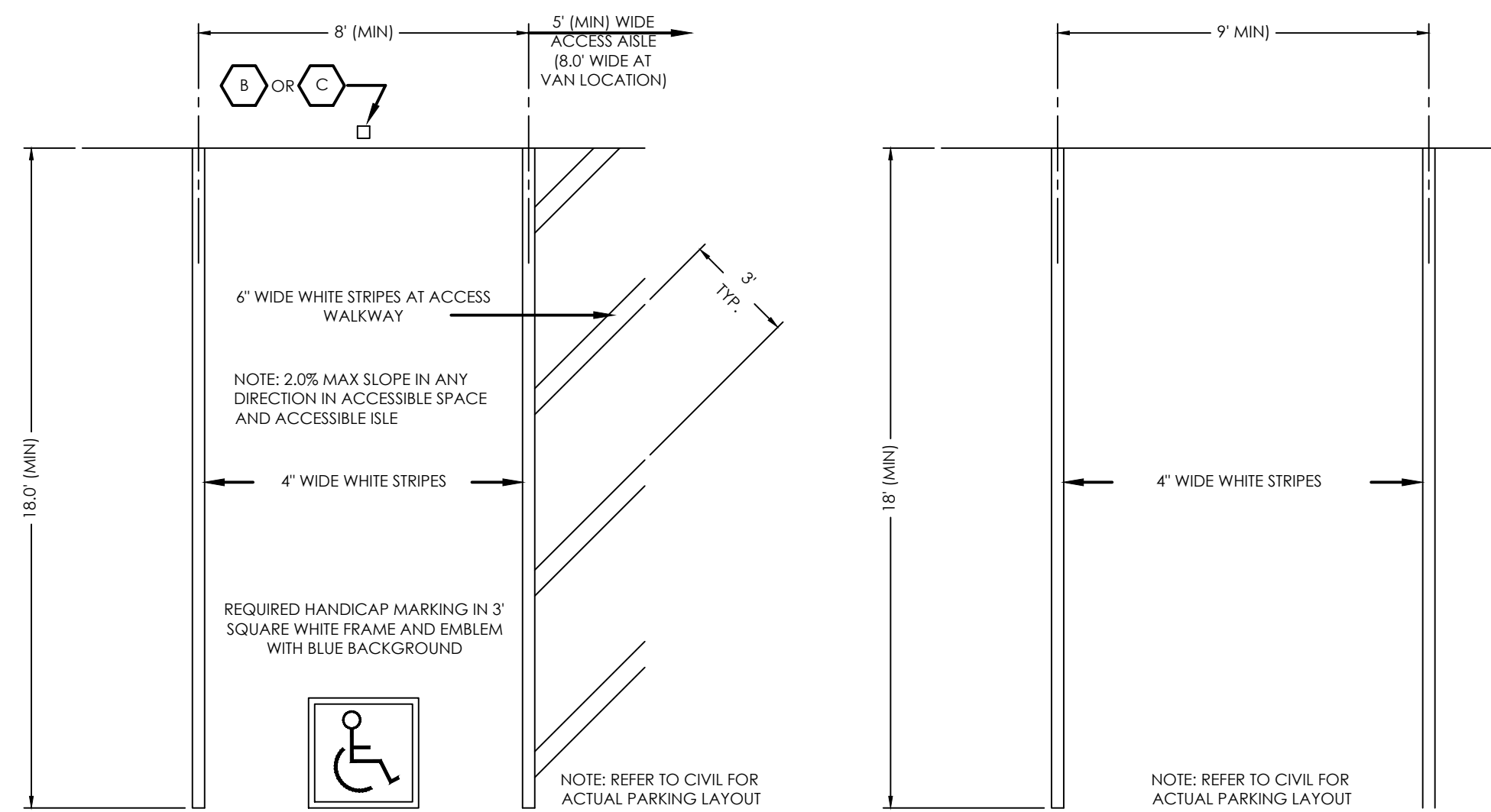
**JULY 1, 2024**  
**SHEET 2 OF 3**

VA243



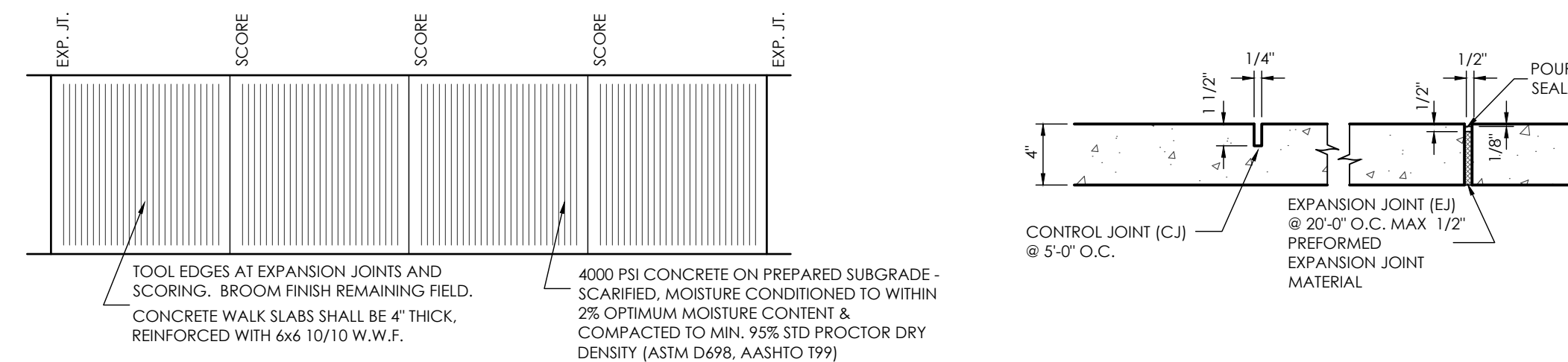
1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

**SITE SIGNAGE**  
SCALE 1" = 1.0'



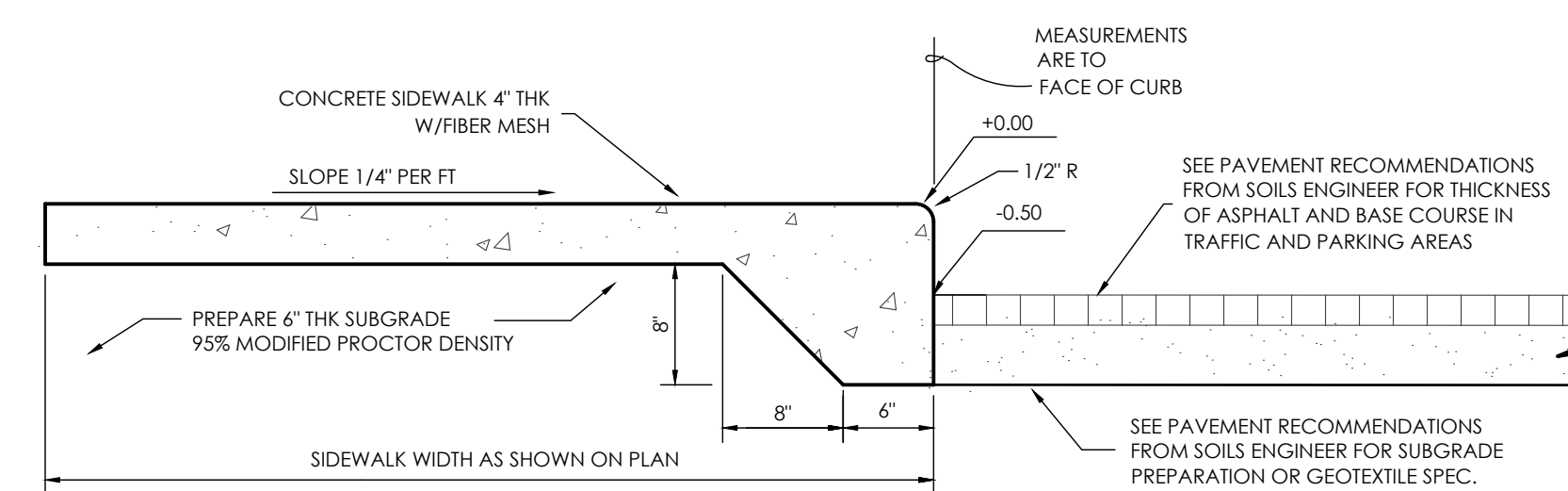
**TYPICAL HANDICAP PARKING SPACE**  
SCALE 1" = 4'

**TYPICAL STANDARD PARKING SPACE**  
SCALE 1" = 4'

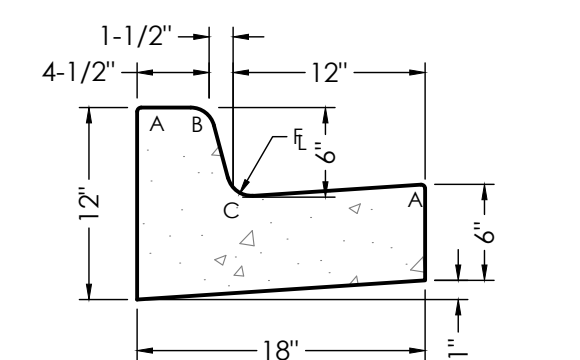


**TYPICAL SIDEWALK DETAIL**  
SCALE 1" = 4.0'

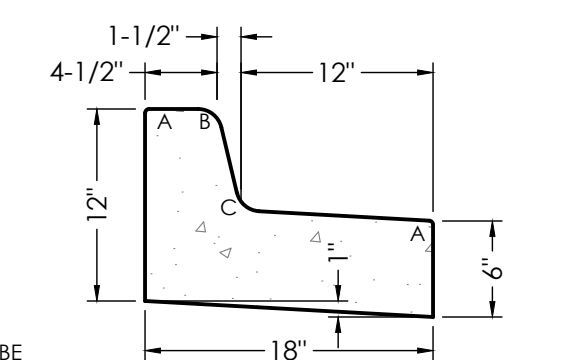
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**THICKENED EDGE SIDEWALK**  
SCALE 1" = 1'



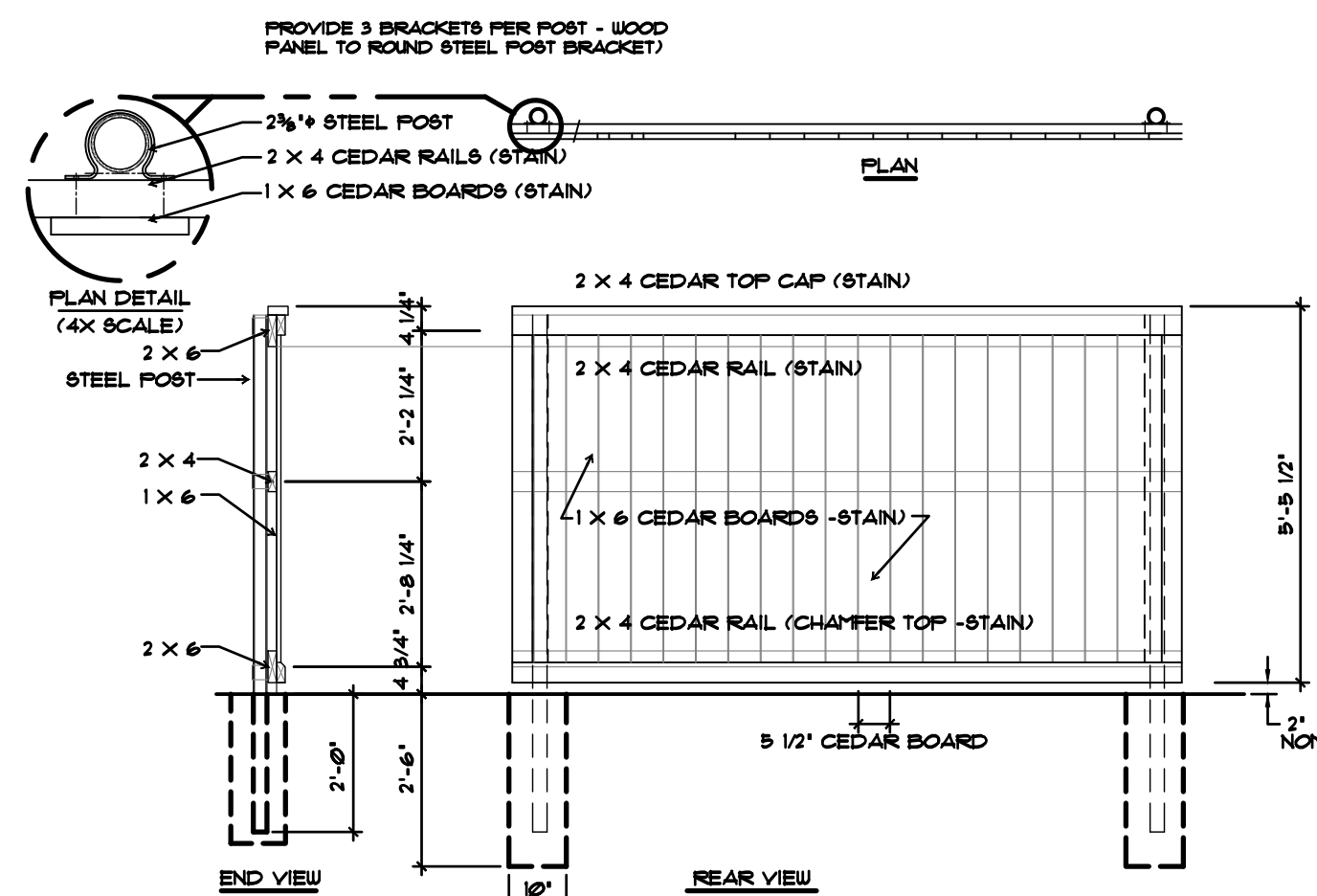
**18" CATCH CURB & GUTTER**  
SCALE 1" = 1'



**18" SPILL CURB & GUTTER**  
SCALE 1" = 1'

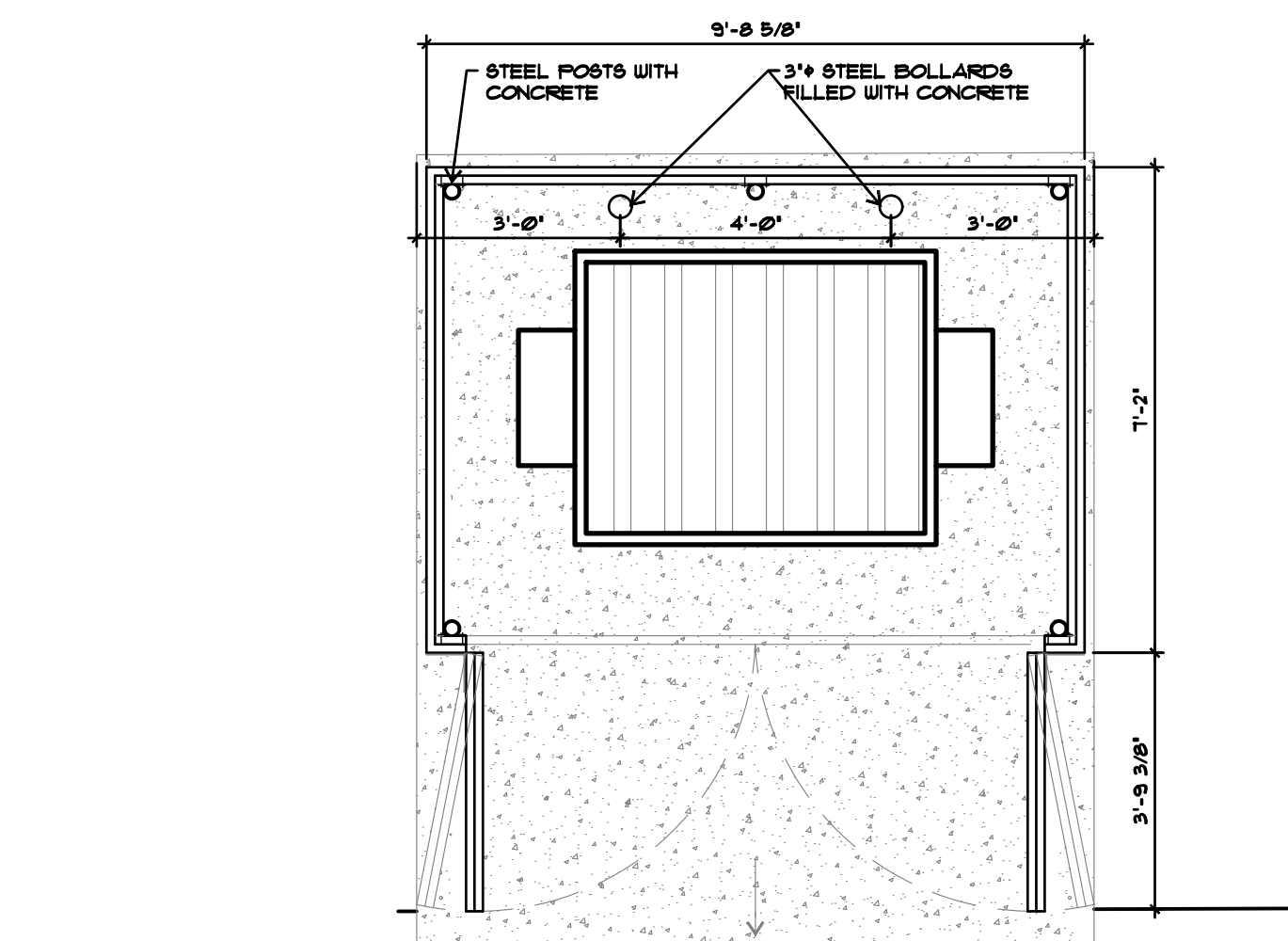
NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.

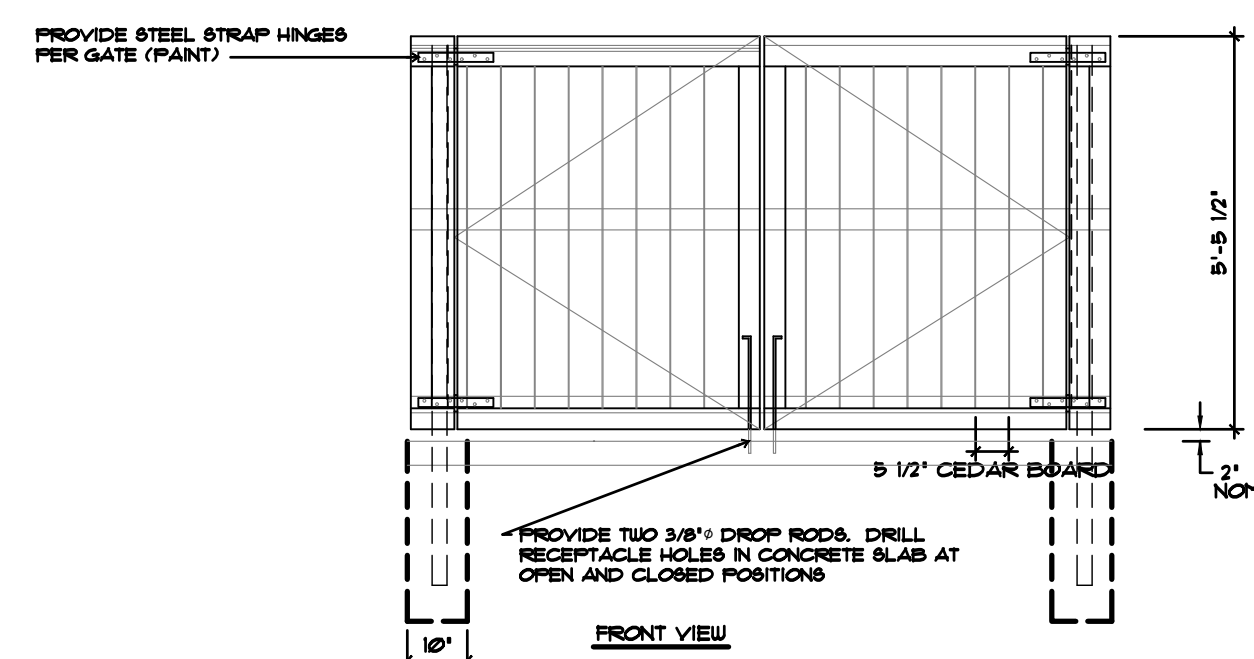


**DUMPSTER SCREEN SECTION / ELEV.**  
SCALE: 3/8" = 1'-0"

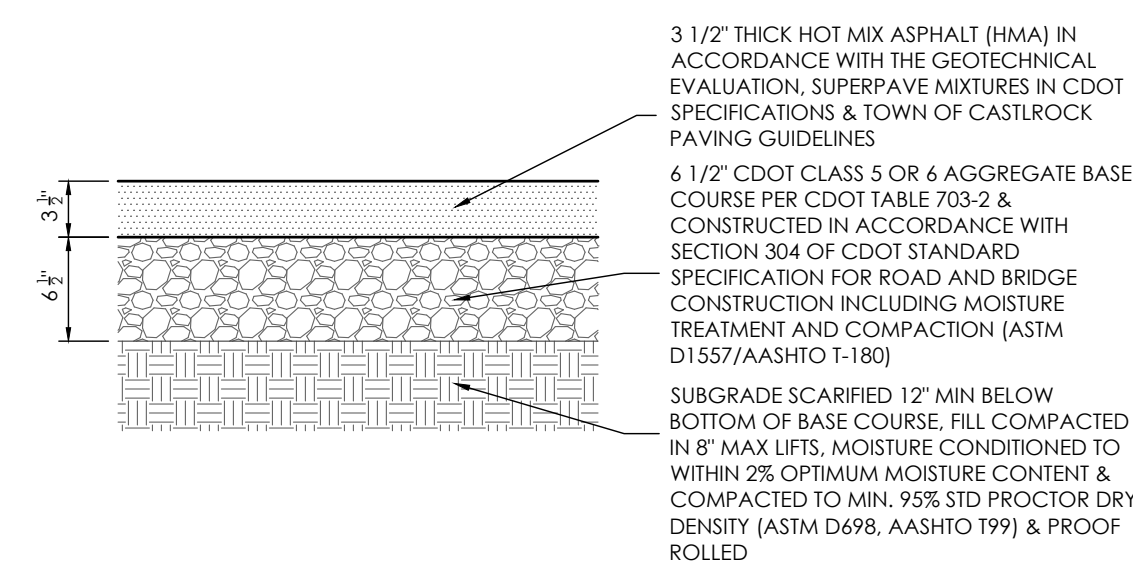
NOTE:  
-FILL STEEL POSTS WITH CONCRETE  
-FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS  
-ATTACH RAILS TO CORNER POSTS USING ONE #8 CLIP PER RAIL END  
-ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



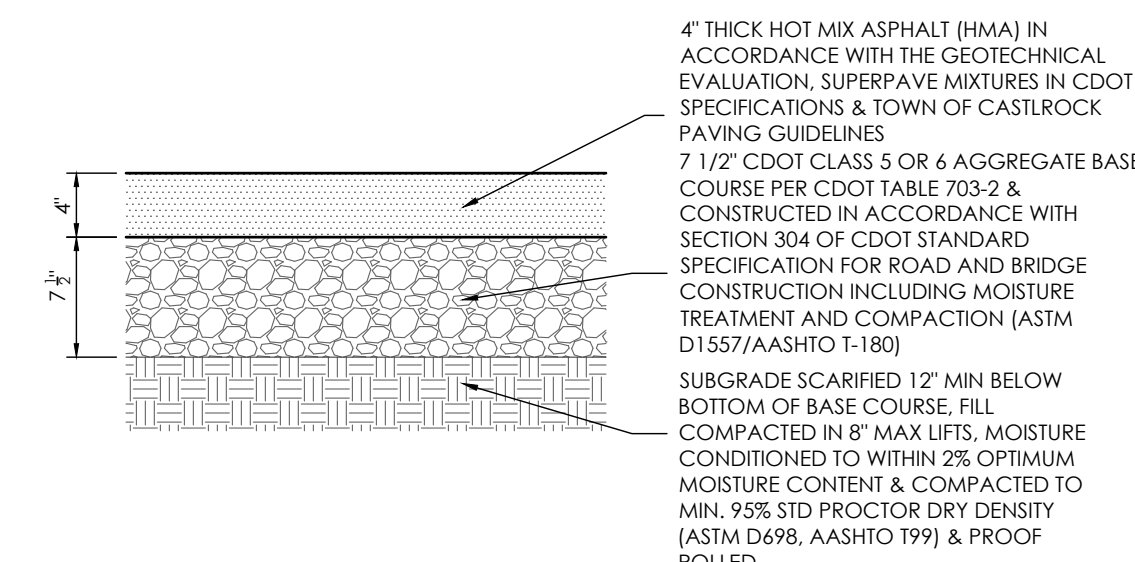
**DUMPSTER SCREEN PLAN**  
SCALE: 3/8" = 1'-0"



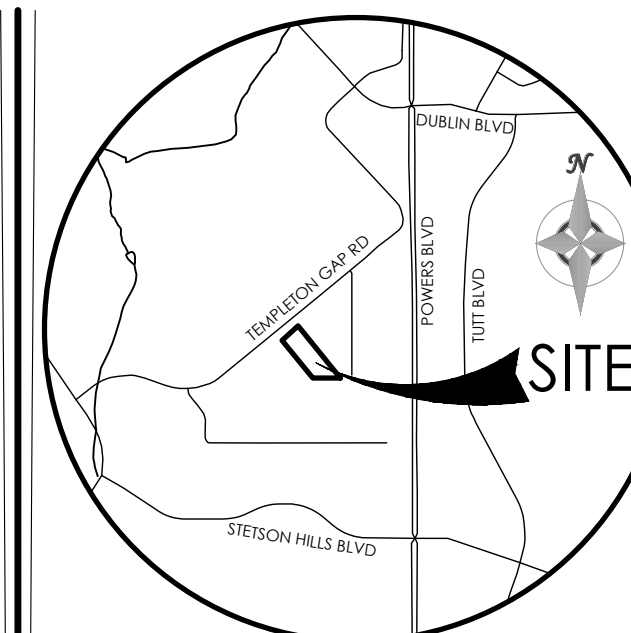
**DUMPSTER SCREEN GATE ELEV.**  
SCALE: 3/8" = 1'-0"



**ASPHALT PAVEMENT SECTION  
LIGHT DUTY TRAFFIC PARKING STALLS**  
SCALE 1" = 1.0'

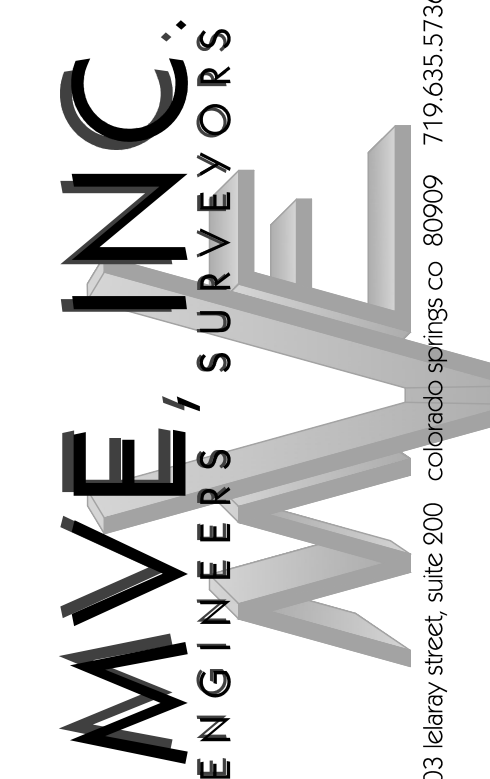
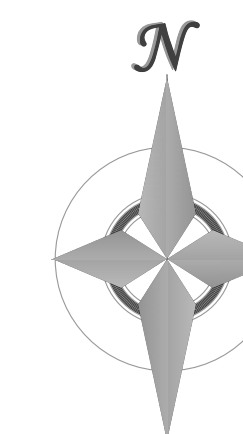


**ASPHALT PAVEMENT SECTION  
HEAVY DUTY TRAFFIC DRIVE LANES**  
SCALE 1" = 1.0'



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**5935 TEMPLETON  
GAP ROAD**

**SITE PLAN  
DETAIL SHEET**

**SP-3** MVE PROJECT 61206  
MVE DRAWING SP-DS

**JULY 1, 2024  
SHEET 3 OF 3**

VA243