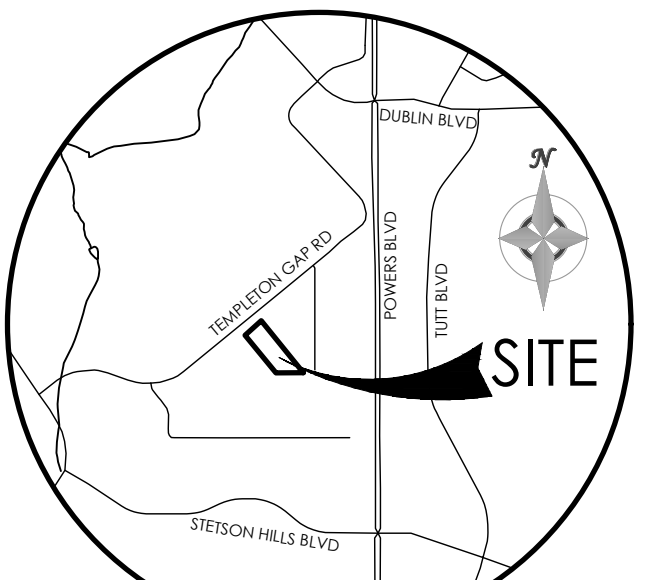


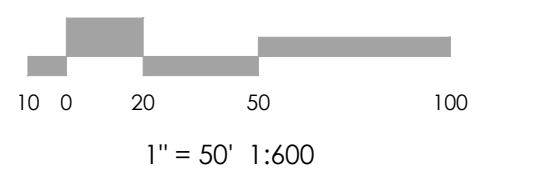
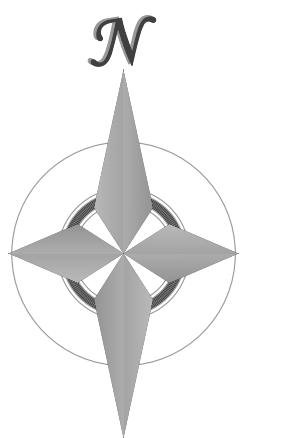
SITE PLAN FOR 5935 TEMPLETON GAP ROAD

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK



MVE, INC.
ENGINEERS / SURVEYORS
1903 LeLaray Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

5935 TEMPLETON
GAP ROAD

SITE PLAN

SP-1 MVE PROJECT 61206
MVE DRAWING SP-CS

May 1, 2024
SHEET 1 OF 3

LEGEND

- PROPERTY LINE** (dashed line)
EASEMENT LINE (dotted line)
LOT LINE (dash-dot line)
BUILDING SETBACK LINE (long-dashed line)
ADJACENT PROPERTY LINE (dashed line)
- EXISTING**
---5985--- INDEX CONTOUR
---84--- INTERMEDIATE CONTOUR
○ SIGN
—W—W— WATER LINE
—W—W— WATER VALVE
—W—W— FIRE HYDRANT
—O—O— OVEHEAD ELEC LINE
—E—E— ELECTRIC POLE
—G—G— GAS LINE
—F—F— FIBER OPTIC LINE
—T—T— TELECOMMUNICATIONS VAULT
—X— GAS LINE
—G— BARBED WIRE FENCE
—R— REGULATORY SIGN
- PROPOSED**
---5985--- INDEX CONTOUR
---84--- INTERMEDIATE CONTOUR
[Pattern] CONCRETE AREA
[Pattern] ASPHALT AREA
[Pattern] CURB AND GUTTER

ABBREVIATION LEGEND

- ASPH ASPHALT
CONC CONCRETE
C & G CURB & GUTTER
DET. DETAIL
ESMT EASEMENT
ME MATCH EXISTING
P.B., PG. PLAT BOOK, PAGE
PVMT PAVEMENT
RET. WALL RETAINING WALL
REC. NO. RECEPTION NUMBER
ROW RIGHT-OF-WAY
SF SQUARE FOOT
STBK SETBACK
SW SIDEWALK
UTIL UTILITY
Ⓢ CATCH CURB
Ⓣ SPILL CURB



SITE LOCATION MAP
1" = 100'

(SEE SITE PLAN ON PAGE 2 FOR SITE DETAILS)

SITE DATA

OWNER
GREAT WEST CONSTRUCTION
PROPERTIES LLC
5935 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923
(719) 380 - 8100

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635 - 5736

ZONING
AGRICULTURE [A-5]
COMMERCIAL AIRPORT OVERLAY DISTRICT
(CAD-O)

TAX SCHEDULE NO.
63130 - 00 - 009

PROPERTY ADDRESS
5935 TEMPLETON GAP ROAD

EXISTING COVERAGE DATA

| | | |
|------------------------|-------------------|----------------------------|
| BUILDINGS: | 8,023 SF | 1.6% |
| PAVEMENT (DRIVE/WALK): | 7,616 SF | 3.5% |
| LANDSCAPING : | 93,911 SF | 43.1% |
| STORAGE AREA | 108,250 SF | 49.7% |
| TOTAL AREA: | 217,800 SF | 100.0% = 5.0± ACRES |

PROPOSED COVERAGE DATA

| | | |
|--------------------------------|-------------------|----------------------------|
| BUILDINGS: | 8,023 SF | 1.6% |
| PAVEMENT (DRIVE/PARKING/WALK): | 31,300 SF | 14.4% |
| LANDSCAPING : | 91,789 SF | 42.2% |
| STORAGE AREA | 86,688 SF | 39.8% |
| TOTAL AREA: | 217,800 SF | 100.0% = 5.0± ACRES |

PARKING SCHEDULE

REQUIRED:
OFFICE = 1300 SF
1 SPACE PER 200 SF = 7 SPACES
INCLUDING VAN ACCESSIBLE ADA SPACE = 1
TOTAL SPACES REQUIRED = 7

PROVIDED:
STANDARD SPACES = 11
VAN ACCESSIBLE ADA SPACE = 1
TOTAL SPACES PROVIDED = 12

BUILDING TYPE

OFFICE BUILDING AREA = 2400 SF
TWO STORY - TYPE V-B
NON - SPRINKLED (NS)

BUILDING HEIGHT

ALLOWED MAXIMUM BUILDING HEIGHT = 25'-0"
ACTUAL BUILDING HEIGHT = 17'-4" TO 18'-0"

SETBACKS

25' FRONT
25' SIDE
25' REAR

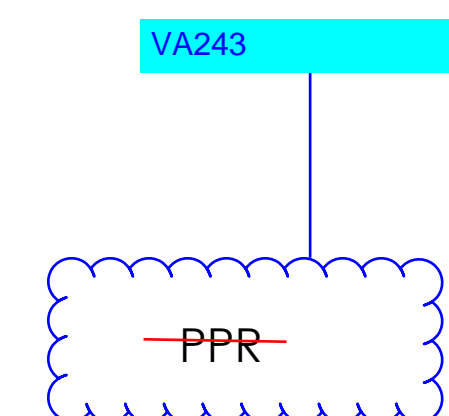
LAND DESCRIPTION

A TRACT IN THE SE 1/4 OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY COLORADO DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY 189 WITH THE NORTH LINE OF TEMPLETON HEIGHTS SUBDIVISION, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE FOR 726.61 FEET TO THE POINT OF BEGINNING FOR SAID TRACT; THENCE CONTINUE ALONG THE SAME COURSE FOR 301 FEET; ANGLE RIGHT 90° (SOUTHERLY) 847.84 FEET TO THE NORTH LINE OF A FOREMENTIONED TRACT; THENCE WESTERLY ALONG SAID NORTH LINE FOR 390.23 FEET, THENCE NORTHERLY 599.50 FEET TO SAID POINT OF BEGINNING.

DEVELOPMENT NOTES

- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED, WELL AND SEPTIC IN PLACE.
- NATURAL GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
- ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
- FIRE SERVICE PROVIDED BY COLORADO SPRINGS FIRE DEPARTMENT.

A note stating: The owner agrees on behalf of him/herself and any developer or builder successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.



ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0536G, EFFECTIVE DECEMBER 7, 2018.

SITE PLAN

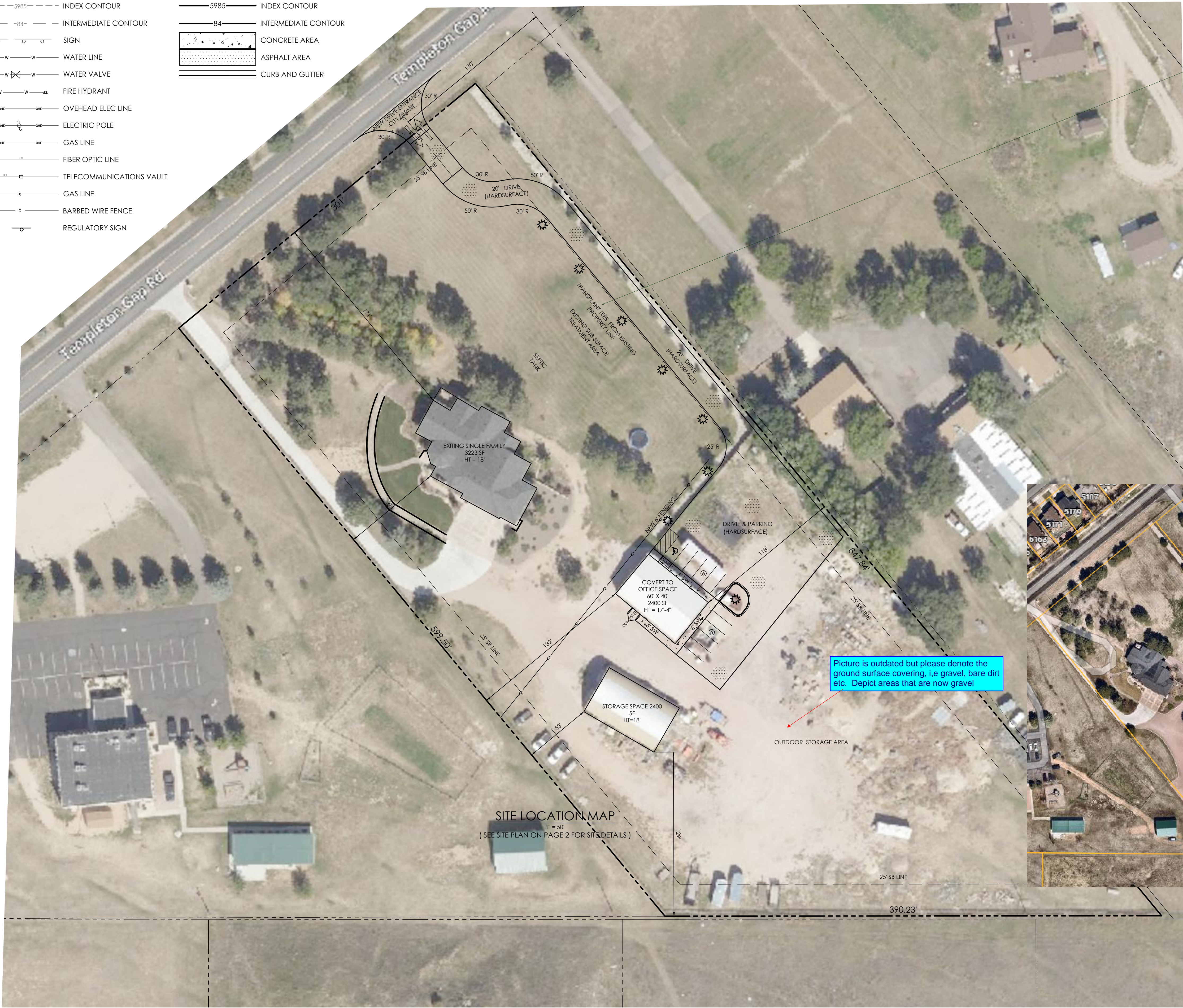
FOR

5935 TEMPLETON GAP ROAD

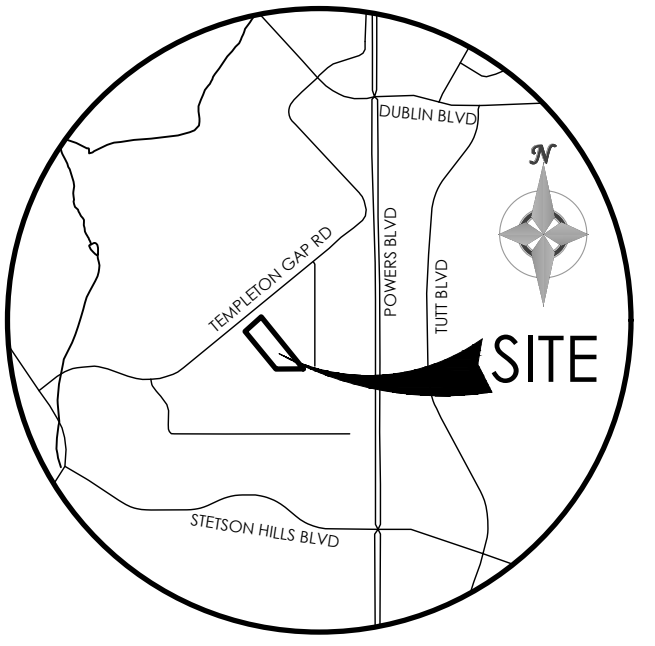
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO

LEGEND

| | | | |
|-----------------|--------------------------|-----|----------------------|
| --- | PROPERTY LINE | --- | INDEX CONTOUR |
| - - - - | EASEMENT LINE | --- | INTERMEDIATE CONTOUR |
| --- | LOT LINE | --- | CONCRETE AREA |
| --- | BUILDING SETBACK LINE | --- | ASPHALT AREA |
| --- | ADJACENT PROPERTY LINE | --- | CURB AND GUTTER |
| EXISTING | | | |
| --- | INDEX CONTOUR | --- | INDEX CONTOUR |
| --- | INTERMEDIATE CONTOUR | --- | INTERMEDIATE CONTOUR |
| ○ | SIGN | --- | CONCRETE AREA |
| --- | WATER LINE | --- | ASPHALT AREA |
| --- | WATER VALVE | --- | CURB AND GUTTER |
| --- | FIRE HYDRANT | | |
| --- | OVEHEAD ELEC LINE | | |
| --- | ELECTRIC POLE | | |
| --- | GAS LINE | | |
| --- | FIBER OPTIC LINE | | |
| --- | TELECOMMUNICATIONS VAULT | | |
| --- | GAS LINE | | |
| --- | BARBED WIRE FENCE | | |
| --- | REGULATORY SIGN | | |

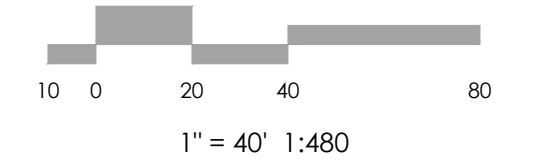
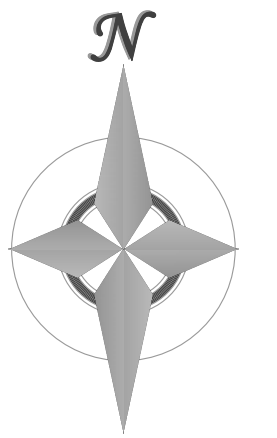


Please provide landscape planting details in conformance with approved landscaping regulations:
INTERNAL LANDSCAPING
Purpose
Internal landscaping requirements are intended to augment the streetscape, screening/buffer and parking area landscaping requirements, while conserving water resources. The purpose of internal landscaping is to visually soften the mass of buildings, enhance the visual appearance, and to visually separate building areas from parking areas, and create a welcoming appearance to building customers and users.
Minimum Area and Planting Requirements
The minimum internal landscaping area required by the LDC, and number of plantings shall be met by all projects.
Design Standards
Plantings Near Foundations
Lowest water usage plants are especially encouraged next to building foundations, where irrigation should be limited.
Low Water Use Plants Encouraged
As always, xeric and hardy species are strongly encouraged to minimize maintenance costs and enhance survival. Should bluegrass sod or other high-water use plants be desired for a certain look, it is encouraged to meet the following criteria:
No more than 20% of the internal landscape area should be allowed for high water use plants.
Each high water use area should be on a separate irrigation zone for customized watering.
Each high water use area should be confined to main building entrances.
Minimum Plant Material Sizes/ Percentage of Live Material Ground Cover
Landscape Material Specifications
The minimum planting/installation size and characteristics of plant materials shall meet the requirements of the LDC.
Required Live Material Ground Cover
The minimum groundcover requirements of the LDC shall be met



VICINITY MAP
NOT TO SCALE

BENCHMARK



MVE, INC.
ENGINEERS / SURVEYORS
1903 Leary street, suite 200 Colorado Springs CO 80909 719.635.5726

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

5935 TEMPLETON GAP ROAD

SITE PLAN

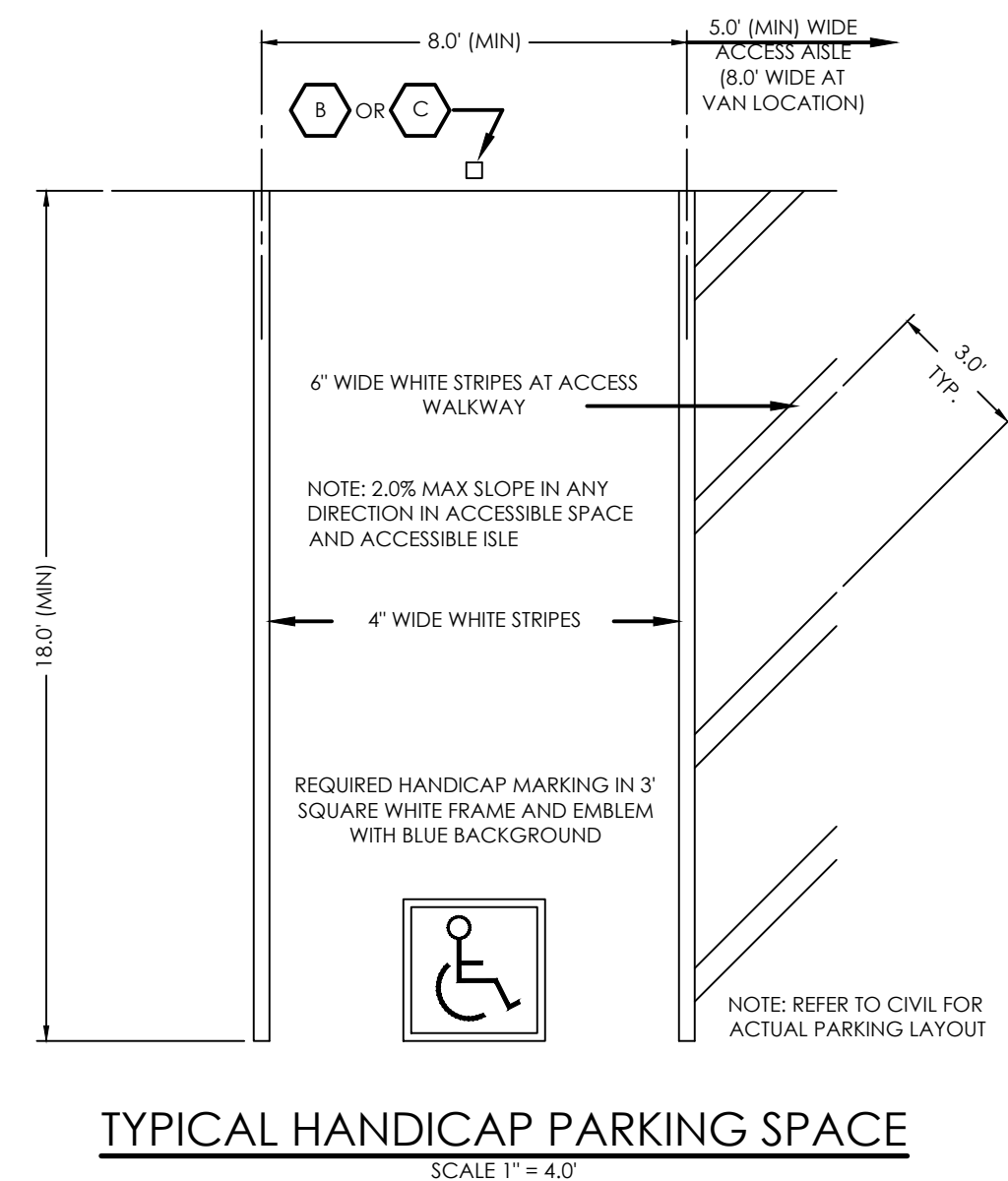
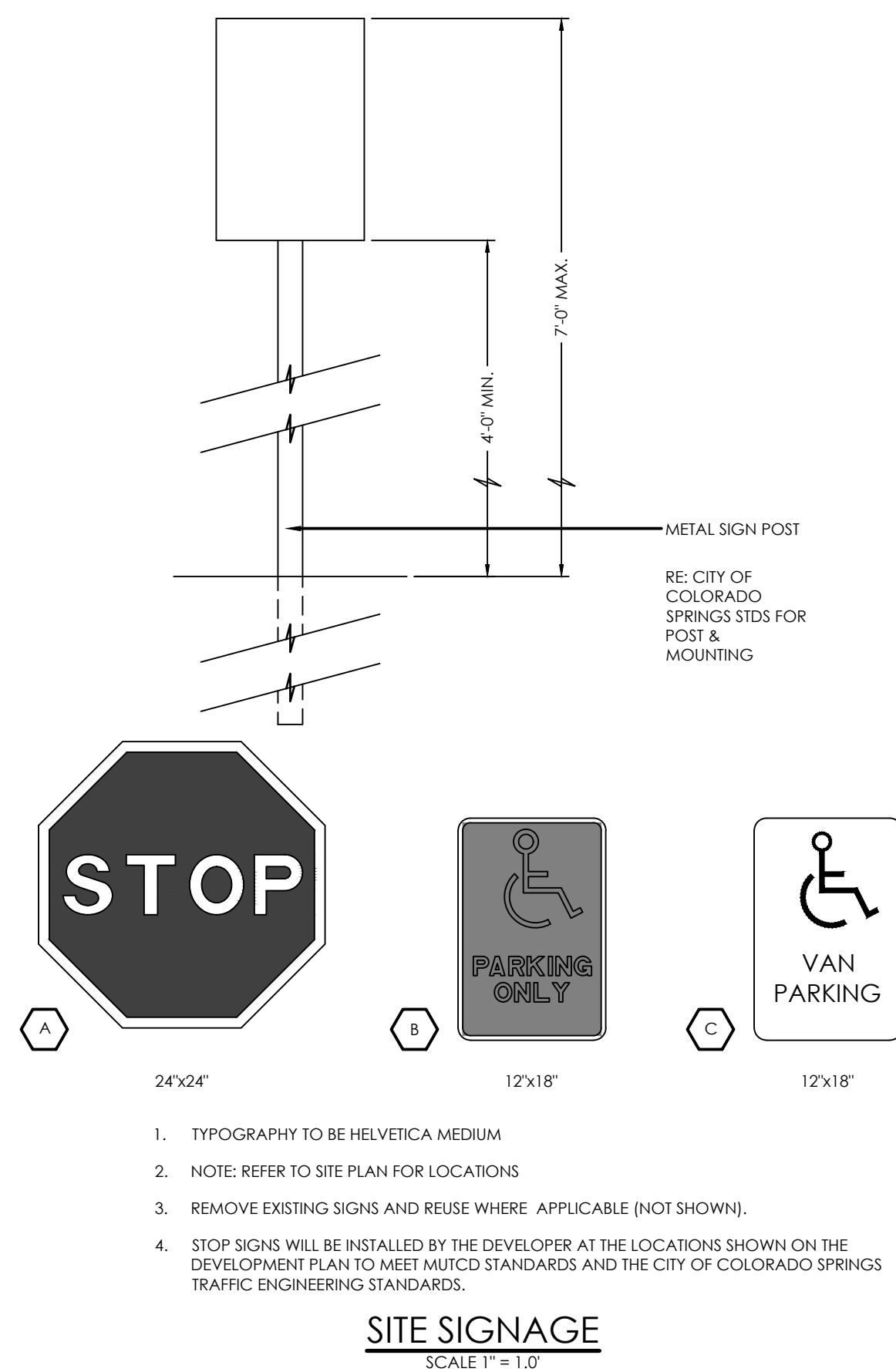
SP-2 MVE PROJECT 61206
MVE DRAWING SP-CS

May 1, 2024
SHEET 2 OF 3

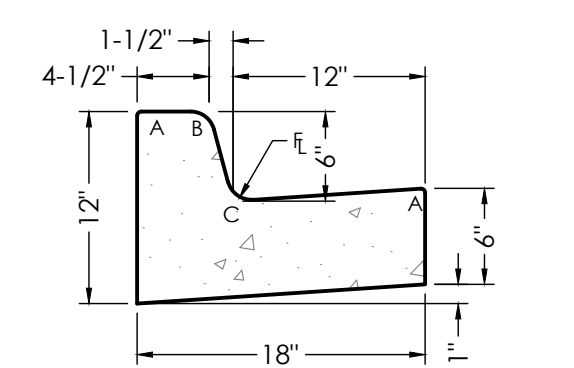
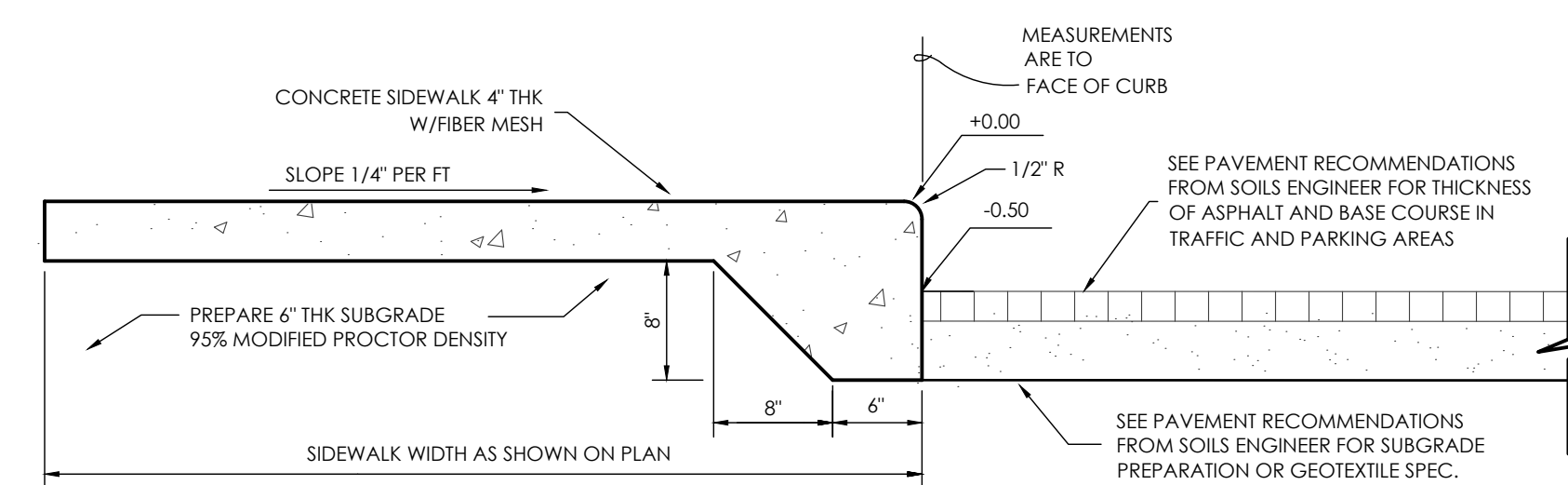
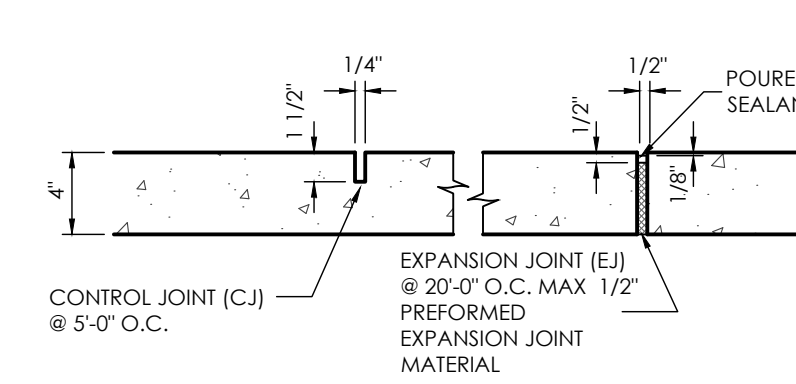
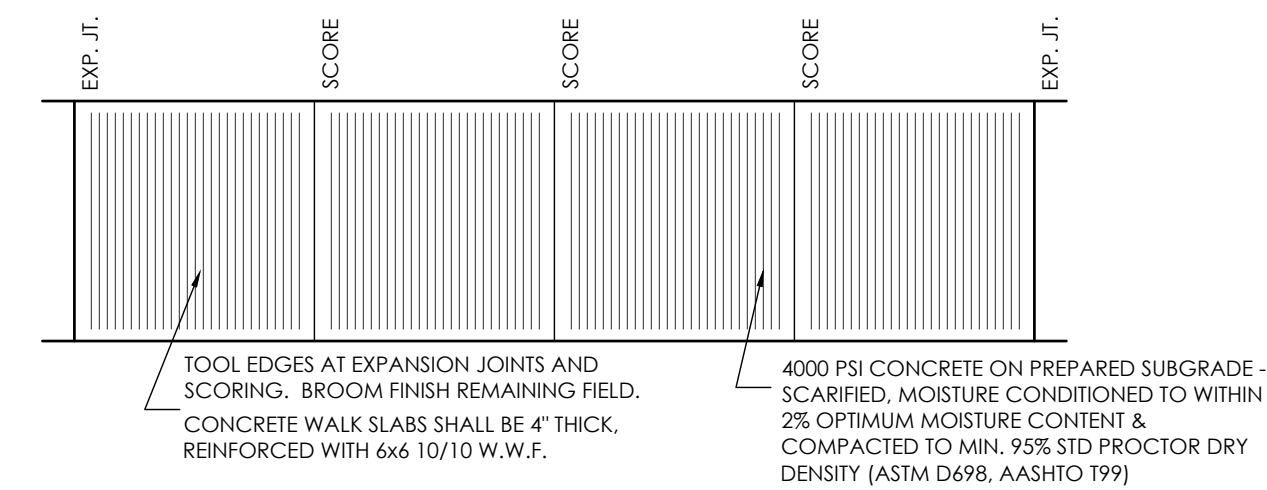
Picture is outdated but please denote the ground surface covering, i.e gravel, bare dirt etc. Depict areas that are now gravel

V/A243

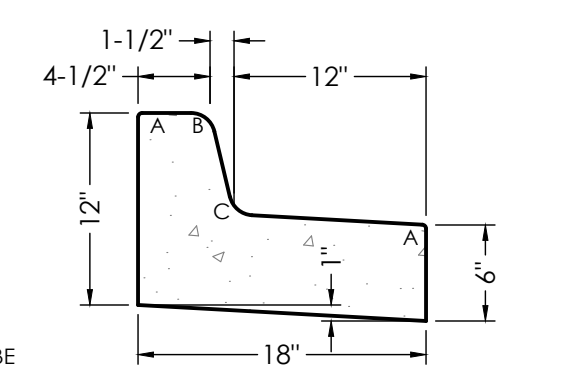
PPR



Provide detail of standard parking space.

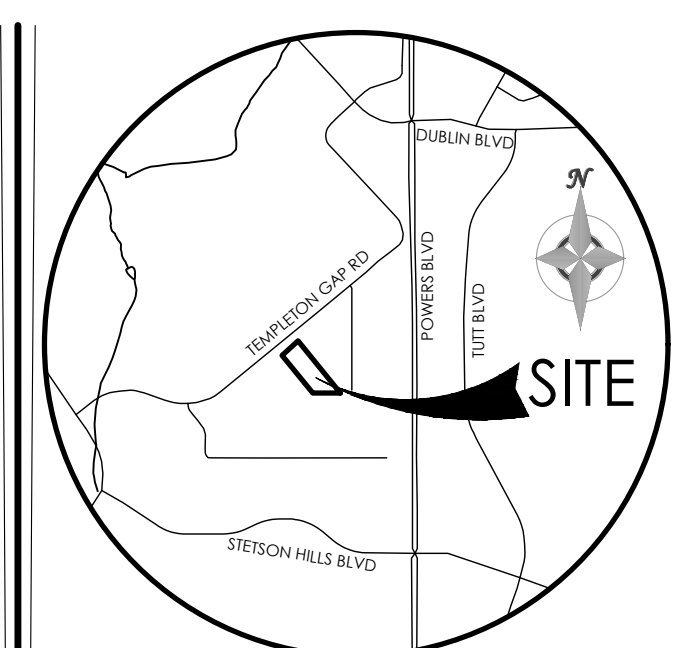
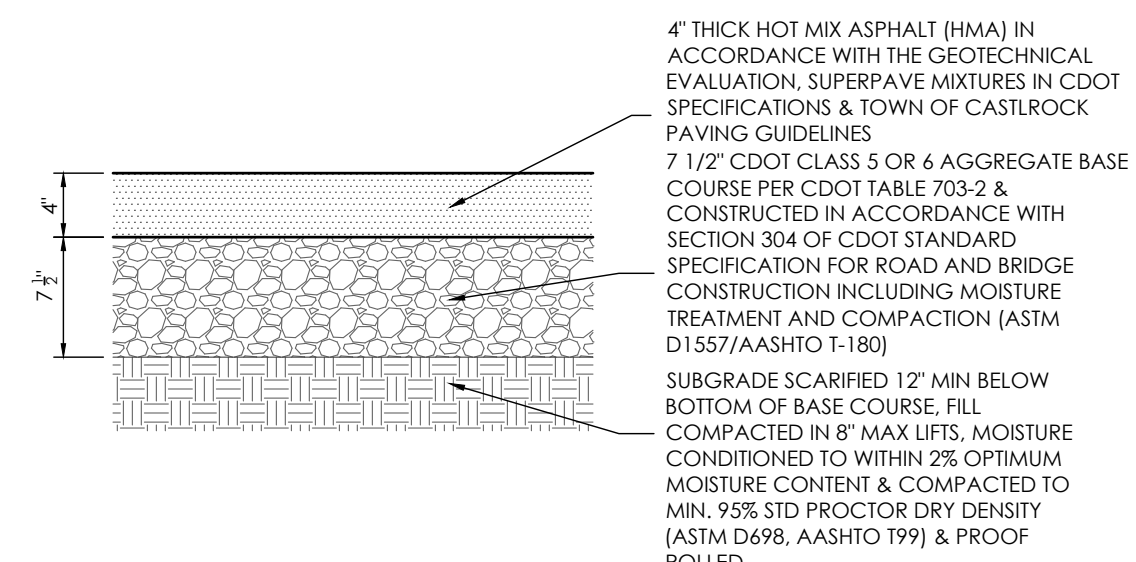
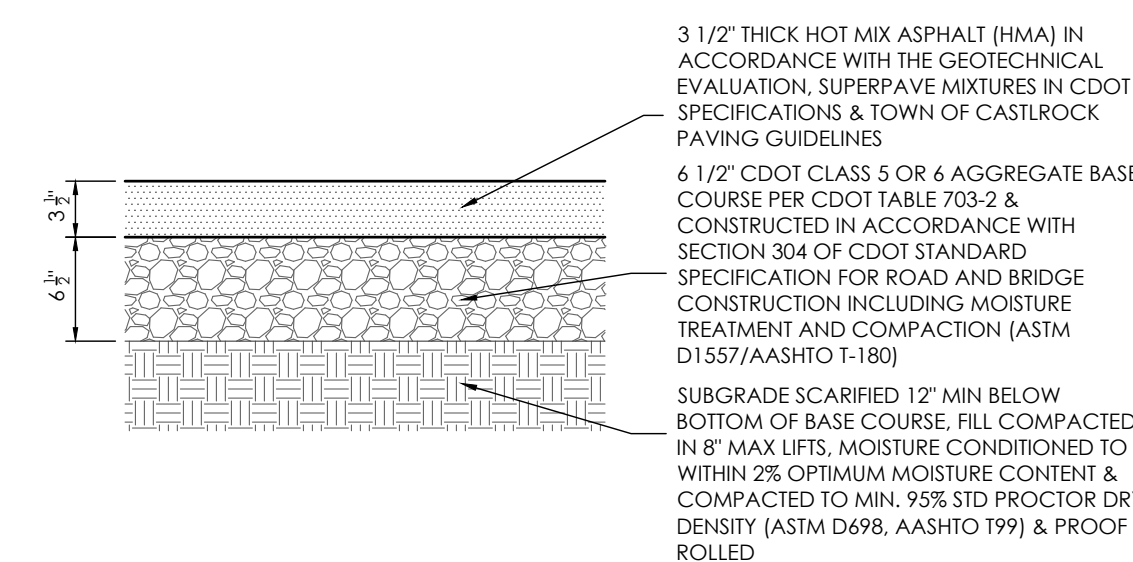
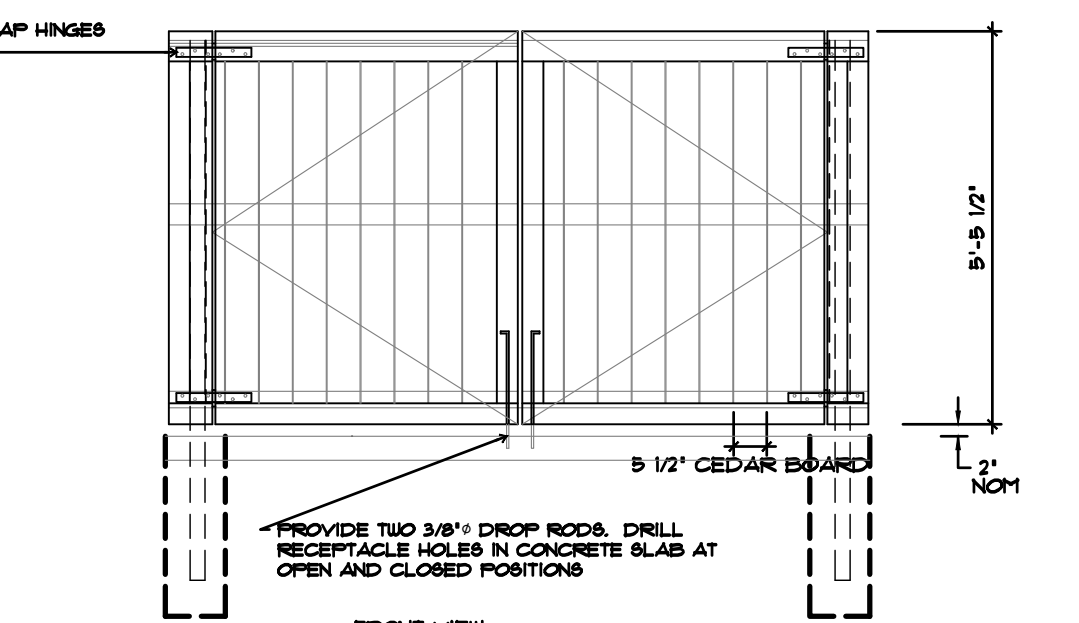
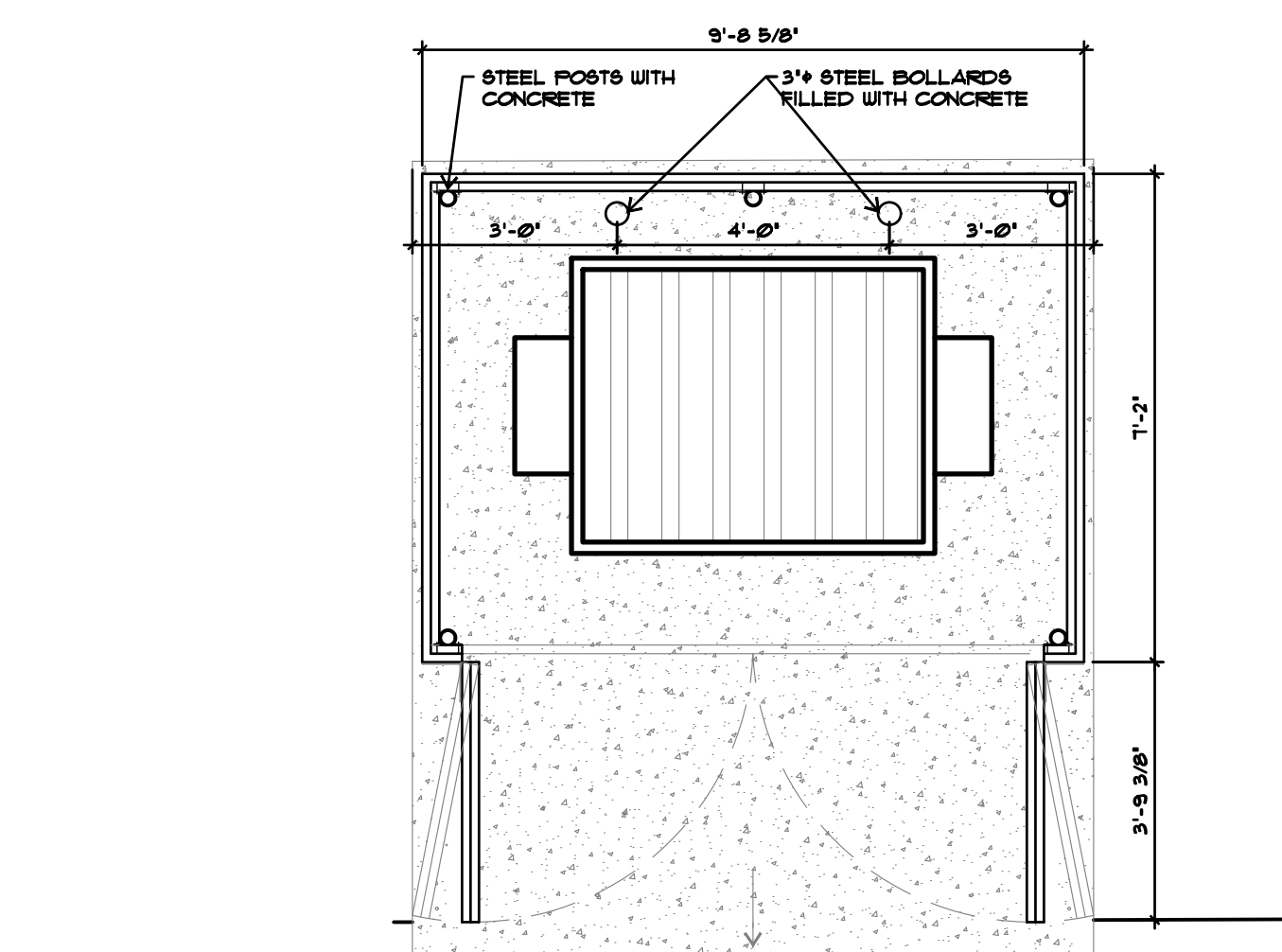
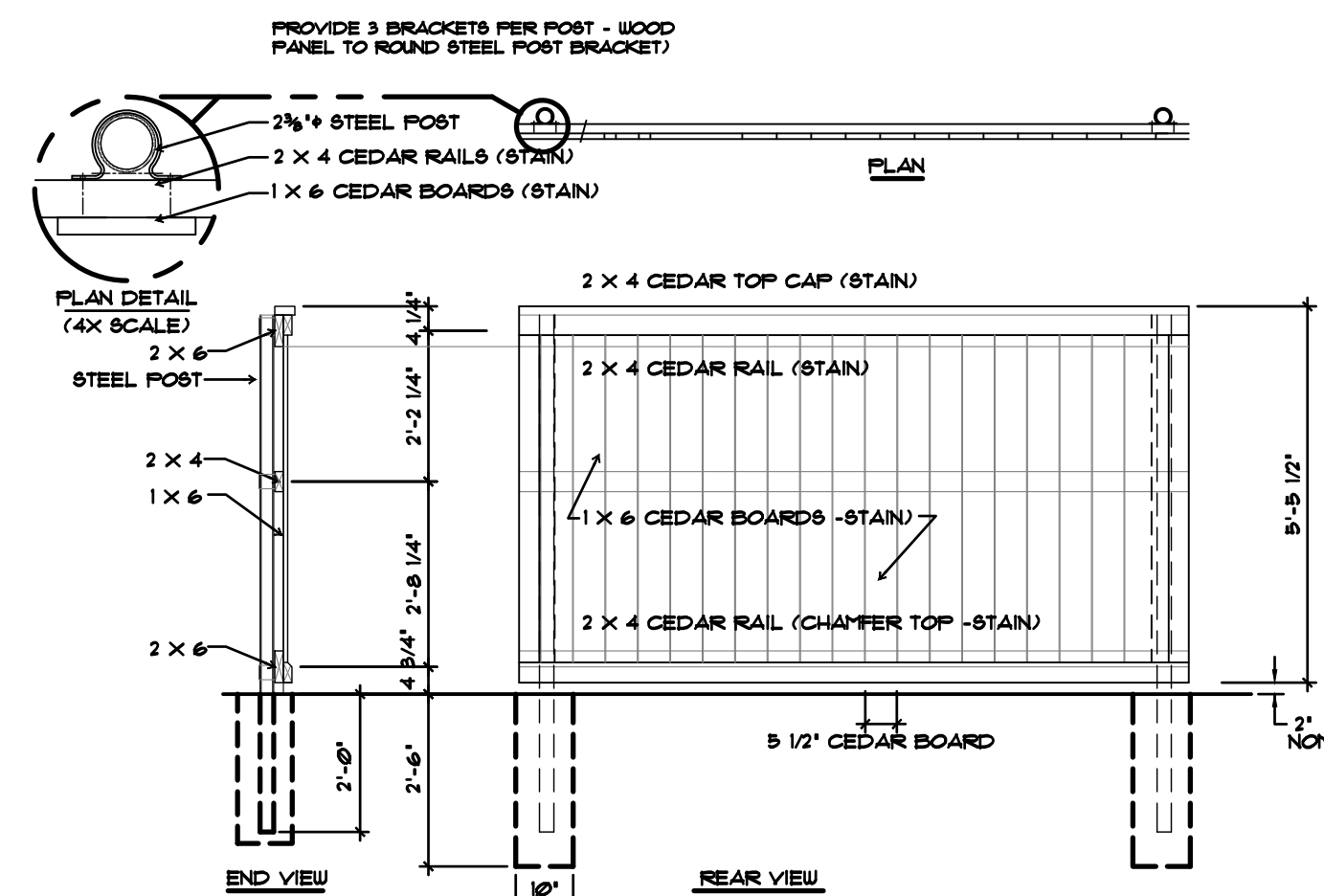


| RADI | |
|------|--------------|
| A | 1/8" TO 1/4" |
| B | 1-1/2" |
| C | 1-1/2" TO 2" |

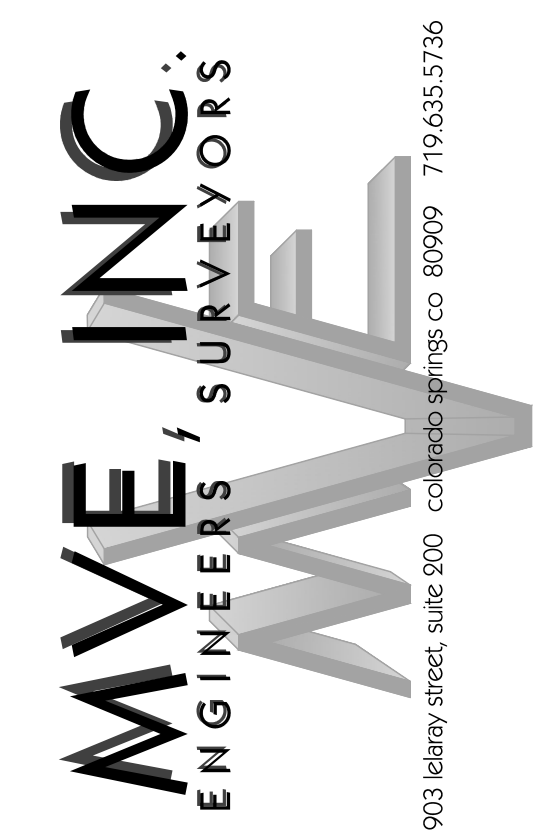
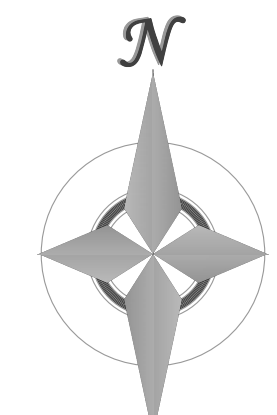


NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

5935 TEMPLETON GAP ROAD

SITE PLAN
DETAIL SHEET

SP-3 MVE PROJECT 61206
MVE DRAWING SP-DS

May 1, 2024
SHEET 3 OF 3

PPR