

El Paso County Sheriff's Department Falcon Substation

12072 Royal County Down Rd. Falcon, Colorado 80831

SITE DEVELOPMENT PLAN



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D2C ARCHITECTS, INC.

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SITE DATA

ZONING
PLANNED URBAN DEVELOPMENT (PUD)

BUILDING USE
EL PASO COUNTY SHERIFF SUBSTATION

CONSTRUCTION SCHEDULE
START: JUNE '23
FINISH: MAY '24
(≈ 9 MONTHS)

TAX SCHEDULE NUMBER
5528200005
Correct TSN to 4231201055

PROPERTY ADDRESS
ROYAL COUNTY DOWN RD.
FALCON, COLORADO 80831

MESA RIDGE PARKWAY

COVERAGE DATA
TOTAL SITE AREA: 115,753 SF.

BUILDING COVERAGE: 10,730 SF. = 09%

PAVEMENT(PARKING/WALK): 58,263 SF. = 50%

LANDSCAPING: 46,760 SF. = 41%

DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY WIDEFIELD WATER DISTRICT
2. SEWER SERVICE PROVIDED BY WIDEFIELD SANITATION DISTRICT
3. NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT.
4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT.
5. FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT.

PARKING SCHEDULE
REQUIRED: 1 SPACE PER 200 SF.
B OCCUPANCY: 9,340 SF / 200 SF = 46
I-3 OCCUPANCY: 1 PER 750 SF = 2
S-1 OCCUPANCY: 0 / SF
TOTAL REQUIRED: 48 PARKING SPACES

PROVIDED:
NORMAL: 52
VAN ACCESSIBLE SPACES / ADA SPACES: 2

TOTAL SPACES PROVIDED: 54
ADDITIONAL PARKING PROVIDED ON FIRE
STATION NORTH PARKING LOT: 7

BIKE STORAGE:
REQUIRED: 5% OF PARKING SPACES
(54 x 0.05 = 2.7 BIKE RACKS)

PROVIDED: 3 BIKE RACKS

BUILDING TYPE
BUILDING AREA: 10,730 SF
TWO STORY - TYPE II-B,
OCCUPANCY: B/S-1/I-3
FIRE SPRINKLED / NO FIRE WALLS

BUILDING HEIGHT
45 FT. MAX (S-STORY)
36 FT. ACTUAL BUILDING HEIGHT

SETBACKS
25' FRONT
25' SIDE
25' REAR

LIGHTING
LIGHTING WILL BE PROVIDED BY WALL
MOUNTED AND RECESSED LIGHTING
FIXTURES



SHEET INDEX - SITE DEVELOPMENT PLAN

SHEET NUMBER	SHEET TITLE
SDP-01	COVER SHEET
SDP-02	SITE PLAN
UTILITY PLAN	
SDP-03	PRELIMINARY UTILITY PLAN
LANDSCAPE PLAN	
SDP-04	LANDSCAPE NOTES
SDP-05	PLANTING SCHEDULE
SDP-06	LANDSCAPE PLAN
SDP-07	LANDSCAPE DETAILS
ARCHITECTURAL FLOOR PLAN / ELEVATIONS	
SDP-08	FLOOR PLAN - FIRST FLOOR
SDP-09	FLOOR PLAN - SECOND FLOOR
SDP-10	BUILDING ELEVATIONS
SDP-11	BUILDING ELEVATIONS

LIGHTING PLAN
SDP-12 SITE PHOTOMETRIC
SDP-13 LIGHTING CUT SHEETS
SDP-14 LIGHTING CUT SHEETS

ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFJA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0956G, EFFECTIVE DECEMBER 7, 2018

08041C0551G 12/7/2018

Revise to the correct FIRM#s indicated in the drainage report

LEGAL DESCRIPTION

- TRACT B OF TRACT 36. WOODMEN HILLS FILING NO.11
- TRACT B IS ACTUALLY 12062 ROYAL COUNTY DOWN RD. (12072 IS THE FIRE STATION)
- Development Notes:
 - Water and Sewer - Woodmen Hills Metropolitan District
 - Gas - Colorado Springs Utilities
 - Fire - Falcon Fire District
 - Floodplain map numbers 08041C0551G & 08041C0553G

Correct to PCD File PPR-22-59 all sheets

PCD FILE # PPR-20-029

DATE	APPROVAL	DESCRIPTION

ISSUE DATE	CONSULTANT'S PROJECT #
NOVEMBER 14, 2022	

DESIGN BY	DWG BY	CHK BY	DESIGN DATE	FILE NAME
BD	BD	HK	11/16/2022	

D2C PROJECT NUMBER	CONSULTANT'S PROJECT #	CONTRACT NO.	FILE NUMBER
202207			

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department	Falcon Substation	12072 Royal County Down Rd. Falcon, Colorado 80831	COVER SHEET
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SHEET IDENTIFICATION
SDP-01
SHEET 1 OF 14

SDP-01-

DATE	APPROVED	DESCRIPTION

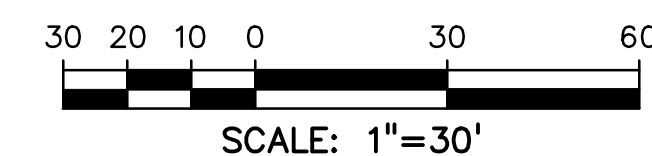
DESIGN BY:	ISSUE DATE:
Designer	NOVEMBER 14, 2022
D2C PROJECT NUMBER	CONSULTANT'S PROJECT #
Project Number	21659-00 CSCV
DRAWN BY:	CHECKED BY:
Project Number	Project Number
DATE:	DATE:
Project Number	Project Number
DATE:	DATE:
Project Number	Project Number
DATE:	DATE:
Project Number	Project Number

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department
FALCON SHERIFF SUBSTATION
12062 Royal County Down Rd., Falcon, Colorado 80831

SITE PLAN

STAPLETON DRIVE



ABBREVIATION

C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
PED	PEDESTRIAN
SW	SIDEWALK
TYP	TYPICAL

LEGEND

PROPERTY LINE	---
ROW	----
EASEMENT
PROPOSED ASPHALT	XXXXXX
PROPOSED CONCRETE	□□□□
ADA ACCESSIBLE ROUTE TO PUBLIC ROW	▤▤▤▤
HANDICAP PARKING	♿
PARKING STALL COUNT	⑦

FALCON FIRE STATION DISTRICT 1
TRACT A OF TRACT 36
WOODMEN HILLS FILING NO. 11
(12072 ROYAL COUNTY DOWN ROAD)

Provide design detail and profile view

20'0" VARIABLE WIDTH PUBLIC UTILITY EASEMENT REC # 221169226
PRO. TRASH ENCLOSURE

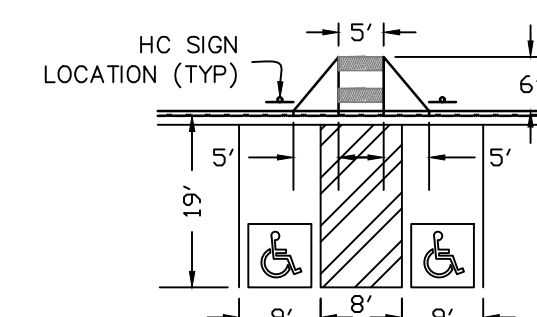
TYPE B CURB & GUTTER (TYP)

37'1" VARIABLE WIDTH UTILITY EASEMENT REC #221169226

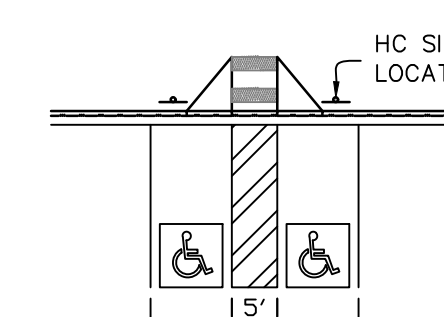
Provide detail for the proposed driveway. Please identify the curb return radius also.

Label county standard PED ramps on the plans and also provide standard details on the plans

label the existing sidewalk

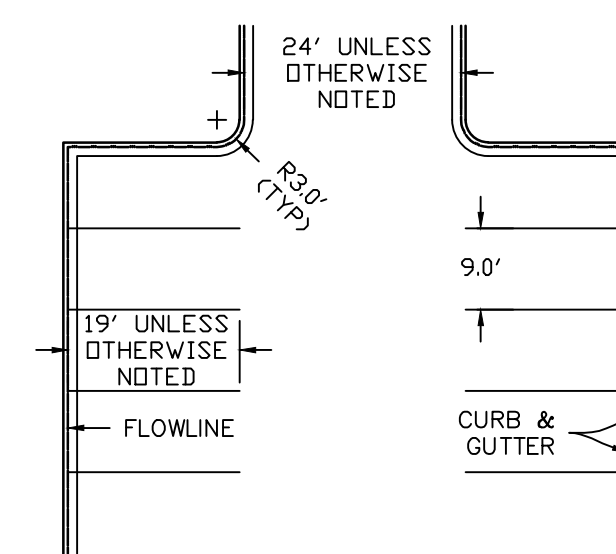


VAN PARKING LAYOUT
NTS

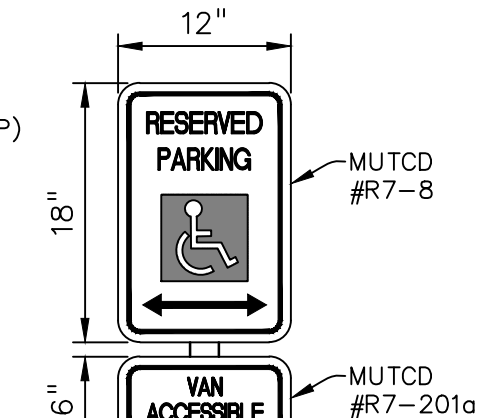


REGULAR PARKING LAYOUT
NTS

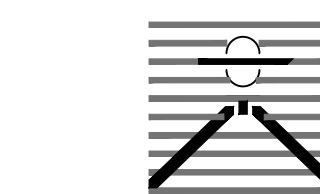
TYPICAL HANDICAP PARKING LAYOUT
NTS



TYPICAL PARKING LAYOUT
NTS



HC SIGN DETAIL
NTS



DREXEL, BARRELL & CO.
Engineers+Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905

GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 30" X 42" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON-SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 3 cu yds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUIED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN STEEL, ROLL TOP, INTERLOCKING TYPE EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 4" DEPTH, 1 1/2" ROCK MULCH OR WITH 3" DEPTH SHEDDED WOOD MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. REFER TO PLANS FOR SPECIFIC LOCATIONS OF ROCK MULCH AND WOOD MULCH.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP BUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN, STEEL ROLL TOP EDGER.
- WHEN PLANTER URNS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY OF FORT MORGAN AND MORGAN COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

SITE MATERIALS SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	SIZE/DIMENSIONS	COLOR/FINISH	PRODUCT NAME	NOTES
	STANDARD GRAY CONCRETE	N/A	RE: HARDSCAPE PLANS FOR AREA	GRAY, BROOM FINISH	N/A	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: HARDSCAPE PLANS FOR LOCATION
	ENHANCED PAVING	TBD	RE: HARDSCAPE PLANS FOR AREA	INTEGRAL COLOR, BROOM FINISH, COLOR TBD	TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: HARDSCAPE PLANS FOR LOCATION
	4"-6" COBBLE		RE: HARDSCAPE PLANS FOR AREA		RE: LANDSCAPE NOTES	RE: LANDSCAPE NOTES INSTALL PER LANDSCAPE NOTES, RE: LANDSCAPE PLANS FOR LOCATION
	SHRUB BED	PIONEER SAND CONTACT: 866.600.0652 (OR APPROVED EQUAL)	RE: HARDSCAPE PLANS FOR AREA	NATURAL	GORILLA HAIR SHREDDED MULCH	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: PLANS FOR LOCATION

SHORTGRASS PRAIRIE: NON-IRRIGATED SEED MIX

COMMON NAME	% OF MIX	PLS/ACRE
WESTERN WHEATGRASS	30%	9.00
BLUE GRAMA	30%	9.00
BUFFALOGRASS	35%	9.50
GALLETTA	5%	2.50
TOTAL	100%	30.00 PLS/ACRE DRILLED

*"SHORTGRASS PRAIRIE SEED" BY WESTERN NATIVE SEED, (719-942-3935), OR APPROVED EQUAL

SITE AMENITY SCHEDULE



DESCRIPTION: BENCH
 MANUFACTURER: ANOVA FURNISHINGS
 CONTACT: KATIE BRIDGES 720-548-4327
 MODEL: AE2680STX
 COLLECTION: 6' CONTOUR BENCH, AIRI STIX
 COLOR / FINISH:
 SEAT: SAGE
 FRAME: TEXTURED SANDSTONE
 NOTES: OR APPROVED EQUAL
 • SURFACE MOUNT RE: TBD



DESCRIPTION: LITTER RECEPTACLE
 MANUFACTURER: ANOVA FURNISHINGS
 CONTACT: KATIE BRIDGES 720-548-4327
 MODEL: AE2645CBT-STX
 COLLECTION: AIRI STIX 45 GAL. WASTE RECEPTACLE W/SIDE DOOR, CURVE TOP
 COLOR / FINISH:
 PANEL: SAGE
 FRAME: TEXTURED SANDSTONE
 NOTES: OR APPROVED EQUAL
 • SURFACE MOUNT RE: TBD



DESCRIPTION: BIKE RACK
 MANUFACTURER: ANOVA
 CONTACT: KATIE BRIDGES 720-548-4327
 MODEL: #CIRCLEBR
 COLOR / FINISH: SAGE
 NOTES: OR APPROVED EQUAL
 • SURFACE MOUNT RE: TBD



DESCRIPTION: PICNIC TABLE
 MANUFACTURER: ANOVA
 CONTACT: KATIE BRIDGES 720-548-4327
 MODEL: #F2003
 COLOR / FINISH:
 SEAT / TOP: SAGE
 FRAME: TEXTURED SANDSTONE
 NOTES: OR APPROVED EQUAL
 • SURFACE MOUNT RE: TBD



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DATE	DESCRIPTION

ISSUE DATE: NOVEMBER 14, 2022	CONSULTANT'S PROJECT #
DESIGN BY: Norris Design	D2C PROJECT NUMBER Project Number
DRAWN BY: CP	CHECKED BY: SAV
DATE BY: Approver	PLOT DATE: 11/9/2022
PLOT SCALE:	1:35:52 PM
FILE NAME: 22' x 34'	

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department
 Falcon Substation
 12072 Royal County Down Rd., Falcon, Colorado 80831
 LANDSCAPE NOTES

SHEET IDENTIFICATION SDP-04 SHEET 4 OF 14

PLANTING SCHEDULE

Table with columns: DECIDUOUS TREES, QTY, BOTANICAL NAME, COMMON NAME, ROOT, SIZE. Includes entries for ACER GINNALA, FRAXINUS NIGRA, PINUS EDULIS, etc.

Landscape Setbacks table with columns: Street Name or Boundary, Street Classification, Width, Length (LF), Trees Required, Trees Provided.

NOTES: 1.) Intersecting drive aisles are excluded from linear footage calculations.

Internal Landscaping table with columns: Net Site Area (SF), % Minimum Internal Area, Internal Area (SF) Required, Internal Area (SF) Provided, Internal Trees Required, Internal Trees Provided.

NOTES: 1.) Intersecting drive aisles are excluded from linear footage calculations.

Parking Lot table with columns: Number of Vehicle Spaces Provided, Vehicle Lot Frontages, Length of Frontages (LF), 2/3 Length of Frontages, Shade Trees Required, Shade Trees Provided, Min 3' Screening Plants Required, Min 3' Screening Plants Provided, Length of Screening Wall / Berm, % Ground Plane Veg Required, % Ground Plane Veg Provided.

NOTES: 1.) Intersecting drive aisles are excluded from linear footage calculations.

Landscape Buffers and Screens table with columns: Street Name or Property Line, Length (LF), Width Required, Width Provided, Trees Required, Trees Provided, Evergreen Trees Required, % Ground Plane Veg Required, % Ground Plane Veg Provided.

NOTES: 1.) * Total includes 15 existing trees to remain



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Revision table with columns: NO., DATE, APPR., DESCRIPTION.

Metadata table with columns: DESIGN BY, DDC PROJECT NUMBER, DRAWN BY, PLOT DATE, PLOT SCALE, FILE NAME, ISSUE DATE, CONSULTANT'S PROJECT #, SOLICITATION NO., CONTRACT NO., FILE NUMBER.

SITE DEVELOPMENT PLAN

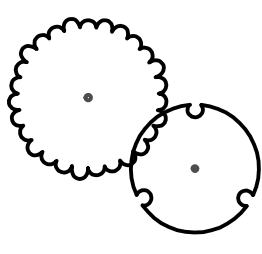

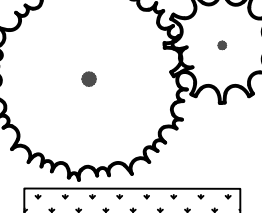
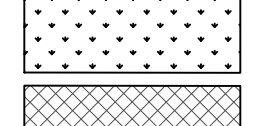
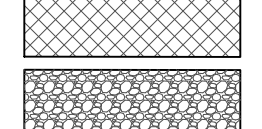
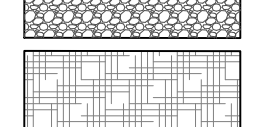
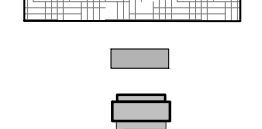
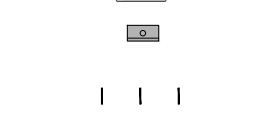
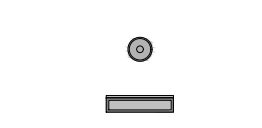
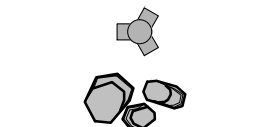

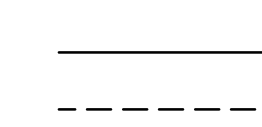








El Paso County Sheriff's Department Falcon Substation 12072 Royal County Down Rd., Falcon, Colorado 80831 PLANTING SCHEDULE



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SHEET IDENTIFICATION SDP-05 SHEET 5 OF 14

LEGEND

-  CANOPY TREE
-  ORNAMENTAL TREE
-  EVERGREEN TREE
-  NATIVE SEED
-  ENHANCED PAVING
-  4-6" COBBLE
-  PLANTING BED
-  BENCH
-  PICNIC TABLE
-  BARBECUE GRILL
-  BIKE RACK (2 SPACES EACH)
-  TRASH RECEPTACLE
-  MOVABLE PLANTER
-  BISTRO TABLES AND CHAIRS
-  LANDSCAPE BOULDER
-  LIMIT OF WORK
-  RIGHT-OF-WAY
-  STEEL EDGER
-  SPADE CUT EDGE
-  PROPOSED CONTOUR



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MARK	DATE	APP'D	DESCRIPTION

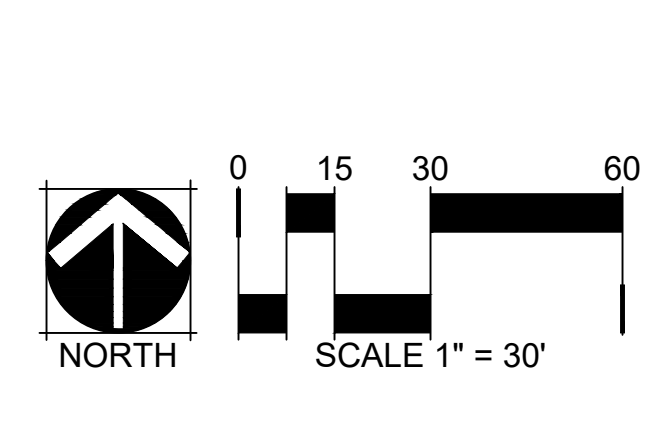
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DESIGN BY: Norris Design	D2C PROJECT NUMBER Project Number
DRAWN BY: CP	CHECK BY: SW
DATE: 11/14/2022	FILE NUMBER:
TIME: 1:35:52 PM	FILE NAME:
SIZE: 22" x 34"	

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department
Falcon Substation
12072 Royal County Down Rd., Falcon, Colorado 80831
LANDSCAPE PLAN



Please shift trees such that the tree canopies are outside the sight distance line



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NO.	DATE	DESCRIPTION	MARK	APPROVE

DESIGN BY: Norris Design	ISSUE DATE: NOVEMBER 14, 2022	CONSULTANT'S PROJECT #
D2C PROJECT NUMBER	SOLICITATION NO.:	CONTRACT NO.:
PROJECT NUMBER	DRAWN BY: SAW	FILE NUMBER:
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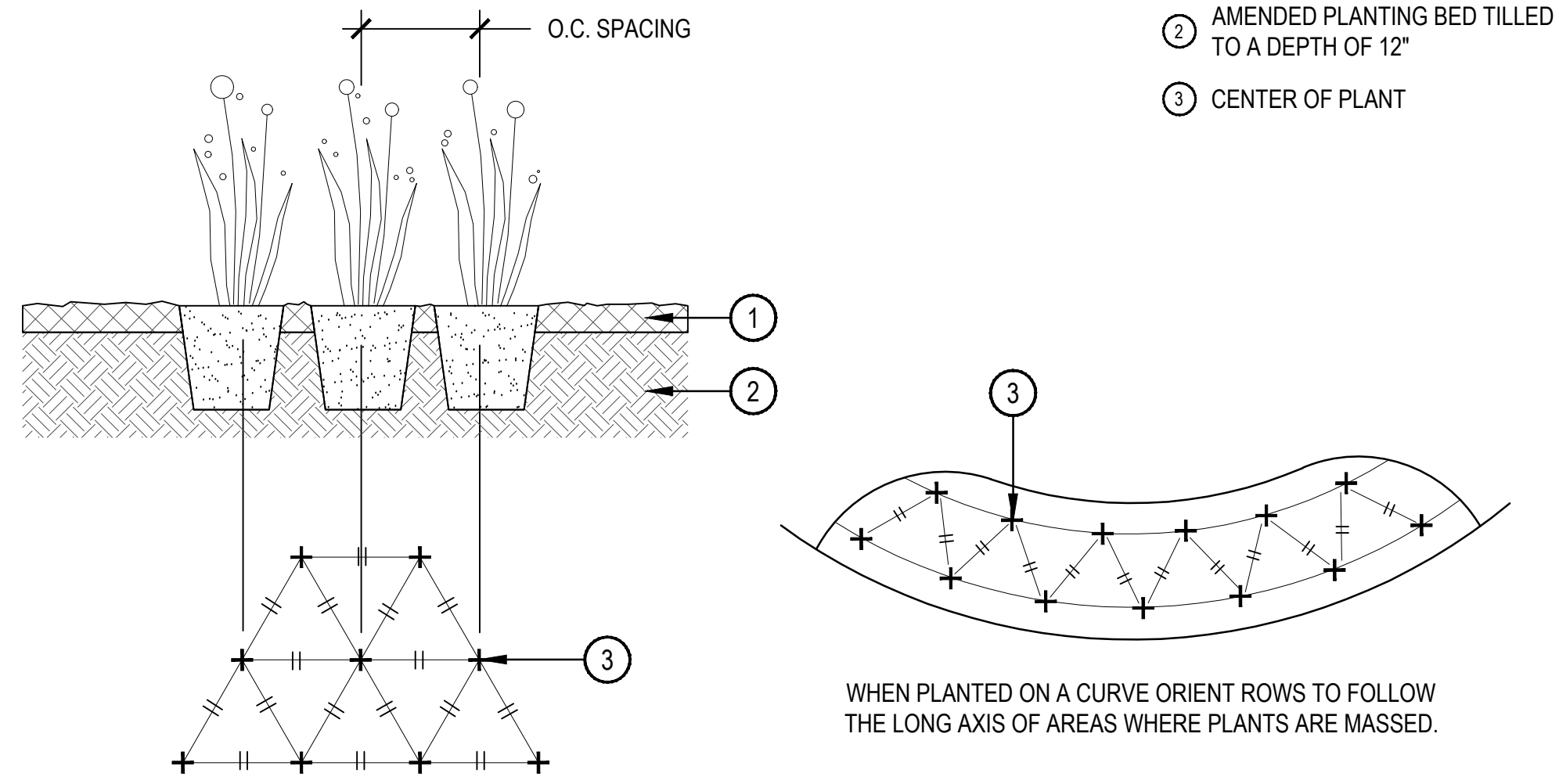
SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department
Falcon Substation
12072 Royal County Down Rd. Falcon, Colorado 80831
LANDSCAPE DETAILS



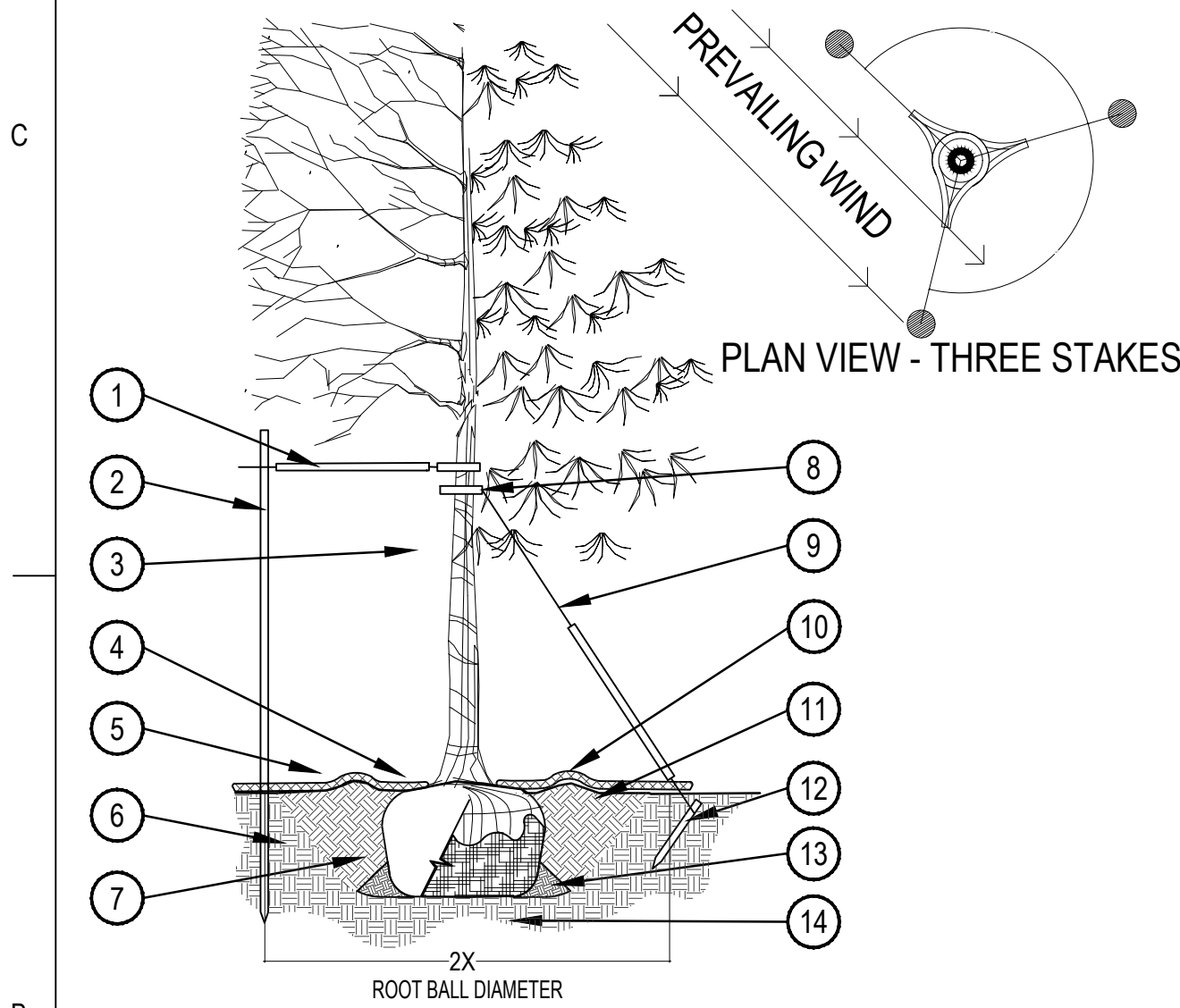
- ① SPECIFIED MULCH
- ② AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
- ③ FINISH GRADE (TOP OF MULCH)

- NOTE:
- 1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - 4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER



1 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



- PRUNING NOTES:
- 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
- 1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1.1 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2 1-3/4" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

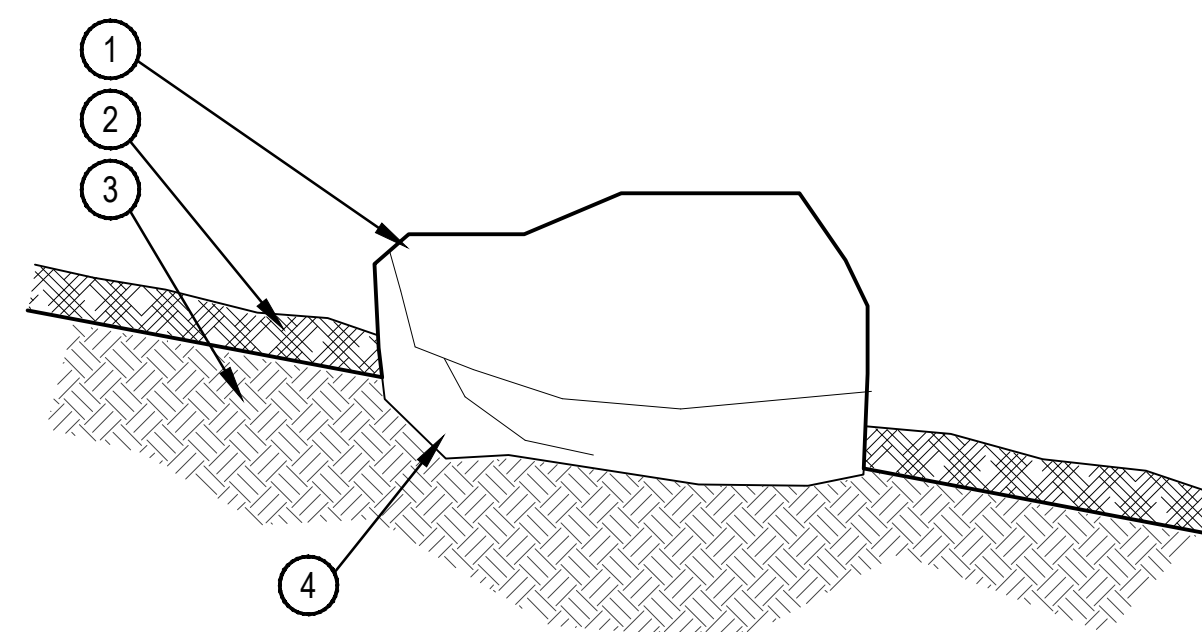
2 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

- ① PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- ② 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- ③ TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- ④ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- ⑤ 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- ⑥ 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- ⑦ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- ⑧ GROMMETED NYLON STRAPS
- ⑨ GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- ⑩ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- ⑪ BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- ⑫ 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- ⑬ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- ⑭ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

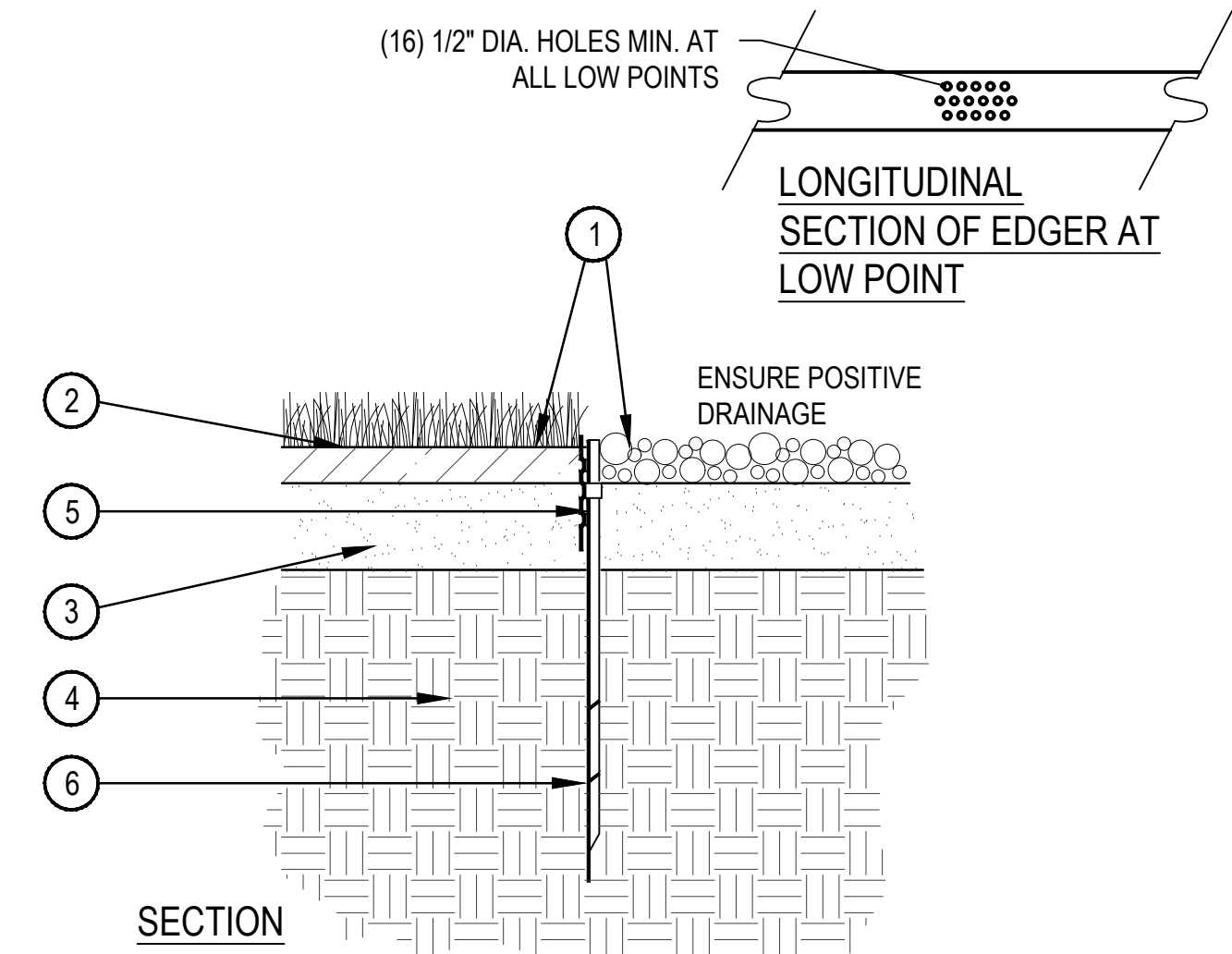
3 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



- REQUIRED BOULDERS:
- A (8) - 1 TON BOULDERS
 - B (5) - 1 1/2 TON BOULDERS
 - C (8) - 2 TON BOULDERS
- REFER TO PLANS FOR LOCATIONS.
- THESE NUMBERS ARE FOR FREE STANDING BOULDERS ONLY

- ① BROWN/GRAY ROCK BOULDERS RELOCATED FROM ON-SITE OR RE: MATERIALS SCHEDULE SHEET L200. CONTRACTOR SHALL SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL.
- ② SPECIFIED MULCH OR COBBLE, RE: PLAN
- ③ AMENDED TOPSOIL
- ④ PARTIALLY BURY BOULDER FOR NATURAL APPEARANCE, SCARIFIED PORTIONS OF STONE TO BE PLACED FACE DOWN.



- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE
- ⑦ COLOR TO BE DARK GREEN

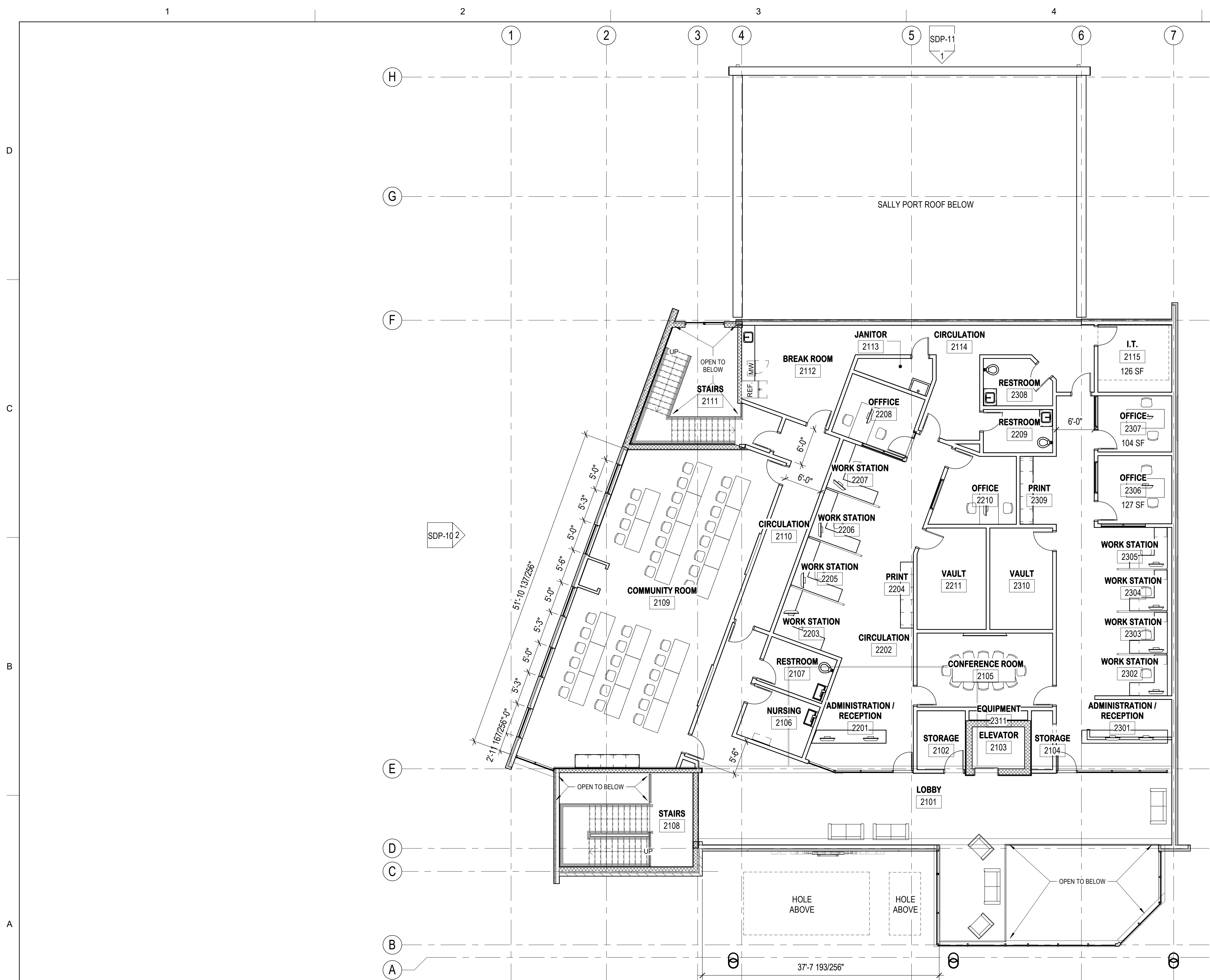
- NOTES:
- 1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

4 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"

5 STEEL EDGER

SCALE: 1" = 1'-0"



1 | FLOOR PLAN - SECOND FLOOR, SDP
SDP-09 | 1/8" = 1'-0"



PCD FILE # PPR-20-029

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MARK	DESCRIPTION	DATE	APPRO

DESIGN BY: Designer	ISSUE DATE: NOVEMBER 14, 2022	CONSULTANT'S PROJECT #
D2C PROJECT NUMBER 202207	CONTRACT NO.:	FILE NUMBER:
DRAWN BY: Author	PILOT DATE: 11/18/2022	
CHECK BY: Checker	PILOT SCALE: 1/8" = 1'-0"	
SEAL BY: Approver	PILOT TIME: 2:40:48 PM	
FILE NAME:		

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Department
Falcon Substation
12072 Royal County Down Rd, Falcon, Colorado 80831
FLOOR PLAN - SECOND FLOOR

SHEET IDENTIFICATION
SDP-09
SHEET 9 OF 14

MATERIAL LEGEND - SITE DEVELOPMENT PLAN

LEGEND	DESCRIPTION	MANUFACTURER	COLOR	TEXTURE	SQUARE FOOTAGE	PERCENTAGE	LEGEND	DESCRIPTION	MANUFACTURER	COLOR	TEXTURE	SQUARE FOOTAGE	PERCENTAGE		
	MP-01	METAL PANEL CLADDING W/ ARCHITECTURAL RAINSCREEN	FUNDERMAX	LOFT	CONCRETE	4,349 SF	39%		STN-01	STONE VENEER W/ ARCHITECTURAL RAINSCREEN	RIO GRANDE	NATURAL STONE	DRY STACKED	1,947 SF	17%
	MP-02	METAL PANEL - FASCIA	METAL SALES	DARK BRONZE	SMOOTH				STC-01	STUCCO FINISH	LOCAL CONTRACTOR	LIGHT TAN	STUCCO	1,110 SF	10%
	MP-03	METAL WALL PANEL W/ ARCHITECTURAL RAINSCREEN	METAL SALES	DARK GREY	SMOOTH	1,924 SF	17%		AL-01	EXTERIOR ALUMINUM LETTERING	AVALANCHE	ALUMINUM	SMOOTH		
	MP-04	METAL TRIM - FASCIA / PARPET CAP	METAL SALES	DARK GREY	SMOOTH				SF-01	ALUMINUM STOREFRONT	KAWNEER	DARK BRONZE	SMOOTH	1,852 SF	17%
	MP-05	METAL PANEL - COLUMN WRAP	METAL SALES	NAVY BLUE	SMOOTH				SSMR-01	STANDING SEAM METAL ROOF	METAL SALES	DARK GREY	RIBBED		
	MP-06	MECHANICAL SCREEN WALL	METAL SALES	DARK GREY	PERFERRATED PANEL				GL-01	STOREFRONT GLAZING	VITRO	LIGHT BLUE	SMOOTH		
	PT-01	EXTERIOR PAINT	SHERWIN WILLIAMS	DARK GREY	MATTE FINISH										



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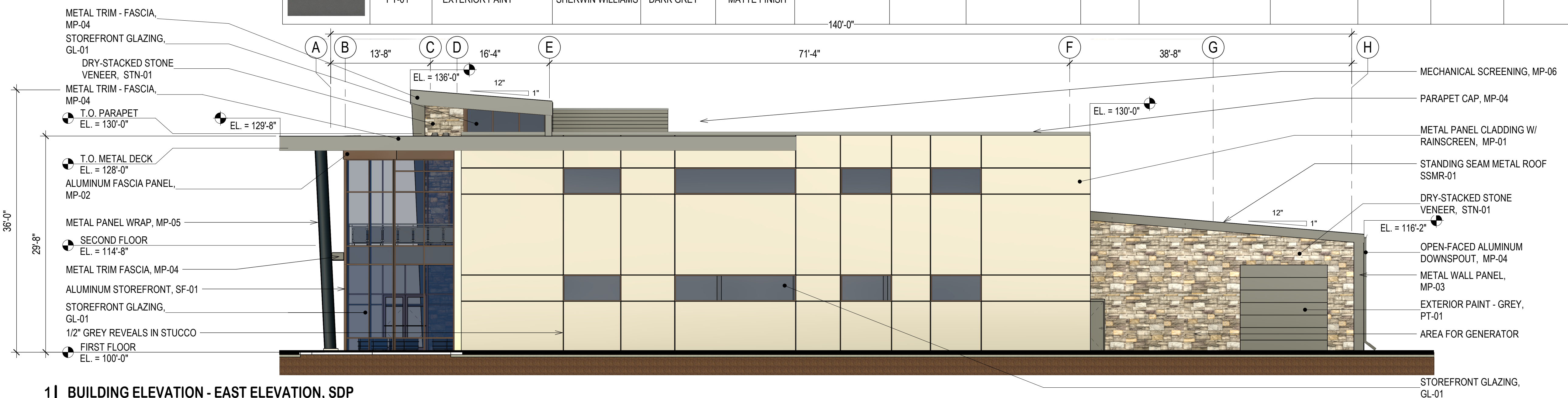
DATE	APPROVAL	DESCRIPTION

ISSUE DATE:	NOVEMBER 14, 2022
CONSULTANT'S PROJECT #	
CONTRACT NO.:	
FILE NUMBER:	
DESIGN BY:	BD
D2C PROJECT NUMBER:	202207
DRAWN BY:	CKG BY: HK
SBM BY:	BB
PLLOT DATE:	11/16/2022
PLLOT SCALE:	2:1 (100 PM)
SIZE:	1/8" = 1'-0"
FILE NAME:	22' x 34'

SITE DEVELOPMENT PLAN

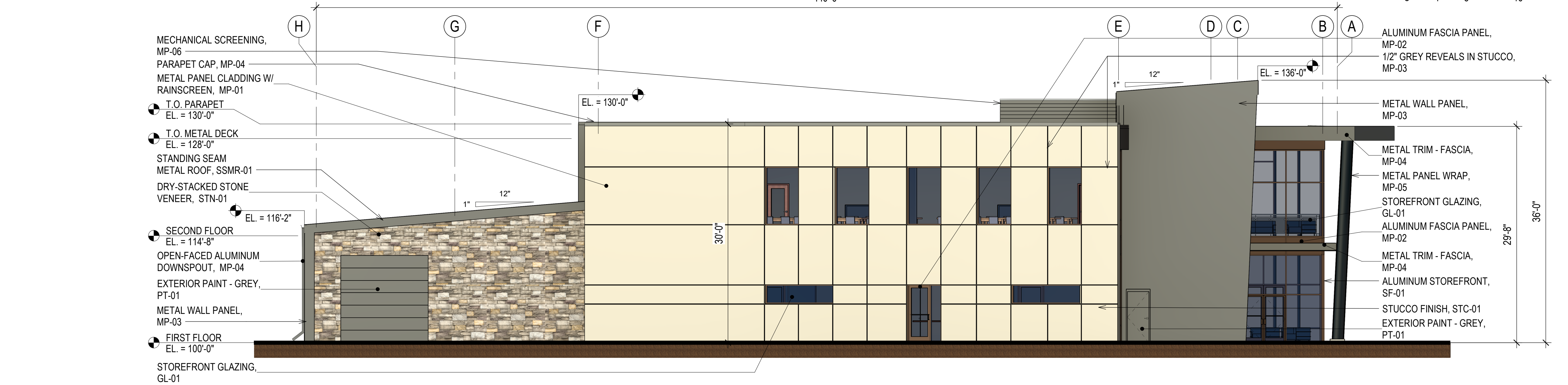
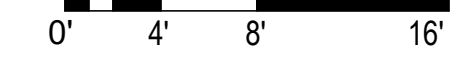
El Paso County Sheriff's Department
Falcon Substation
12072 Royal County Down Rd, Falcon, Colorado 80831
BUILDING ELEVATIONS

SHEET IDENTIFICATION
SDP-10
SHEET 10 OF 14



1 | BUILDING ELEVATION - EAST ELEVATION, SDP

SDP-10 1/8" = 1'-0"



2 | BUILDING ELEVATION - WEST ELEVATION, SDP

SDP-10 1/8" = 1'-0"

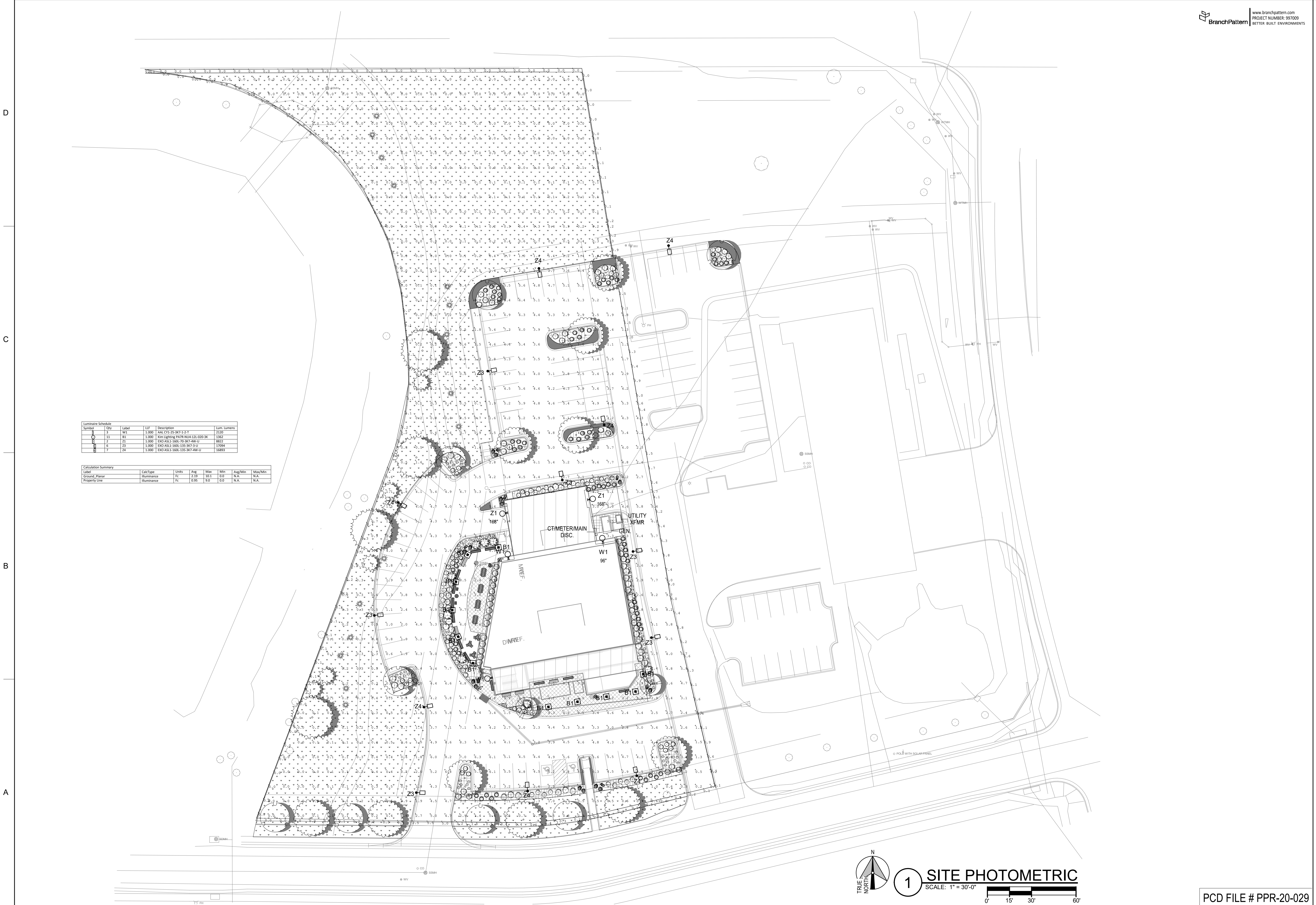


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SDP-10

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Luminaire Schedule					
Symbol	ID	Label	LF	Description	Lum. Lumens
W	1	W1	1.000	AAC CYL 25-3K7 1-27	2420
E	1	E1	1.000	EXO ASLE 160L 125-025-3K	1262
E	2	E2	1.000	EXO ASLE 160L 75-3K7-4W-U	8822
E	6	Z1	1.000	EXO ASLE 160L 125-3K7-27	17094
E	7	Z4	1.000	EXO ASLE 160L 125-3K7-4W-U	15893

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	FC	2.39	30.3	0.0	N.A.	N.A.
Property Line	Illuminance	FC	0.95	9.6	0.0	N.A.	N.A.



MARKS	DESCRIPTION	DATE	APP'D

DESIGN BY: Designer	NOVEMBER 14, 2022
	CONSULTANT'S PROJECT #
D2C PROJECT NUMBER Project Number	NOVEMBER 14, 2022
	SOLICITATION NO.:
DESIGNED BY: Author	NOVEMBER 14, 2022
	CONTRACT NO.:
SEAL BY: Approver	NOVEMBER 14, 2022
	FILE NUMBER:
1" = 30'-0"	
22' x 34'	

**SITE
 DEVELOPMENT
 PLAN**

El Paso County Sheriff's Office
**FALCON POLICE
 SUBSTATION**
 12072 Royal County Down Rd., Falcon, Colorado 80831
SITE PHOTOMETRIC

**SHEET
 IDENTIFICATION
 SDP-12**
 SHEET 12 OF 14

KIM LIGHTING PA7R BOLLARD

DATE: LOCATION: TYPE: B1 PROJECT: El Paso Substation CATALOG #: PA7R-FT-NU4-12L-020-3K7-BLT-UNV

Pavilion



RELATED PRODUCTS Pavilion Square Pavilion Round Impact Rated

- FEATURES
• IDA Dark Sky Compliant, No Up-light configuration
• Elegant form factor blended with Performance Optics
• Integral NEMA 3R Enclosure
• Dual receptacle power panel
• PA System capability
• Bluetooth* enabled RGBW accent

CONTROL TECHNOLOGY Bluetooth DMX pharos

SPECIFICATIONS

CONSTRUCTION HOUSING: Castings are low copper aluminum alloy die-cast. Gaskets are molded silicone to prevent harmful ingress to the lamp and driver compartments.

OPTICS: LEDs mount to a metal printed circuit board assembly (MCPCB). Optical lenses are clear injection molded PMMA acrylic.

ELECTRICAL: Universal voltage, 120 through 277V with a 10% tolerance. Driver is Underwriters Laboratories listed.

INSTALLATION: Aluminum shaft configurations will have four 3/8" x 10" x 2" zinc plated L-hook anchor bolts.

Drivers are greater than a 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments.

(Specifications continued on page 3)

Table with 2 columns: Key Data, Value. Includes Lumen Range (397-2350), Wattage Range (14-22), Efficacy Range (LPW) (29-108), Reported Life (Hours) (L70/60,000).

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KIM LIGHTING PA7R BOLLARD

DATE: LOCATION: TYPE: B1 PROJECT: El Paso Substation CATALOG #: PA7R-FT-NU4-12L-020-3K7-BLT-UNV

ORDERING GUIDE

Table with columns: Model, Housing, Optics, Distribution, Light Engine. Includes model PA7R and various options for housing, optics, and light engine.

Table with columns: Body, Fixture Finish, Control Options, Voltage, Options. Lists various body models (24A, 42B-C, etc.) and their corresponding finishes and control options.

Table with 2 columns: Key Data, Value. Includes Lumen Range (397-2350), Wattage Range (14-22), Efficacy Range (LPW) (29-108), Reported Life (Hours) (L70/60,000).

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EXO OUTDOOR LIGHTING SLING Micro Strike AREA/SITE/ROAD LIGHTER

- FEATURES
• Compact sleek design with multiple LED configurations and simple installation
• The SLING includes a universal mounting block for easy pole installation or mast arm option for 2-3/8" OD roadway brackets



CONTROL TECHNOLOGY

SPECIFICATIONS

CONSTRUCTION: Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface. Corrosion resistant, die-cast aluminum housing with powder coat paint finish.

INSTALLATION: Tool-less entry to wiring/driver compartment optional. Universal mounting block works with #2 drill pattern.

Table with 2 columns: Key Data, Value. Includes Lumen Range (3,200-36,000), Wattage Range (25-255), Efficacy Range (LPW) (118-148), Weight lbs. (kg) (14.5-175 (6.6-8.0)).

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architectural lighting CY2 ACCENT SCALE

DATE: LOCATION: TYPE: W1 PROJECT: El Paso Substation CATALOG #: AAL-CY1-25-3K7-1-2-T

CYPHER™



- FEATURES
• Integral Battery Backup Option
• 360° Light Distribution
• RGBW or Static White Luminous Front Option
• Multiple Fascia Options and Finishes
• 4G Vibration Tested

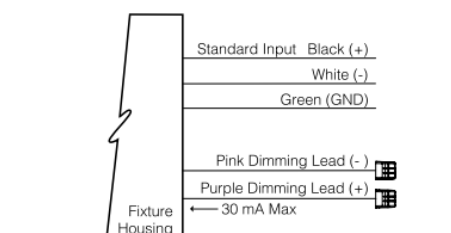


CONTROL TECHNOLOGY Bluetooth DMX 512 pharos

SPECIFICATIONS

CONSTRUCTION: Main housing shroud is made of fabricated 5052-H32 aluminum alloy. Housing mounting interface has a stamped silicone gasket.

INSTALLATION (CONTINUED): Main housing shroud is made of fabricated 5052-H32 aluminum alloy. Mounting interface has a stamped silicone gasket.



ELECTRICAL (CONTINUED): Integral battery backup provides emergency path of egress lighting for the required 90 minutes for 20°C ambient environments.

LEDOPTICS: LEDs are mounted to a metal printed circuit board assembly (MCPCB) with a uniform conformal coating over the panel surface and electrical features.

INSTALLATION: Drivers are in direct contact with the die-cast aluminum housing across the entire surface area of the widest face for maximum thermal transfer.

CONSTRUCTION: Main housing shroud is made of fabricated 5052-H32 aluminum alloy. Mounting interface has a stamped silicone gasket.

Table with 2 columns: Key Data, Value. Includes Lumen Range (1,906-5,083), Wattage Range (26-52), Efficacy Range (LPW) (67-109), Weight (Refer to page 5).

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EXO OUTDOOR LIGHTING SLING Micro Strike AREA/SITE/ROAD LIGHTER

Table with columns: Series, # LEDs, CCT/CRI, Distribution, Rotation/Orientation, Voltage, Mounting. Lists various SLING Micro Strike models and their specifications.

Table with columns: Series, # LEDs, CCT/CRI, Distribution, Rotation/Orientation, Voltage, Mounting. Lists various SLING Micro Strike models and their specifications.

Table with columns: Control Options Network, Stand Alone Sensors, Control Options, Color. Lists various control and sensor options for the SLING Micro Strike.

Notes: 1. Not compatible with RGB configurations. 2. Not compatible with 48V configurations. 3. Must specify voltage.

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BranchPattern

www.branchpattern.com PROJECT NUMBER: 597009 BETTER BUILT ENVIRONMENTS

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Table with columns: DATE, DESCRIPTION, MARKS. Includes a grid for tracking revisions and dates.

Table with columns: DESIGN BY, PROJECT NUMBER, ISSUE DATE, CONSULTANT'S PROJECT #, SOLICITATION NO., CONTRACT NO., FILE NUMBER. Includes project identification information.

SITE DEVELOPMENT PLAN LIGHTING CUT SHEETS SHEET IDENTIFICATION SDP-13 SHEET 13 OF 14

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PCD FILE # PPR-20-029



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The SLING includes a universal mounting block for easy pole installation or mast arm option for 2-3/8" R OD roadway brackets
- Capable of replacing up to 100W HD luminaires
- Micro Strike optical distributions of Type 2, 3, 4W or 5CW
- Tool-less entry option for easy installation and maintenance
- 15G rated for high vibration applications including bridges and overpasses

DATE: _____ LOCATION: _____
 TYPE: Z3, Z4 PROJECT: El Paso Substation
 CATALOG # EXO-ASL1-160L-135-3K7-3/4W-U ON A 17" SQUARE POLE



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
 - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
 - Separate optical and electrical compartment for improved thermal management and optimum component operation
 - GIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness
- OPTICS**
- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
 - Premium engineered individual acrylic lenses deliver ES Type 2, 3, 4W and 5CW distributions
 - Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
 - 3000K, 4000K, or 5000K (70 CRI) CCT
 - 80, 160, or 320 midpower LEDs
 - 3000K, 4000K or 5000K (70 CRI) CCT
 - Zero uplight at 0 degrees of tilt
 - Field rotatable optics

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20KA and 30KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes failure off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control
- 7 pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6"
- NX Lighting Controls** available with in fixture wireless control module, features dimming and occupancy sensor
- WiSCAPE** available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application

CERTIFICATIONS

- Listed to UL 5086 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- DLC (DesignLights Consortium Qualified) with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- 15G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020.

WARRANTY

- 5 Year warranty

KEY DATA	
Lumen Range	3,200-36,000
Wattage Range	25-255
Efficacy Range (LPW)	119-148
Weight lbs. (kg)	14.5-17.5 (6.6-8.0)



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ORDERING GUIDE

Example: ASL1-80L-50-3K7-2-UNV-ASQU-BLT-7PRM0-40F

Series	LEDS	CCT/CRI	Distribution	Rotation/Orientation	Voltage	Mounting
ASL1 Microdrive Series	80L-25 3,200 lm	360 5000K, 70 CRI	2 Type 1	L Optic rotation left	120 120V	ASQU Rem. Square w/ Universal Mount
	80L-39 4,500 lm	4K7 4000K, 70 CRI	3 Type 2	R Optic rotation right	208 208V	A3 AS with 3.5-4.13" OD RRA3 & U
	80L-50 6,000 lm	5K7 5000K, 70 CRI	4W Type 4W		240 240V	A4 AS with 4.18-5.25" OD RRA4 & U
	160L-70 9,000 lm				277 277V	A5 AS with 5.56-6.5" OD RRA5 & U
	160L-100 12,000 lm				347 347V	MAF Mast Arm Filter for 2-3/8" OD
ASL2 Microdrive Series	160L-135 16,000 lm				480 480V	
	320L-145 21,000 lm					
	320L-170 24,000 lm					
	320L-185 27,000 lm					
	320L-210 30,000 lm					
320L-235 33,000 lm						
320L-255 35,000 lm						

Control Options Network	Options	Color
NXSPW30P NX Wireless, PR Occupancy Sensor, Dimming Daylight Harvesting, 30° use white for WH, black for DB, GT, TT, gray for LG, PS	F Fusing	BLT Black Matte Textured
NXSP20P NX, PR Occupancy Sensor, Dimming Daylight Harvesting, 30° use white for WH, black for DB, GT, TT, gray for LG, PS	BC Backlight Control	BLS Black Gloss Smooth
NXU1 NX Unlocked Wireless Radio Module, N0RM2 and Bluetooth Programming, without Sensor	TB Terminal Block	DBT Dark Bronze Matte Textured
STand Alone Sensors	TE Toolless Entry	DBS Dark Bronze Gloss Smooth
SCR-8P1 Remote control programmable line voltage sensor	SSF Stainless Steel Fasteners	GTT Graphite Matte Textured
SCR-4P1 Remote control programmable line voltage sensor		LGS Light Grey Gloss Smooth
Control Options Other		LGT Light Grey Matte Textured
7PR 7 Pin Receptacle		PSB Platinum Silver Smooth
7PR-SC 7 Pin Receptacle with shunting cap		WHT White Matte Textured
7PR-MDBF 7 Pin Receptacle with low voltage sensor at 8° mounting for external control accessory		WHS White Gloss Smooth
7PR-MD40F 7 Pin Receptacle with low voltage sensor at 40° mounting for external control accessory		WGT Verde Green Textured
7PR-RL 7 Pin Receptacle with Photocontrol		Size Options
ADD Auto-Dim timer based dimming		CC Custom Color
Sensors		
BTS_F Bluetooth Programmable, PR Occupancy/Daylight Sensor, 360° lens		
BTSO_F Bluetooth Programmable, PR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ¹		

- Notes:
- 1 Not compatible with 80L configurations
 - 2 Not compatible with 480V configurations
 - 3 Mast specify voltage
 - 4 Not available with a combination of 347/480 and fusing
 - 5 Mast specify voltage, 120V or 277V only
 - 6 Order at least one SPC-REMOTE per project location to program and control the occupancy sensor
 - 7 Replaces "L" with "TR" for up to 14' mounting height, "40P" for 15-40' mounting height
 - 8 Replaces "L" with "TR" for up to 12' mounting height



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MARKS	DATE	DESCRIPTION	APPS

DESIGN BY: Designer	ISSUE DATE: NOVEMBER 14, 2022
D2C PROJECT NUMBER Project Number	CONSULTANT'S PROJECT #
DRAWN BY: Author	SOLICITATION NO.:
CHECKED BY: Checker	CONTRACT NO.:
DATE: Date	FILE NUMBER:
SCALE: Scale	FILE NAME:
SIZE: 22" x 34"	

SITE DEVELOPMENT PLAN

El Paso County Sheriff's Office
FALCON POLICE SUBSTATION
 12072 Royal County/Dawn Rd. Falcon, Colorado 80831
LIGHTING CUT SHEETS

SHEET IDENTIFICATION
SDP-14
 SHEET 14 OF 14

SDP-13-