D 2062 ROYAL UNTY DOWN **OWNER** El Paso County SITE DATA Contact: Tom Seslar PARKING SCHEDULE ZONING Project Manager 12072 Roval County Down R PLANNED URBAN DEVELOPMENT (PUD) **REQUIRED: 1 SPACE PER 200 SF** B OCCUPANCY: 9,340 SF / 200 SF = 46 Falcon, Colorado 80831 I-3 OCCUPANCY: 1 PER 750 SF = 2 S-1 OCCUPANCY: 0 / SF TOTAL REQUIRED: 48 PARKING SPACES p: 719.520.6560 e: TomSeslar@elpasoco.com PROVIDED: NORMAL: 52 VAN ACCESSIBLE SPACES / ADA SPACES: 2 C ARCHITECT **BUILDING USE TOTAL SPACES PROVIDED: 54** D2C ARCHITECTS, INC EL PASO COUNTY SHERIFF SUBSTATION ADDITIONAL PARKING PROVIDED ON FIRE STATION NORTH PARKING LOT: 7 Contact: Hamid Khellaf BIKE STORAGE: Project Manager REQUIRED: 5% OF PARKING SPACES (54 x 0.05 = 2.7 BIKE RACKS) 1580 Lincoln Street Suite 1110 **PROVIDED: 3 BIKE RACKS** Denver, Colorado 80203 CONSTRUCTION SCHEDULE **BUILDING TYPE** p: 303.952.4802 e: bduggan@d2carchitects.com BUILDING AREA:10.730 SF START: JUNE '23 TWO STORY - TYPE II-B. FINISH: MAY '24 OCCUPANCY: B/S-1/I-3 (≈ 9MONTHS) LANDSCAPE FIRE SPRINKLED / NO FIRE WALLS NORRIS DESIGN TAX SCHEDULE NUMBER **BUILDING HEIGHT** Contact: 4231201055 45 FT. MAX (S-STORY) Stacey Weaks 36 FT. ACTUAL BUILDING HEIGHT Project Manager PROPERTY ADDRESS SETBACKS 1101 Bannock Street Denver, Colorado 80204 25' FRONT ROYAL COUNTY DOWN RD. FALCON, COLORADO 80831 25' SIDE 25' REAR p: 303.892.1166 e: sweaks@norrisdesign.com LIGHTING **COVERAGE DATA** LIGHTING WILL BE PROVIDED BY WALL **CIVIL ENGINEER** TOTAL SITE AREA: 115,753 SF. MOUNTED AND RECESSED LIGHTING FIXTURES aht poles and BUILDING COVERAGE: 10,730 SF. = 09% DREXEL, BARRELL & CO PAVEMENT(PARKING/WALK): 58,263 SF. = 50% Contact: Tim McConnell LANDSCAPING: 46,760 SF. = 41% Civil 3 South 7th Street **DEVELOPMENT NOTES** Colorado Springs, CO 80905 1. WATER SERVICE PROVIDED BY WIDEFIELD WATER DISTRICT 2. SEWER SERVICE PROVIDED BY WIDEFIELD SANITATION DISTRICT 3. NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT p: 719.491.5170 4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT. e: tmcconnell@drexelbarrell.com 5.FIRE SERVICE PROVIDED BY SECURITY FIRE PROTECTION DISTRICT. **MEP ENGINEER** A **BRANCH PATTERN** orrect providers

Contact: Omar Tlamcani Project Manager

3511 Ringsby Court Suite 105 Denver, CO 80216 p: 913.254.3770

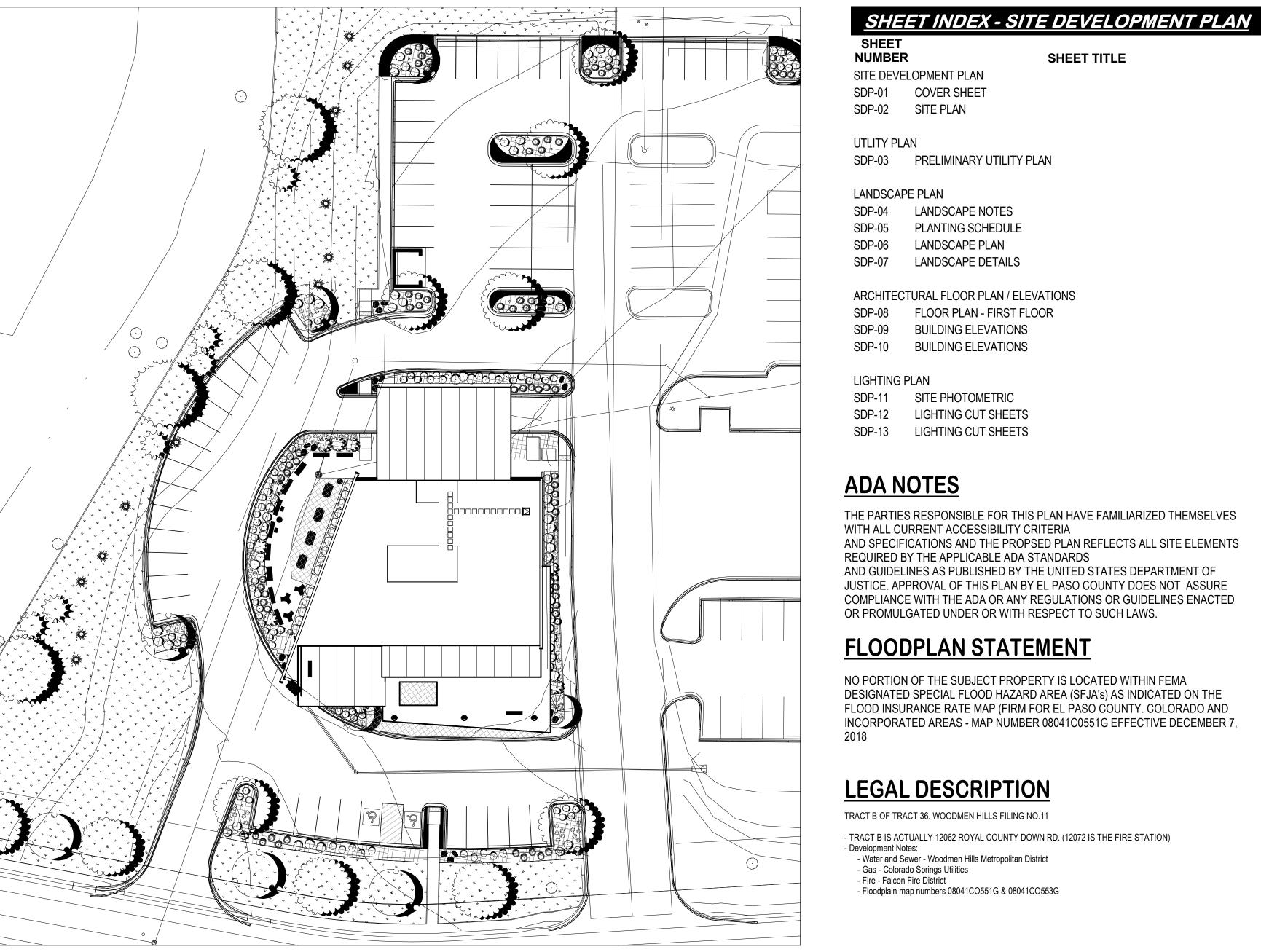
e: tu.l@branchpattern.com

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El Paso County Sheriff's Department **Falcon - Sheriff Substation**

12072 Royal County Down Rd. Falcon, Colorado 80831

SITE DEVELOPMENT PLAN



SITE						1 SDP - SECOND REVIEW SUBMITTAL
DESIGN BY: DESIGN	ISSUE DATE: AUGUST 28, 2023	CONSULTANTS PROJECT #	SOLICITATION NO .:	CONTRACT NO .:	FILE NUMBER:	
DEVELOPMENT	÷	IECT NUMBER			CALE: 4:54:25 PM	
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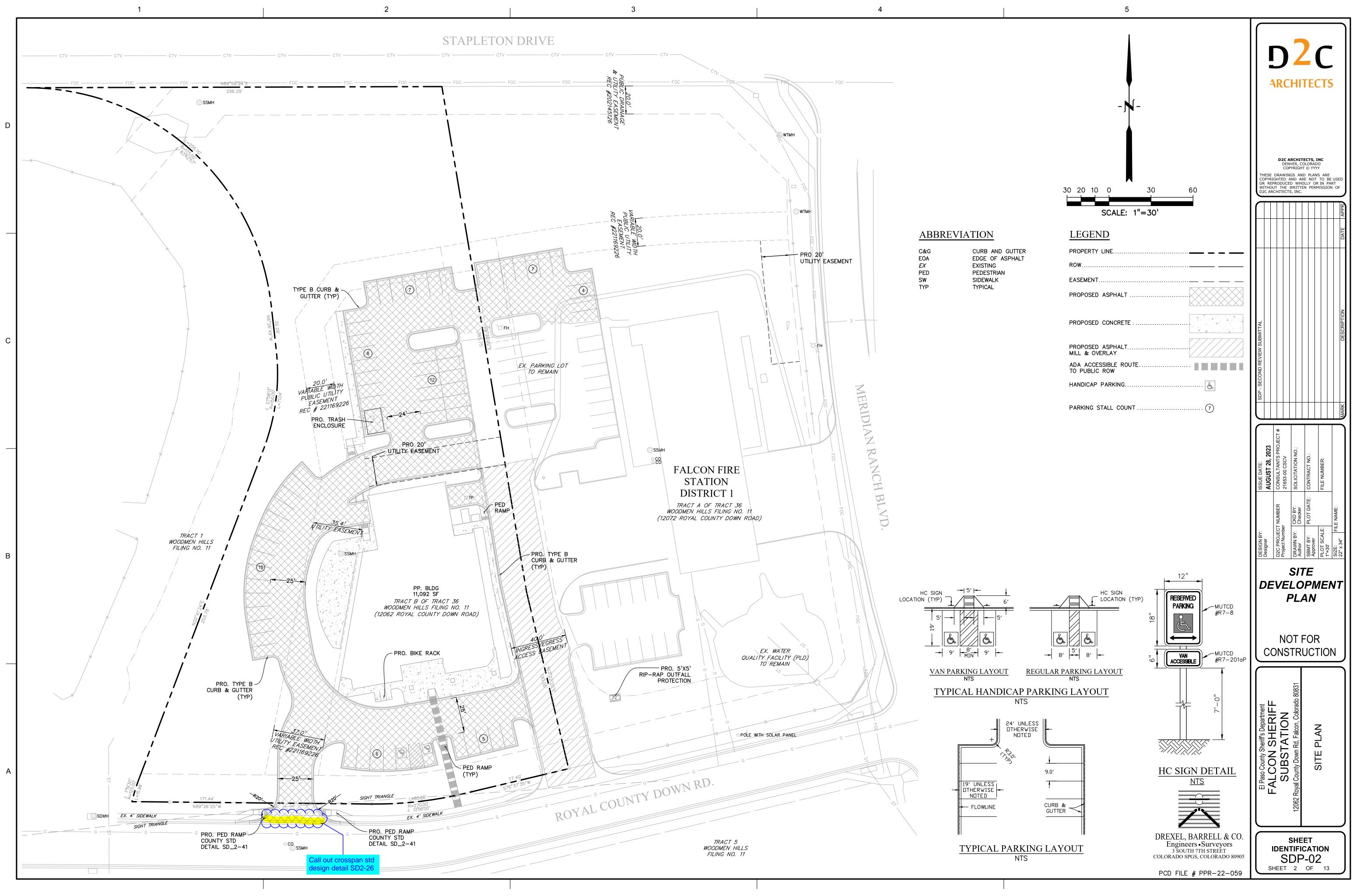
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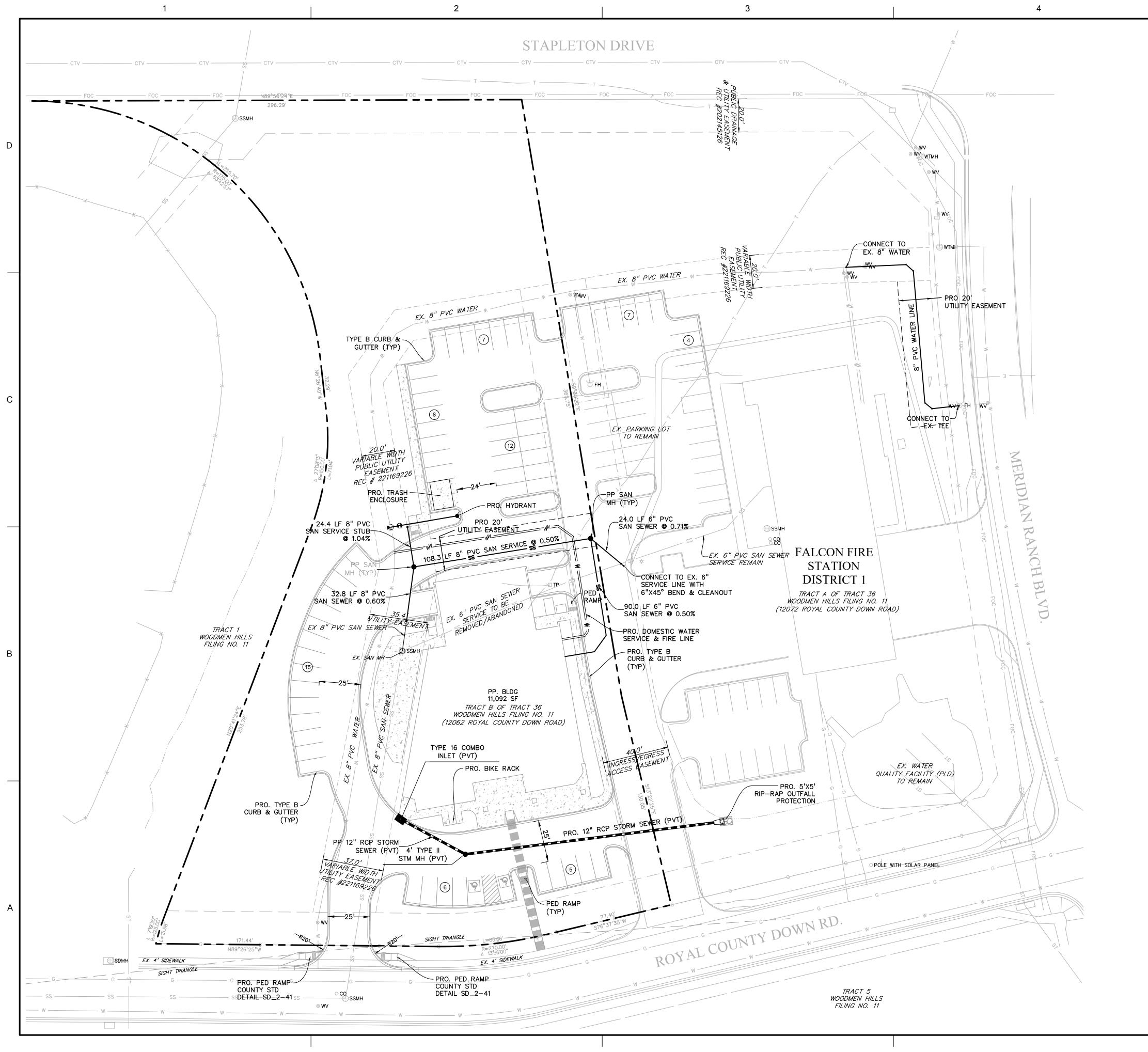
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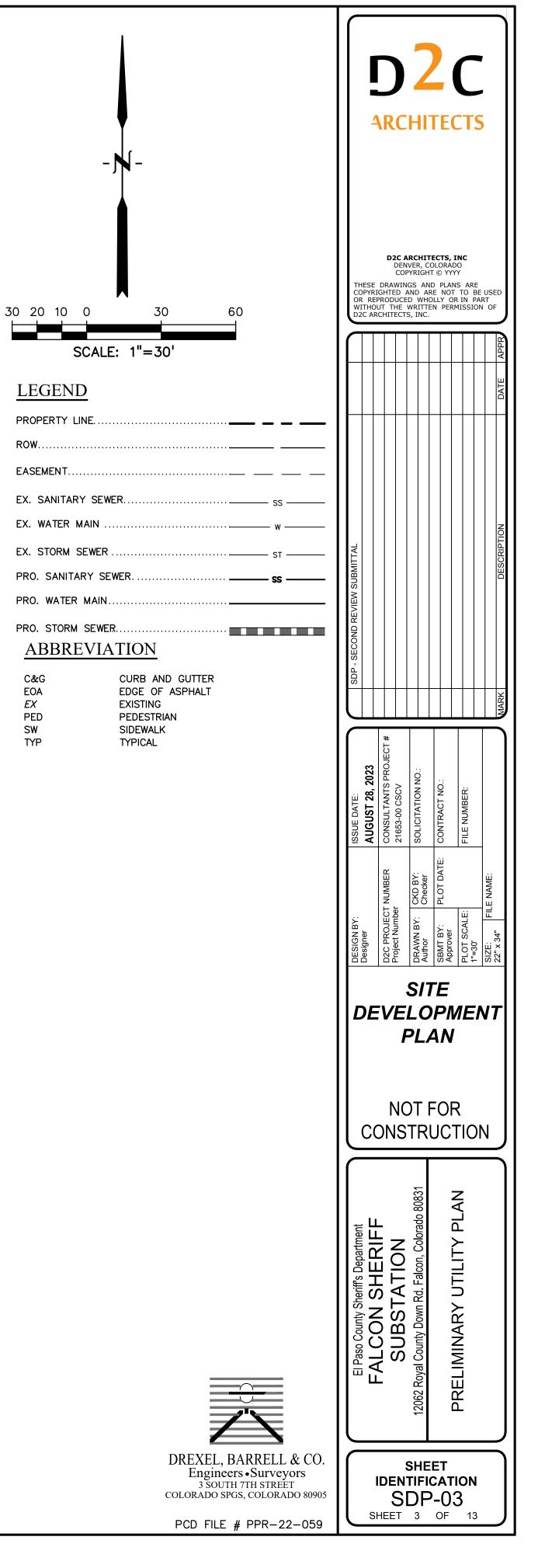
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D2C ARCHITECTS, INC.

PCD FILE # PPR-22-59







				ENERAL LANDSCAPE N
		THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.	1.	THE CONTRACTOR SHALL FOLLOW TH POSSIBLE. ANY SUBSTITUTION OR ALT
	2.	DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY		THE OWNER'S REPRESENTATIVE. OVE WITH THE PLANS.
		MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR	2.	THE CONTRACTOR IS RESPONSIBLE F
		ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.	3.	TAKES PRECEDENCE OVER WRITTEN (THE OWNER'S REPRESENTATIVE RESE
	3.	VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.		PRIOR TO SHIPPING TO THE SITE. IN A PLANT MATERIAL AT THE SITE IF MATE
		WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD		THE TIME OF ONSITE INSPECTIONS OF
D	J.	CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE		SPECIFIED STANDARD IDENTIFIED ON SHALL COORDINATE WITH THE OWNER
	6.	OWNER PRIOR TO PERFORMANCE OF WORK. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY	4.	MATERIALS AND PRODUCTS PRIOR TO THE OWNER'S REPRESENTATIVE MAY
		THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.		BASED ON SELECTION, AVAILABILITY, (CONTRACTOR SHALL VERIFY PLANT M
	7.	IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE		PURCHASING, SHIPPING OR STOCKING
		REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT		OWNER'S REPRESENTATIVE FOR APPF CONTRACTOR PRIOR TO INSTALLATIO
		DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE	5.	CONTRACTOR FAILS TO SUBMIT A REC THE CONTRACTOR SHALL WARRANTY
	8	OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES	-	ONE YEAR AFTER SUBSTANTIAL COMP FOR THE ENTIRE PROJECT UNLESS OT
	0.	STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN		SPECIFICATIONS.
		REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL	6.	REFER TO IRRIGATION PLANS FOR LIM LANDSCAPE. IN NO CASE SHALL IRRIG.
	9.	CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING,		BUILDING OR WALL FOUNDATIONS AS DISTRIBUTION LINES, HEADS AND EMIT
		LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER	7	FROM ALL BUILDING AND WALL FOUND
	IU.	RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT	1.	LANDSCAPE MATERIAL LOCATIONS SH LATERAL LOCATIONS. COORDINATE IN
	11.	DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY	8.	NOT INTERFERE WITH THE PLANTING (THE LANDSCAPE CONTRACTOR SHALL
		EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE		IN ALL LANDSCAPE AREAS. SURFACE I STRUCTURES AND FOUNDATIONS. MA
	12	ABILITY TO PERFORM WORK. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE		GEOTECHNICAL REPORT RECOMMEND CURBS SHALL DRAIN FREELY TO THE (
	12.	FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING		IN NO CASE SHALL THE GRADE, TURF 1
		PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED		AGAINST WALKS. MINIMUM SLOPES OI 25% UNLESS SPECIFICALLY IDENTIFIEI
c		MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING	Q	REPRESENTATIVE. PRIOR TO INSTALLATION OF PLANT MA
	13	ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE	5.	DISTURBED BY CONSTRUCTION ACTIV
	10.	PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO	10.	AND AMENDED PER SPECIFICATIONS. ALL LANDSCAPED AREAS ARE TO REC
		THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED	11.	NOTED IN THE TECHNICAL SPECIFICAT TREES SHALL NOT BE LOCATED IN DRA
	14.	FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR		CONTACT OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
	15	EXCAVATIONS THAT SETTLE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE	12.	THE CENTER OF EVERGREEN TREES S
	10.	APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND		ORNAMENTAL TREES CLOSER THAN 6' TREES SHALL NOT BE LOCATED ANY C
		OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE		OWNER'S REPRESENTATIVE IF TREE LI DIRECTION.
		FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.	13.	ALL EVERGREEN TREES SHALL BE FUL SIGNS OF ACCELERATED GROWTH AS
_	16.	SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT	14.	ALL TREES ARE TO BE STAKED AND GU
		MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN		CONTRACTOR SHALL BE RESPONSIBLE ACCEPTANCE OF LANDSCAPE INSTALL
		GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.	15.	APPROVAL BY OWNER'S REPRESENTA ALL TREES INSTALLED ABOVE RETAIN
		COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND		PROTECT GEO-GRID. IF GEO-GRID MUS OWNER'S REPRESENTATIVE PRIOR TO
		ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND	16.	ALL TREES IN SEED OR TURF AREAS S
	10	MANUFACTURER'S RECOMMENDATIONS.		OWNER'S REPRESENTATIVE FOR ANY MOISTURE REASONS.
	19.	CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND	17.	SHRUB, GROUNDCOVER AND PERENN STEEL, ROLL TOP, INTERLOCKING TYP
	20.	UNTIL FINAL ACCEPTANCE IS ISSUED. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION		CURBS, WALLS, WALKS OR SOLID FEN NOT BE REQUIRED TO SEPARATE MUL
		PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF	18.	ALL SHRUB BEDS ARE TO BE MULCHE
B		ANY SITE WORK.		SHEDDED WOOD MULCH OVER SPECIF FOR SPECIFIC LOCATIONS OF ROCK M
	21.	MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT	19.	AT SEED AREA BOUNDARIES ADJACEN AREAS BY THE FULL WIDTH OF THE SE
		ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN	20.	EXISTING TURF AREAS THAT ARE DIST MAINTENANCE PERIOD SHALL BE REST
	იი	STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE		DISTURBED NATIVE AREAS WHICH ARE
	۷۷.	SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION	21.	SPECIFIED SEED MIX. CONTRACTOR SHALL OVER SEED ALL
		OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR	22	WITH SPECIFIED SEED MIX UNLESS OT ALL SEEDED SLOPES EXCEEDING 25%
	23	CONTRACTED COURSE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS,		PRIOR TO INSTALLATION, NOTIFY OWN ANY ADDITIONAL COST IF A CHANGE C
		WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO	23.	WHEN COMPLETE, ALL GRADES SHALL
		THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.	24.	PLANS. SOFT SURFACE TRAILS NEXT TO MANI
	24.	THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY	25.	14 GAUGE GREEN, STEEL ROLL TOP EL WHEN PLANTER URNS ARE SHOWN ON
		COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE		PLANTER MIX, ANNUAL FLOWER PLANT
		RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE		(SPRING AND FALL) AND WINTER HAND CONTRACTOR TO PROVIDE ANNUAL PL
	25.	REQUIREMENTS. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S		PLANTERS TO BE ON SEPARATE ZONE NECESSARY SLEEVING PRIOR TO PLAC
		REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE	26.	PRIOR TO THE PLACEMENT OF MULCH CONTROL AGENT SHALL BE ADDED TO
	26	OWNER'S REPRESENTATIVE. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED	~-	MANUFACTURER'S INSTRUCTION, EXC
	۷۵.	CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM	27.	THE CONTRACTOR IS EXPECTED TO KI COUNTY SPECIFICATIONS FOR LANDS
	27.	SEWER IS PROHIBITED. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL	28.	HIGHER OF THE TWO STANDARDS SHA THE DEVELOPER, HIS SUCCESSORS A
A		SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.		MAINTENANCE AND REPLACEMENT OF APPROVED LANDSCAPE PLAN ON FILE
1				

SCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS ON SHALL NOT BE ALLOWED WITHOUT APPROVAL OF LANT QUANTITY AND QUALITY SHALL BE CONSISTENT

RIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TIES.

THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL ES, THE OWNER'S REPRESENTATIVE MAY REJECT DAMAGED, DISEASED, OR DECLINING IN HEALTH AT E PLANT MATERIAL DOES NOT MEET THE MINIMUM ANS AND IN THE SPECIFICATIONS. THE CONTRACTOR RESENTATIVE FOR INSPECTION AND APPROVAL OF ALL LLATION.

TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION ENHANCE SPECIFIC AREAS OF THE PROJECT. THE L SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO ANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO F ADDITIONAL COST IS REQUESTED BY THE STOCKING CHARGES WILL NOT BE APPROVED IF THE FOR MATERIAL CHANGES.

INTRACTED WORK AND MATERIALS FOR A PERIOD OF N HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE ISE SPECIFIED IN THE CONTRACT DOCUMENTS OR

TYPES OF IRRIGATION DESIGNED FOR THE BE EMITTED WITHIN THE MINIMUM DISTANCE FROM ATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY S AS STIPULATED IN THE GEOTECHNICAL REPORT.

VE PRECEDENCE OVER IRRIGATION MAINLINE AND ATION OF IRRIGATION EQUIPMENT SO THAT IT DOES ES OR OTHER LANDSCAPE MATERIAL. SPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS

AGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD SLOPE AWAY FROM FOUNDATIONS PER THE S. ALL LANDSCAPE AREAS BETWEEN WALKS AND

INLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. I, OR OTHER LANDSCAPE MATERIALS DAM WATER SCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE HE PLANS OR APPROVED BY THE OWNER'S

LS, AREAS THAT HAVE BEEN COMPACTED OR IALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12"

RGANIC SOIL PREPARATION AT 3 cu.yrds/1,000sf OR AS

SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. ELOCATION OF PLANTS IN QUESTIONABLE AREAS

NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY ONS CONFLICT WITH THESE STANDARDS FOR FURTHER

ANCHED TO THE GROUND AND SHALL NOT EXHIBIT RMINED BY THE OWNER'S REPRESENTATIVE. ER DETAILS FOR A PERIOD OF 1 YEAR. THE REMOVING STAKES AT THE END OF 1 YEAR FROM

BY THE OWNER'S REPRESENTATIVE. OBTAIN RIOR TO REMOVAL. LLS UTILIZING GEO-GRID MUST BE HAND DUG TO

CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY WORK. ECEIVE MULCH RINGS. OBTAIN APPROVAL FROM

THAT WILL NOT BE MULCHED FOR EXCESSIVE

DS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN ER. EDGER IS NOT REQUIRED WHEN ADJACENT TO THIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL

PES UNLESS SPECIFIED ON THE PLANS. MIN. 4" DEPTH, 1 1/2" ROCK MULCH OR WITH 3" DEPTH EOTEXTILE WEED CONTROL FABRIC. REFER TO PLANS ND WOOD MULCH. XISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE

DURING CONSTRUCTION, ESTABLISHMENT AND THE WITH NEW SOD TO MATCH EXISTING TURF SPECIES. EMAIN SHALL BE OVER SEEDED AND RESTORED WITH

NANCE OR SERVICE ACCESS BENCHES AND ROADS

ISE NOTED ON THE PLANS. ADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. EPRESENTATIVE FOR APPROVAL OF LOCATION AND

IS NECESSARY. THIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE

TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x

S, CONTRACTOR SHALL INCLUDE THE FOLLOWING: ROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR RING AS NEEDED. UNLESS OTHERWISE SPECIFIED, G SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR NTRACTOR TO COORDINATE PLACEMENT OF T OF PAVEMENT.

EED FABRIC, A GRANULAR, PRE-EMERGENT, WEED ANTING BEDS IN ACCORDANCE WITH THE

OUND ORNAMENTAL GRASSES. ND UNDERSTAND THE CITY OF FALCON AND EL PASO ND IRRIGATION. IN CASES OF DISCREPANCIES THE E PRECEDENCE.

SIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PROVEMENTS SHOWN OR INDICATED ON THE PLANNING DEPARTMENT.

3 4 SITE MATERIALS SCHEDULE ITEM DESCRIPTION MANUFACTURER SIZE/DIMENSIONS COLOR/FINISH RE: LANDSCAPE PLAN FOR GRAY, BROOM STANDARD GRAY N/A AREA CONCRETE FINISH INTEGRAL COLOR, **RE: LANDSCAPE PLAN FOR** ENHANCED PAVING DAVIS COLOR BROOM FINISH, AREA COLOR BAYOU RE: LANDSCAPE PLAN FOR RE: LANDSCAPE 4"-6" COBBLE **RE: LANDSCAPE NOTES** AREA NOTES PIONEER SAND RE: LANDSCAPE PLAN FOR NATURAL SHRUB BED CONTACT: 866.600.0652 AREA (OR APPROVED EQUAL)

SHORTGRASS PRAIRIE: NON-IRRIGATED SEED MIX

SHOKI	GRASS PRAIRIE! NUN-IRR	IGATED SEED MI	Χ	NATIVE SEED, (719-942-3935), OR APPROVED EQUA			
* * * * * * *	COMMON NAME		% OF MIX	PLS/ACRE			
* * * * * * *	WESTERN WHEATGRASS		30%	9.00			
	BLUE GRAMA		30%	9.00			
	BUFFALOGRASS		35%	9.50			
	GALLETA		5%	2.50			
		TOTAL	100%	30.00 PLS/ACRE DRILLED			

SITE AMENITY SCHEDULE



(1) DESCRIPTION: BENCH

MANUFACTURER: ANOVA FURNISHINGS CONTACT: KATIE BRIDGES 720-548-4327

MODEL: AE2680STX

COLLECTION: 6' CONTOUR BENCH, AIRI STIX

COLOR / FINISH: SEAT: SAGE FRAME: TEXTURED SANDSTONE

NOTES: OR APPROVED EQUAL

SURFACE MOUNT



5 DESCRIPTION: PLANTER

MANUFACTURER: GREEN LINE CONTACT: GREENLINEMFG.COM 877-839-0448

MODEL: RECTANGLE MID

SIZE: 60"L x 18"W x 18"H

COLOR / FINISH: BEIGE

NOTES: OR APPROVED EQUAL INSTALL PER MANUFACTURERS RECOMMENDATIONS



DESCRIPTION: LITTER RECEPTACLE

MANUFACTURER: ANOVA FURNISHINGS CONTACT: KATIE BRIDGES 720-548-4327

MODEL: AE2645CBT-STX

COLLECTION: AIRI STIX 45 GAL. WASTE RECEPTACLE W/SIDE DOOR, CURVE TOP

COLOR / FINISH: PANEL: SAGE FRAME: TEXTURED SANDSTONE

NOTES: OR APPROVED EQUAL SURFACE MOUNT



MANUFACTURER: GREEN LINE CONTACT: GREENLINEMFG.COM 877-839-0448

MODEL: TRELLIS

SIZE: 66"L x 24"W x 24"H

COLOR / FINISH: BEIGE

NOTES: OR APPROVED EQUAL INSTALL PER MANUFACTURERS RECOMMENDATIONS



(3) DESCRIPTION: BIKE RACK

MANUFACTURER: ANOVA CONTACT: KATIE BRIDGES 720-548-4327

MODEL: #CIRCLEBR

NOTES: OR APPROVED EQUAL SURFACE MOUNT

	5
	PCD FILE # PPR-20-029
PRODUCT NAME	NOTES
N/A	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: HARDSCAPE PLANS FOR LOCATION
COLORED CONCRETE	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: HARDSCAPE PLANS FOR LOCATION
RE: LANDSCAPE NOTES	INSTALL PER LANDSCAPE NOTES, RE: LANDSCAPE PLANS FOR LOCATION
GORILLA HAIR SHREDDED MULCH	INSTALL PER MANUFACTURER'S SPECIFICATIONS, RE: PLANS FOR LOCATION

"SHORTGRASS PRAIRIE SEED" BY WESTERN



COLOR / FINISH: SAGE

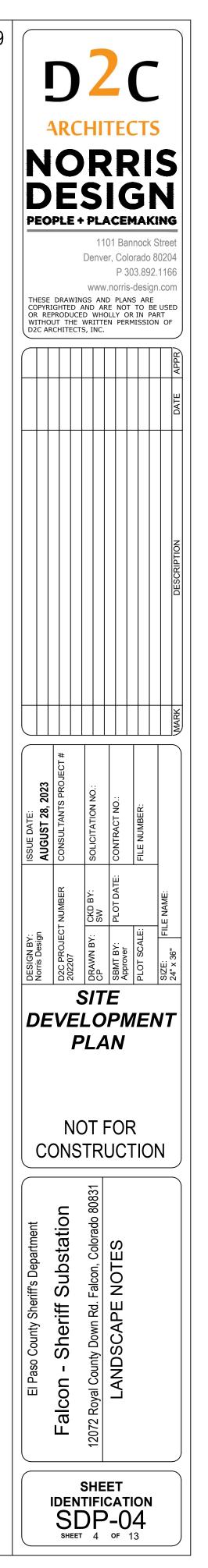


 DESCRIPTION: PICNIC TABLE MANUFACTURER: ANOVA CONTACT: KATIE BRIDGES 720-548-4327

MODEL: #F2003

COLOR / FINISH: SEAT / TOP: SAGE FRAME: TEXTURED SANDSTONE

NOTES: OR APPROVED EQUAL SURFACE MOUNT



			1	2
	PLANTING SCHEDU	JLE		
	<u>DECIDUOUS TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	AC GI	8	ACER GINNALA	AMUR MAPLE
	FR NI	10	FRAXINUS NIGRA 'FALLGOLD'	FALLGOLD ASH
	<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	PI ED	4	PINUS EDULIS	PINYON PINE
	PI PO	7	PINUS PONDEROSA	PONDEROSA PINE
	ORNAMENTAL TREES	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	AM GR	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY
	<u>DECIDUOUS SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	CH NA	44	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS	DWARF BLUE RABBITBRUSH
	PH OP	13	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	DART'S GOLD NINEBARK
	RH GR	45	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC
	<u>Evergreen Shrubs</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	Ju ho	56	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	CREEPING JUNIPER
	Pi pu	43	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE BLUE SPRUCE
_	<u>ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	CA AC	74	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
	FE OV	100	FESTUCA OVINA GLAUCA	BLUE SHEEP FESCUE
	PA VI	15	PANICUM VIRGATUM	SWITCH GRASS
	PERENNIALS	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	CL OC	20	CLEMATIS OCCIDENTALIS	WESTERN BLUE VIRGIN'S BOWER
	EC PU	10	ECHINACEA PURPUREA 'AVALANCHE'	AVALANCHE CONEFLOWER

C

 ROOT
 SIZE

 B & B
 2" CAL.

 B & B
 2" CAL.

 ROOT
 SIZE

 B & B
 6` HT.

 B & B
 6` HT.
 RRY B & B 1.5" CAL. <u>root</u> Cont. <u>SIZE</u> #5 CONT. #5 CONT. #5 ROOT
CONT.SIZE
#5 CONT. #5

<u>SIZE</u> #1

ROOT CONT.

CONT. #1 CONT. #1

ROOT
CONT.SIZE
#1CONT.#1

Landscape Setbacks					
Street Name or Boundary	Street Classification	Width Req. / Prov.	Length (LF)	Trees Required	Trees Provided
Royal County Down Road (South) (1 Tree / 30 LF)	Non-Arterial	10' / 10'	267	9	9
Totals:		267	9	9	
NOTES:					

1.) Intersecting drive aisles are excluded from linear footage calculations.

3

Internal Landscaping										
Not Site Area (SE)	% Minimum	Internal Area	Internal Area	Internal Trees	Internal Trees					
Net Site Area (SF)	Internal Area	(SF) Required	(SF) Provided	Required	Provided					
103,389 SF	5%	5,169 SF	5,802 SF	11	11					
103,309 36	J /0	J, 109 3F	J,002 3F	(1 Tree / 500 SF)						
Totals:		5,169 SF	5,802 SF	11	11					
NOTES:										

1.) Intersecting drive aisles are excluded from linear footage calculations.

Parking Lot										
Number of Vehicle	Vehicle Lot	Length of	2/3 Length of	Shade Trees	Shade Trees	Min 3' Screening	Min 3' Screening	Length of Screening	% Ground Plane	% Ground Plane
Spaces Provided	Frontages	Frontages (LF)	Frontages	Required	Provided	Plants Required	Plants Provided	Wall / Berm	Veg Required	Veg Provided
58 Royal County Down Rd 124 83 4 (1 Tree / 15 Spaces) 10 28 28 - 75%								80%		
Totals:		124	83	4	10	28	28	-	75%	80%
NOTES:										
1.) Intersecting driv	e aisles are ex	cluded from line	ar footage calcu	llations.						

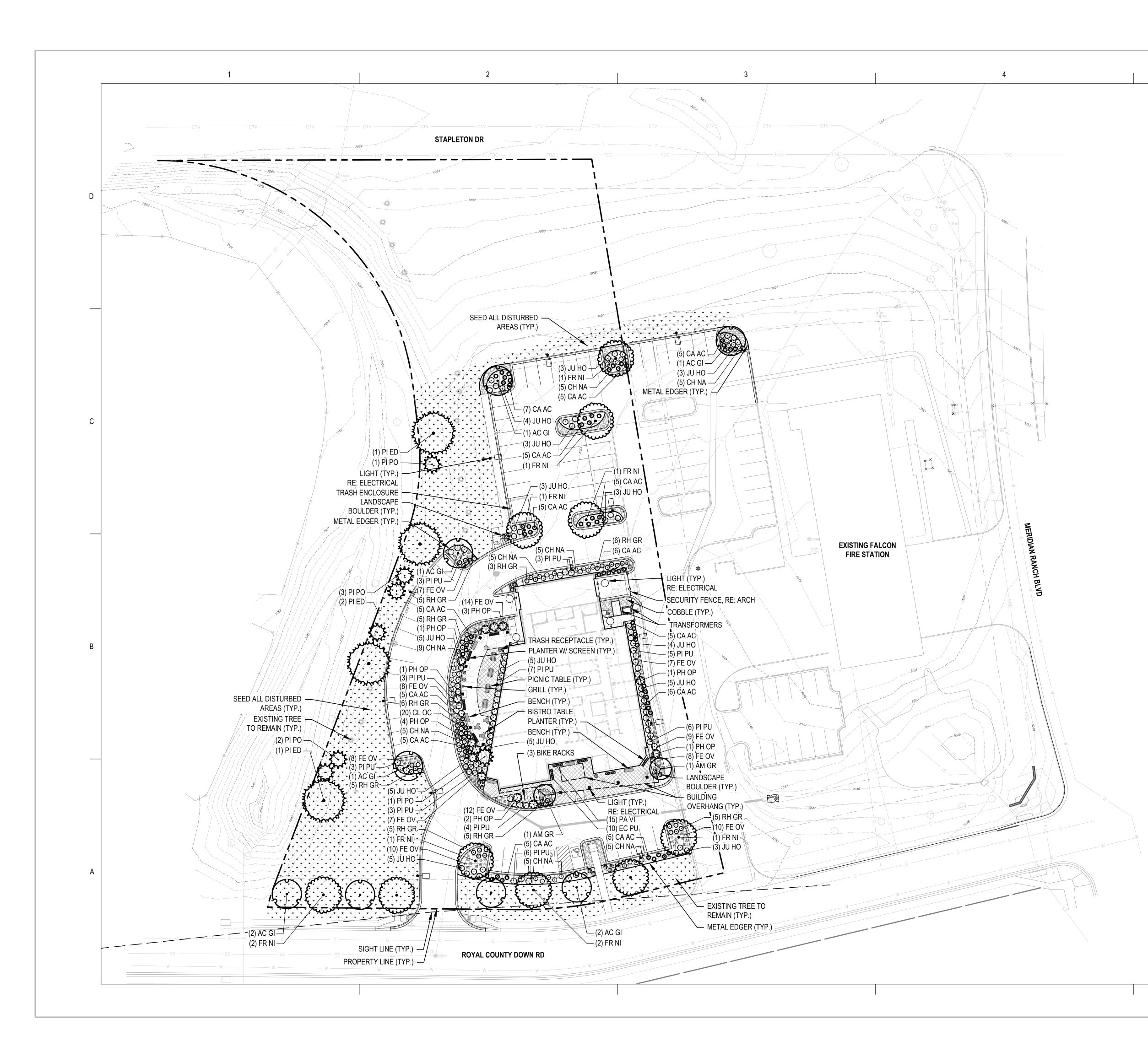
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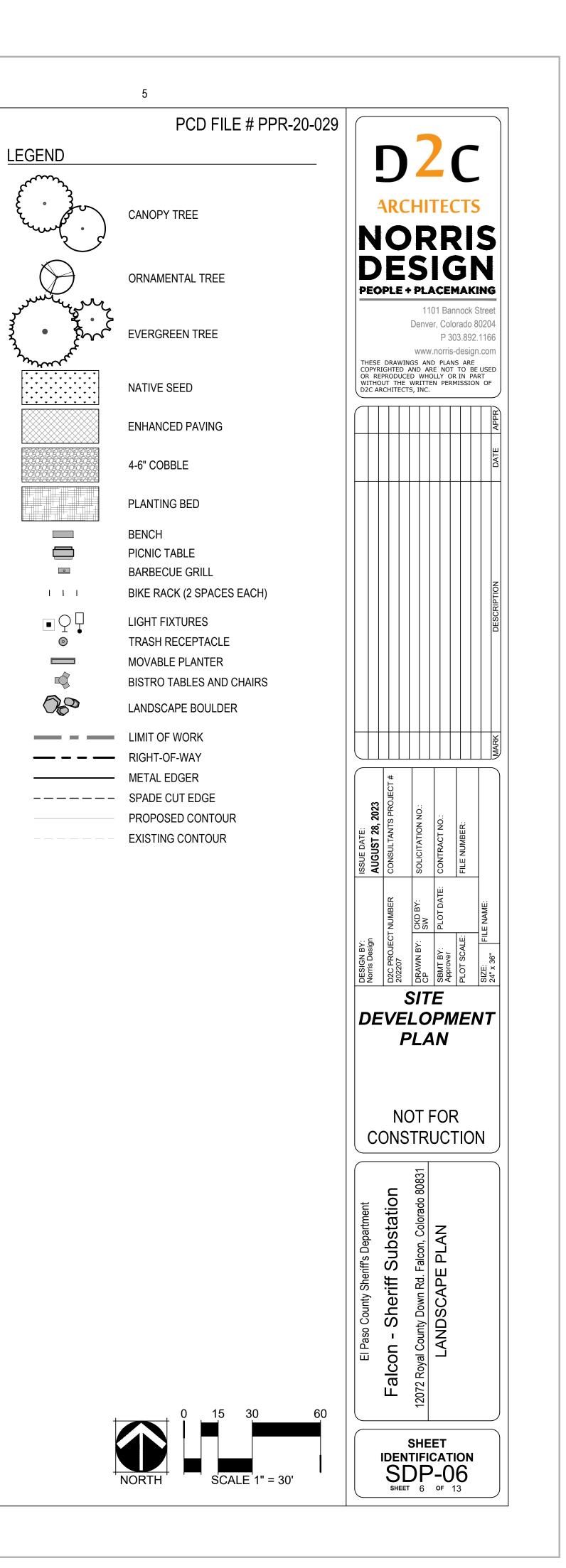
andscape Buffers and Screens										
•		Width	Width	Trees	Trees	Evergreen Trees	% Ground Plane	% Ground Plane		
Street Name or Property Line	Length (LF)	Required	Provided	Required	Provided	Required	Veg Required	Veg Provided		
	613	15	15	25	25*	9	75%	75%		
Western Boundary	015	10	15	(1 Tree / 25 LF)	25	33%	1570	1370		
Totals:	613			25	25	9	75%	75%		
NOTES:										
1) * Total includes 15 existing t	coop to romain									

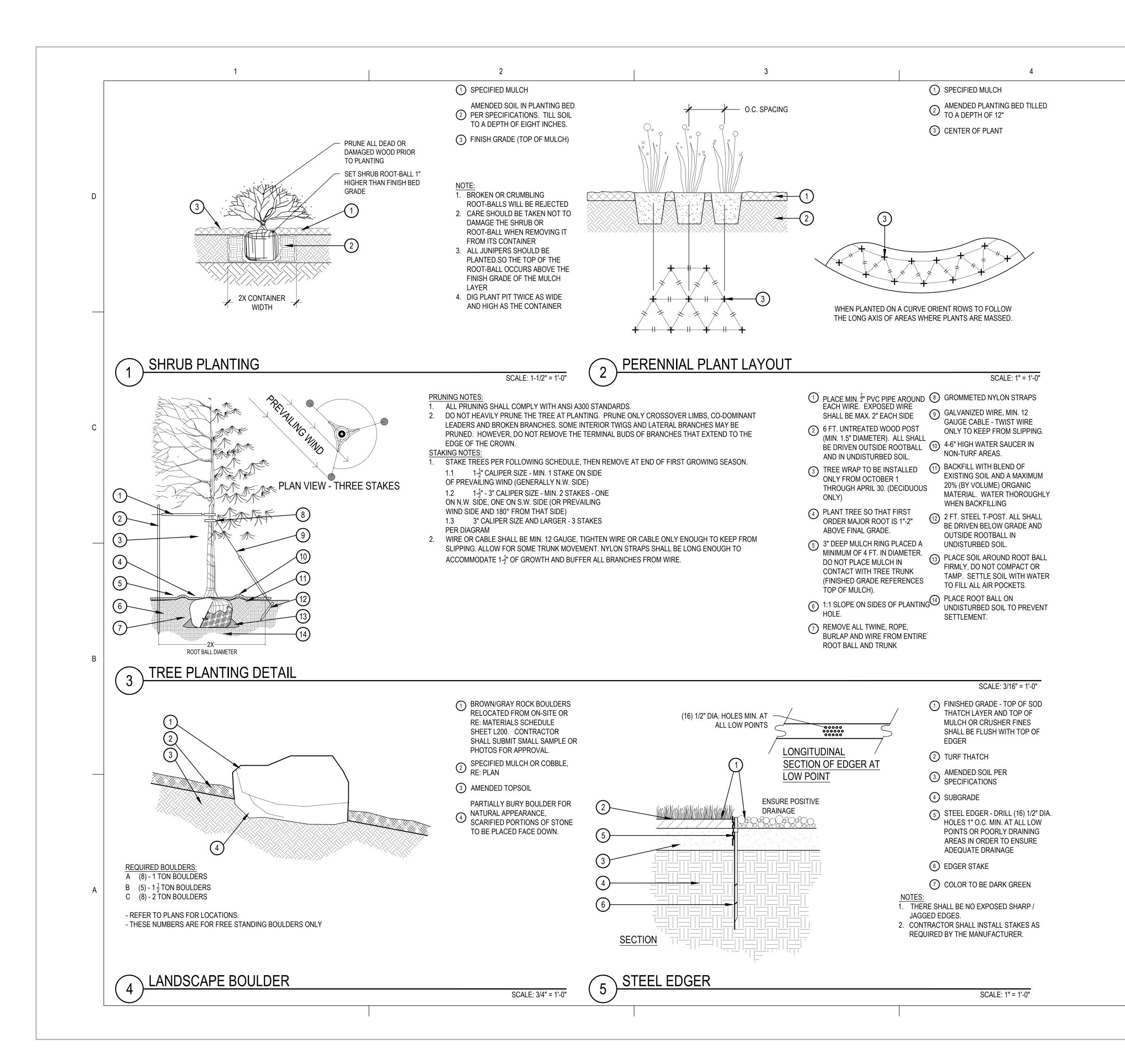
1.) * Total includes 15 existing trees to remain

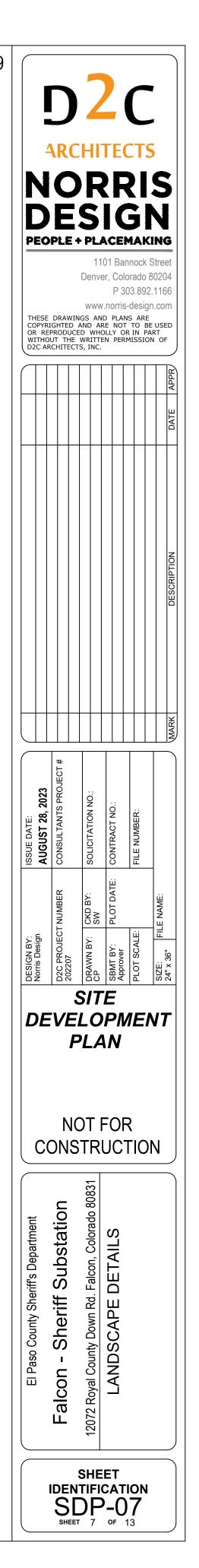
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					DATE APPF
					DESCRIPTION
					MARK
ISSUE DATE: AUGUST 28, 2023	CONSULTANTS PROJECT #	SOLICITATION NO .:	PLOT DATE: CONTRACT NO.:	FILE NUMBER:	
DESIGN BY: Norris Design	D2C PROJECT NUMBER 202207	DRAWN BY: CKD BY: CP	SBMT BY: Approver	PLOT SCALE:	SIZE: FILE NAME: 24" x 36"
DE		_	E PN AN	1EI	NT
C	N(SNS		FOF UC		N
El Paso County Sheriff's Department	Falcon - Sheriff Substation	12072 Royal County Down Rd. Falcon, Colorado 80831	PLANTING SCHEDULE		
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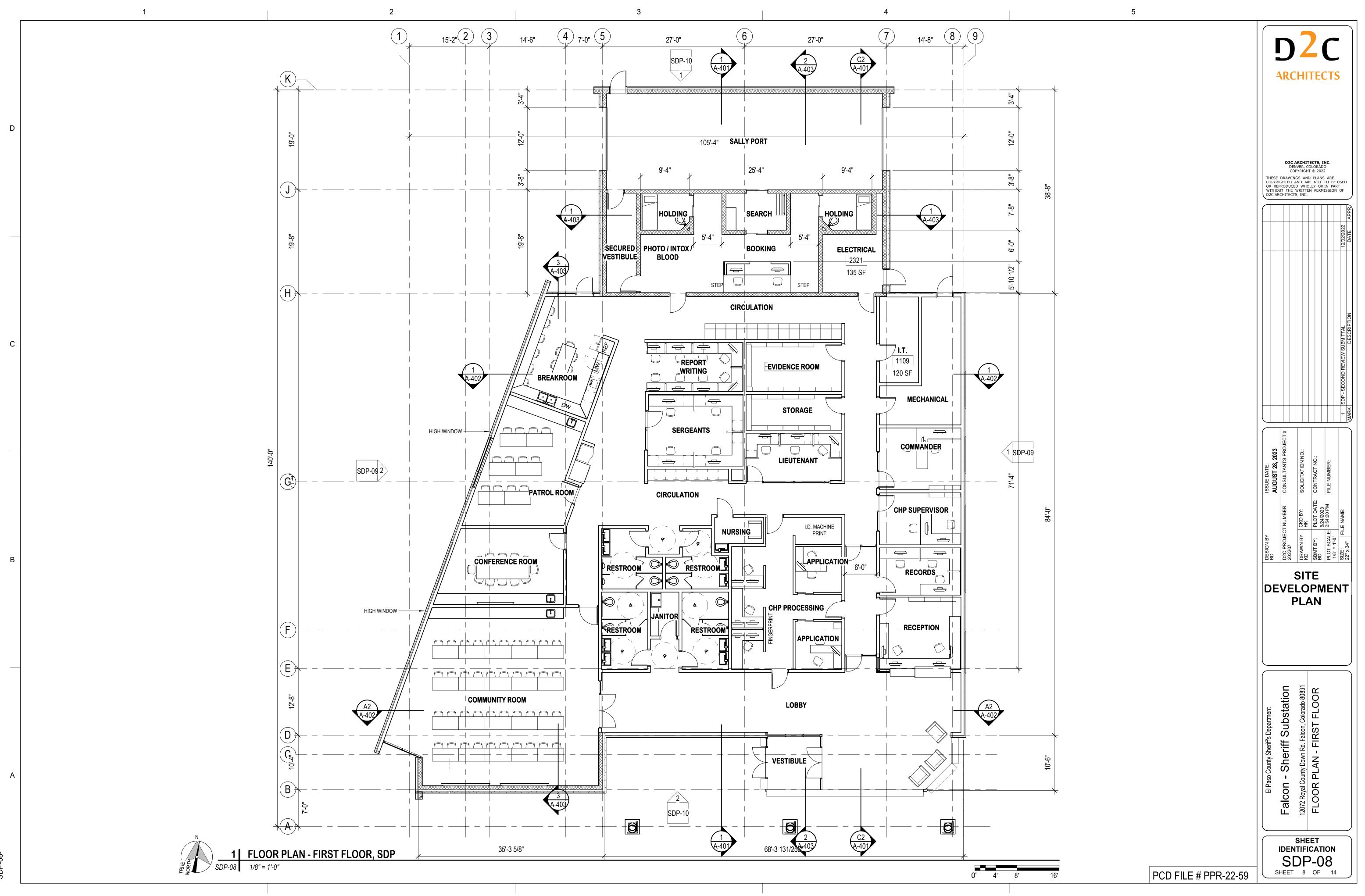








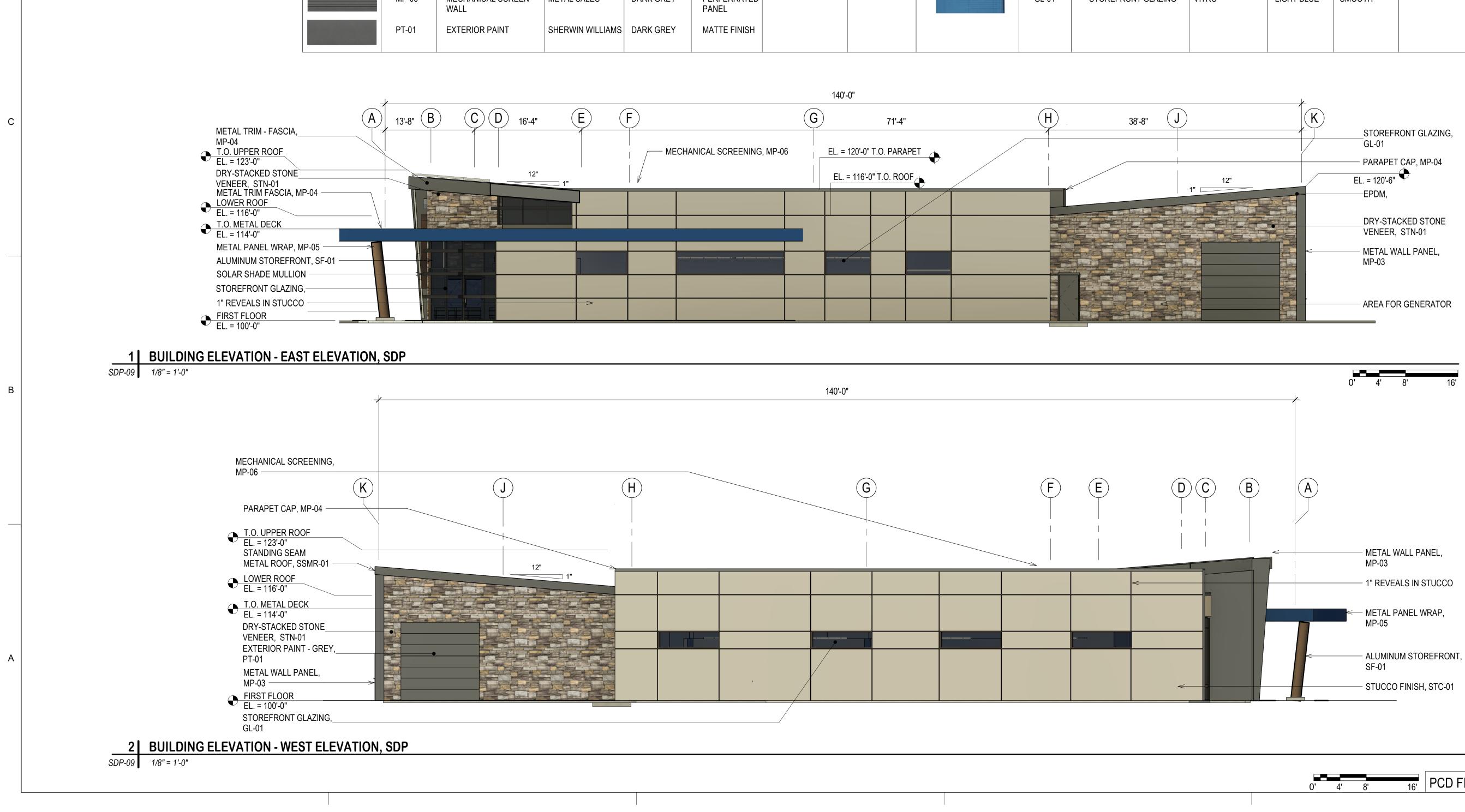
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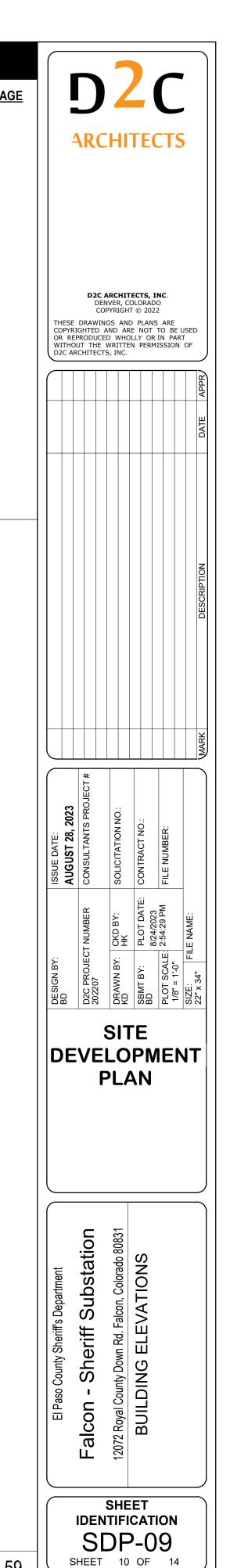


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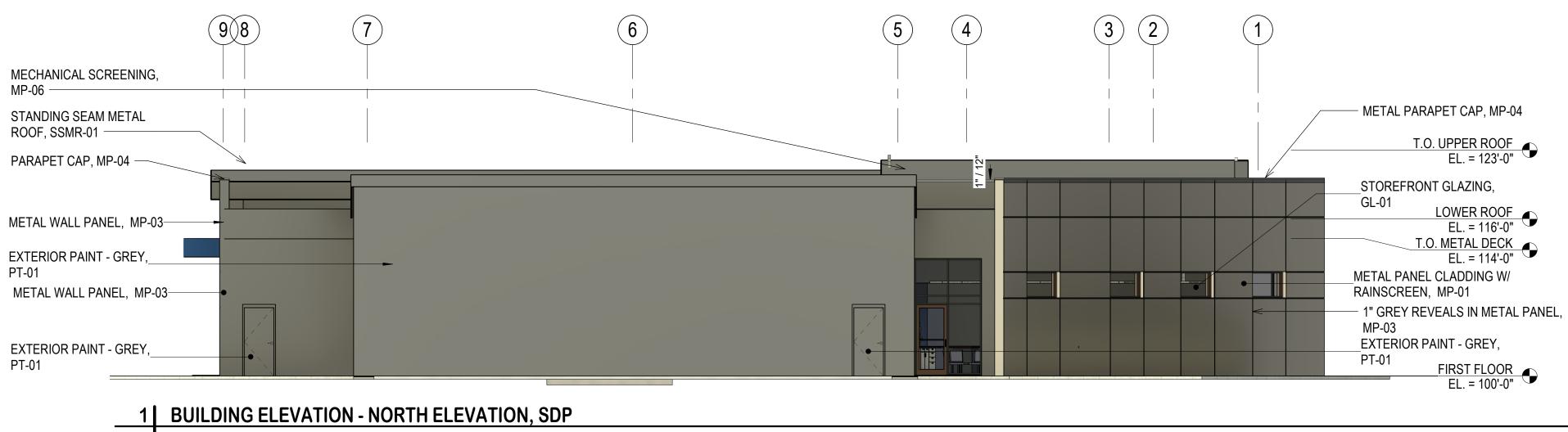


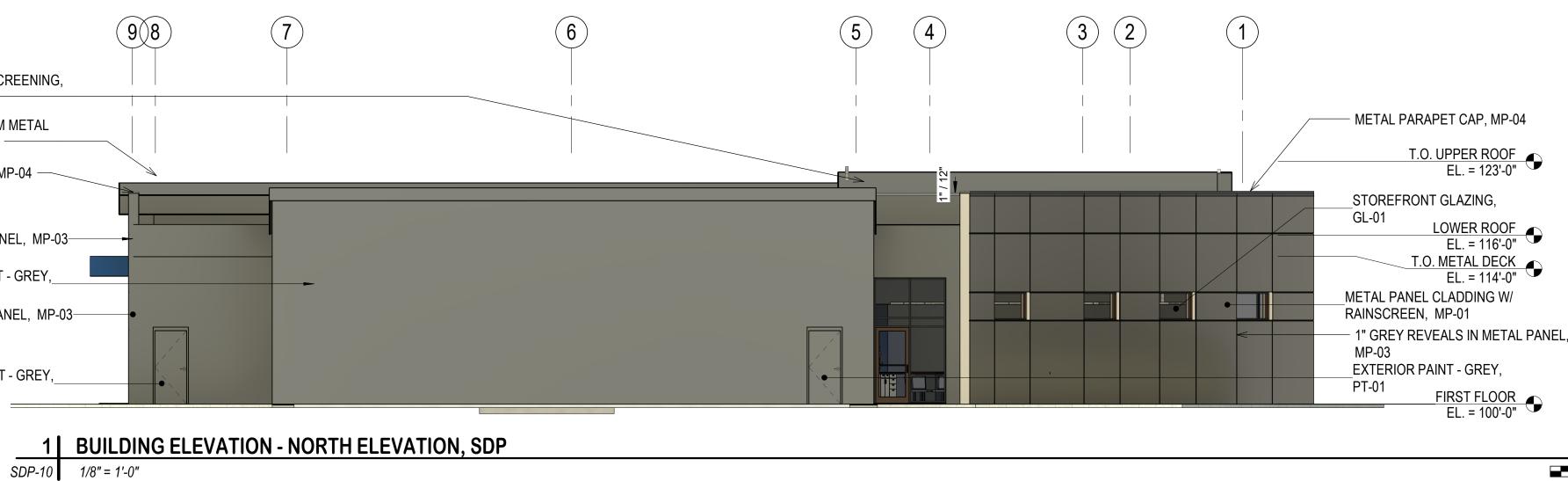
		2				3			4				5	
MATERIAL	L LEGEN	<u>ID - SITE DEVEL</u>	<u>.OPMENT PL</u>	. <u>AN</u>										
	<u>LEGEND</u>	DESCRIPTION	MANUFACTURER	COLOR	TEXTURE	SQUARE FOOTAGE	PERCENTAGE	LEGEND	DESCRIPTION	MANUFACTURER	<u>COLOR</u>	TEXTURE	SQUARE FOOTAGE	PERCENTAGE
	MP-01	METAL PANEL CLADDING W/ ACHITECTURAL RAINSCREEN	FUNDERMAX	LOFT	CONCRETE	4,349 SF	39%	STN-01	STONE VENEER W/ ARCHITECTURAL RAINSCREEN	RIO GRANDE	NATURAL STONE	DRY STACKED	1,947 SF	17%
	MP-02	METAL PANEL - FASCIA	METAL SALES	DARK BRONZE	SMOOTH			STC-01	STUCCO FINISH	LOCAL CONTRACTOR	LIGHT TAN	STUCCO	1,110 SF	10%
	MP-03	METAL WALL PANEL W/ ARCHITECTURAL RAINSCREEN	METAL SALES	DARK GREY	SMOOTH	1,924 SF	17%	AL-01	EXTERIOR ALUMINUM LETTERING	AVALANCHE	ALUMINUM	SMOOTH		
	MP-04	METAL TRIM - FASCIA / PARPET CAP	METAL SALES	DARK GREY	SMOOTH			SF-01	ALUMINUM STOREFRONT	KAWNEER	DARK BRONZE	SMOOTH	1,852 SF	17%
	MP-05	METAL PANEL - COLUMN WRAP	METAL SALES	NAVY BLUE	SMOOTH			SSMR-01	STANDING SEAM METAL ROOF	METAL SALES	DARK GREY	RIBBED		
	MP-06	MECHANICAL SCREEN WALL	METAL SALES	DARK GREY	PERFERRATED PANEL			GL-01	STOREFRONT GLAZING	VITRO	LIGHT BLUE	SMOOTH		
	PT-01	EXTERIOR PAINT	SHERWIN WILLIAMS	DARK GREY	MATTE FINISH									



PCD FILE # PPR-22-59

2 GEND - SITE DEVEL	LOPMENT PL	AN		3				4				5	
BEND DESCRIPTION	MANUFACTURER	COLOR	<u>TEXTURE</u>	SQUARE FOOTAGE	PERCENTAGE		<u>LEGEND</u>	DESCRIPTION	MANUFACTURER	COLOR	<u>TEXTURE</u>	SQUARE FOOTAGE	PERCENTAGE
W/ ACHITECTURAL	FUNDERMAX	LOFT	CONCRETE	4,349 SF	39%		STN-01	STONE VENEER W/ ARCHITECTURAL RAINSCREEN	RIO GRANDE	NATURAL STONE	DRY STACKED	1,947 SF	17%
02 METAL PANEL - FASCIA	METAL SALES	DARK BRONZE	SMOOTH				STC-01	STUCCO FINISH	LOCAL CONTRACTOR	LIGHT TAN	STUCCO	1,110 SF	10%
03 METAL WALL PANEL W/ ARCHITECTURAL RAINSCREEN	METAL SALES	DARK GREY	SMOOTH	1,924 SF	17%		AL-01	EXTERIOR ALUMINUM LETTERING	AVALANCHE	ALUMINUM	SMOOTH		
04 METAL PANEL - FASCIA / PARPET CAP	METAL SALES	DARK GREY	SMOOTH				SF-01	ALUMINUM STOREFRONT	KAWNEER	DARK BRONZE	SMOOTH	1,852 SF	17%
05 METAL PANEL - COLUMN WRAP	METAL SALES	NAVY BLUE	SMOOTH				SSMR-01	STANDING SEAM METAL ROOF	METAL SALES	DARK GREY	RIBBED		
06 MECHANICAL SCREEN WALL	METAL SALES	DARK GREY	PERFERRATED PANEL				GL-01	STOREFRONT GLAZING	VITRO	LIGHT BLUE	SMOOTH		
01 EXTERIOR PAINT	SHERWIN WILLIAMS	DARK GREY	MATTE FINISH										
.C .C .C	ENDDESCRIPTION01METAL PANEL CLADDING W/ ACHITECTURAL RAINSCREEN02METAL PANEL - FASCIA03METAL WALL PANEL - FASCIA03METAL WALL PANEL W/ ARCHITECTURAL RAINSCREEN04METAL PANEL - FASCIA / PARPET CAP05METAL PANEL - COLUMN WRAP06MECHANICAL SCREEN WALL	EENDDESCRIPTIONMANUFACTURER01METAL PANEL CLADDING W/ ACHITECTURAL RAINSCREENFUNDERMAX02METAL PANEL - FASCIAMETAL SALES03METAL WALL PANEL W/ ARCHITECTURAL RAINSCREENMETAL SALES04METAL PANEL - FASCIA / PARPET CAPMETAL SALES05METAL PANEL - COLUMN WRAPMETAL SALES06MECHANICAL SCREENMETAL SALES	01METAL PANEL CLADDING W/ ACHITECTURAL RAINSCREENFUNDERMAXLOFT02METAL PANEL - FASCIAMETAL SALESDARK BRONZE03METAL WALL PANEL W/ ARCHITECTURAL RAINSCREENMETAL SALESDARK GREY04METAL PANEL - FASCIA / PARPET CAPMETAL SALESDARK GREY05METAL PANEL - COLUMN WRAPMETAL SALESNAVY BLUE06MECHANICAL SCREENMETAL SALESDARK GREY	MENDDESCRIPTIONMANUFACTURERCOLORTEXTURE01METAL PANEL CLADDING RAINSCREENFUNDERMAXLOFTCONCRETE02METAL PANEL - FASCIAMETAL SALESDARK BRONZESMOOTH03METAL WALL PANEL W/ ARCHITECTURAL RAINSCREENMETAL SALESDARK GREYSMOOTH04METAL PANEL - FASCIA / PARPET CAPMETAL SALESDARK GREYSMOOTH05METAL PANEL - COLUMNMETAL SALESNAVY BLUESMOOTH06MECHANICAL SCREENMETAL SALESDARK GREYPERFERRATED	EENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGE01METAL PANEL CLADDING W/ ACHITECTURAL RAINSCREENFUNDERMAXLOFTCONCRETE4,349 SF02METAL PANEL - FASCIAMETAL SALESDARK BRONZESMOOTHHARA SALESJARK GREYSMOOTH03METAL WALL PANEL W/ ARCHITECTURAL RAINSCREENMETAL SALESDARK GREYSMOOTH1,924 SF04METAL PANEL - FASCIA / PARPET CAPMETAL SALESDARK GREYSMOOTHI05METAL PANEL - COLUMN WRAPMETAL SALESNAVY BLUESMOOTHI06MECHANICAL SCREENMETAL SALESDARK GREYPERFERATED	LENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGE01METAL PANEL CLADDING W'ACHITECTURAL RAINSCREENFUNDERMAXLOFTCONCRETE4,349 SF39%02METAL PANEL - FASCIAMETAL SALESDARK BRONZESMOOTH1,924 SF17%03METAL PANEL W/ RACHITECTURAL RAINSCREENMETAL SALESDARK GREYSMOOTH1,924 SF17%04METAL PANEL - FASCIA/ PARPET CAPMETAL SALESDARK GREYSMOOTH1,924 SF17%05METAL PANEL - COLUMN WALLMETAL SALESDARK GREYSMOOTHIII06MECHANICAL SCREEN WALLMETAL SALESDARK GREYPERFERRATED PANELIII06MECHANICAL SCREENMETAL SALESDARK GREYPERFERRATED PANELIII	ENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGE01METAL PANEL CLADDING W'ACHITECTURAL RAINSCREENFUNDERMAXLOFTCONCRETE4,349 SF39%IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	ENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGEICINALLEGEND01METAL PANEL CLADDING WI ACHITECTURAL RAINSCREENFUNDERMAXLOFTCONORETE4,349 SF39%IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	ENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGEICCCLEGENDDESCRIPTION01METAL PANEL CLADDING WACHTECTURAL RAINSCREENFUNDERMAXLOFTCONCRETE4.349 SF39%IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	ENDDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGELEGENDLEGENDDESCRIPTIONMANUFACTURER01METAL PANEL CLADDING RAINSCREENFUNDERMAXLOFTCONCRETE4.349 SF39%Image: ConcreteSTN-01STONE VENEER W/ ACHITECTURAL RAINSCREENSTONE VENEER W/ ACHITECTURAL RAINSCREENNortal SalesDark BRONZESMOOTHImage: Concrete39%Image: ConcreteSTC-01STUCCO FINISHLOCAL CONTRACTOR02METAL PANEL - FASCIAMETAL SALESDARK BRONZESMOOTH1,924 SF17%Image: ConcreteAl-01Exterior ALUMINUM STORE FRONTAvALANCHE04METAL PANEL - FASCIA/ PARPET CAPMETAL SALESDARK GREYSMOOTHImage: ConcreteSMOOTHImage: ConcreteSMOOTHImage: ConcreteSMOOTHImage: ConcreteAl-01Exterior ALUMINUM STORE FRONTAvALANCHE05METAL PANEL - COLUMNMETAL SALESDARK GREYSMOOTHImage: ConcreteSMOOTHImage: ConcreteSMOOTH<	PERCENTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGELEGENDDESCRIPTIONMANUFACTURERCOLOR01METAL PANEL CLADDING RANGCREENFUNDERMAXLOFTCONCRETE4,349 SF39%STONESTONESTONE VENEER W/ ACHITECTURAL RANGCREENSTONE VENEER W/ ACHITECTURAL RANGCREENRIO GRANDENATURAL STONE02METAL PANEL -FASCIAMETAL SALESDARK BRONZESMOOTHH.349 SF39%STONESTC.01STUCCO FINISHLOCAL CONTRACTORLIGH TAN03METAL PANEL -FASCIAMETAL SALESDARK GREYSMOOTH1,924 SF17%STONEAL-01EXTERIOR ALUMINUM STOREFRONTAVALANCHEALUMINUM AVALANCHEAVALANCHEALUMINUM AVALANCHE04METAL PANEL -FASCIAMETAL SALESDARK GREYSMOOTH1,924 SF17%STONESTONESTONEALUMINUM STOREFRONTAVALANCHEAUMINUM AVALANCHEAVALANCHEAUMINUM AVALANCHEAVALANCHEAUMINUM AVALANCHEAVALANCHEAUMINUM AVALANCHEAVALANCHEDARK BRONZE05METAL PANEL -COLUMNMETAL SALESNAVY BLUESMOOTHI.SENTENI.SENTENSSMR-01STANDING SEAM METALMETAL SALESDARK GREY05METAL PANEL -COLUMNMETAL SALESNAVY BLUESMOOTHI.SENTENI.SENTENSSMR-01STANDING SEAM METALMETAL SALES06METAL PANEL -COLUMNMETAL SALESDARK GREYPERFERATEI.SENTENI.SENTENSSMR-01 <td>EADDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGEICCLEGENDDESCRIPTIONMANUFACTURERCOLORTEXTURE01METAL PANEL CADDING RAINSCREENFUNDERMAXLOFTCONCRETE4.349 SF39%IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII</td> <td>DESCRIPTION MANUFACTURER COLOR TEXTURE SQUARE FOOTAGE PERCENTAGE LEGEND DESCRIPTION MANUFACTURER COLOR TEXTURE SQUARE FOOTAGE 01 METAL PANEL CLADDING NANSCREEN FUNDERMAX LOFT CONCRTE 4,349 SF 39% STN-01 STN-01 STONE VECTURAL ACRIMECTURAL NANSCREEN RIG GRANDE NATURAL DRY STACKED 1,947 SF 02 METAL PANEL -FASCIA METAL SALES DARK BRONZE SMOTH A A A STONE STUCO FINISH LOCAL CONTRACTOR LIGH TAN STUCCO 1,110 SF 03 METAL VAALL PANEL -FASCIA METAL SALES DARK GREY SMOTH 1,924 SF 17% STORE AL01 EXTERIOR ALUMINUM LETTERING ALUMINUM ARCHTEGTURAL RAINSCREEN <td< td=""></td<></td>	EADDESCRIPTIONMANUFACTURERCOLORTEXTURESQUARE FOOTAGEPERCENTAGEICCLEGENDDESCRIPTIONMANUFACTURERCOLORTEXTURE01METAL PANEL CADDING RAINSCREENFUNDERMAXLOFTCONCRETE4.349 SF39%IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	DESCRIPTION MANUFACTURER COLOR TEXTURE SQUARE FOOTAGE PERCENTAGE LEGEND DESCRIPTION MANUFACTURER COLOR TEXTURE SQUARE FOOTAGE 01 METAL PANEL CLADDING NANSCREEN FUNDERMAX LOFT CONCRTE 4,349 SF 39% STN-01 STN-01 STONE VECTURAL ACRIMECTURAL NANSCREEN RIG GRANDE NATURAL DRY STACKED 1,947 SF 02 METAL PANEL -FASCIA METAL SALES DARK BRONZE SMOTH A A A STONE STUCO FINISH LOCAL CONTRACTOR LIGH TAN STUCCO 1,110 SF 03 METAL VAALL PANEL -FASCIA METAL SALES DARK GREY SMOTH 1,924 SF 17% STORE AL01 EXTERIOR ALUMINUM LETTERING ALUMINUM ARCHTEGTURAL RAINSCREEN ALUMINUM ARCHTEGTURAL RAINSCREEN <td< td=""></td<>





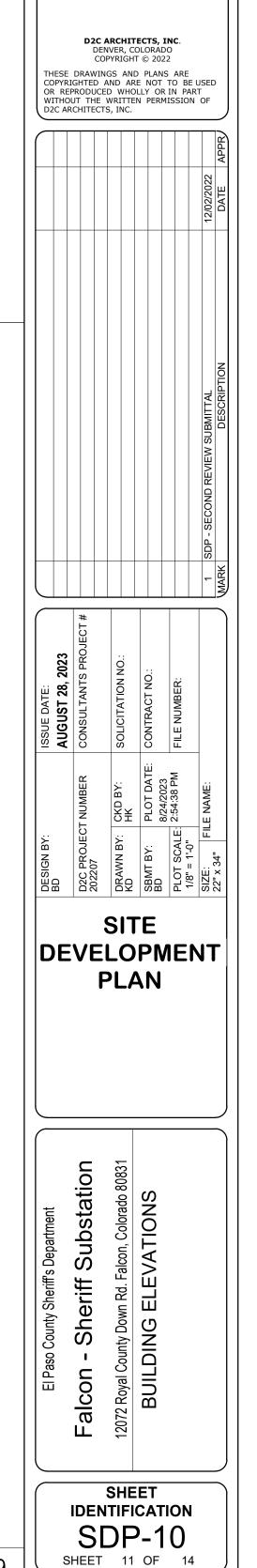


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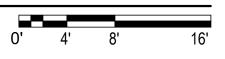
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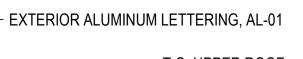
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D2

ARCHITECTS





T.O. UPPER ROOF NG. EL. = 123'-0"

LOWER ROOF EL. = 116'-0"

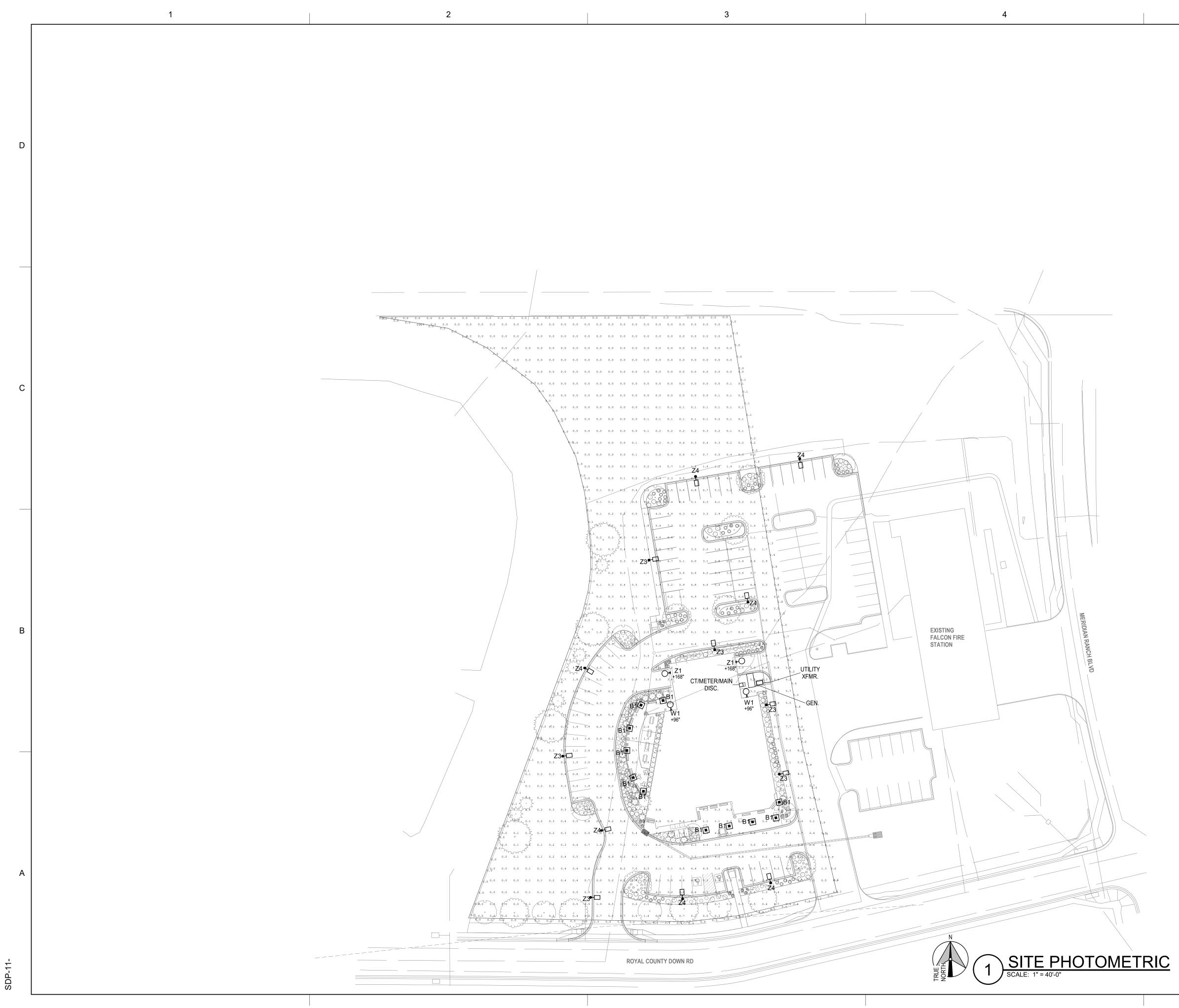
T.O. METAL DECK EL. = 114'-0"

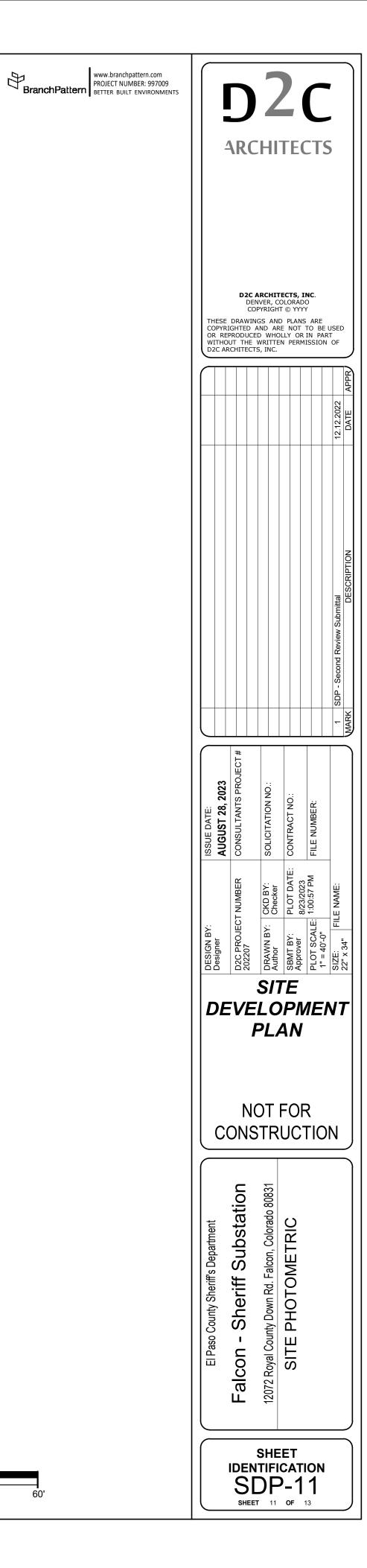
– METAL PANEL WRAP, MP-05

_METAL PANEL CLADDING W/ RAINSCREEN, MP-01___ EL. = 100'-0"

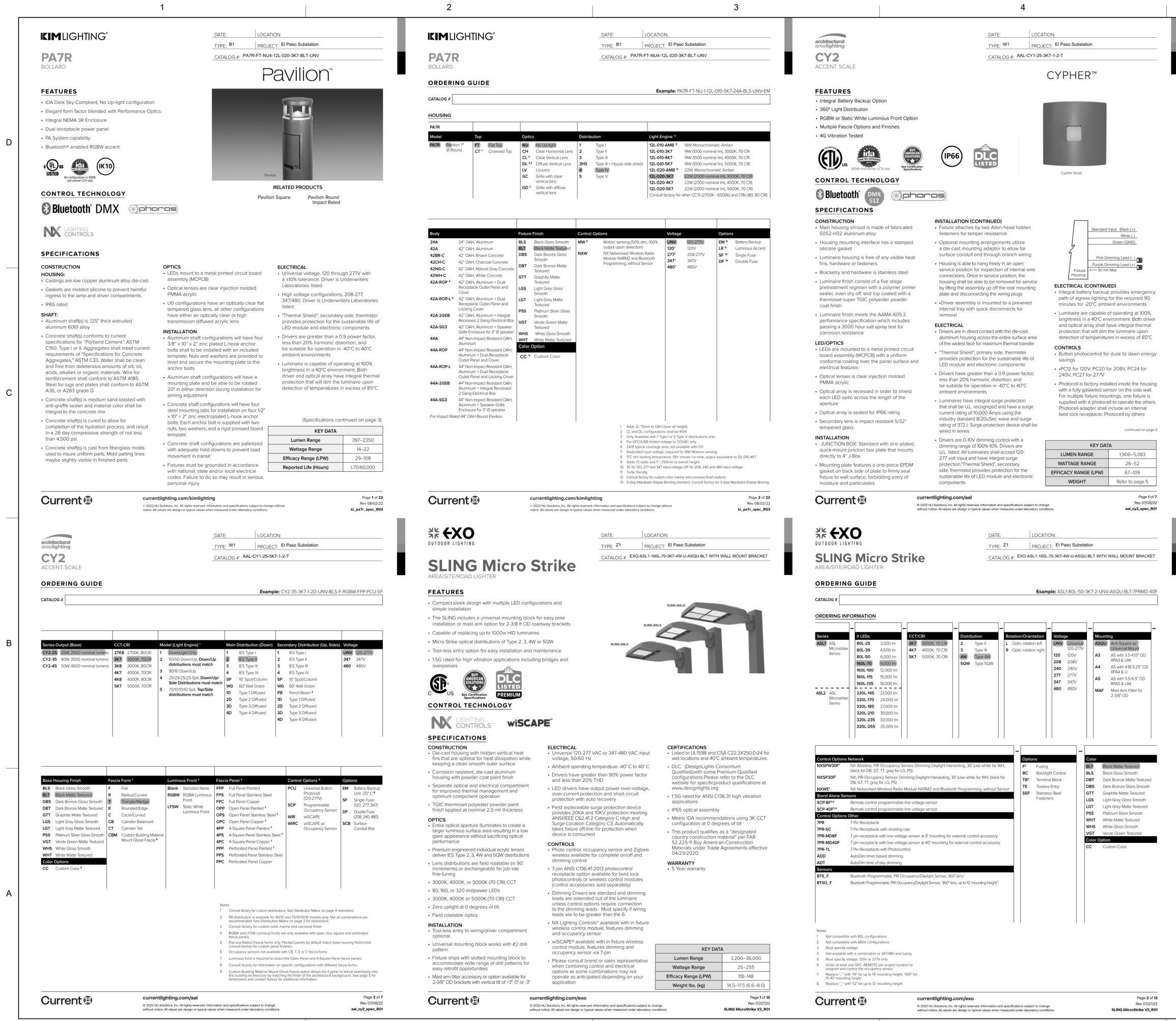
> 0' 4' 8' 16'

PCD FILE # PPR-22-59





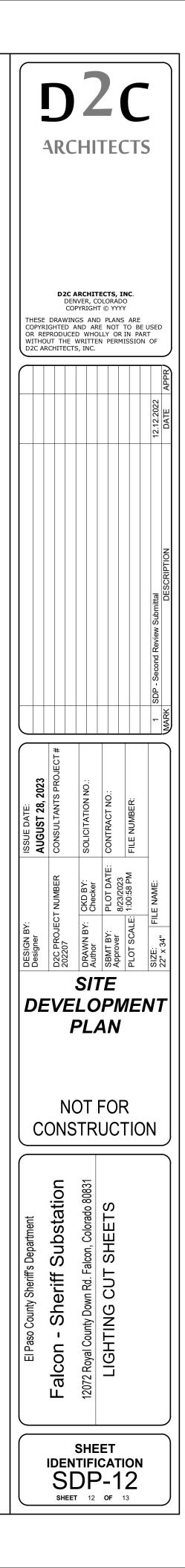
0' 15' 30'



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KEY DATA					
Lumen Range	3,200–36,000				
Wattage Range	25–255				
Efficacy Range (LPW)	118–148				
Weight lbs. (kg)	14.5–17.5 (6.6–8.0)				
	Page 1 of 12				

KEY DATA					
LUMEN RANGE	1,906–5,083				
WATTAGE RANGE	26–52				
ICACY RANGE (LPW)	67–109				
WEIGHT	Refer to page 5				



5

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BranchPattern BETTER BUILT ENVIRONMENTS

PROJECT NUMBER: 997009

SELING Micro AREA/SITE/ROAD LIGHTER FEATURES • Compact sleek design with multiple LED co simple installation • The SLING includes a universal mounting bi installation or mast arm option for 2-3/8 ft O	CATALOG #: EXO-ASL1-1	BECT: El Paso Substation 60L-135-3K7-3/4W-U ON A 17' SQUARE POLE	DATE: LOCATION: TYPE: Z3, Z4 PROJECT: EI Paso Substation CATALOG #: EXO-ASL1-160L-135-3K7-3/4W-U ON A 17' SQUARE POLE
 Capable of replacing up to 1000w HID lumin Micro Strike optical distributions of Type 2, 3 Tool-less entry option for easy installation a 1.5G rated for high vibration applications incoverpasses 	aires 4W or 5QW sling (Asl.1) and maintenance		Series # LEDs CCT/CRI Distribution Rotation/Orientation Voltage Mounting ASL1 ASL Microstrike Series 80L-25 3,000 lm 3K7 3000K, 70 CRI 2 Type II L Optic rotation left UNV Universal 120-277V ASQU Arm Square w/ Universal Mount Microstrike Series 80L-25 3,000 lm 5K7 5000K, 70 CRI 2 Type III R Optic rotation left UNV Universal 120-277V ASQU Arm Square w/ Universal Mount 160L-70 9,000 lm 5K7 5000K, 70 CRI 5W Type 5QW Figure 5QW A AS with 3.5-4.13° OD RPA3 & U A4 As with 4.18-5.25° OD RPA4 & U
CONTROL TECHNOLOGY			I60L-115 15,000 lm I60L-135 18,000 lm I60L-135 18,000 lm ASL2 ASL Microstrike 320L-145 21,000 lm 320L-185 27,000 lm 320L-185 27,000 lm 320L-210 30,000 lm 320L-235 33,000 lm
 SPECIFICATIONS SPECIFICATIONS CONSTRUCTION Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation whikkeeping a clean smooth outer surface Corrosion resistant, die-cast aluminum housing with powder coat paint finish Separate optical and electrical compartmern for improved thermal management and optimum component operation TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness OPTICS Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance Premium engineered individual acrylic lenses deliver IES Type 2, 3, 4W and 5GW distribution increments) or exchangeable for job site fine-tuning 3000K, 4000K, or 5000K (70 CRI) CCT 80, 160, or 320 midpower LEDs 3000K, 4000K or 5000K (70 CRI) CCT Zero uplight at 0 degrees of tilt Field rotatable optics DISTALLATION Universal mounting block works with #2 drill pattern 	 ELECTRICAL Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz Ambient operating temperature -40° C to 40° C Drivers have greater than 90% power factor and less than 20% THD LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery Field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately) Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6 NX Lighting Controls[®] available with in fixture wireless control module, features dimming and occupancy sensor wiSCAPE® available with in fixture wireless 	<section-header><section-header><section-header><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></section-header></section-header></section-header>	320L-255 35,000 Im 320L-255 35,000 Im Control Options Network P MXSPW30F NX:Wireless, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30' (use white for WH, black for B, G, TT, gray for LG, PS) MXSP30F NX:W Roccupancy Sensor, Dimming Daylight Harvesting, 30' (use white for WH, black for B, G, TT, gray for LG, PS) MXWF NXWF Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor Stand Mone Sensor Emminal Block TE School Sensor School programmable line voltage sensor Econtrol Options Other TPR MDSF Pin Receptade with shorting cap Control Options Other TPR-MDSF Pin Receptade with shorting cap Sensor TPR-MDSF Pin Receptade with shorting cap Control Options Other TPR-MDSF Pin Receptade with how voltage sensor at 8' mounting for external control accessory Pin Receptade with how voltage sensor at 8' mounting for external control accessory TPR-TL TPIn Receptade with Programmable, PR OccupancyDaylight Sensor, 360' lens, up to 12' mounting height* Color Sensor Buetooth Programmable, PR OccupancyDaylight Sensor, 360' lens, up to 12' mounting height* Color Option Not compatible with BBL configurations Si vanishiek with aBDL configurations
 Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities Mast arm fitter accessory or option available for 2-3/8" OD brackets with vertical tilt of +3°, 0° or - 	options as some combinations may not operate as anticipated depending on your	Lumen Range 3,200–36,000 Wattage Range 25–255 Efficacy Range (LPW) 118–148 Weight Ibs. (kg) 14.5–17.5 (6.6–8.0) Page 1 of 12 Rev 07/27/22	 Must specify voltage, 120V or 277V only Order at least one SPC_REMOTE per project location to program and control the occupancy sensor Replace *_" with "14" for up to 14" mounting height, "40F" for 15-40" mounting height Replace *_" with "12" for up to 12' mounting height Replace *_" with "12" for up to 12' mounting height Currentlighting.com/exo © 2022 HLI Solutions, Inc. All rights reserved. Information and specifications subject to change
	without notice. All values are design or typical values when measured under laboratory cor	nditions. SLING MicroStrike V2_R01	without notice. All values are design or typical values when measured under laboratory conditions.

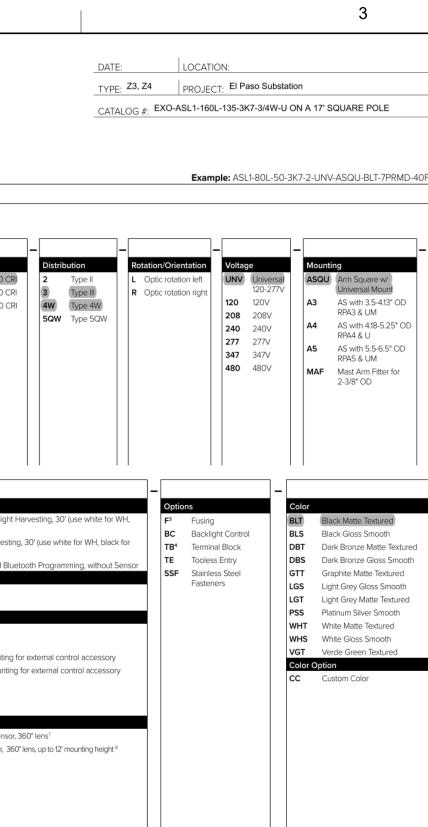
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В

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SDP-13-

А



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