

PRELIMINARY PLAT - DATE JOINT VENTURE SUBDIVISION

LOTS 19 AND 21, BLOCK THREE, 'PARK VISTA ADDITION', BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TO THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

Lot 1
PARK VISTA
ADDITION
FILING NO. 2
(Reception No.
201174673)
CITY "PBC/CR" ZONE

Lot 2
MAZARIEGOS SUBDIVISION
(Reception No. 220714652)
CITY "R5" ZONE

Proposed Lot 4
3,600 SQ. FT.

Proposed Lot 3
3,600 SQ. FT.

Proposed Lot 2
3,600 SQ. FT.

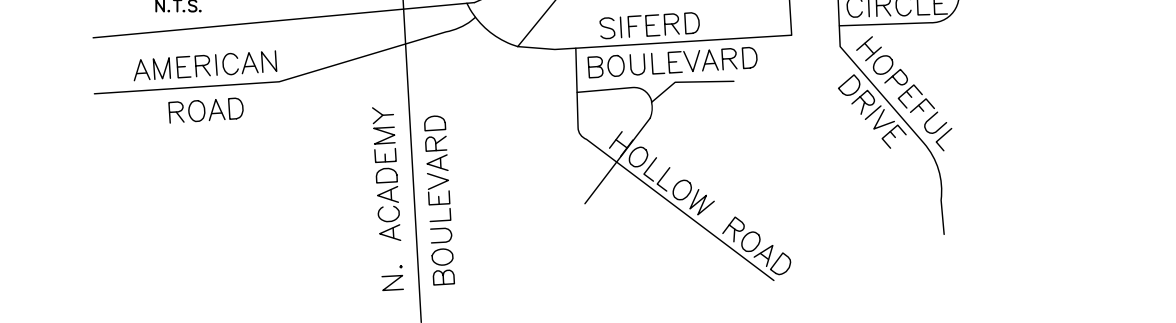
Proposed Lot 1
3,600 SQ. FT.

Block 3
PARK VISTA ADDITION
(Plat Book W, Page 69)
CITY "R5" ZONE

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FINAL PLAT	5 OF 5

VICINITY MAP



LEGEND

- ⊙ - EXISTING SANITARY SEWER MANHOLE
- ⊕ - EXISTING WATER VALVE
- ⊖ - EXISTING ELECTRIC VAULT
- ⊛ - EXISTING FIRE HYDRANT
- ⊚ - EXISTING POWER POLE
- ▭ - EXISTING ASPHALT
- - EXISTING CONTOURS
- ☼ - EXISTING CONIFEROUS/DECIDUOUS TREES
- ⊗ - EXISTING FENCE (AS NOTED)

LEGAL DESCRIPTION:

4207 and 4215 DATE STREET
A portion of the Northwest Quarter of Section 26, Township 13 South, Range 66 West of the 6th P.M., situate in the City of Colorado Springs, El Paso County, Colorado, described as follows:

Lots 19 and 20, Block Three, PARK VISTA ADDITION (Plat Book W, Page 69, El Paso County, Colorado records) . . . to be platted as: DATE JOINT VENTURE SUBDIVISION, Lots 1 through 4;

Containing 0.331 acres (14,400 square feet), more or less.

APPLICANT/PROPERTY OWNER:

DATE JOINT VENTURE, 1228 S. BANNOCK ST DENVER CO, 80223-3202,
80918-1601 PHONE: (719) 499-6794

NOTES:

- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map, Map Number 08041C519 G, effective date December 7, 2018, indicates this parcel of land is located in Zone X "white" (area determined to be out of the 500 year flood plain).
- An Avigation Easement affecting the subject property and development is therein established by the DATE JOINT VENTURE SUBDIVISION subdivision plat. The easement is subject to the terms and conditions as specified in the instrument recorded under Reception No. 217069667 of the records of El Paso County, Colorado.
- Preliminary Final Plat is required by City Code as the accompanying document with annexation and zone change. With this Preliminary Final Plat capturing details needed for review of entitlement, and due to the reduced scope, the required development plan has been waived by the Planning Manager (§7.5.50(C)) This Preliminary Final Plat details the schematic design for the subject property. A standard Site Plan review is still required through the City Development Review Enterprise prior to issuance of building permit.
- Date of Preliminary Plat: February 10, 2021, with subsequent City comment revisions.
- There are no proposed improvements, drainage facilities or water quality features associated with Annexation of the property. Therefore, there will be no changes in proposed imperviousness, and no effect on existing drainage patterns as shown in the previously approved Templeton Gap Drainage Basin Study and the Master Development Drainage Plan for Park Vista Subdivision. A Drainage Letter will be required for construction activities on the site.
- New residential units trigger the Park and School Land Dedication Ordinance. Parkland fees in lieu of land will be collected. School fees will be collected.
- Lot owner/developer will be required to construct curb, gutter (Type 1), widening the asphalt pavement mat, City Standard D-16B unit driveway aprons and 5' detached public sidewalk along the Northwesterly side frontage of this property and matching existing street cross-section at the time of lot construction. These improvements shall be installed by the property owner, unless acceptable monetary assurances are allowed, and/or completed no later than issuance of Certificate of Occupancy.
- City Code requires an accompanying document with annexation and zone change. With this Preliminary Plat capturing details needed for review of entitlement, and due to reduced scope, the required development plan has been waived by the Planning Manager §7.5.50(C) This plan details the schematic design for the subject property. A standard site plan review is still required through the City Development Review Enterprise prior to issuance of building permit.
- Plan and profile construction plans are required for any public improvements to be installed and will be submitted to Engineering Development Review Division and Traffic Engineering for review and approval.

PRELIMINARY COPY
SUBJECT TO
CITY APPROVAL

CITY FILE NUMBER: CPC _____

According to Colorado law, legal action based upon any defect in this survey within five years after you first discover the defect, in no event, may any action based upon any defect in this survey be brought more than ten years from the date of the certification shown hereon.

CALL BEFORE YOU DIG . . .
811
DIAL 811
48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS FOR LOCATING AND MARKING GAS, ELECTRIC, WATER AND WASTEWATER

No.	Description	By	Date

H Scale: 1" = 10'
V Scale: N/A
Designed By: N/A
Drawn By: BRH
Checked By: DVH
Date: 02/10/21

Land Development Consultants, Inc.
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PRELIMINARY PLAT - DATE JOINT VENTURE SUBDIVISION

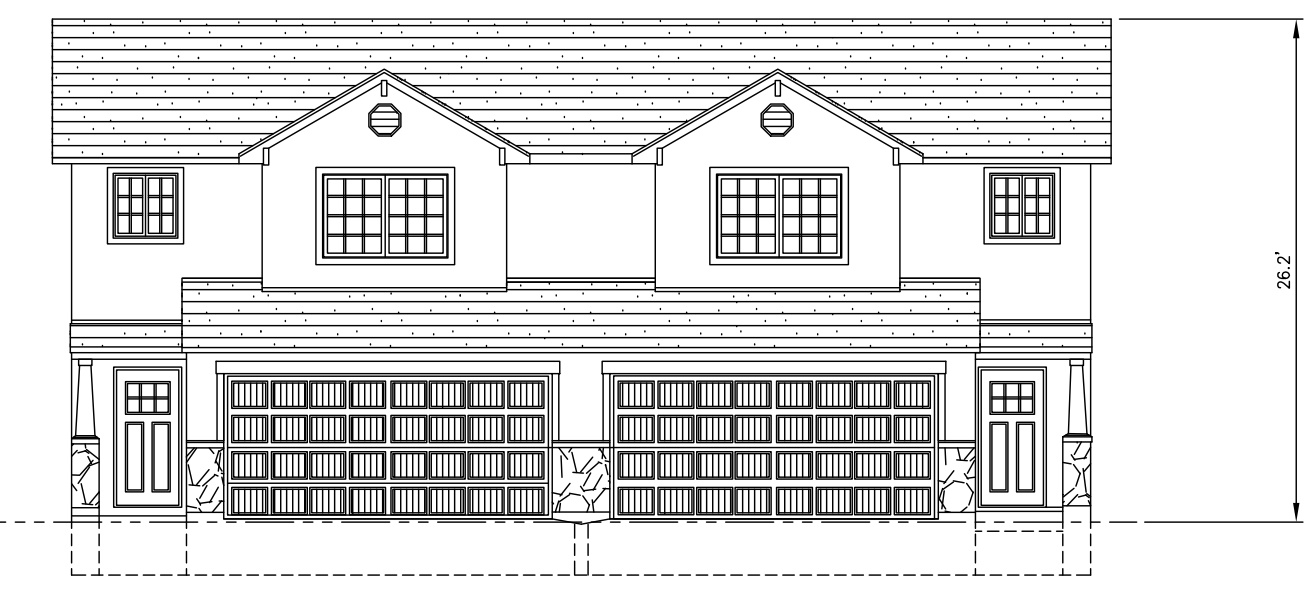
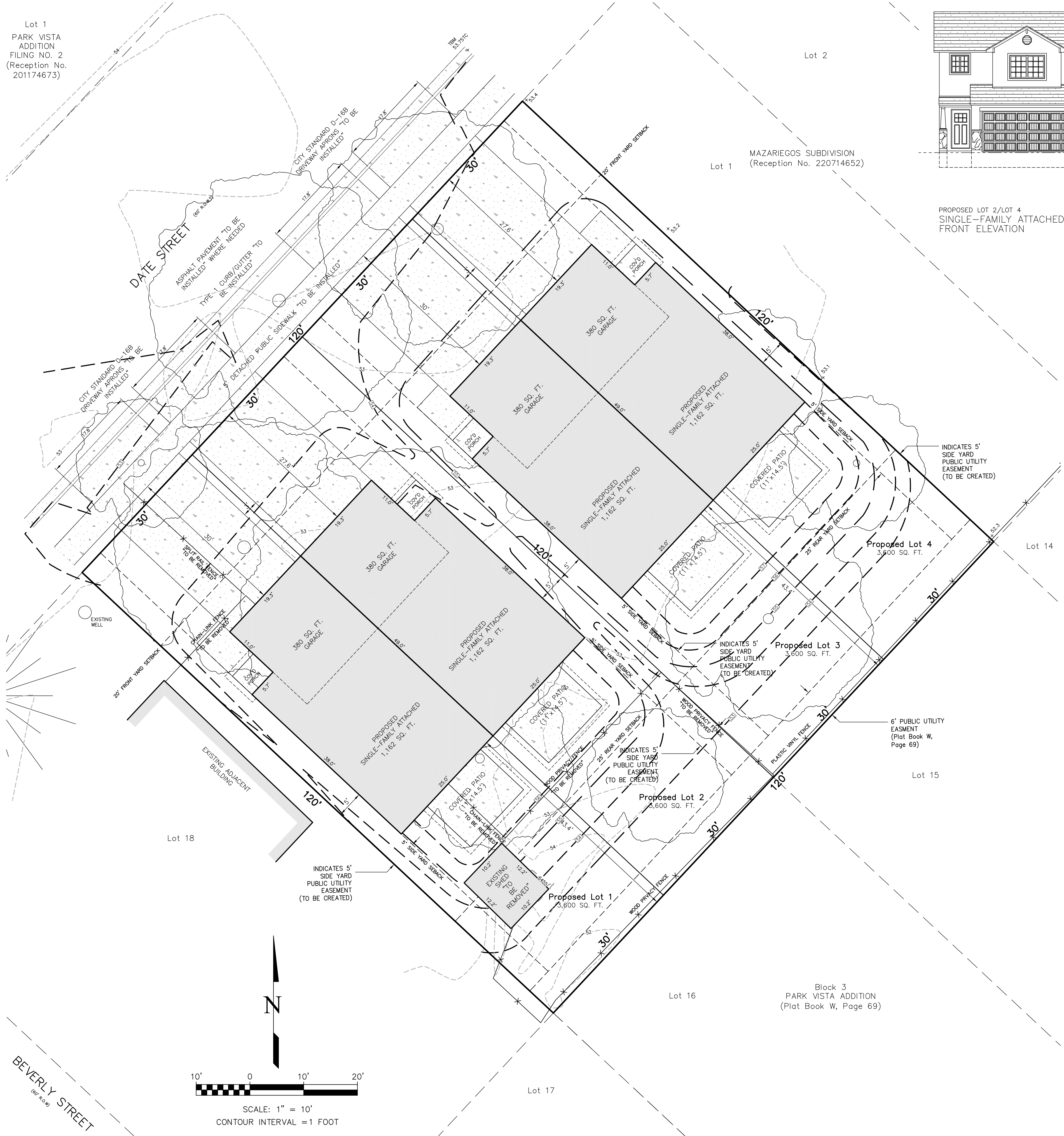
Project No.: 20025

Sheet: 1 of 1

C:\000002025\025 Date: 02/10/21 10:52:49 AM SITE PLAN PRELIMINARY PLAT 01-13-21.dwg

SITE PLAN - DATE JOINT VENTURE SUBDIVISION

Lot 1
PARK VISTA
ADDITION
FILING NO. 2
(Reception No.
201174673)



PROPOSED LOT 2/LOT 4 SINGLE-FAMILY ATTACHED FRONT ELEVATION
PROPOSED LOT 1/LOT 3 SINGLE-FAMILY ATTACHED FRONT ELEVATION
SCALE 1" = 10'

- LEGEND:**
- TBM = TEMPORARY BENCH MARK
 - 01.0 + = EXISTING GRADING SPOT ELEVATION
 - = PROPOSED CONTOURS
 - - - = EXISTING CONTOURS
 - ☼ = EXISTING CONIFEROUS/DECIDUOUS TREES
 - X = EXISTING FENCE (AS NOTED)

PROPERTY DESCRIPTION: 4207 and 4215 DATE STREET
A portion of the Northwest Quarter of Section 26, Township 13 South, Range 66 West of the 6th P.M., situate in the City of Colorado Springs, El Paso County, Colorado, described as follows:
Lots 19 and 20, Block Three, PARK VISTA ADDITION (Plat Book W, Page 69, El Paso County, Colorado records);
Containing 0.331 acres (14,400 square feet), more or less.
to be platted as: DATE JOINT VENTURE SUBDIVISION, Lots 1 through 4

APPLICANT/PROPERTY OWNER:
DATE JOINT VENTURE, 1228 S. BANNOCK ST DENVER CO, 80223-3202,
80918-1601 PHONE: (719) 499-6794

BENCHMARK:
SITE BENCHMARK: 2" FIMS CAP MARKED "ABA3" IN CONCRETE ELECTRIC VAULT LOCATED ON 4275 NORTH ACADEMY BOULEVARD. ELEVATION = 6429.20 "NAVD88" DATUM.

NOTES:
ESTABLISH TOP OF FOUNDATION IN FIELD PER PLAN. ADJACENT LOT "AS GRADED" CONDITIONS COULD REQUIRE TOP OF FOUNDATION ELEVATION ADJUSTMENT, RETAINING WALLS ALONG SIDE/REAR LOT LINES AND/OR SPECIFIC EROSION CONTROL MEASURES. FOUNDATION EXCAVATIONS COULD REQUIRE OVERDIGS AND STRUCTURAL FILL REPLACEMENT. ALL STRUCTURAL ENTITIES TO BE REVIEWED BY SOILS, STRUCTURAL AND/OR CIVIL ENGINEER.
THIS IS NOT A LAND SURVEY PLAT . . . FOR CONSTRUCTION PURPOSES ONLY.
NEW RESIDENTIAL UNITS TRIGGER THE PARK AND SCHOOL LAND DEDICATION ORDINANCE. PARKLAND FEES IN LIEU OF LAND WILL BE COLLECTED. SCHOOL FEES WILL BE COLLECTED.
LOT OWNER/DEVELOPER WILL BE REQUIRED TO CONSTRUCT CURB, CUTTER (TYPE 1), WIDENING THE ASPHALT PAVEMENT MAT, CITY STANDARD D-16B UNIT DRIVEWAY APRONS AND 5' DETACHED PUBLIC SIDEWALK ALONG THE NORTHWESTERLY SIDE FRONTAGE OF THIS PROPERTY AND MATCHING EXISTING STREET CROSS-SECTION AT THE TIME OF LOT CONSTRUCTION. THESE IMPROVEMENTS SHALL BE INSTALLED BY THE PROPERTY OWNER, UNLESS ACCEPTABLE MONETARY ASSURANCES ARE ALLOWED, AND/OR COMPLETED NO LATER THAN WITH ISSUANCE OF CERTIFICATE OF OCCUPANCY.
PLAN AND PROFILE CONSTRUCTION PLANS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS TO BE INSTALLED AND WILL BE SUBMITTED TO ENGINEERING DEVELOPMENT REVIEW DIVISION AND TRAFFIC ENGINEERING FOR REVIEW AND APPROVAL.

- SITE DATA:**
- 1) EXISTING ZONING: EL PASO COUNTY RM-30
 - 2) PROPOSED ZONING: CITY OF COLORADO SPRINGS R5, MULTI-FAMILY RESIDENTIAL
 - 3) USE: SINGLE-FAMILY ATTACHED
 - 4) TAX SCHEDULE NO'S. = 63262-03-069 and 63262-03-068
 - 5) LOT SQ. FT. (EACH LOT) = 3,600
 - 6) EACH UNIT SQ. FT. = 1,350 (INCLUDES COVERED 5'X5' PORCH/11'X14.5' PATIO AND GARAGE)
 - 7) EACH UNIT COVERAGE = 37.5% (40% MAXIMUM ALLOWED)
 - 8) BUILDING HEIGHT = 26.2' (40' MAX.)
 - 9) GARAGE SETBACK AREA EACH LOT SQ. FT. = 600
DRIVEWAY WITHIN GARAGE SETBACK AREA SQ. FT. = 356
DRIVEWAY COVERAGE = 59.3%
 - 10) MINIMUM SETBACKS:
FRONT: 20'
REAR: 25'
SIDE: 5'

PRELIMINARY COPY
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According to Colorado law, legal action based upon any defect in this survey must be commenced within one year after the date of the first discovery of the defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

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48 HOURS BEFORE YOU DIG. CALL UTILITY LOCATORS FOR LOCATING AND MARKING GAS, ELECTRIC, WATER AND WASTEWATER.

No.	REVISIONS Description	By	Date

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SITE PLAN
4207/4215 DATE STREET

Project No.: 20025
Sheet: 1 of 1

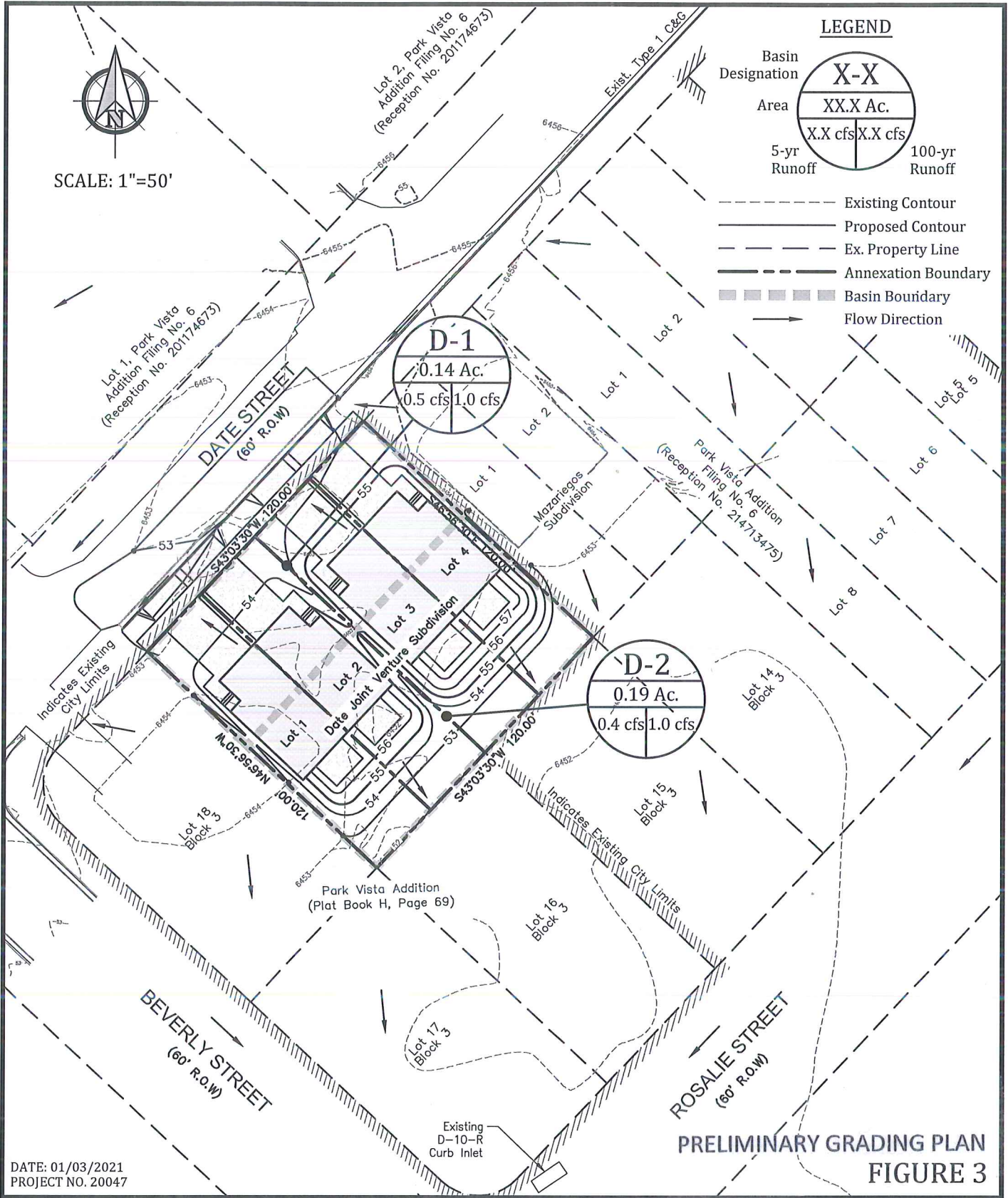
CITY FILE NUMBER: CPC _____



SCALE: 1"=50'

LEGEND

- | | |
|-------------------|----------|
| Basin Designation | X-X |
| Area | XX.X Ac. |
| 5-yr Runoff | X.X cfs |
| 100-yr Runoff | X.X cfs |
- - - Existing Contour
 - Proposed Contour
 - - - Ex. Property Line
 - Annexation Boundary
 - Basin Boundary
 - Flow Direction



DATE: 01/03/2021
PROJECT NO. 20047

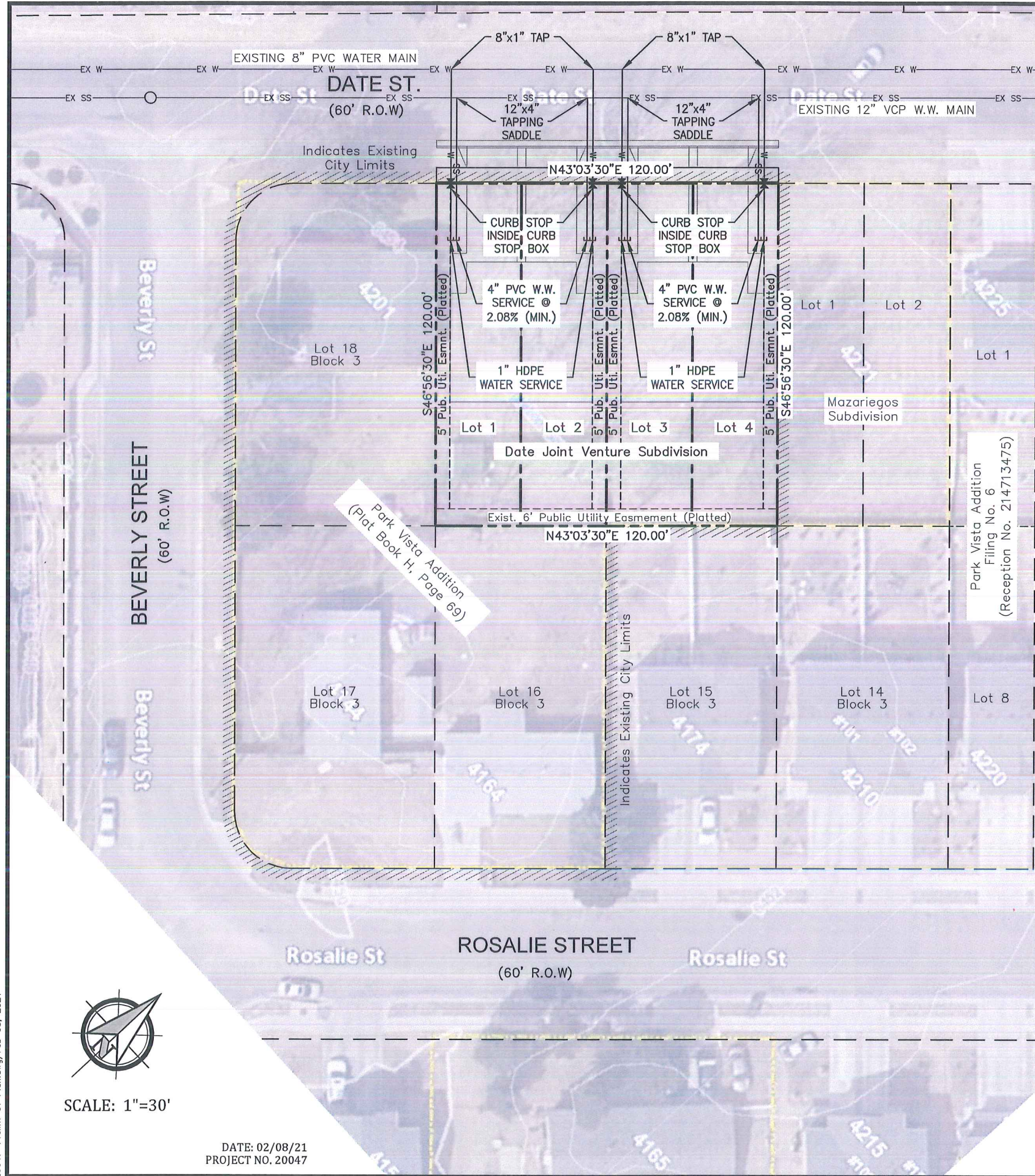
**PRELIMINARY GRADING PLAN
FIGURE 3**

Figures 1-3.dwg/Feb 02, 2021

Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

Date Joint Venture Subdivision
A Replat of Lots 19 & 20, Block 3 Park Vista Addition
Developed Drainage Conditions
4207 & 4215 Date Street, Colorado Springs, CO 80917

CITY FILE NO. CPC PFF



General Notes for Preliminary Utility Plans

Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:

1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric, and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
2. Property Owner(s) ("Owner") acknowledge that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities Line Extension and Service Standards ("Standards"), tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
3. Owner acknowledges responsibility for the costs of extension or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities Rules and Regulations.
4. Springs Utilities utility services are available on a "first-come, first served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application permanent service is approved by Springs Utilities.
5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
6. Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
7. The water system facilities must meet the Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Water Line Extension and Service Standards).
8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
9. Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval gas-service-line pressures in excess of Springs Utilities standard gas-system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
10. It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easements, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access to maintain utility facilities.
11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates, and policies of Springs Utilities.

20047-Prelim UT Plan.dwg / Feb 08, 2021



SCALE: 1"=30'

DATE: 02/08/21
PROJECT NO. 20047

Kiowa
Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado 80904
(719) 630-7342

Date Joint Venture Subdivision
A Replat of Lots 19 & 20, Block 3 Park Vista Addition
Preliminary Utility Services Plan
4207 & 4215 Date Street, Colorado Springs, CO 80917

CITY FILE NO. CPC PFP _____

DATE JOINT VENTURE SUBDIVISION

A REPLAT OF LOTS 19 AND 21, BLOCK THREE, 'PARK VISTA ADDITION', BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH P.M., TO THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO

KNOW ALL MEN BY THESE PRESENTS: That DATE JOINT VENTURE, being the owners of the following described tract of land, to wit:

A portion of the Northwest Quarter of Section 26, Township 13 South, Range 66 West of the 6th P.M., situate in the City of Colorado Springs, El Paso County, Colorado, described as follows:

Lots 19 and 20, Block 3, PARK VISTA ADDITION (Plat Book W, Page 69, El Paso County, Colorado records);

Containing 0.331 acres (14,400 square feet), more or less.

DEDICATION:

The above owner has caused said tract of land to be surveyed and replatted into lots, a public improvements easement, and easements as shown on the accompanying plat. The undersigned does hereby dedicate, grant, and convey to the City of Colorado Springs those Public Easements as shown on the plat, and further restricts the use of all said Public Easements to the City of Colorado Springs and/or its assigns, provided however, that the sole right and authority to release or quit claim all or any such Public Easements shall remain exclusively vested in the City of Colorado Springs. This tract of land as herein replatted shall be known as DATE JOINT VENTURE SUBDIVISION, in the City of Colorado Springs, County of El Paso, State of Colorado.

OWNER STATEMENT:

The aforementioned, DATE JOINT VENTURE, as owners, have executed this instrument this _____ day of _____, 20____ A.D.

Robert Ormston, MANAGER of DATE JOINT VENTURE

Scott Hente, MANAGER of DATE JOINT VENTURE

Ray Shea, MANAGER of DATE JOINT VENTURE

NOTARY STATEMENT:

STATE OF COLORADO }
COUNTY OF EL PASO }SS

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ A.D., by Robert Ormston, Scott Hente and Ray Shea, MANAGERS of DATE JOINT VENTURE..

Witness my hand and official seal

My commission expires _____ Notary Public

LIEN HOLDER:

_____ has executed this instrument this _____ day of _____, 20____ A.D., by _____ as _____ of _____ an _____

NOTARY STATEMENT:

STATE OF COLORADO }
COUNTY OF EL PASO }SS

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ A.D., by _____ as _____ of _____

Witness my hand and official seal

My commission expires _____ Notary Public

EASEMENTS:

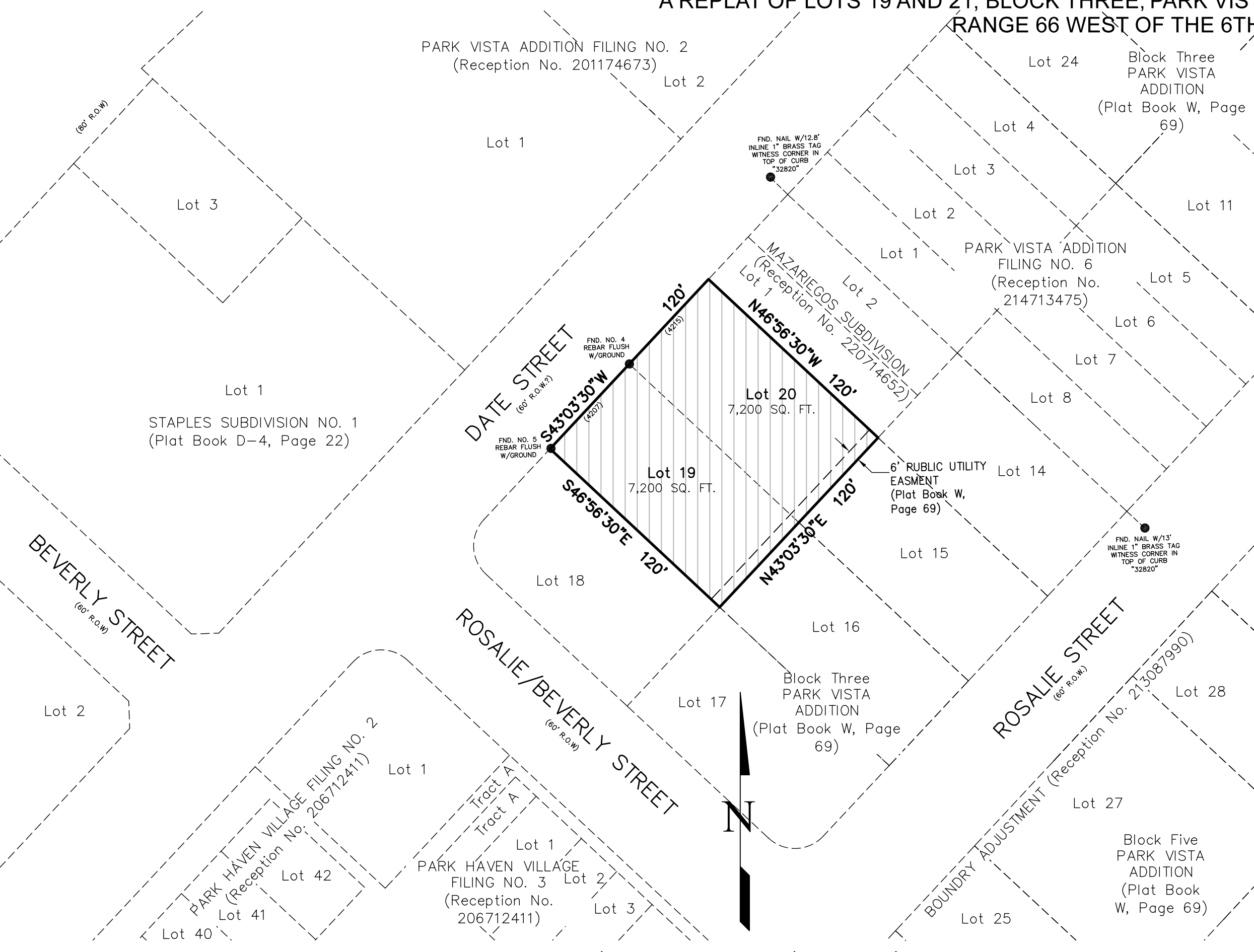
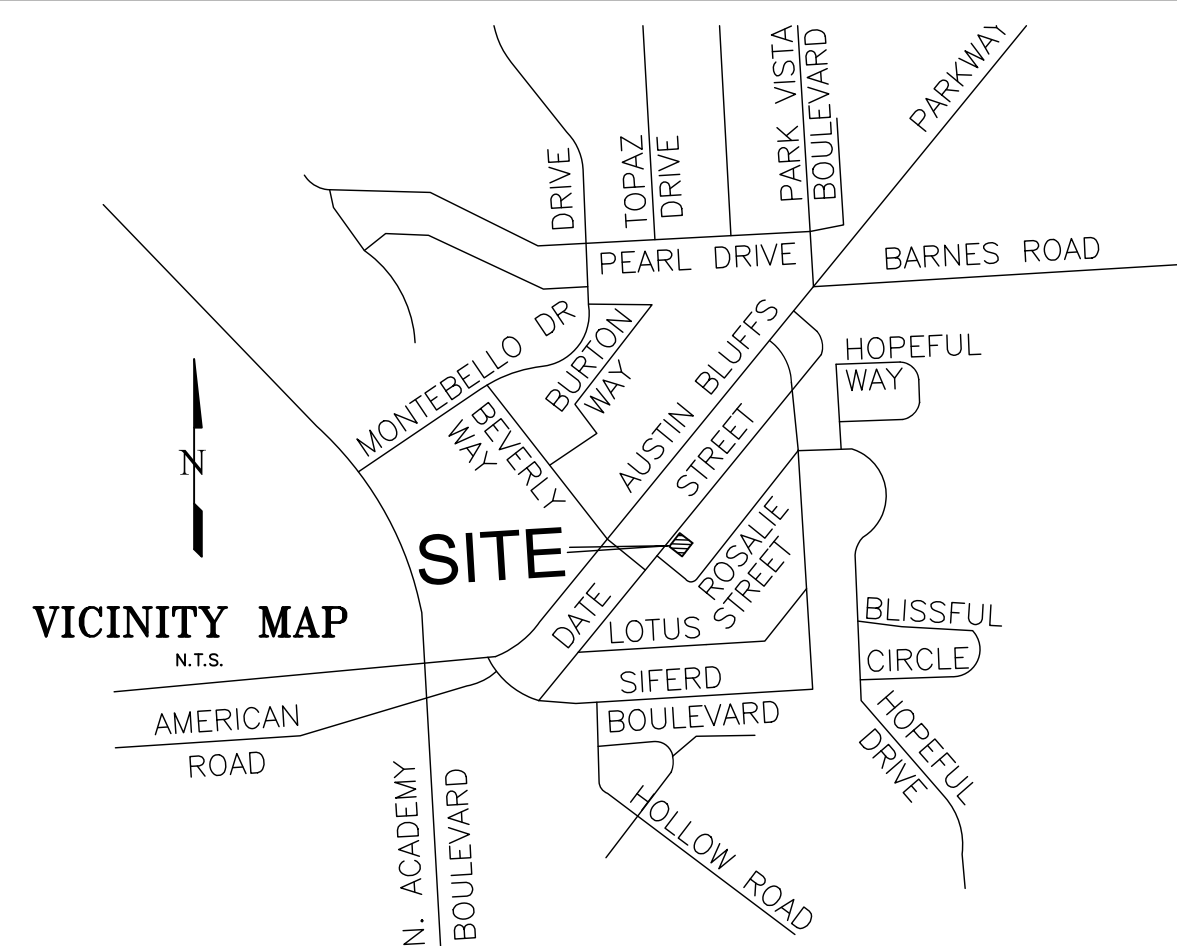
As shown, with the sole responsibility for maintenance being vested with the property owners.

All easements that are dedicated hereon for public utility purposes shall be subject to those terms and conditions as specified in the instrument recorded at Reception No. 212112548 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.

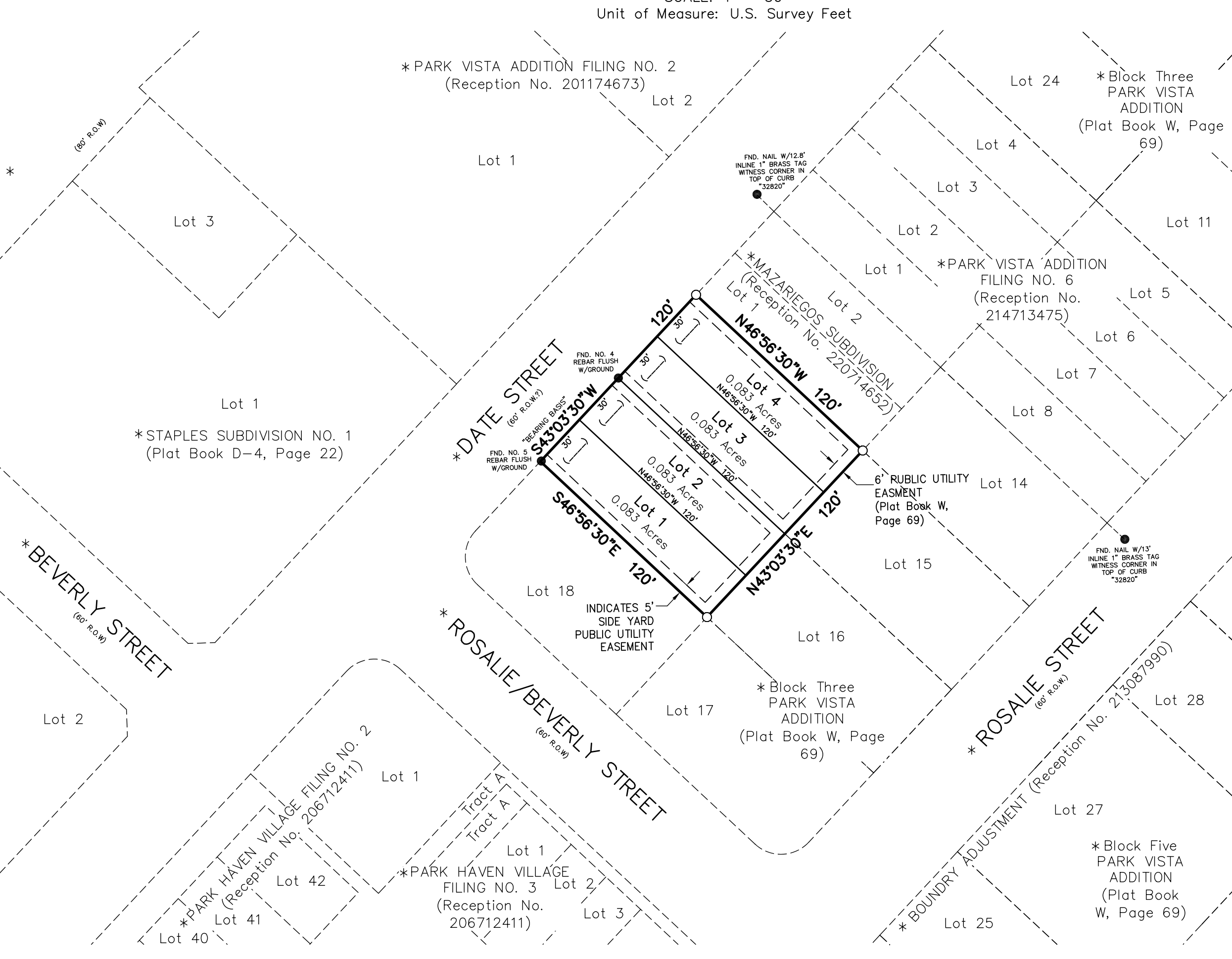
NOTICE IS HEREBY GIVEN:

That the area included in the plat described herein is subject to the code of the City of Colorado Springs, 2001, as amended.

No building permits shall be issued for building sites within this plat until all required fees have been paid and all required public and private improvements have been installed as specified by the City of Colorado Springs or, alternatively, until acceptable assurances, including but not limited to, letters of credit, cash, subdivision bonds or combinations thereof, guaranteeing the completion of all required public improvements including, but not limited to, drainage, street and erosion control have been placed on file with the City of Colorado Springs.



"AS PLATTED"



"AS REPLATTED"

NOTES:

- o - Indicates boundary survey monument set with a #4 rebar with 0.1' diameter red plastic cap, PLS 20681 flush w/ground, except where noted otherwise.
- - Indicates recovered survey monument as noted.
- * - Indicates not a part of this plat. () - Indicates unit address.
- This survey does not constitute a title search by LDC, Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of record, LDC, Inc. relied upon a Commitment for Title Insurance, prepared by EMPIRE TITLE OF COLORADO SPRINGS, LLC as agent for WESTCOR LAND TITLE INSURANCE COMPANY File No. 74739ECS dated July 10, 2020 at 7:30 a.m.
- The Avigation Easement dedicated herein for public avigation purposes, shall be considered a public easement subject to those terms and conditions as specified on the instrument recorded at Reception No. 217069667 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.
- The approval of this replat vacates all prior plats for the area described by this replat.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map, Map Number 08041C519 G, effective date December 7, 2018, indicates this parcel of land is located in Zone X "white" (area determined to be out of the 500 year flood plain).
- Basis of Bearings: All bearings are relative to the Northeasterly line common to Lots 14 and 21, Block Three, PARK VISTA ADDITION, monumented as witness corners as noted on "AS REPLATTED" drawing, and assumed to bear N46°56'30"W, a distance of 265.80 feet.
- This property is subject to the Declaration of Covenants, Conditions and Restrictions, and Owner's Association for DATE JOINT VENTURE SUBDIVISION, as created and recorded by separate document.

SURVEYOR'S CERTIFICATION:

The undersigned Professional Land Surveyor licensed in the State of Colorado, hereby states and declares that the accompanying plat was surveyed and drawn under his responsible charge and accurately shows the described tract of land, and replat thereof, and that the requirements of Title 38 of the Colorado Revised Statutes, 1973, as amended, have been met to the best of his professional knowledge and belief.

David V. Hostetler
Colorado Professional Land Surveyor No. 20681

PRELIMINARY COPY
SUBJECT TO
CITY APPROVAL

NOTICE:

According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

CITY APPROVAL:

On behalf of the City of Colorado Springs, the undersigned hereby approve for filing the accompanying replat of DATE JOINT VENTURE SUBDIVISION.

City Planning Director _____ Date _____

City Engineer _____ Date _____

City Clerk _____ Date _____

CLERK AND RECORDER:

STATE OF COLORADO }
COUNTY OF EL PASO }SS

I hereby certify that this instrument was filed for record in my office at ____ o'clock ____M., this ____ day of _____, 20____ A.D., and is duly recorded at Reception No. _____ of the records of El Paso County, Colorado.

Chuck Broerman, Recorder

BY: _____ Deputy

FEE: _____

SURCHARGE: _____

FEES:

PARK FEE: _____

BRIDGE FEE: _____

SCHOOL FEE: _____

DRAINAGE FEE: _____

CITY FILE NUMBER: CPC ____-____

According to Colorado law, any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

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REVISIONS	Date
No.	Description

H Scale: 1" = 50'

V Scale: N/A

Designed By: N/A

Drawn By: BRH

Checked By: DWH

Date: 08/07/20

Land Development Consultants, Inc.

PLANNING · SURVEYING

www ldc inc com · TEL: (719) 528-6133 · FAX: (719) 528-8548

3888 MAZELAND ROAD · COLORADO SPRINGS, CO 80909

DATE JOINT VENTURE SUBDIVISION - FINAL PLAT

Project No.: 20025

Sheet: 1 of 1