

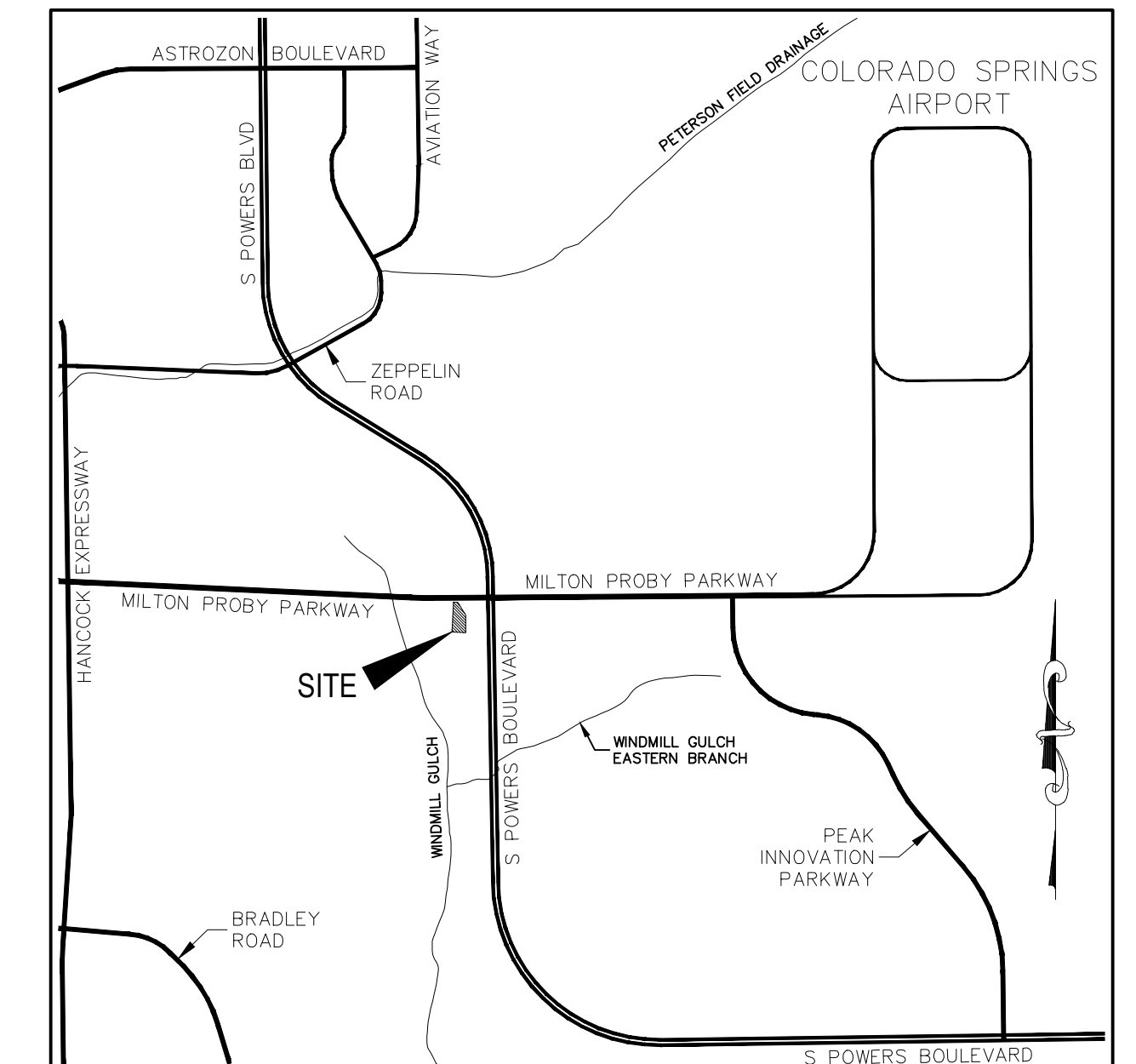
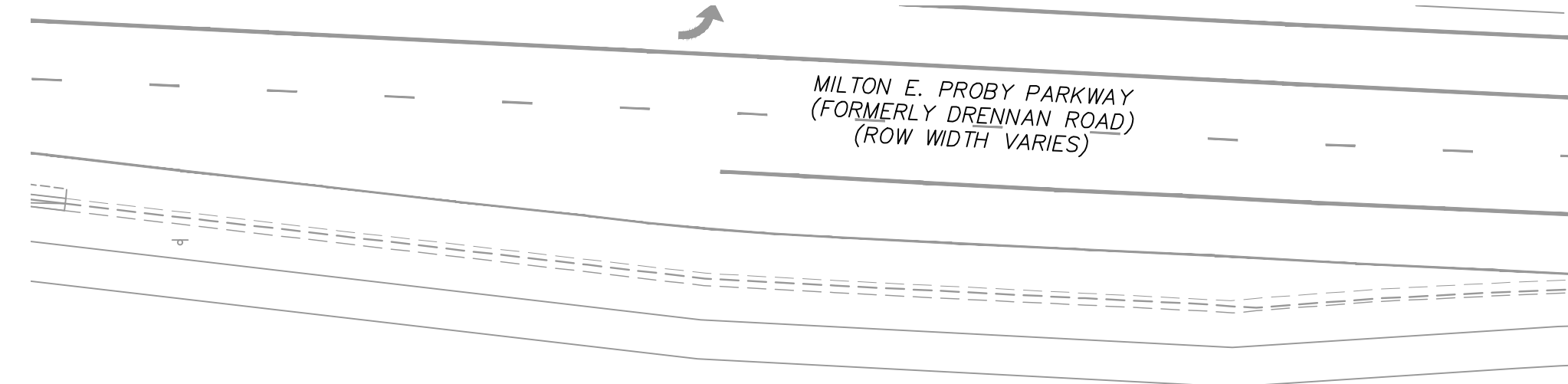
# LOT 1 - AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - STARBUCKS 3565 SPECTRUM AIR WAY

A PARCEL OF LAND IN THE NORTHEAST QUARTER (SW 1/4) OF SECTION 1,  
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

### DEVELOPMENT PLAN

NOVEMBER 2024



VICINITY MAP  
N.T.S.

#### LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 1,  
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO,  
STATE OF COLORADO.

TO BE PLATTED AS LOT 1, AIRPORT SPECTRUM FILING NO. 3

#### SITE DATA:

SITE ADDRESS: 3565 SPECTRUM AIR WAY  
MASTER PLAN: N/A  
CONCEPT PLAN:  
EXISTING ZONE: PDZ, AP-0 (PLANNED DEVELOPMENT ZONE WITH AIRPORT OVERLAY); CITY FILE NO. CPC PUZ  
17-00146 (ORD. 18-95)  
SITE PLAN ACREAGE: 1.18 AC  
TAX SCHEDULE NO.: 65011-00-013  
PROPOSED USE: RESTAURANT (FAST FOOD)  
EXISTING LAND USE: VACANT COMMERCIAL LAND

PARKING REQUIREMENTS: RESTAURANT (FAST FOOD)  
PARKING SPACES: TOTAL 1 SPACE PER 300 SF REQUIRED PER TABLE 7.4.10-A ~

PARKING REQUIREMENTS				
BUILDING SF	REQUIRED SPACES	PROVIDED SPACES	REQUIRED ADA ASSESSABLE	PROVIDED ADA ASSESSABLE
2465	9	31	2	2

PROPOSED BUILDING HEIGHT: 23 FEET (MAX HEIGHT ALLOWED 45 FEET)  
MAXIMUM LOT COVERAGE: 40% MAX.  
BUILDING LOT COVERAGE: 4.7%  
IMPERVIOUS SURFACE COVERAGE: 55.8% ~ 44.2% OPEN/LANDSCAPING  
BLDG SETBACK/LANDSCAPE SETBACKS: MILTON PROBY - 25.0' BUILDING AND LANDSCAPE SETBACK

SIDE AND REAR SETBACKS - N/A

DRAINAGE BASIN: WINDMILL GULCH  
ANTICIPATED DEVELOPMENT SCHEDULE: MAY 2025 - JUNE 2026

WATER QUALITY / DETENTION SHALL BE PROVIDED VIA A PRIVATELY OWNED FULL SPECTRUM DETENTION  
POND. THE FSD POND WAS APPROVED WITH THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM  
FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS &  
SURVEYORS, LLC.

#### FEMA FLOODPLAIN NOTE:

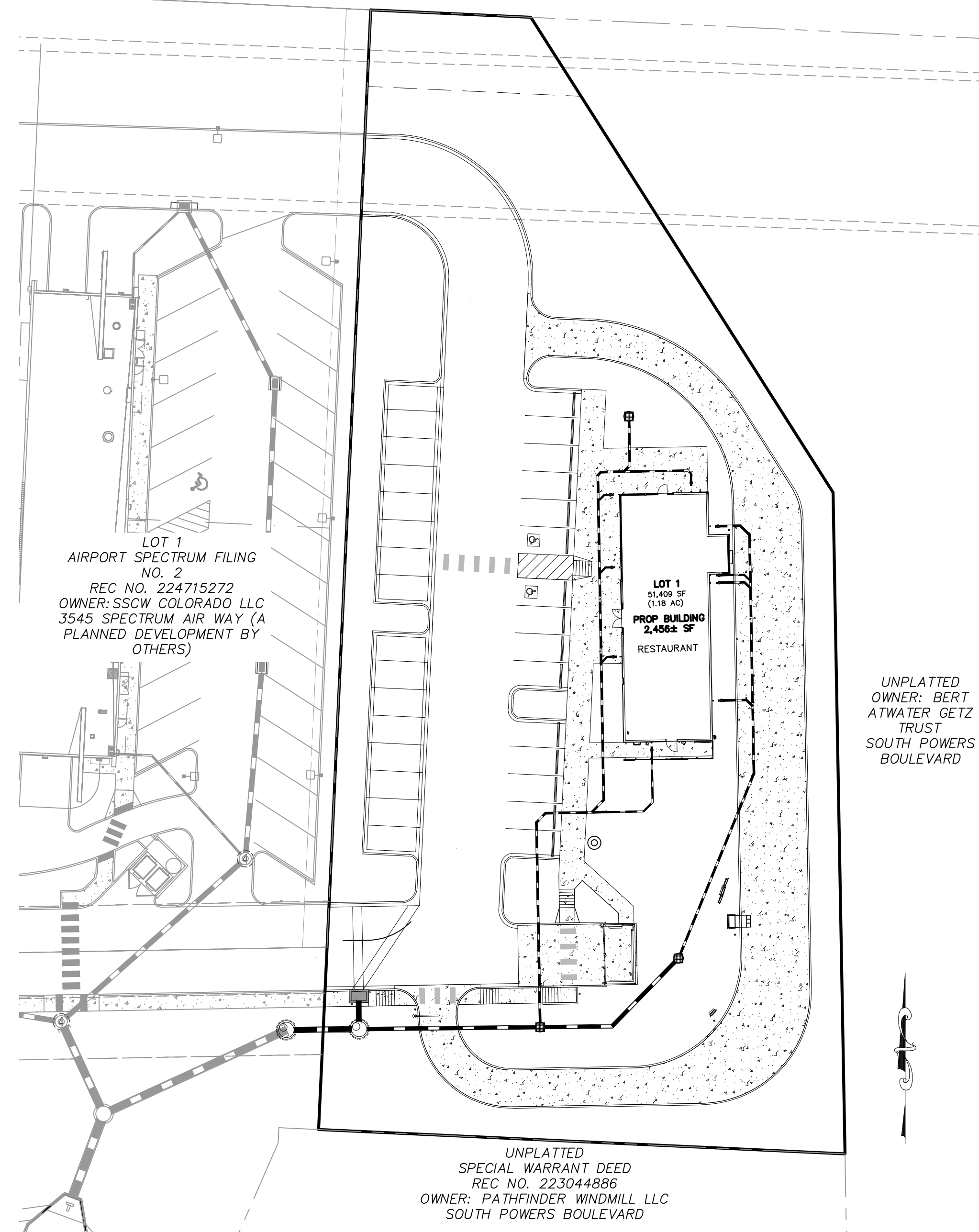
THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0763G DATED DECEMBER 7, 2018, HAS BEEN EXAMINED  
AS IT RELATES TO THE SUBJECT PROPERTY. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

#### GENERAL NOTES:

- ALL PROPOSED CURB AND GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT OF WAY SHALL MEET CITY STANDARDS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- PER CITY CODE SECTION 7.4.1203, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER SIDEWALKS, PEDESTRIAN RAMPS AND CROSS PANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ON ALL PUBLIC STREETS ADJACENT TO THE DEVELOPMENT WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.) AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.
- CONSTRUCTION PLANS WILL BE SUBMITTED TO ENGINEERING DEVELOPMENT REVIEW AND STORMWATER ENTERPRISE FOR GRADING AND EROSION CONTROL, CSWMP, STORMWATER PLANS, AND FINAL DRAINAGE REPORT.
- TRASH DUMPSTER(S) MUST BE IN GATED ENCLOSURES, DESIGNED TO COMPLIMENT THE DESIGN OF THE MAIN STRUCTURE.
- ALL STREETSCAPING LANDSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND /OR THEIR SUCCESSORS.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALK, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- EXISTING ACCESS FOR LOT 1 "AIRPORT SPECTRUM FILING NO. 3" SHALL BE PROVIDED FROM TWO POINTS OF ACCESS, ONE BEING FROM SPECTRUM AIR WAY FROM THE WEST VIA AN UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS), THE OTHER FROM MILTON E. PROBY PARKWAY TO THE NORTH, ALSO VIA UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS).
- THIS SITE IS NOT SUBJECT TO GEOLOGIC HAZARD REGULATIONS. AND APPLICATION FOR GEOLOGIC HAZARD IS NOT APPLICABLE AS SUBMITTED WITH THE CITY OF COLORADO SPRINGS.
- PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREA, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.

#### DEVELOPMENT STAGE NOTE:

THE DEVELOPER ASSUMES THAT THE WEST PROPOSED DEVELOPMENT TO THIS SITE THAT IS PLANNED BY OTHERS ON  
LOT 2 OF AIRPORT SPECTRUM FILING NO. 2 SHALL BE CONSTRUCTED WITH OR BEFORE THE CONSTRUCTION OF THIS  
DEVELOPMENT ON LOT 1 OF AIRPORT SPECTRUM FILING NO. 3



SITE MAP  
N.T.S.

#### SHEET INDEX:

- DEVELOPMENT PLAN COVER SHEET
- OVERALL SITE PLAN
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- LANDSCAPE PLANS
  - FINAL LANDSCAPE PLAN
  - LANDSCAPE NOTES/DETAILS
- IRRIGATION PLANS
  - IRRIGATION PLAN
  - IRRIGATION NOTES/DETAILS
  - IRRIGATION NOTES/DETAILS
- SITE LIGHTING PLANS
  - SITE LIGHTING PLAN CUT SHEETS/DETAILS
- BUILDING ELEVATION PLANS
  - BUILDING ELEVATIONS / TRASH ENCLOSURE
  - ELEVATIONS

#### OWNERS/DEVELOPER:

DTV AEROPLAZA LLC  
1776 N. SCOTTSDALE RD  
SCOTTSDALE, AZ 85252

#### ARCHITECT/PHOTOMETRIC:

NEWGROUND INTERNATIONAL  
15450 SOUTH OUTER FORTY RD., SUITE 300  
CHESTERFIELD, MO 63017  
636-898-8100

#### LANDSCAPE ARCHITECT:

GALLOWAY & CO, INC  
1155 KELLY JOHNSON BLVD, SUITE 305  
COLORADO SPRINGS, CO 80920  
719-900-7220

#### CIVIL ENGINEER:

M&S CIVIL CONSULTANTS, INC.  
212 N. WAHSATCH AVE., SUITE 305  
COLORADO SPRINGS, CO 80903  
719-955-5485

#### CITY PLANNING APPROVAL



DEVELOPMENT PLAN  
LOT 1 - AIRPORT SPECTRUM FILING NO. 3  
0 SPECTRUM AIR WAY  
JOB NO. 10-035  
DATE PREPARED: OCTOBER 2024  
DATE REVISED: NOVEMBER 2024

CITY FILE NO. DEPN-24-0152



212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485

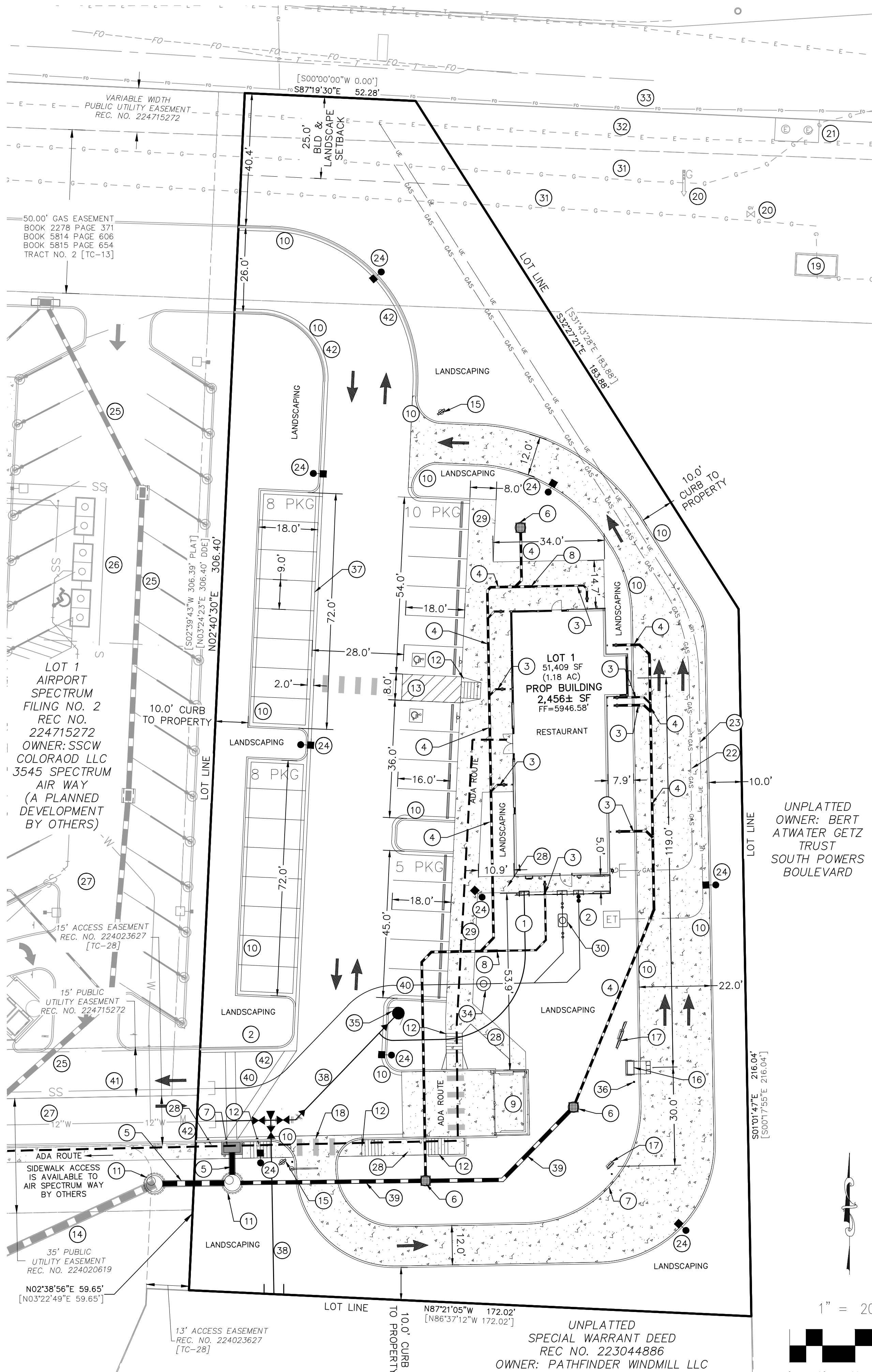
SHEET 1 OF 12

# LOT 1 - AIRPORT SPECTRUM FILING NO. 3

MILTON E. PROBY PARKWAY  
(FORMERLY DRENNAN RD) ROW WIDTH VARIES

## LOT 1 - STARBUCKS

SITE PLAN  
NOVEMBER 2024



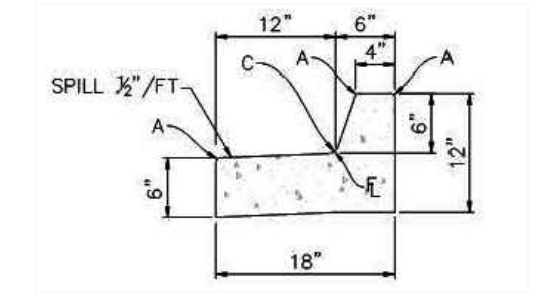
- KEY NOTES:**
- PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
  - PROPOSED PRIVATE 6" SAN SEWER
  - PROPOSED PRIVATE 6" PP STORM
  - PROPOSED PRIVATE 8" PP STORM
  - PROPOSED PRIVATE 18" PP STORM
  - PROPOSED AREA INLET
  - PROPOSED 2" WIDE CURB CUT
  - PROPOSED 6"x8" REDUCER
  - PROPOSED TRASH ENCLOSURE ON CONC PAD
  - PROPOSED TYPE 3 CURB AND GUTTER
  - PROPOSED 5' DIA TYPE II MANHOLE
  - PROPOSED CITY STD PED RAMP
  - NO PARKING STRIPING
  - PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
  - SIGNAGE
  - PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
  - PROPOSED MENU BOARD
  - PROPOSED CROSSWALK
  - EXISTING GAS VAULT
  - EXISTING GAS FEATURE
  - EXISTING ELECTRIC VAULT
  - PROPOSED GAS SERVICE, FINAL LOCATION TO BE DETERMINED BY CSU
  - PROPOSED U/G ELECTRIC, FINAL LOCATION TO BE DETERMINED BY CSU
  - PROPOSED LIGHT POSTS
  - PROPOSED PRIVATE 18" HP STORM PIPE (BY OTHERS)
  - PROPOSED SANITARY SEWER LINE (BY OTHERS)
  - PROPOSED WATER LINE (BY OTHERS)
  - PROPOSED 5' SIDEWALK
  - PROPOSED 8' SIDEWALK
  - PROPOSED TRAFFIC RATED GREASE INTERCEPTOR (SCHIER PRODUCTS G8-75)
  - EXISTING GAS LINE
  - EXISTING ELECTRIC LINE
  - EXISTING FIBER OPTIC
  - PROPOSED PRIVATE E/ONE PRESSURE SYSTEM GRINDER PUMP STATION
  - PROPOSED FIRE HYDRANT
  - PROPOSED BOLLARD
  - PROPOSED 2" WIDE CONCRETE CHASE
  - PROPOSED PRIVATE 6" PVC WATER SERVICE
  - PROPOSED PRIVATE 12" PP STORM
  - PROPOSED PRIVATE 2" HDPE PRESSURE SERVICE
  - PROPOSED 2" HDPE PRESSURE SERVICE (BY OTHERS)
  - PROPOSED FIRE LANE

**LEGEND**

LOT LINE	---	PLANNED INFILTRATION AREA	[Green Box]
EX. GAS	---	NO PARKING STRIPING	[Hatched Box]
EX. U/G ELECTRIC LINE	---	STORM SEWER INLET	[Circle with X]
EX. FIBER OPTIC	---	STORM SEWER MANHOLE	[Circle]
EX. SANITARY SEWER LINE	---	PROPOSED CONCRETE	[Dotted Box]
EX. WATER LINE	---	LANDSCAPE SETBACK	[Dashed Line]
EX. STORM LINE	---	FIRE LANE	[Thick Dashed Line]
STORM SEWER LINE	---	ADA ROUTE	[Thin Dashed Line]
SANITARY SEWER SERVICE	SS		
WATER LINE SERVICE	WL		
GAS SERVICE	GAS		
U/G ELECTRIC SERVICE	UE		
SANITARY SEWER MANHOLE	●		
FIRE HYDRANT	●		

**ABBREVIATION LEGEND**

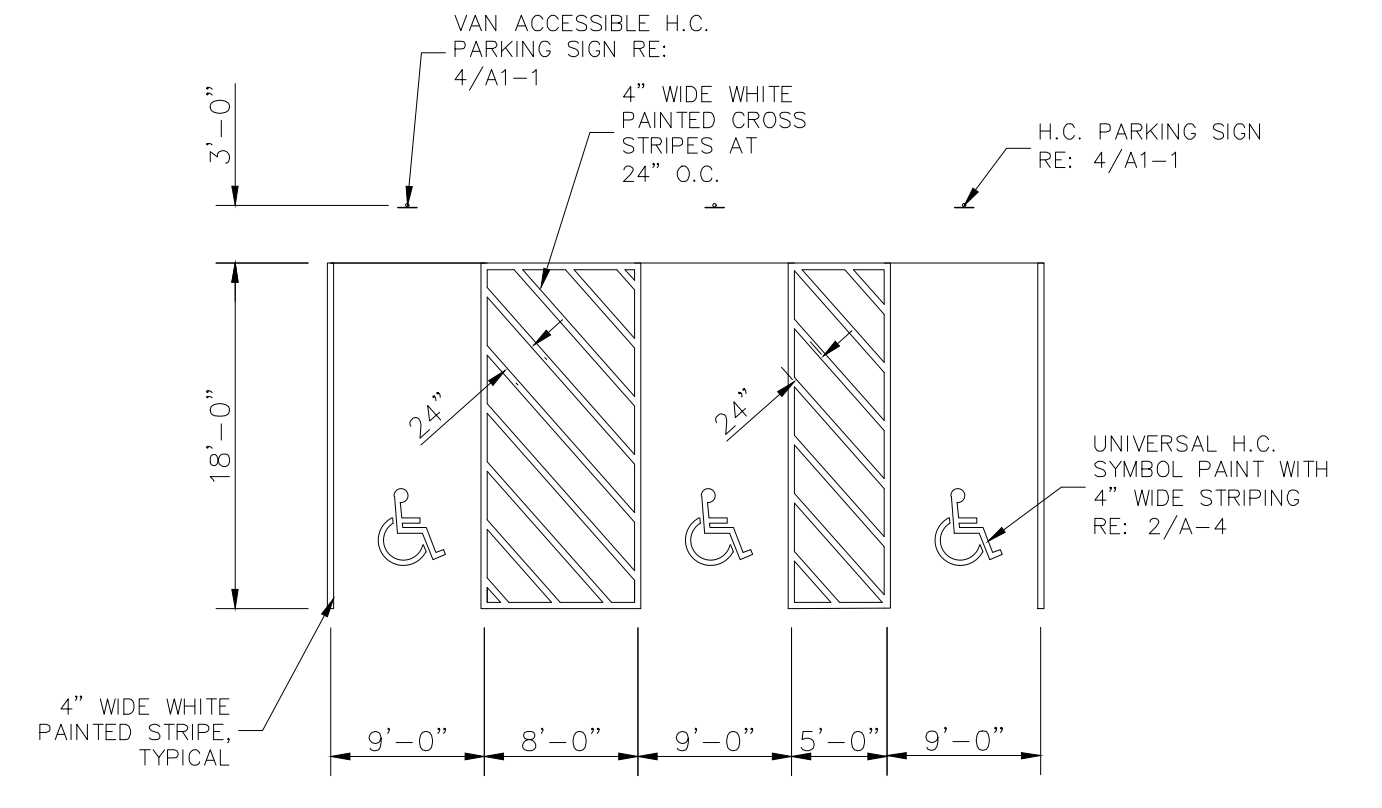
CL	CENTERLINE
C&G	CURB AND GUTTER
CONST	CONSTRUCTION
WTR	WATER
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
PP	POLYPROPYLENE PIPE
STA	STATION



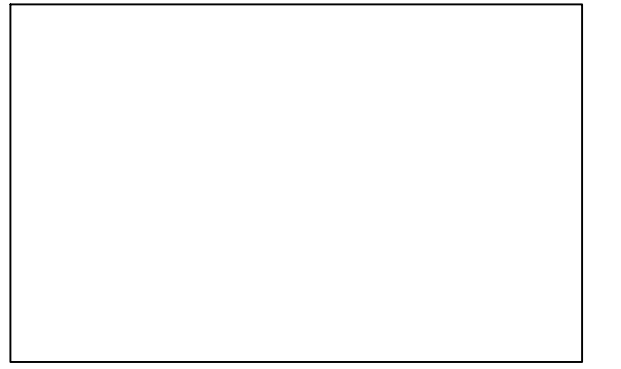
TYPE 3 C&G (N.T.S.)

**HANDICAP PARKING DESIGN CRITERIA:**

- RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE ADJOINING SIDEWALKS.
- ACCESS AISLES MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION
- HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.



CITY PLANNING APPROVAL



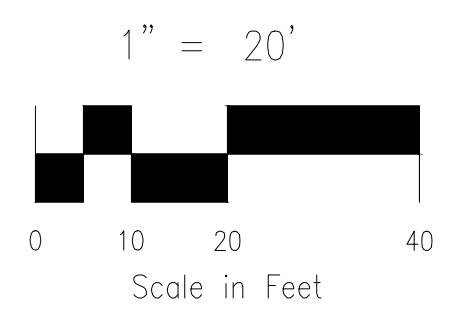
STARBUCKS - DEVELOPMENT PLAN  
LOT 1 - AIRPORT SPECTRUM FILING NO. 3  
JOB NO. 10-035A  
DATE PREPARED: OCTOBER 2024  
DATE REVISED: NOVEMBER 2024

CITY FILE NO. DEPN-24-0152



212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485

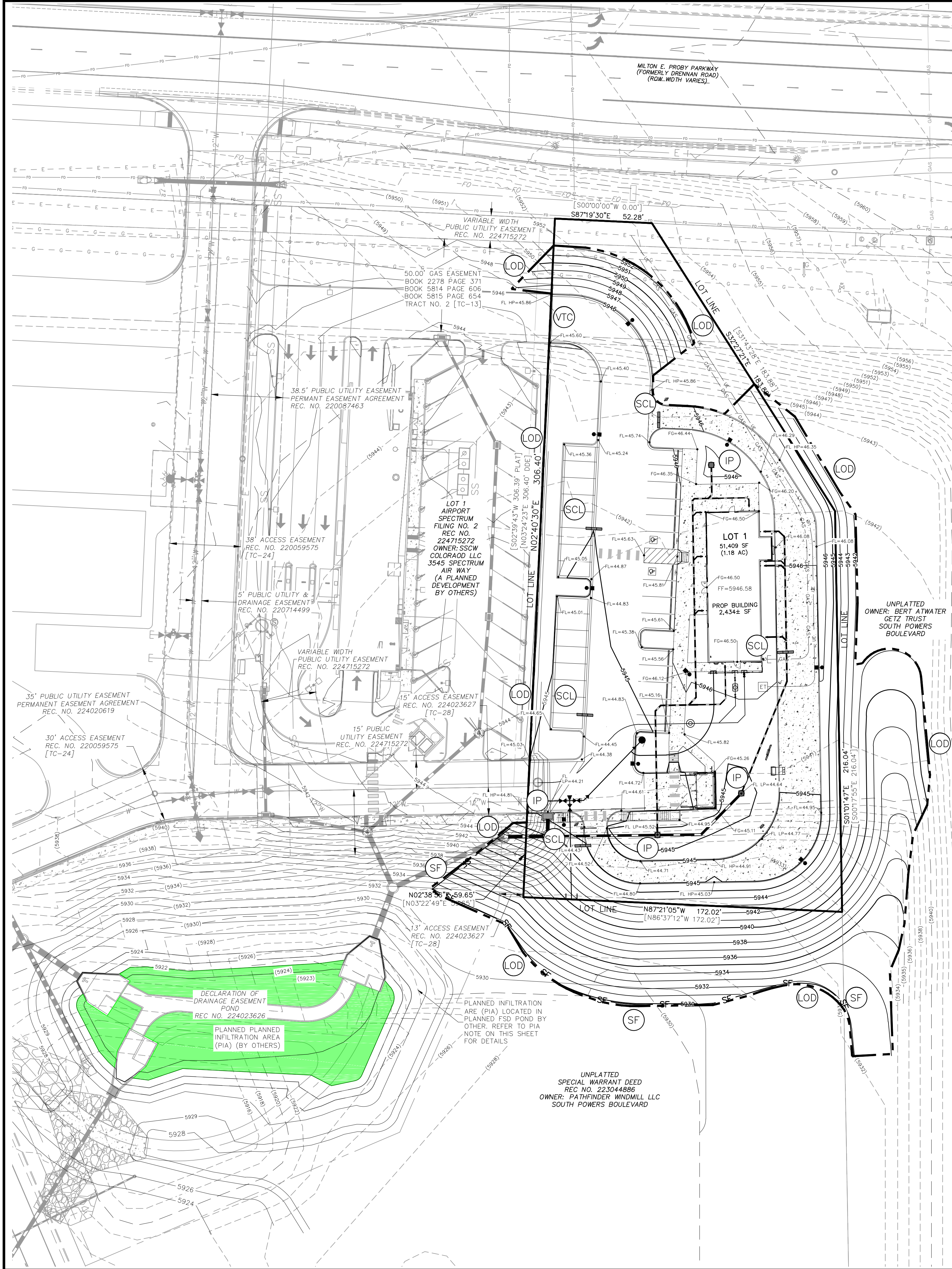
LOT 1-AIRPORT SPECTRUM FILING NO. 3			
SITE PLAN			
PROJECT NO. 10-035	SCALE:	DATE: 11/26/2024	
DESIGNED BY: GW	HORIZONTAL: 1"=20'	SHEET 2 OF 12	S01
DRAWN BY: SPM	VERTICAL: N/A		
CHECKED BY: GW			



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# LOT 1 - AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - STARBUCKS PRELIMINARY GRADING PLAN NOVEMBER 2024



### LEGEND

LOT LINE	---
EX. GAS	---
EX. U/G ELECTRIC LINE	---
EX. FIBER OPTIC	---
EX. SANITARY SEWER LINE	---
EX. WATER LINE	---
EX. STORM LINE	---
STORM SEWER LINE	---
SANITARY SEWER SERVICE	SS
WATER LINE SERVICE	WL
GAS SERVICE	GAS
U/G ELECTRIC SERVICE	UE
SANITARY SEWER MANHOLE	●
FIRE HYDRANT	●
SILT FENCE (INSTALLED WITH INITIAL PHASE TO REMAIN UNTIL FINAL LANDSCAPE IS ESTABLISHED)	SF
SEDIMENT CONTROL LOG (INSTALLED WITH INITIAL PHASE TO REMAIN UNTIL FINAL LANDSCAPE IS ESTABLISHED)	SCL
LIMIT OF DISTURBANCE/CONST. BOUNDARY	LOD
INLET PROTECTION (INSTALLED WITH THE INITIAL PHASE TO REMAIN UNTIL FINAL STABILIZATION)	IP
VEHICLE TRACKING CONTROL (INSTALLED WITH INITIAL PHASE TO REMAIN UNTIL PAVEMENT INSTALL)	VTC
PLANNED INFILTRATION AREA	[Green Shaded Area]
NO PARKING STRIPING	[Hatched Area]
STORM SEWER INLET	[Square Symbol]
STORM SEWER MANHOLE	[Circle Symbol]
PROPOSED CONCRETE	[Square with '4' Symbol]
LANDSCAPE SETBACK	---

### STANDARD GRADING, EROSION, AND STORMWATER QUALITY CONTROL PLAN NOTES

- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION, AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME II.
- NO CLEARING, GRADING, EXCAVATION, FILING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM EDRD.
- THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 719-385-5980, 48 HOURS PRIOR TO CONSTRUCTION.
- SEDIMENT (MUD AND DIRT) TRANSPORTED INTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN TWENTY-ONE (21) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY EDRD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.
- THE PLAN SHALL NO SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.

### EROSION CONTROL NOTES

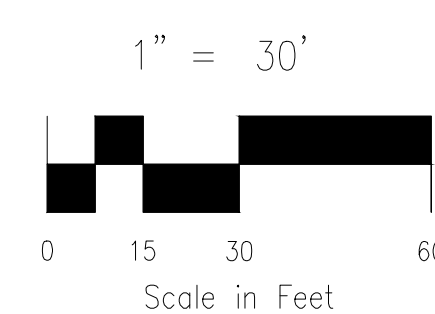
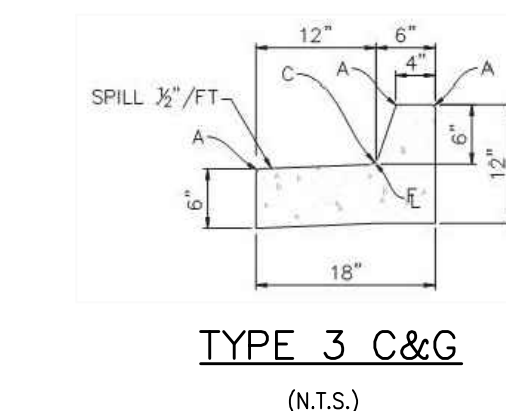
- AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT, EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONTROL SYSTEMS SHALL INCLUDE, AS A MINIMUM, STRAW BALE SEDIMENT TRAPS (OR EQUAL) ALONG NATURAL DRAINAGE WAYS PRIOR TO GRADING AND UTILIZATION OF DESIGNED STORM DETENTION BASINS PRIOR TO FINAL GRADING REVEGETATION. AS AN AVERAGE, SEDIMENT TRAPS WITH A CAPACITY OF 15 CUBIC YARDS SHALL BE PROVIDED FOR EACH ACRE OF DISTURBED SOIL.
- ALL SEDIMENT TRAPS WILL BE CLEANED AND MAINTAINED TO PROVIDE ADEQUATE PROTECTION FROM SOIL LOSS UNTIL SUCH TIME AS THEY ARE NO LONGER NEEDED.
- WHERE AREAS ARE TO BE LEFT BARE FOR EXTENDED PERIODS (TOPSOIL, STOCKPILES, EMPTY LOTS, RIGHTS-OF-WAY, HOME SITES AWAITING PURCHASE, ETC.) MECHANICAL MULCHING (STRAW CRIMP) IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS SHALL BE APPLIED WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN 30 DAYS TO DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.
- TOPSOIL WILL BE STOCKPILED AND USED AS A TOP DRESSING OVER CUT AND FILL AREAS TO HELP IN THE ESTABLISHMENT OF ADAPTED VEGETATION. TOPSOIL STOCKPILE WILL BE SEEDED AND/OR MULCHED AND/OR SURROUNDED BY SILT FENCE TO MINIMIZE SOIL LOSS UNTIL TOPSOIL IS USED. STOCKPILES IN EXCESS OF 8' HIGH WILL REQUIRE AN ADDITIONAL PERIMETER ROW OF SILT FENCE.
- TEMPORARY STOCKPILES (8' MAX. HEIGHT) DUE TO UTILITY CONSTRUCTION SHALL BE KEPT MOIST BY THE CONTRACTOR TO PREVENT BLOWING SOILS.
- AREAS LEFT OPEN FOR 30 DAYS OR MORE, OTHER THAN FOR UTILITY AND DRAINAGE CONSTRUCTION, SHALL BE SEEDED AND/OR MULCHED.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT EROSION OF DISTURBED SOIL BY ABNORMAL WINDS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.

### PIA NOTE

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH - POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION LETTER.

### ABBREVIATION LEGEND

C&G	CURB AND GUTTER
EL	ELEVATION
CONST	CONSTRUCTION
STM	STORM SEWER
PUB	PUBLIC
EXIST	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
EX	EXISTING
FL	FLOWLINE
TS	TOP OF SWALE



STARBUCKS - DEVELOPMENT PLAN  
LOT 1 - AIRPORT SPECTRUM FILING NO. 3  
JOB NO. 10-035  
DATE PREPARED: OCTOBER 2024  
DATE REVISED: NOVEMBER 2024

CITY FILE NO. DEPN -24-0152



212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485

### CITY PLANNING APPROVAL



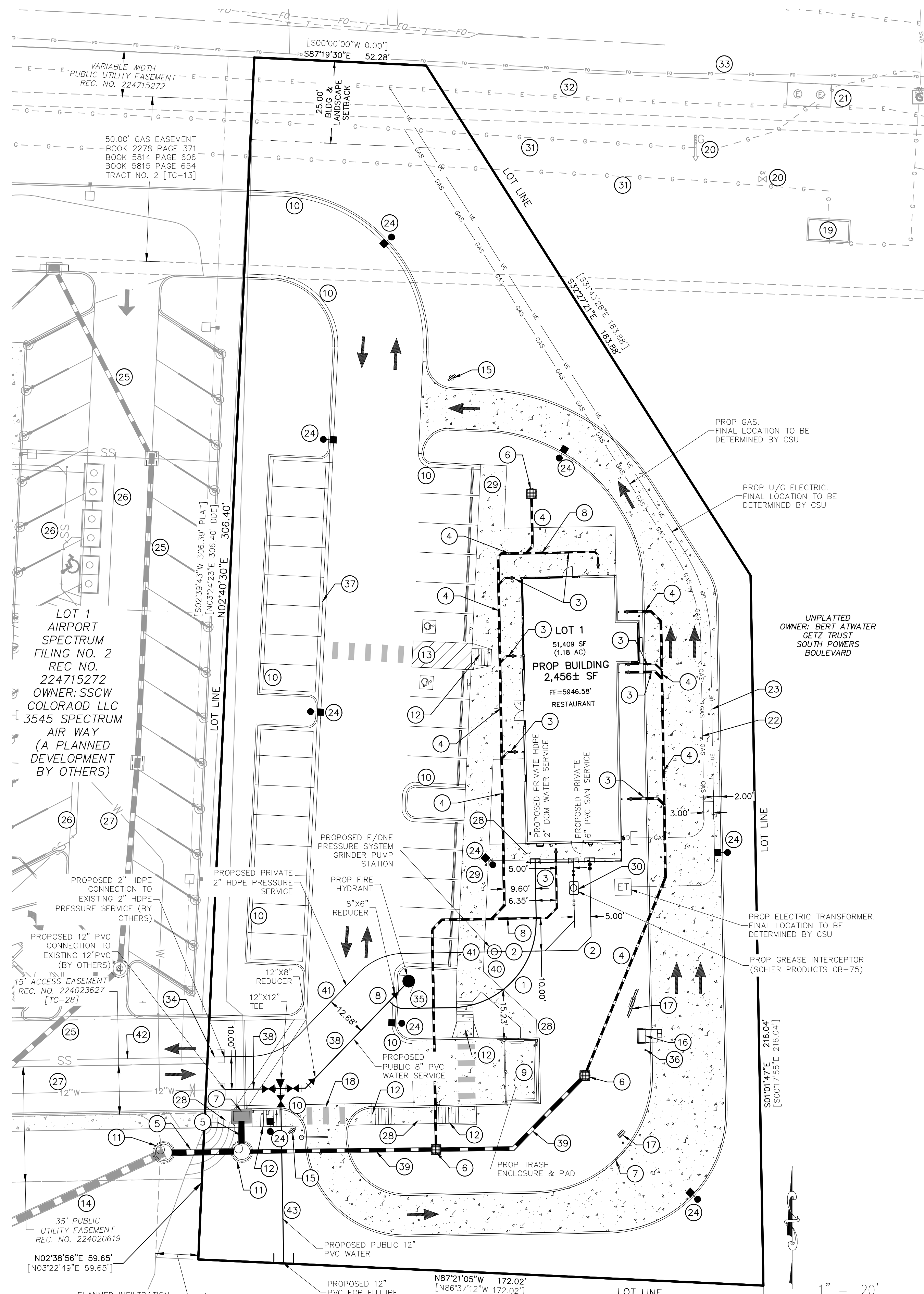
LOT 1-AIRPORT SPECTRUM FILING NO. 3			
PRELIMINARY GRADING PLAN			
PROJECT NO. 10-035	SCALE:	DATE: 11/26/2024	
DESIGNED BY: GW	HORIZONTAL:	1"=20'	
DRAWN BY: SPM	VERTICAL:	N/A	
CHECKED BY: GW	SHEET 3 OF 12		PG01

# LOT 1 - AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - STARBUCKS

### PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

NOVEMBER 2024



#### KEY NOTES:

- PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
- PROPOSED PRIVATE 6" SAN SEWER SERVICE
- PROPOSED PRIVATE 6" PP STORM
- PROPOSED PRIVATE 8" PP STORM
- PROPOSED PRIVATE 18" PP STORM
- PROPOSED AREA INLET
- PROPOSED 2" WIDE CURB CUT
- PROPOSED 6"x8" REDUCER
- PROPOSED TRASH ENCLOSURE ON CONC PAD
- PROPOSED TYPE 3 CURB AND GUTTER
- PROPOSED 5" DIA TYPE II MANHOLE
- PROPOSED CITY STD PED RAMP
- NO PARKING STRIPING
- PROPOSED 2" HDPE CONNECTION TO EXISTING 2" HDPE PRESSURE SERVICE (BY OTHERS)
- NO PARKING STRIPING
- PROPOSED 2" HDPE RCP STORM PIPE (BY OTHERS)
- SIGNAGE
- PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
- PROPOSED MENU BOARD
- PROPOSED CROSSWALK
- EXISTING GAS VAULT
- EXISTING GAS FEATURE
- EXISTING ELECTRIC VAULT
- PROPOSED GAS SERVICE FINAL LOCATION TO BE DETERMINED BY CSU
- PROPOSED U/G ELECTRIC FINAL LOCATION TO BE DETERMINED BY CSU
- PROPOSED LIGHT POSTS
- PROPOSED PRIVATE 18" HP STORM PIPE (BY OTHERS)
- PROPOSED SANITARY SEWER LINE (BY OTHERS)
- PROPOSED WATER LINE (BY OTHERS)
- PROPOSED 5' SIDEWALK
- PROPOSED 8' SIDEWALK
- PROPOSED TRAFFIC RATED GREASE INTERCEPTOR (SCHIER PRODUCTS GB-75)
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING FIBER OPTIC
- PROPOSED 2" HDPE CONNECTION TO EXISTING 2" HDPE PRESSURE SERVICE
- PROPOSED PUBLIC HYDRANT
- PROPOSED BOLLARD
- PROPOSED 2" WIDE CONCRETE CHASE
- PROPOSED PUBLIC WATER MAIN
- PROPOSED PRIVATE 12" PP STORM
- PROPOSED PRIVATE E/ONE PRESSURE SYSTEM GRINDER PUMP STATION
- PROPOSED PRIVATE 2" HDPE PRESSURE SERVICE
- PROPOSED 2" HDPE PRESSURE SERVICE (BY OTHERS)
- PROPOSED PUBLIC 12" PVC WATER MAIN

#### ABBREVIATION LEGEND

C&G	CURB AND GUTTER ELEVATION
EL	CONSTRUCTION ELEVATION
CONST	STORM SEWER
PUB	PUBLIC
EXIST	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
EX	EXISTING
FL	FLOWLINE
TS	TOP OF SWALE

#### LEGEND

LOT LINE	---	SANITARY SEWER MANHOLE	●
LOT GAS	---	FIRE HYDRANT	●
EX. U/G ELECTRIC LINE	---	PLANNED INFILTRATION AREA	■
EX. FIBER OPTIC	---	NO PARKING STRIPING	▨
EX. SANITARY SEWER LINE	---	STORM SEWER INLET	■
EX. WATER LINE	---	STORM SEWER MANHOLE	●
EX. STORM LINE	---	PROPOSED CONCRETE	■
STORM SEWER LINE	---	LANDSCAPE SETBACK	---
SANITARY SEWER SERVICE	SS		
WATER LINE SERVICE	WL		
GAS SERVICE	GAS		
U/G ELECTRIC SERVICE	UE		

#### PIA NOTE

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH - POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION LETTER.

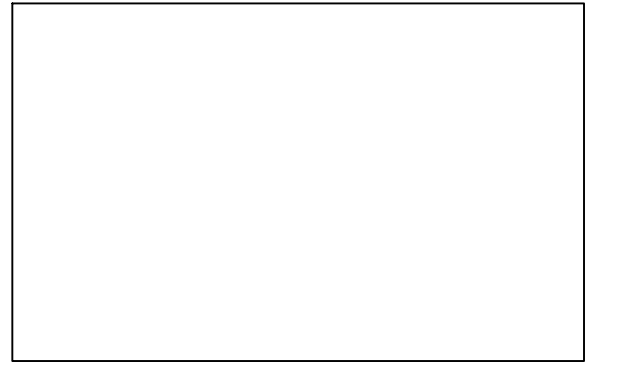
#### GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
  - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES AND THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
  - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
  - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
  - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
  - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
  - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
  - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
  - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
  - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
  - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICES OF SPRINGS UTILITIES.

#### ADDITIONAL ACKNOWLEDGEMENTS AND NOTES

- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ONLY INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
- WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
- CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
- CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT, WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
- IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NESC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.
- IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
- CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

#### CITY PLANNING APPROVAL



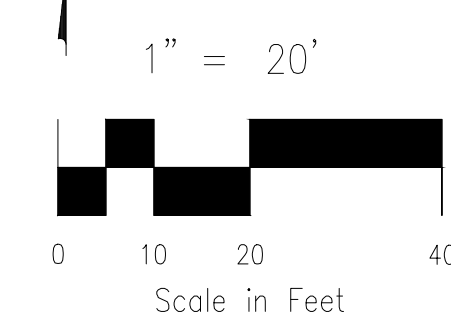
STARBUCKS - DEVELOPMENT PLAN  
 LOT 1 - AIRPORT SPECTRUM FILING NO. 3  
 JOB NO. 10-035A  
 DATE PREPARED: OCTOBER 2024  
 DATE REVISED: NOVEMBER 2024

CITY FILE NO. DEPN-24-0152



212 N. WAHSATCH AVE., STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.955.5485

LOT 1-AIRPORT SPECTRUM FILING NO. 3			
PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN			
PROJECT NO. 10-035	SCALE:	DATE: 11/26/2024	
DESIGNED BY: GW	HORIZONTAL:	SHEET 4 OF 12	
DRAWN BY: SPM	VERTICAL:	PU01	
CHECKED BY: GW	N/A		

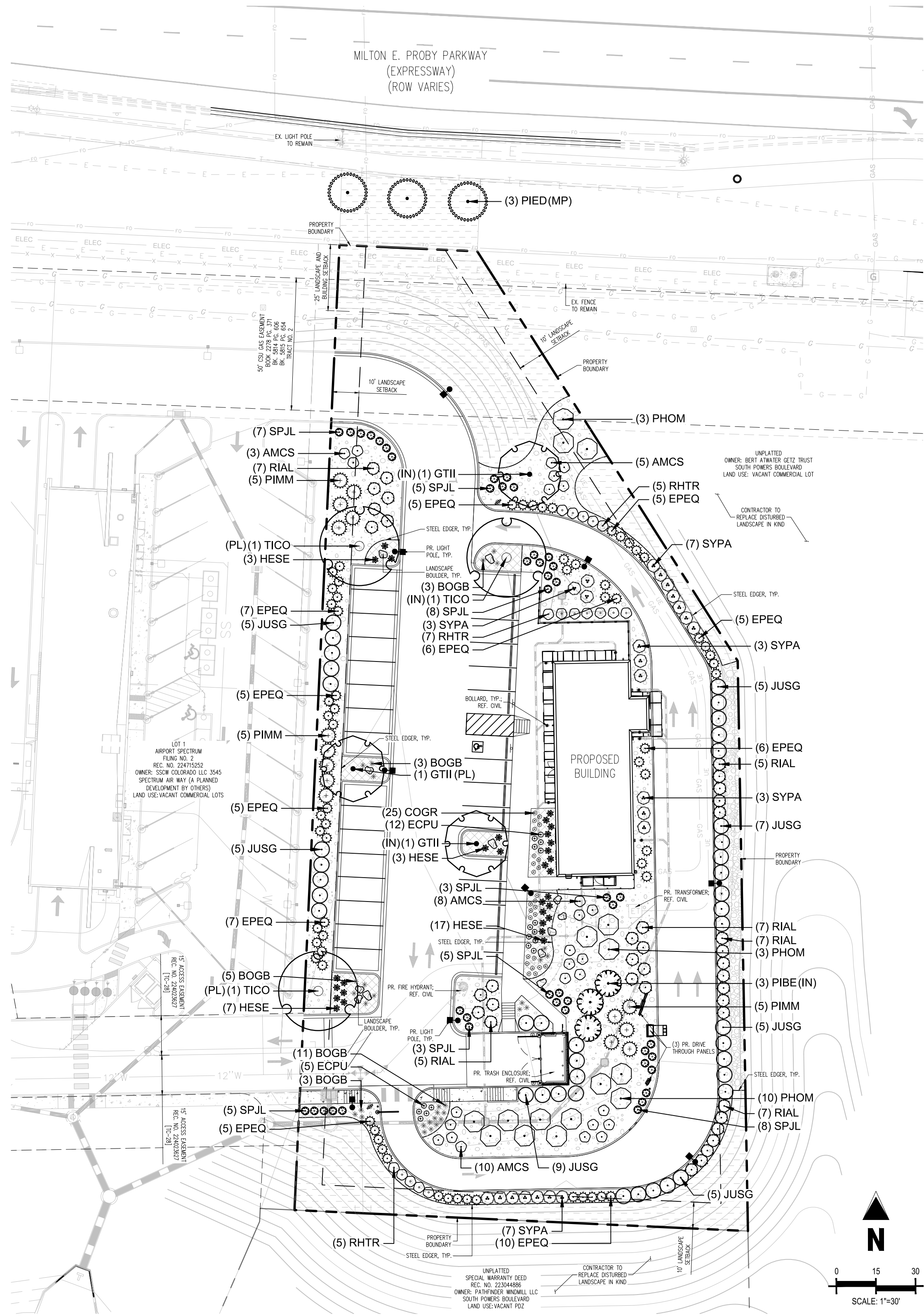


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SITE DEVELOPMENT PLAN  
LOT 1 AIRPORT SPECTRUM FIL. NO. 2  
STARBUCKS  
0 SPECTRUM AIR WAY  
COLORADO SPRINGS, CO 80916



PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, COMMON NAME, BOTANICAL NAME, CONT., CAL / SIZE, HT. X SPD., WATER USE, CODE REQ. Includes sections for Deciduous Trees, Evergreen Trees, Upright Junipers, Deciduous Shrubs, Evergreen Shrubs, Ornamental Grasses, and Perennials.

LANDSCAPE REQUIREMENTS

Table with columns: CODE SECTION, CATEGORY, FORMULA, CALCULATION, REQUIRED, PROVIDED, ABBREVIATION DENOTED ON PLAN. Lists requirements for landscape setbacks, parking lot landscaping, and screening.

LANDSCAPE MATERIALS

Table with columns: SYMBOL, DESCRIPTION, QTY. Lists materials like Steel Edger and 2'-3' Cimarron Boulder.

PERCENT SIGNATURE PLANTS

Table showing percentages for Trees, Shrubs, and Grasses.

SEED MIXES

EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS. Includes list of species like Buffalo Grass, Blue Grama, etc.

ALTERNATIVE LANDSCAPE ADJUSTMENT

REQUEST #1: CODE SECTION - 7.4.907. REQUIREMENT - 25' WIDE LANDSCAPE SETBACK. JUSTIFICATION - CANNOT PLACE TREES WITHIN LANDSCAPE SETBACK ON THE PROPERTY DUE TO EXISTING UTILITY AND EASEMENT CONFLICTS.

CAUTION - NOTICE TO CONTRACTOR

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

CITY PLANNING APPROVAL



Revision table with columns: #, Date, Issue / Description, Init., SRM. Shows one revision dated 11/27/2024.

FINAL LANDSCAPE PLAN

Sheet 5 of 12

L1.0

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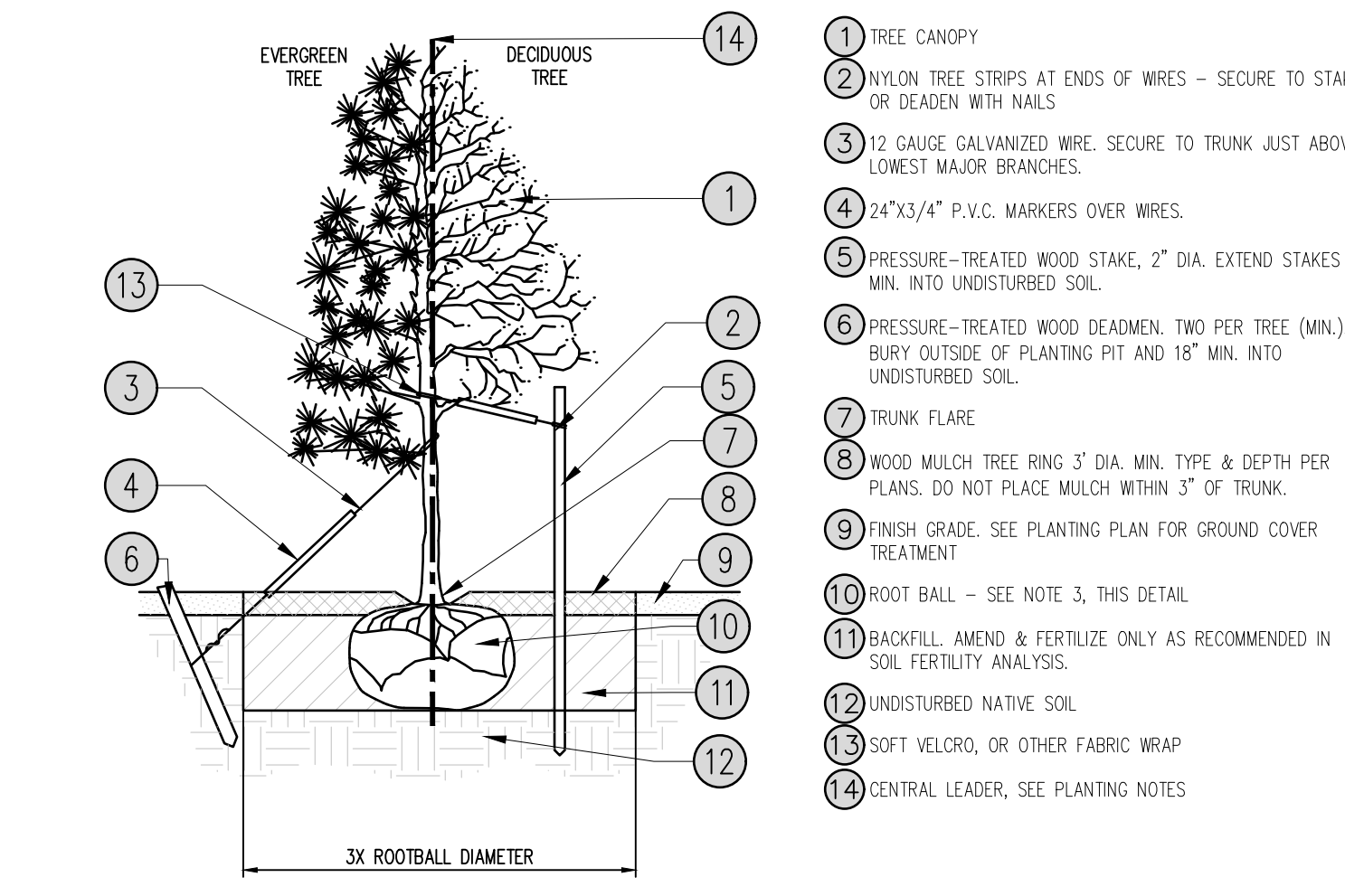
SITE DEVELOPMENT PLAN  
LOT 1 AIRPORT SPECTRUM FIL. NO. 2  
STARBUCKS  
0 SPECTRUM AIR WAY  
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.	SRM
1	11/27/2024	1ST RESUBMITTAL		

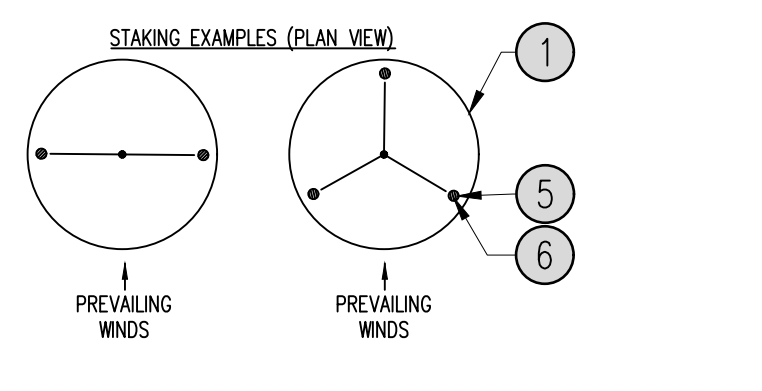
Project No:	YMST
Drawn By:	TJR
Checked By:	SRM
Date:	10/01/2024

LANDSCAPE NOTES & DETAILS

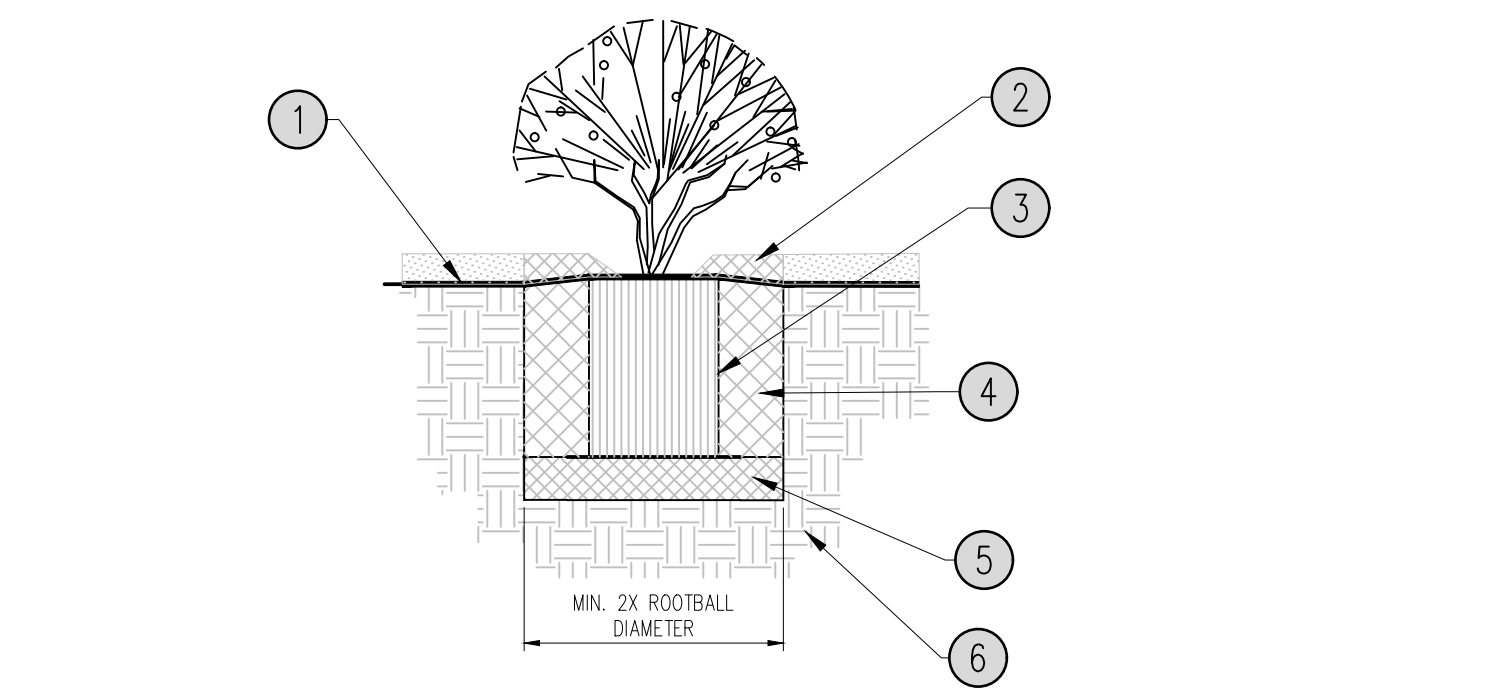
CITY PLANNING APPROVAL



- 1. TREE CANOPY
- 2. NYLON TREE STRIPS AT ENDS OF WIRES - SECURE TO STAKE OR DEADEN WITH NAILS
- 3. 1/2 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES
- 4. 24"x3/4" P.V.C. MARKERS OVER WIRES
- 5. PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL
- 6. PRESSURE-TREATED WOOD DEADEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL
- 7. TRUNK FLARE
- 8. WOOD MULCH TREE RING 3" DIA. MIN. TYPE & DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 3" OF TRUNK
- 9. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
- 10. ROOT BALL - SEE NOTE 3, THIS DETAIL
- 11. BACKFILL. AMEND & FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS
- 12. UNDISTURBED NATIVE SOIL
- 13. SOFT VELCRO, OR OTHER FABRIC WRAP
- 14. CENTRAL LEADER. SEE PLANTING NOTES

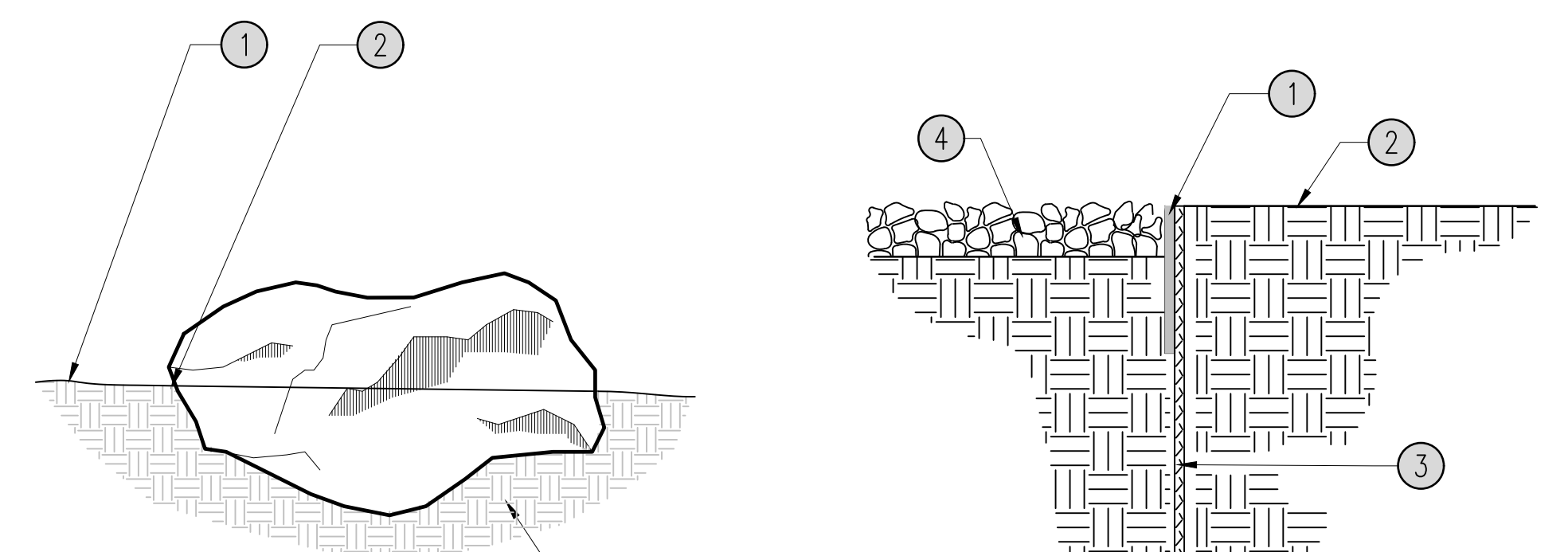


1 TREE PLANTING N.T.S.



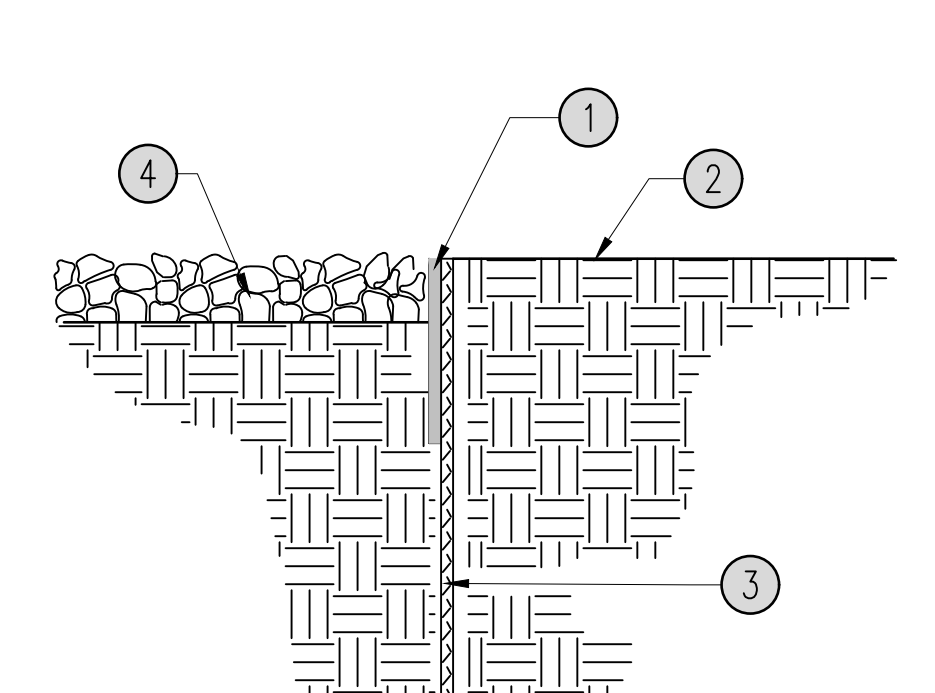
- 1. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
- 2. SHREDDED BARK MULCH, 3" MIN. DEPTH, ROUGHLY THE EXTENTS OF ROOTBALL
- 3. PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJACENT GRADE - INSTALL WATER RING (2 - 3" HT.)
- 4. BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. JET BACKFILL WITH WATER TO ELIMINATE VOIDS
- 5. COMPACTED BACKFILL MIX (75%)
- 6. UNDISTURBED NATIVE SOIL

2 SHRUB/PERENNIAL PLANTING N.T.S.



- 1. FINISH GRADE
  - 2. 1/3 OF BOULDER SHALL BE BURIED
  - 3. COMPACTED SUBGRADE
- NOTES:  
1. HARVEST LANDSCAPE BOULDERS FROM A LOCAL SOURCE, REFERENCE SPECIFICATIONS FOR TYPE & PLANS FOR LOCATIONS.  
2. LANDSCAPE ARCHITECT TO VERIFY BOULDER LOCATIONS AND ORIENTATION PRIOR TO FINAL INSTALLATION.

3 LANDSCAPE BOULDER N.T.S.



- 1. 3/16" x 4" RYERSON STEEL EDGING OR EQUAL
- 2. FINISH GRADE
- 3. 16" STAKES AT 30" O.C.
- 4. 4" DEPTH MULCH

4 STEEL EDGE N.T.S.

UTILITY NOTES

- 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- 3. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

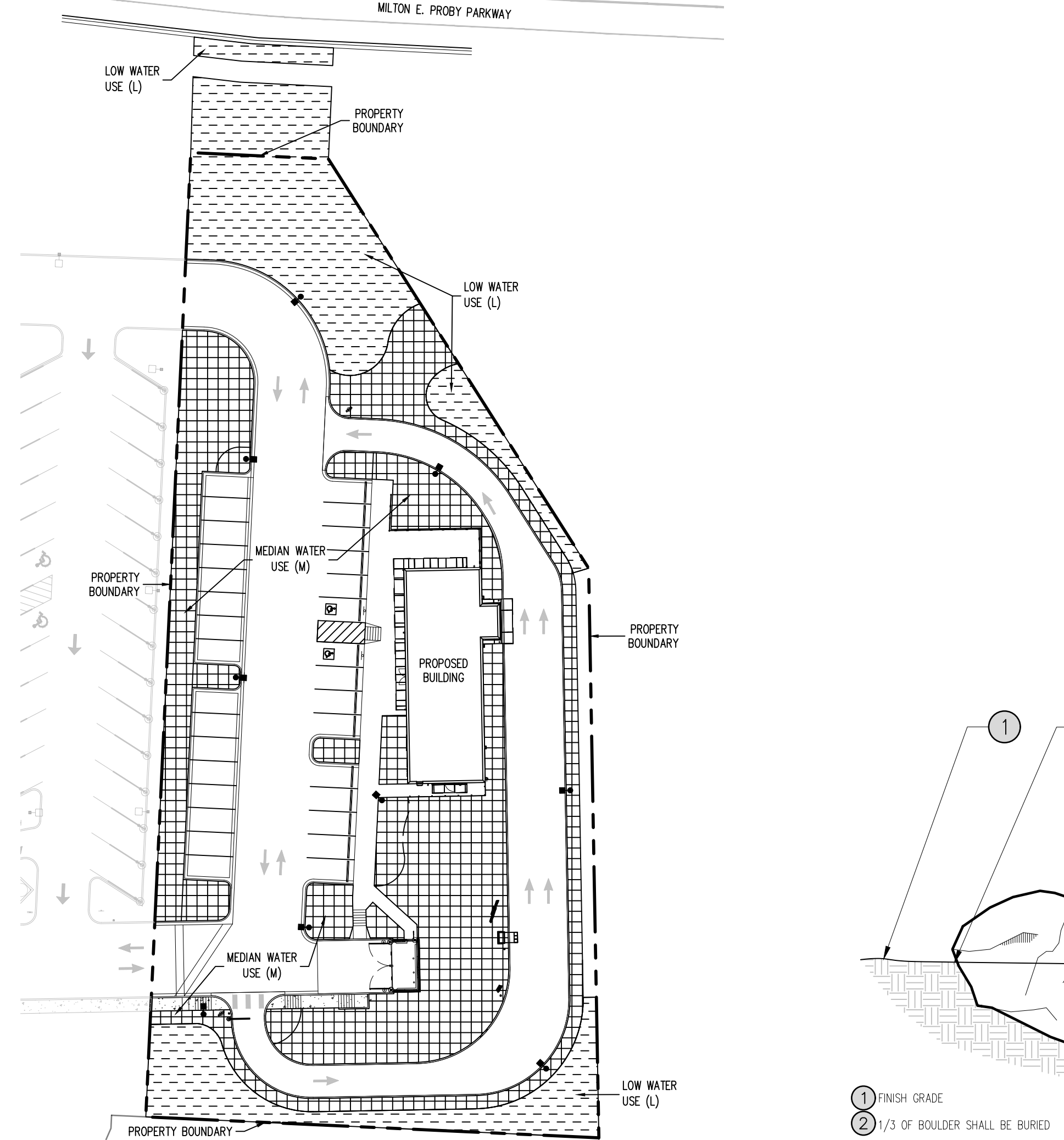
CITY OF COLORADO SPRINGS STANDARD LANDSCAPE NOTES

- 1. A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 2. ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- 3. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS, WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- 4. COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- 5. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- 6. TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.
- 7. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRIC VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.
- 8. PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.

SOIL TESTING

- 1. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- 2. UPON COMPLETION OF SOIL TESTING, AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CUBIC YARD, ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

HYDROZONE DIAGRAM



LEGEND

SITE/TRACT WATER USE AREA TOTALS	
[Pattern]	HIGH WATER USE (H) - 0 SF
[Pattern]	MEDIAN WATER USE (M) - 15,263 SF
[Pattern]	LOW WATER USE (L) - 9,559 SF
	SUB-TOTAL - 24,822 SF

PLANTING NOTES

GENERAL

- 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- 2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- 3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- 4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- 5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- 6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- 7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- 8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- 9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- 10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- 11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- 12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

- 13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- 14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- 15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- 17. ALL PARKING ISLAND SOIL TO BE TILLED OR AMENDED TO A MINIMUM DEPTH OF 30".

PLANTING

- 18. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- 19. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- 20. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- 21. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- 22. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 23. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- 24. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- 25. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- 26. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- 27. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- 28. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. IE., MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

- 29. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.
- 30. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- 31. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- 32. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- 33. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- 34. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #C-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

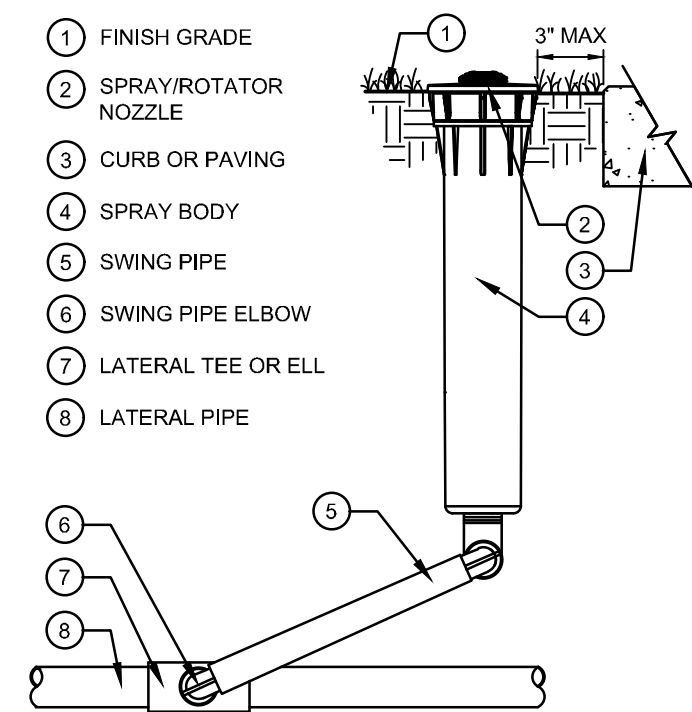
LANDSCAPE GUARANTEE AND MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- 3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE, AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL, AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

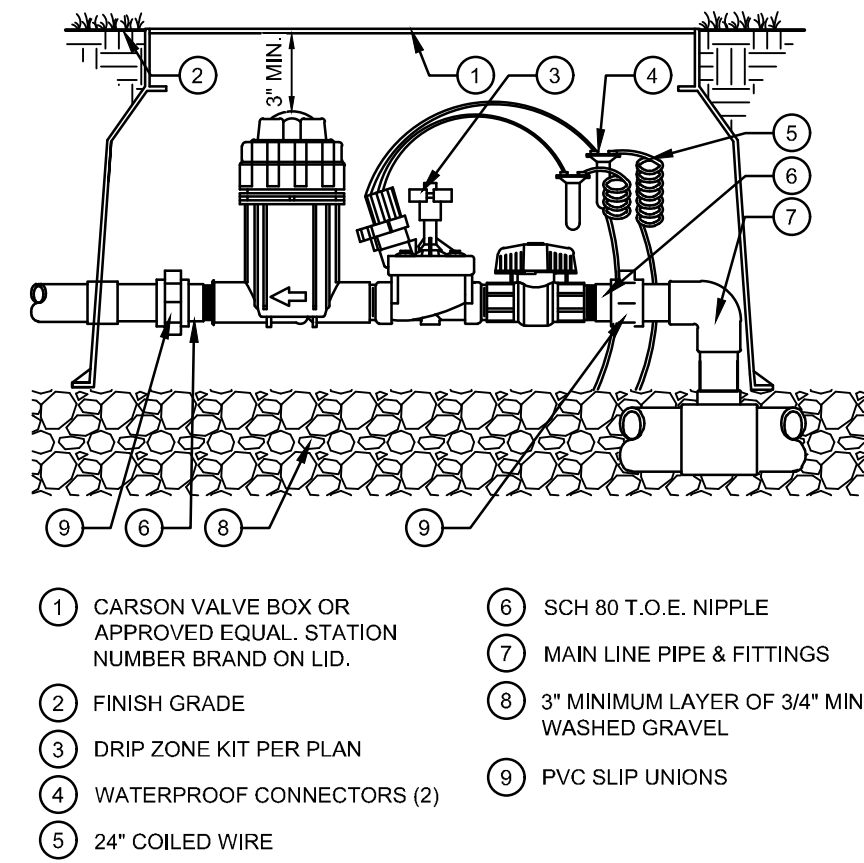


NOT FOR CONSTRUCTION

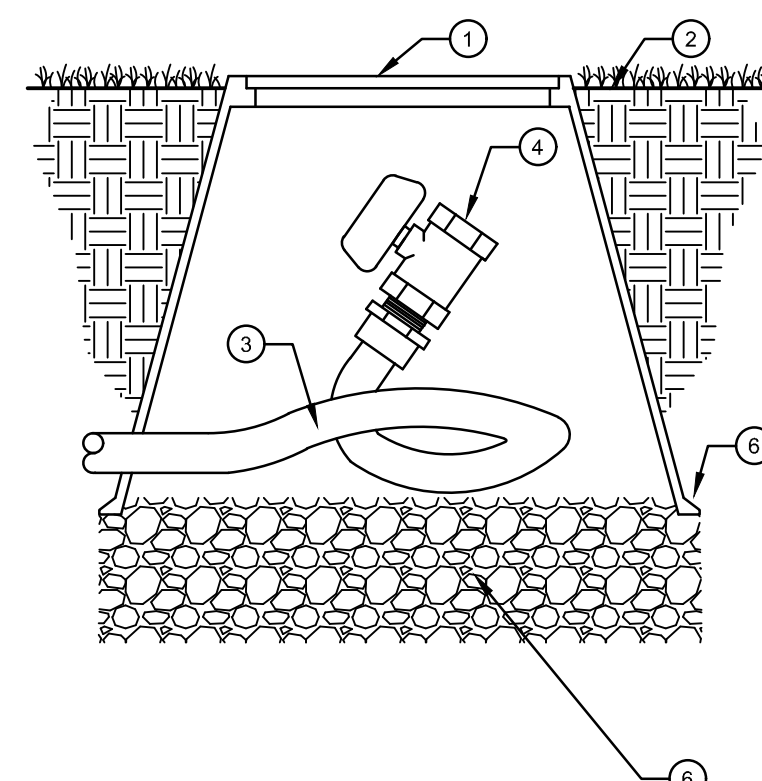
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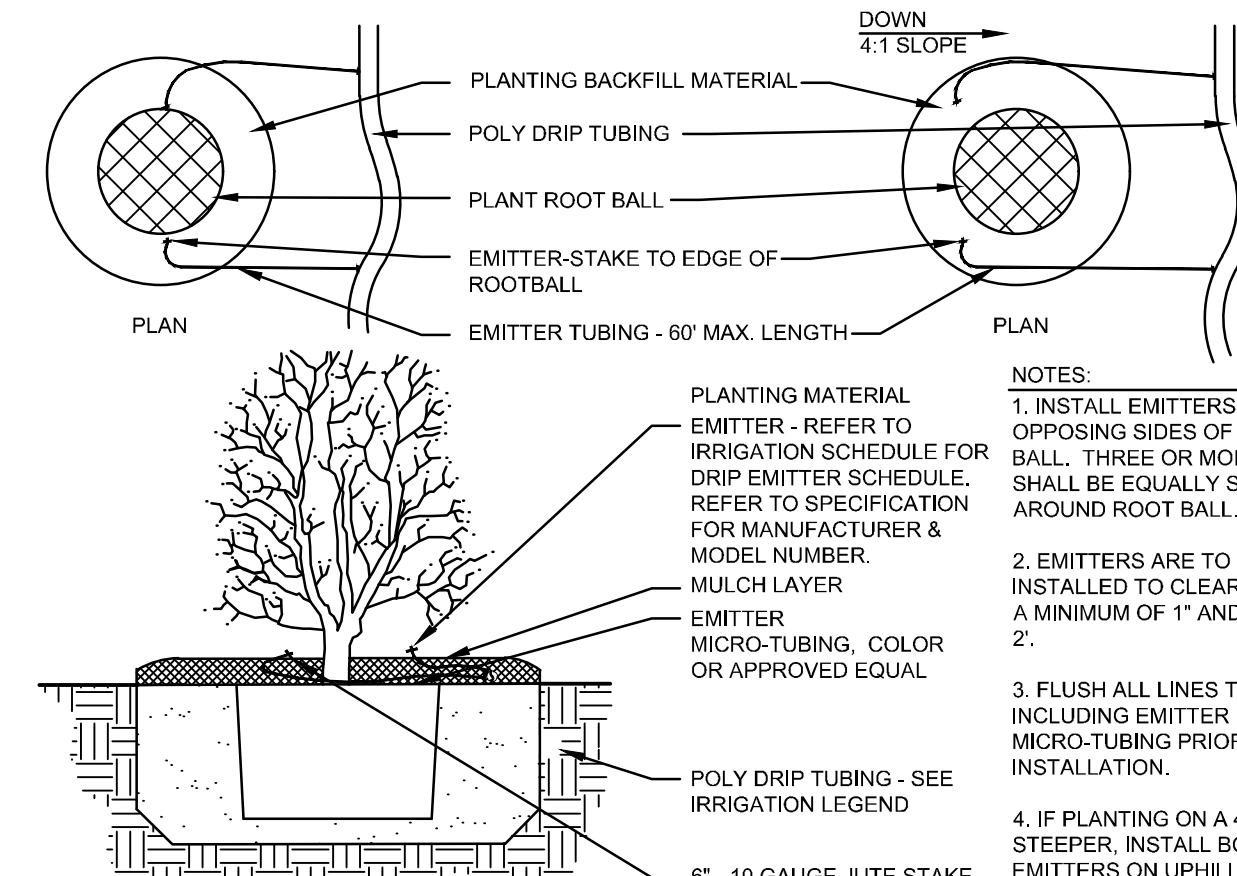
**1** SPRAY/ROTATOR  
N.T.S.



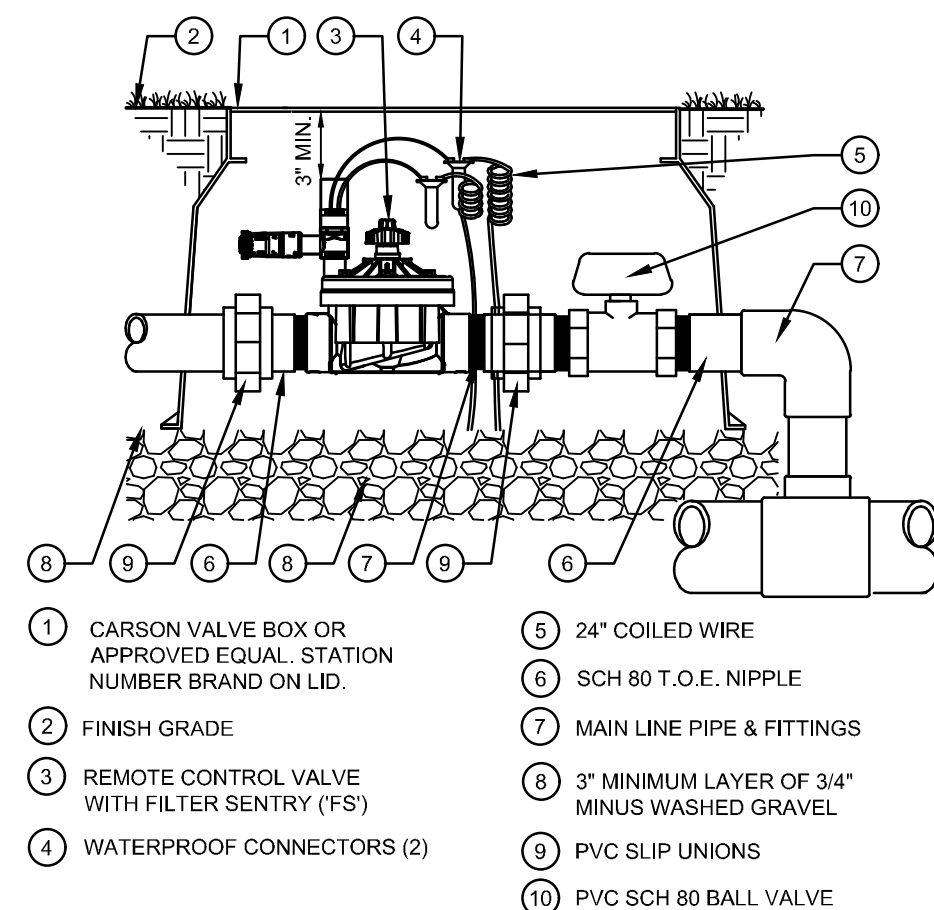
**2** REMOTE DRIP CONTROL VALVE  
N.T.S.



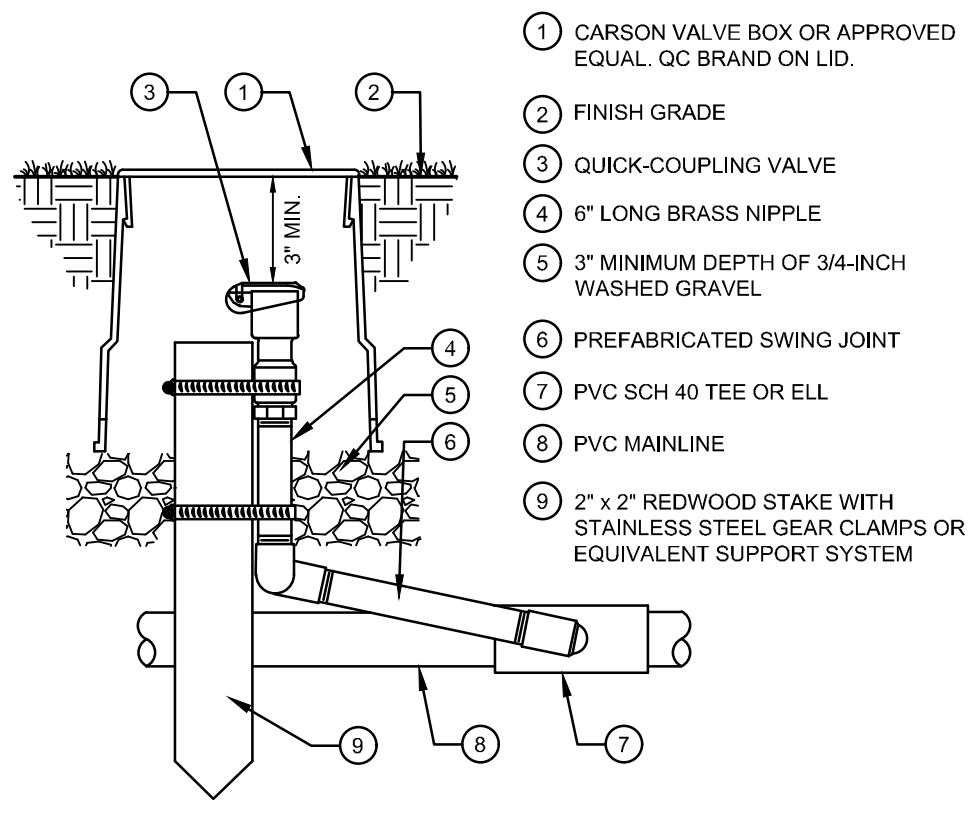
**3** MANUAL FLUSH DRAIN VALVE  
N.T.S.



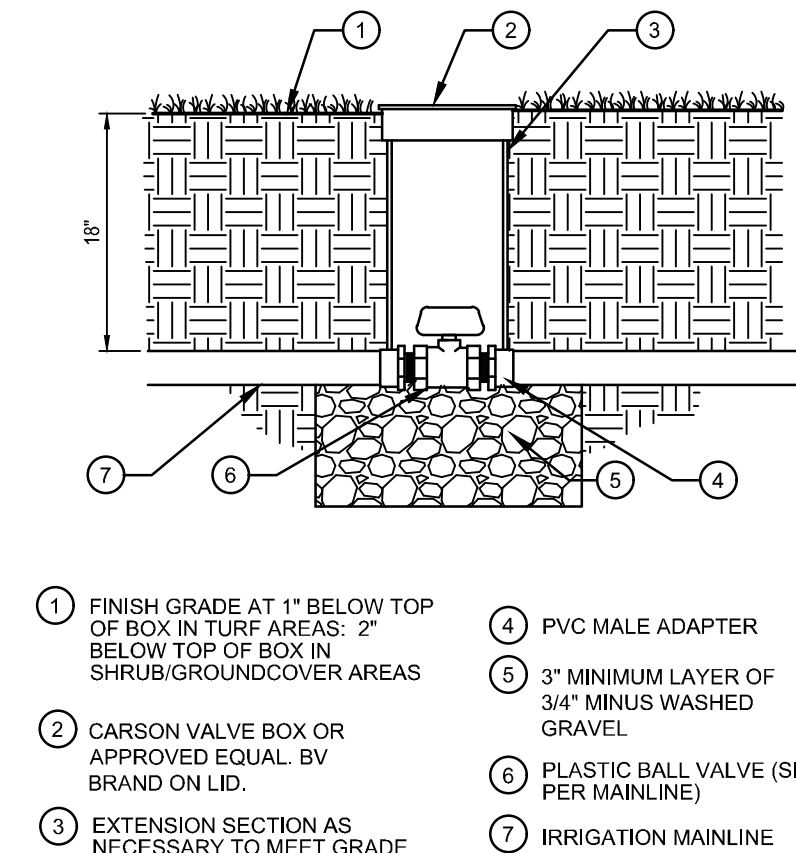
**4** DRIP EMITTERS LAYOUT  
N.T.S.



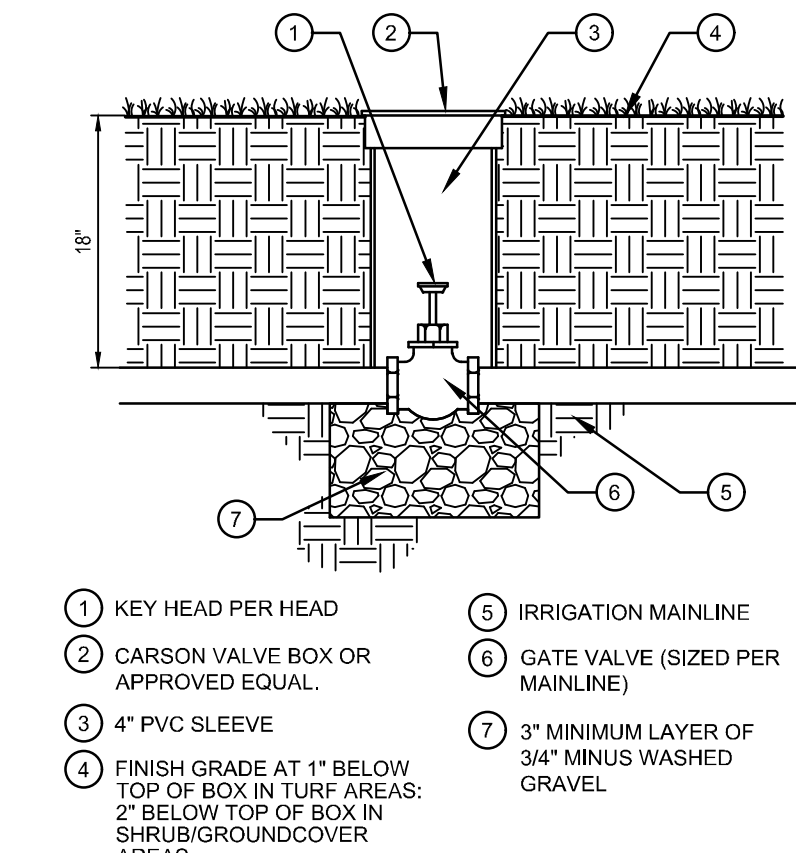
**5** REMOTE CONTROL VALVE  
N.T.S.



**6** QUICK COUPLER  
N.T.S.

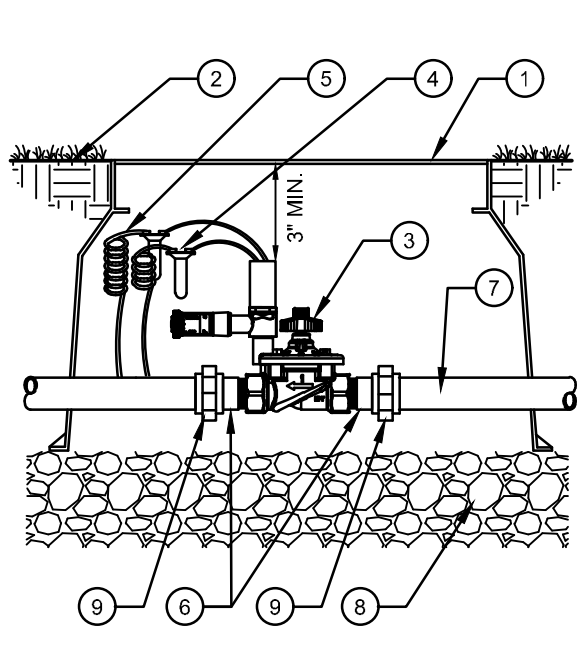


**7** BALL VALVE  
N.T.S.

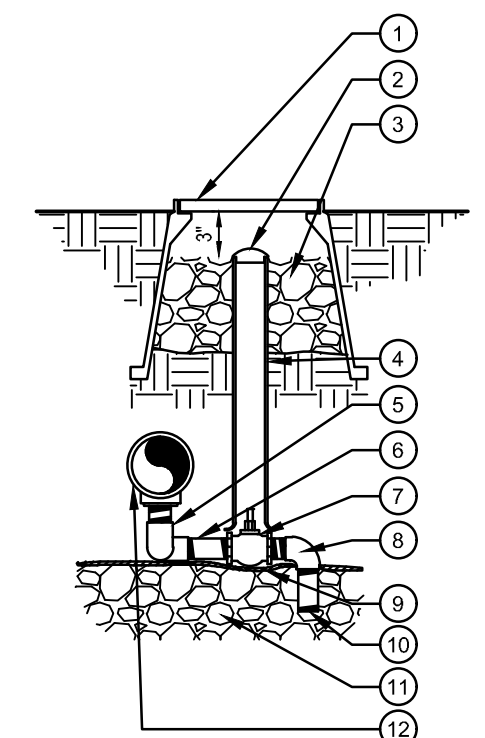


**8** GATE VALVE  
N.T.S.

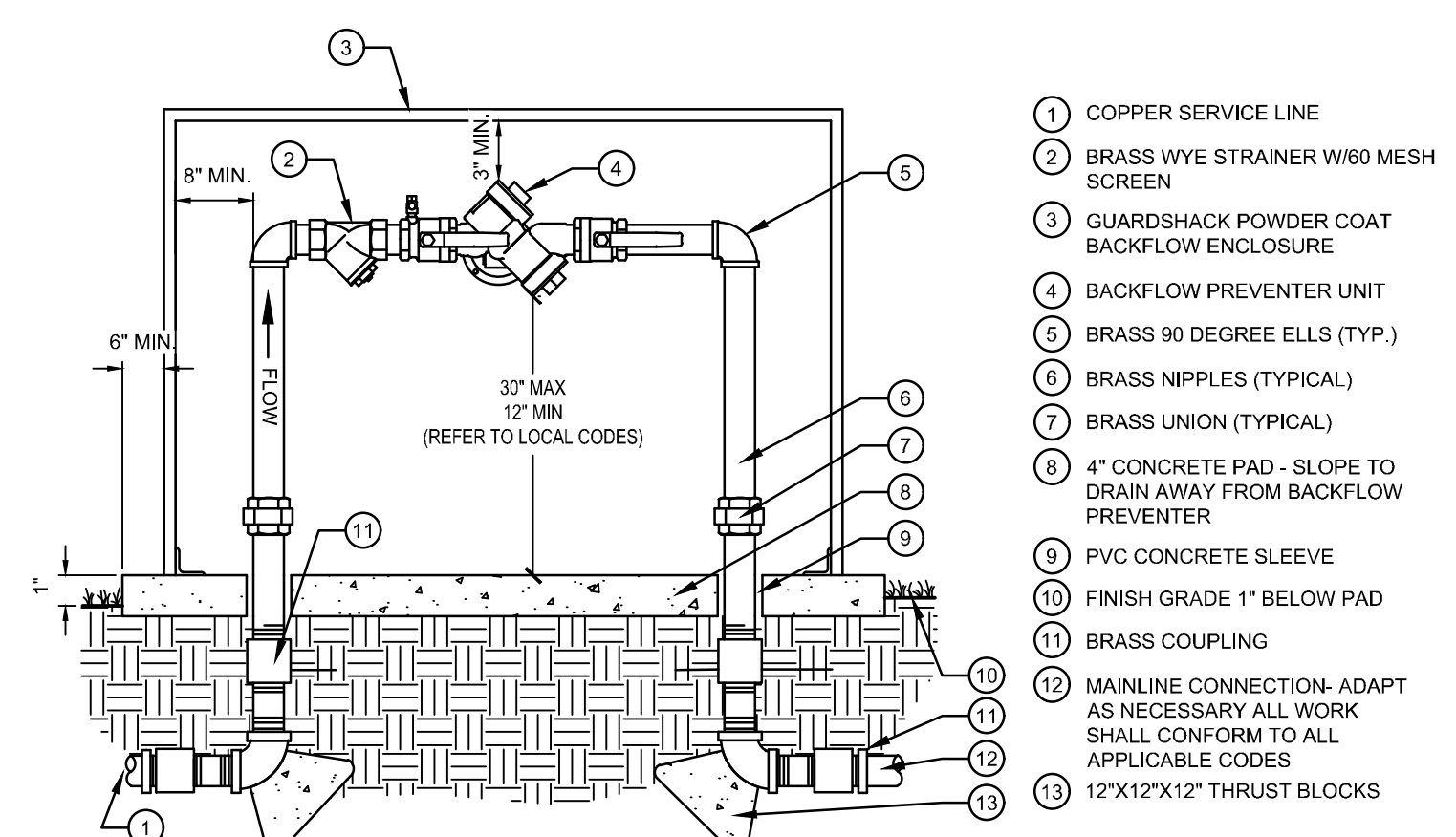
CITY PLANNING APPROVAL



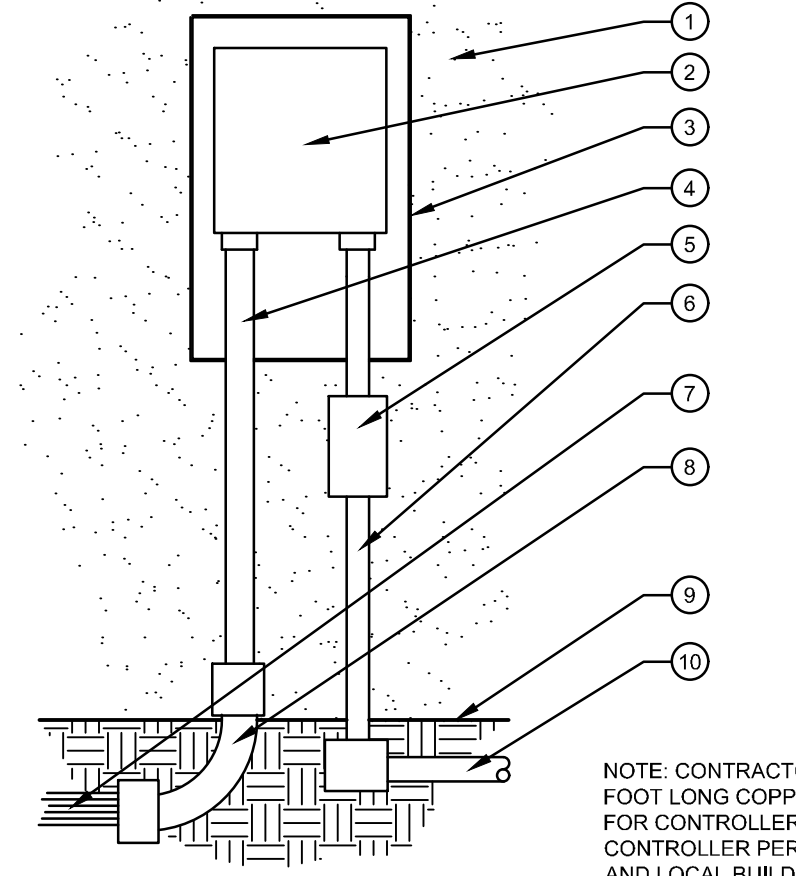
**9** MASTER VALVE  
N.T.S.



**10** MANUAL DRAIN VALVE  
N.T.S.



**11** BACKFLOW PREVENTER, REDUCED PRESSURE  
N.T.S.



**12** WALL MOUNT CONTROLLER  
N.T.S.

SITE DEVELOPMENT PLAN  
LOT 1 AIRPORT SPECTRUM FIL. NO. 2  
STARBUCKS

0 SPECTRUM AIR WAY  
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.	SRM
1	11/27/2024	1ST RESUBMITTAL		

Project No: YMS7  
Drawn By: JAC  
Checked By: EDN  
Date: 11/08/2024

IRRIGATION NOTES & DETAILS





**POLE MOUNTING NOTES**

POLE LIGHT FIXTURES DESIGNED FOR USE WITH HUBBELL SSS-H-40-A POLE, NO GREATER THAN 18'-0" TALL.

THESE ARE DESIGNED AROUND AN ESTIMATED 140 MPH WIND SPEED PER THE AASHTO WIND MAP DATA AND LOCALLY AMENDED IBC INSTRUCTIONS.

**CITY REQUIREMENTS**

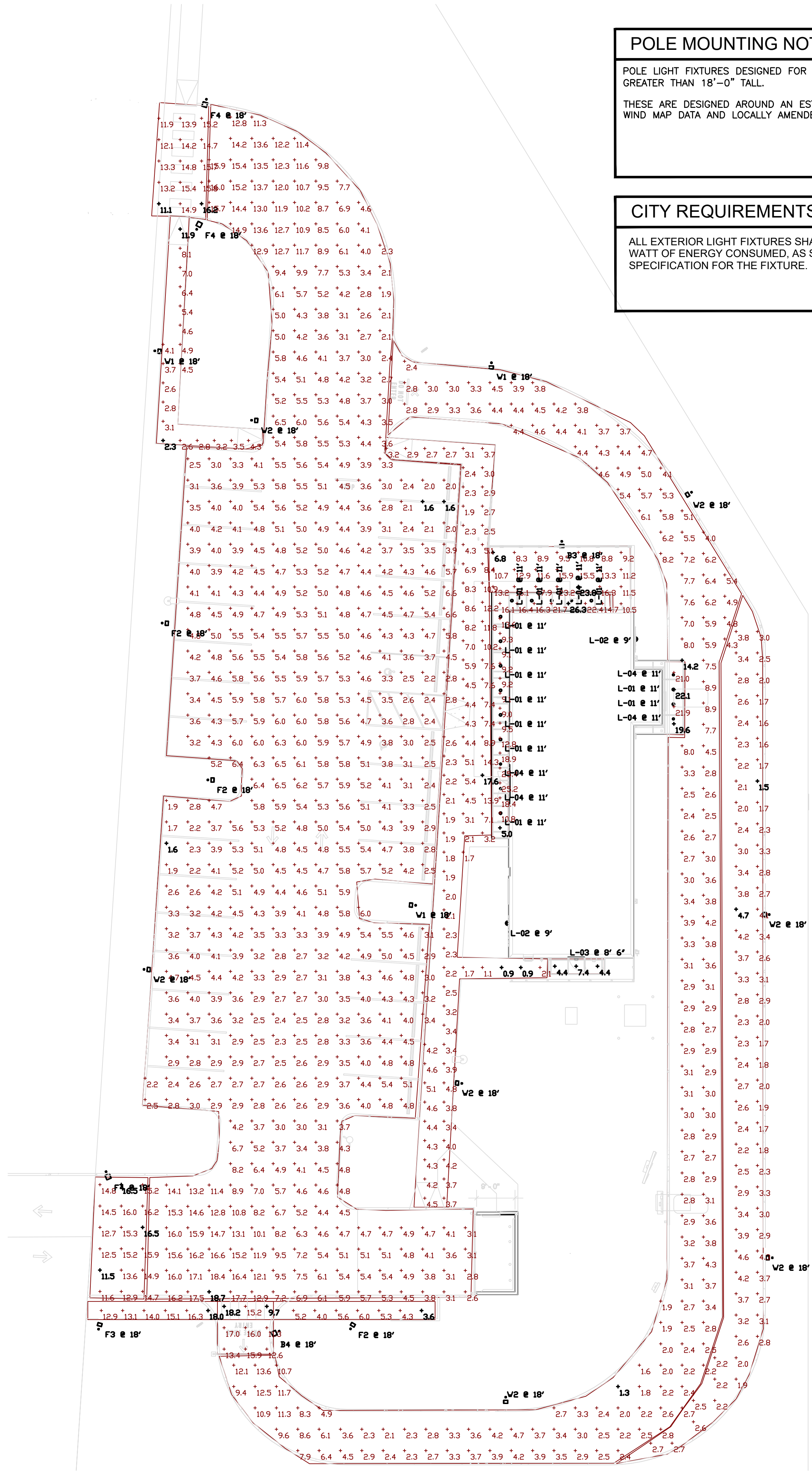
ALL EXTERIOR LIGHT FIXTURES SHALL GENERATE AT LEAST (80) LUMENS PER WATT OF ENERGY CONSUMED, AS SHOWN ON THE MANUFACTURER'S SPECIFICATION FOR THE FIXTURE.

**PHOTOMETRIC NOTES**

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF 0" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN WHEN MOUNTED TO THE BUILDING ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS GIVEN WHERE POLE MOUNTED OR RECESSED ARE GIVEN FOR THE BOTTOM OF THE LENS OF THE LUMINAIRE AND DO NOT REFLECT THE HEIGHT OF THE POLE, BASE OR THE FIXTURE ITSELF.

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN LANDLORD'S CONTRACTOR LETTER TO DETERMINE FIXTURE OUTPUTS AND DISTRIBUTION AS TO MEET THE WRITTEN FOOT-CANDLE LEVELS REQUIRED. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE LANDLORD'S CONTRACTOR AND TENANT PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THEIR PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE IN AS THE BASIS OF DESIGN. .

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR THE SHELL CONSTRUCTION ONLY AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING PROVIDED AWAY FROM THE SITE, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.



**Schedule**

Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	L-02	2	258377-1 MDD#11251/CP133537	LED WALL CYLINDER	1	574	14.7
	L-03	1	VDGE2 LED P1 30K 90CRI VF	VDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT FORWARD OPTIC	1	1166	9.81
	L-04	5	LBR6 ALD2 (1500LM) SWW1 (3000K) AR LSS MWD 90CRI	6IN LBR Retrofit 1500LM 3000K Clear Semi-Specular Medium Wide 90CRI	1	1683	18.74
	L-01	13	J5F 7IN 10LM 40K 90CRI MVDLT ZT WH	6IN Round Edgelit (Slimform) Surface Mount, 4000K, 90CRI, MV	1	1135	12.8
	F2	3	ALT1-28L-85-3K9-4	ALTITUDE 2.0	1	9170	86
	B4	1	ALT2-100L-160-3K9-2	ALTITUDE 2.0	1	19180	160
	W2	7	ALT1-28L-85-3K9-3	ALTITUDE 2.0	1	9161	86
	B3	1	ALT1-54L-120-3K9-2	ALTITUDE 2.0	1	13671	122
	F3	1	ALT1-54L-120-3K9-4	ALTITUDE 2.0	1	13793	122
	F4	3	ALT2-100L-160-3K9-4	ALTITUDE 2.0	1	19532	160
	W1	3	ALT1-28L-60-3K9-3	ALTITUDE 2.0	1	6939	60

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DT Bypass	+	2.7 fc	4.7 fc	1.5 fc	3.1:1	1.9:1
DT Entry	+	14.4 fc	18.2 fc	9.7 fc	1.9:1	1.5:1
DT Lane	+	4.3 fc	14.2 fc	1.3 fc	10.9:1	3.3:1
North Site Entry	+	14.2 fc	16.2 fc	11.1 fc	1.5:1	1.3:1
Parking	+	5.3 fc	18.7 fc	1.6 fc	11.7:1	3.3:1
Rear Entry Canopy	+	5.4 fc	7.4 fc	4.4 fc	1.7:1	1.2:1
Sidewalk (North)	+	4.6 fc	11.9 fc	2.3 fc	5.2:1	2.0:1
South Sidewalk	+	10.3 fc	18.0 fc	3.6 fc	5.0:1	2.9:1
South Site Entry	+	14.5 fc	16.5 fc	11.5 fc	1.4:1	1.3:1
Under DT canopy	+	21.2 fc	22.1 fc	19.6 fc	1.1:1	1.1:1
Under Main Canopy	+	14.9 fc	26.3 fc	5.0 fc	5.3:1	3.0:1
Walk Path by Building	+	4.6 fc	17.6 fc	0.9 fc	19.6:1	5.1:1
Dining Patio	+	13.0 fc	23.8 fc	6.8 fc	3.5:1	1.9:1

CITY PLANNING APPROVAL



1 SITE AND DRIVE THRU PHOTOMETRIC PLAN  
Scale: 1/16" = 1'-0"

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**STARBUCKS SHELL BUILDING**  
**MILTON PROBY CO**  
POWERS AND MILTON E PROBY  
COLORADO SPRINGS, CO

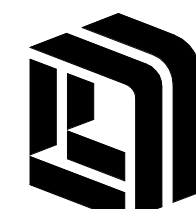
**Revisions:**

#	Description	Date

Issue Date: 09/20/24  
Designer:  
Drawn By:  
Check By:  
Project No:  
Package: 20% CD SET

Title:  
ELECTRICAL  
PHOTOMETRICS

Sheet No.  
**E302**



**NEWGROUND**

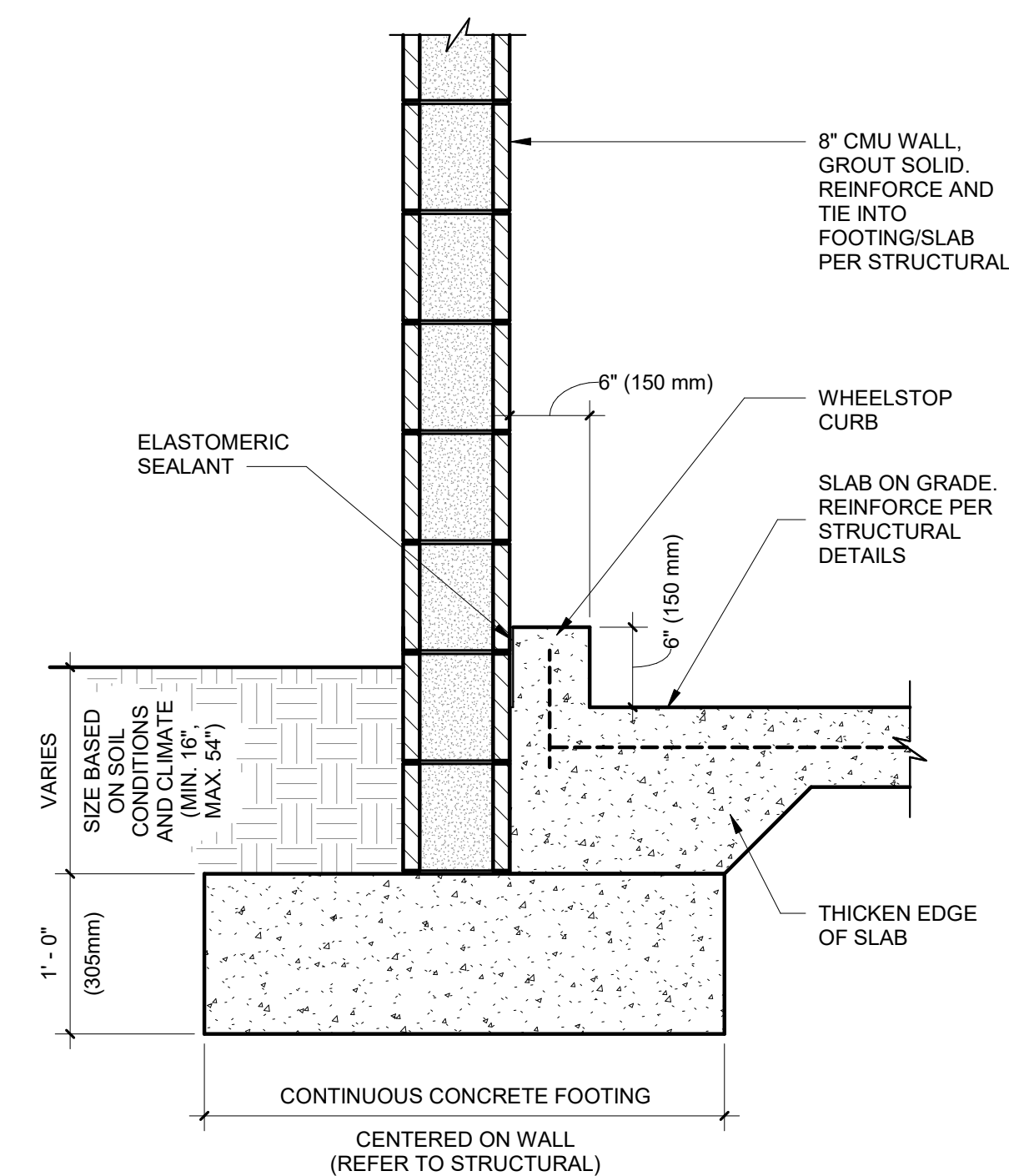
ARCHITECT

ARNO SANDOVAL, AIA, NCARB  
15450 South Outer Fwy Drive, Suite 300  
Cherfield, MO 63017  
636.898.8100  
Certificate No.: 0000000

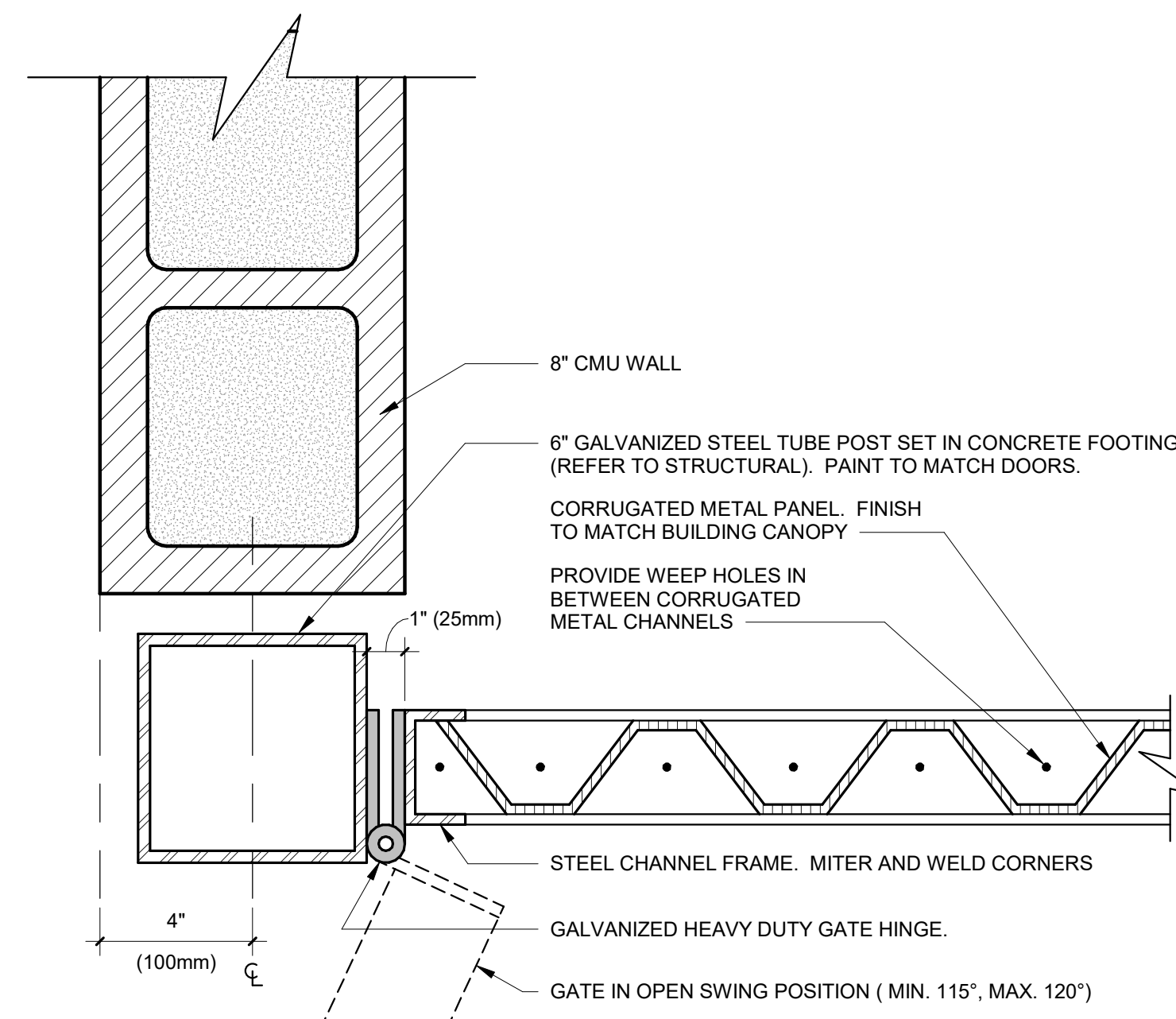
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### EXTERIOR FINISH NOTES

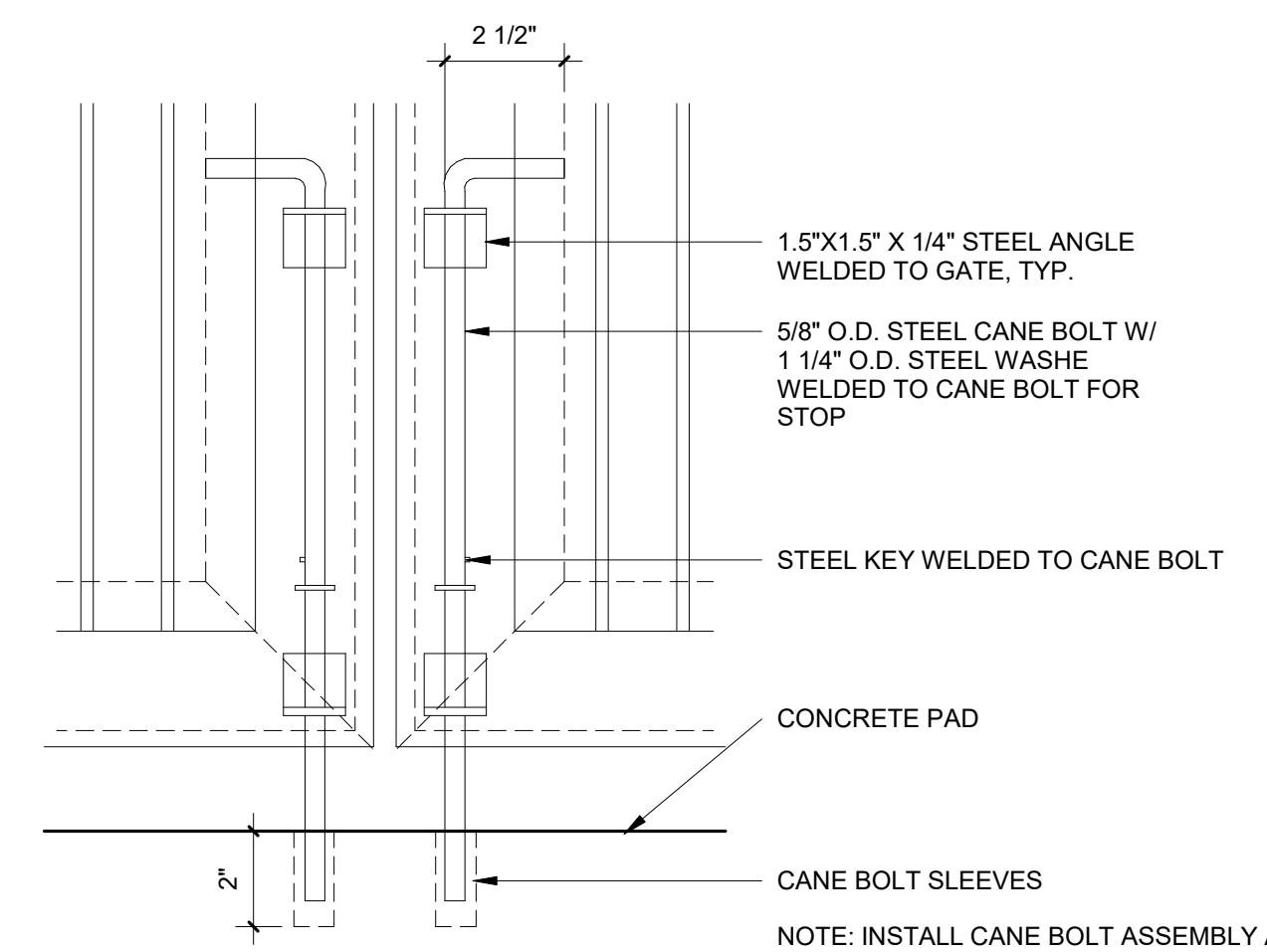
1. THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
2. RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. STRUCTURAL ENGINEER TO PROVIDE MASONRY SPECIFICATIONS.



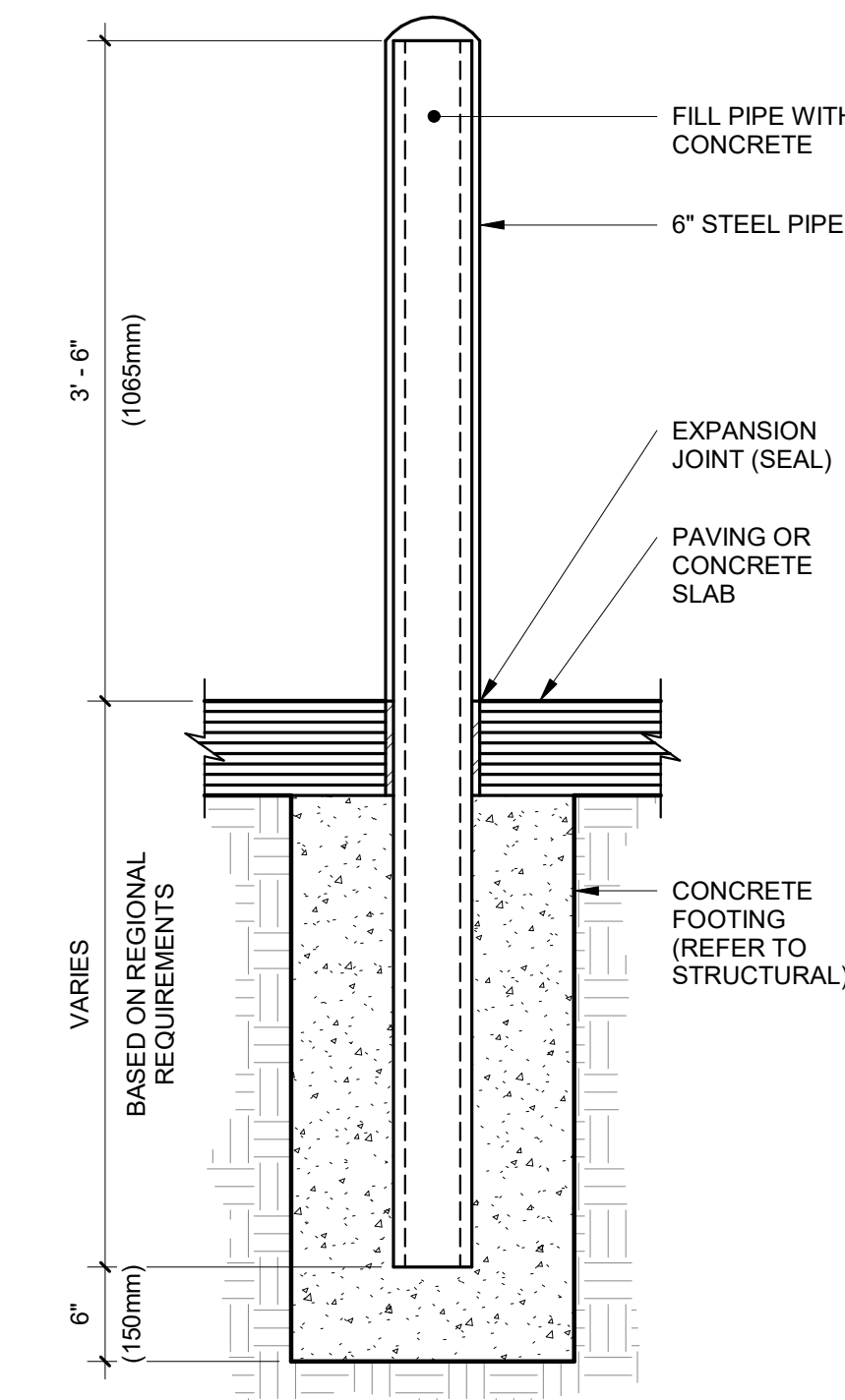
10 TYPICAL CMU WALL SECTION  
Scale: 1" = 1'-0"



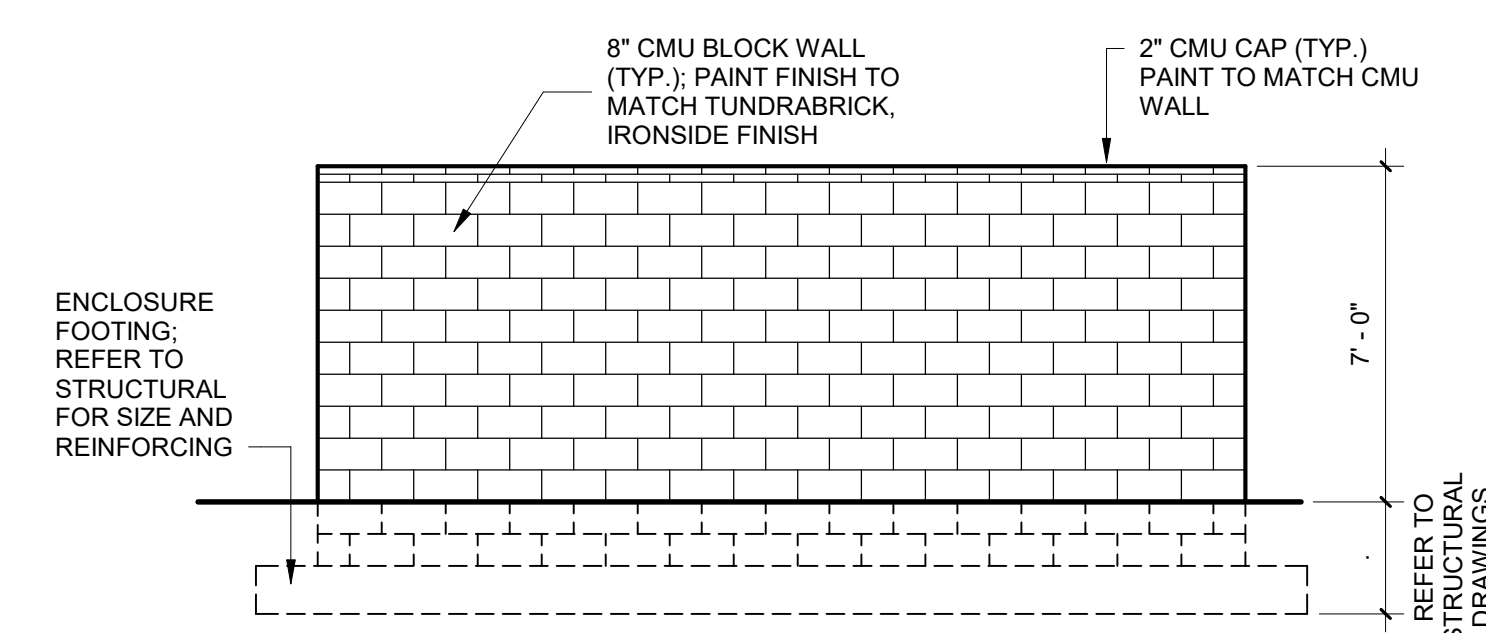
9 TRASH ENCLOSURE GATE HINGE DETAIL  
Scale: 3" = 1'-0"



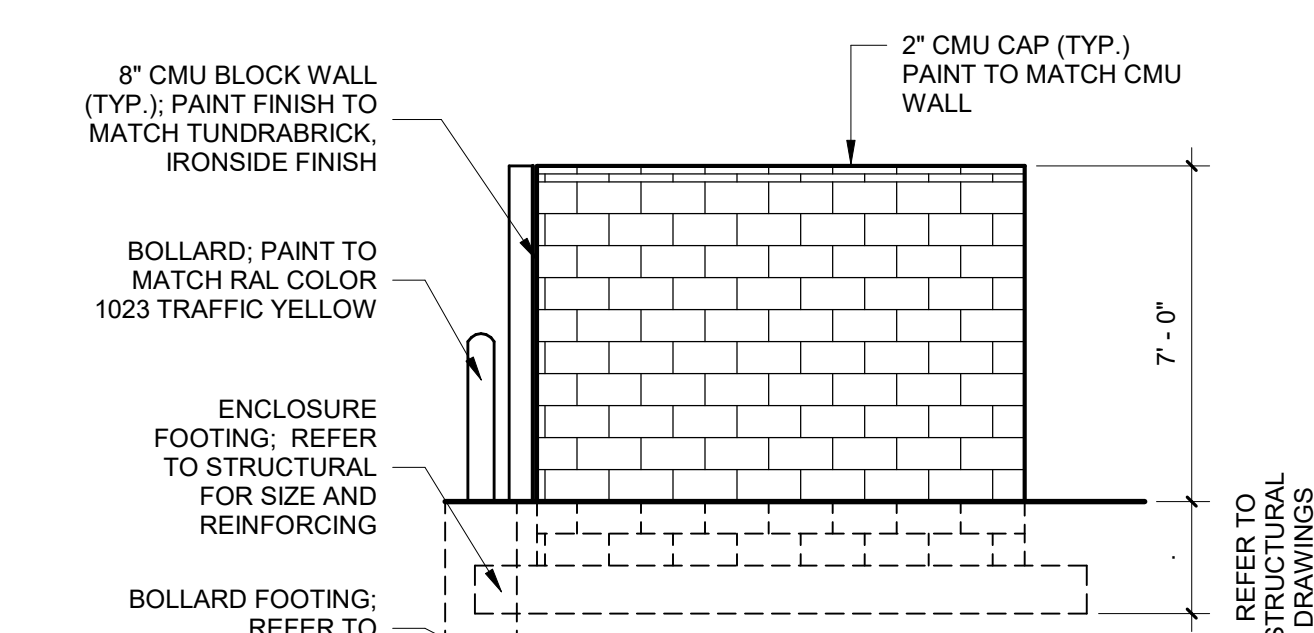
8 TRASH ENCLOSURE CANE BOLT  
Scale: 3" = 1'-0"



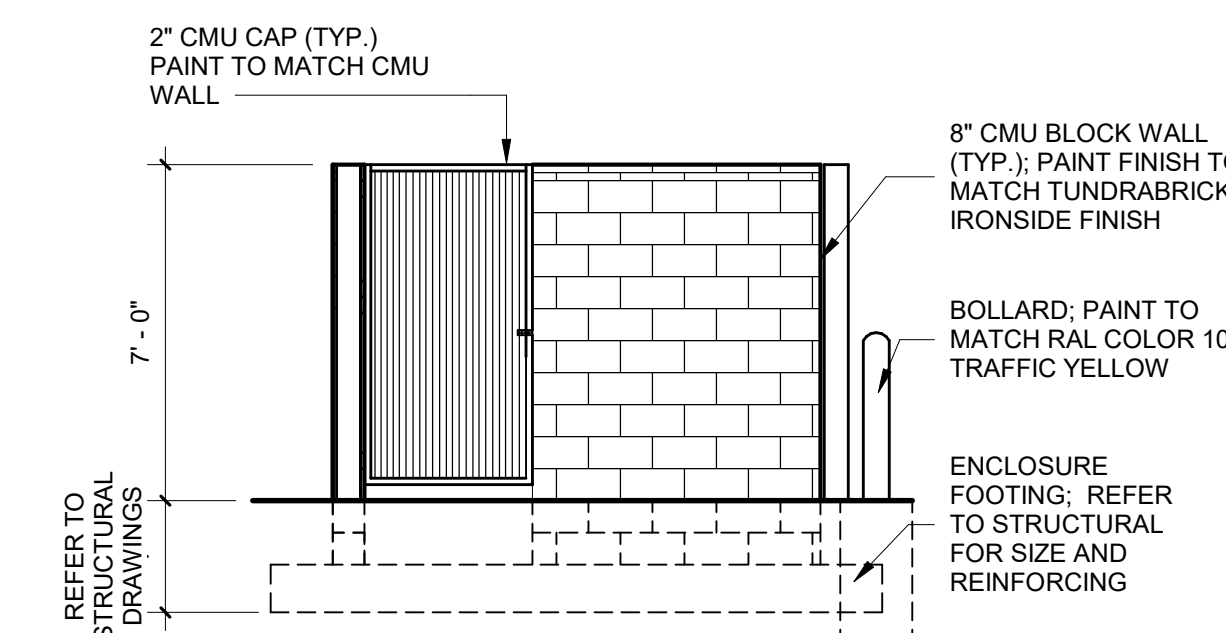
4 TRASH ENCLOSURE BOLLARD  
Scale: 1" = 1'-0"



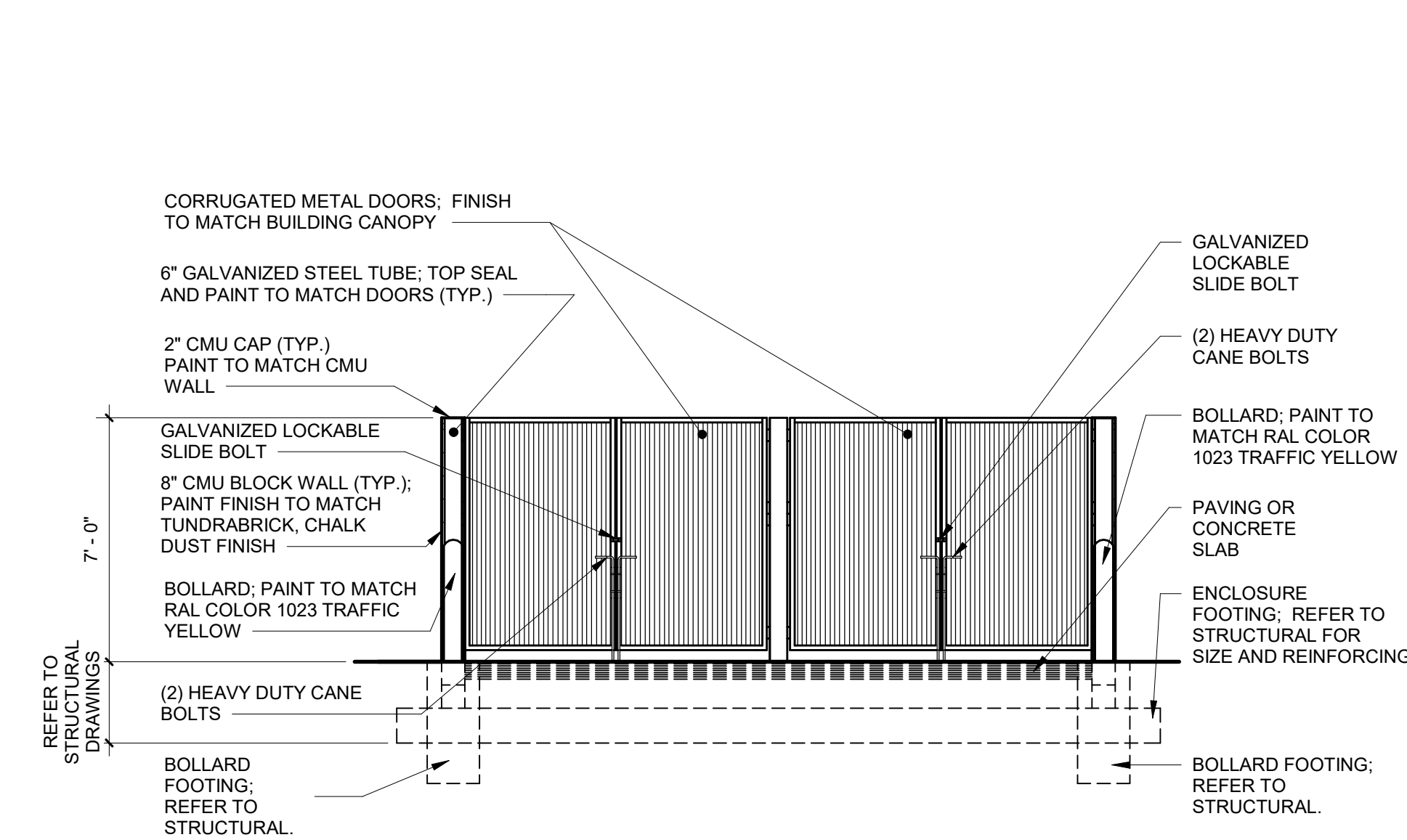
7 BACK ELEVATION  
Scale: 1/4" = 1'-0"



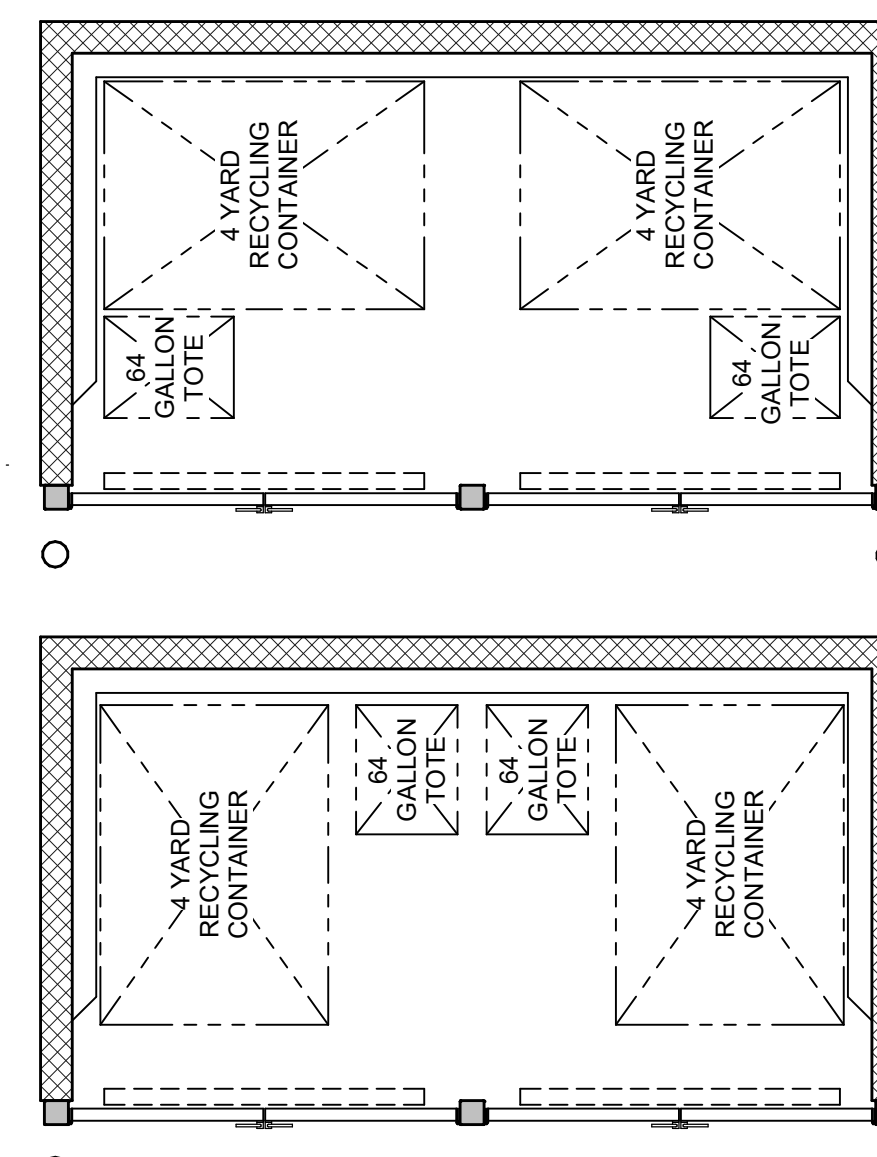
6 SIDE ELEVATION "A"  
Scale: 1/4" = 1'-0"



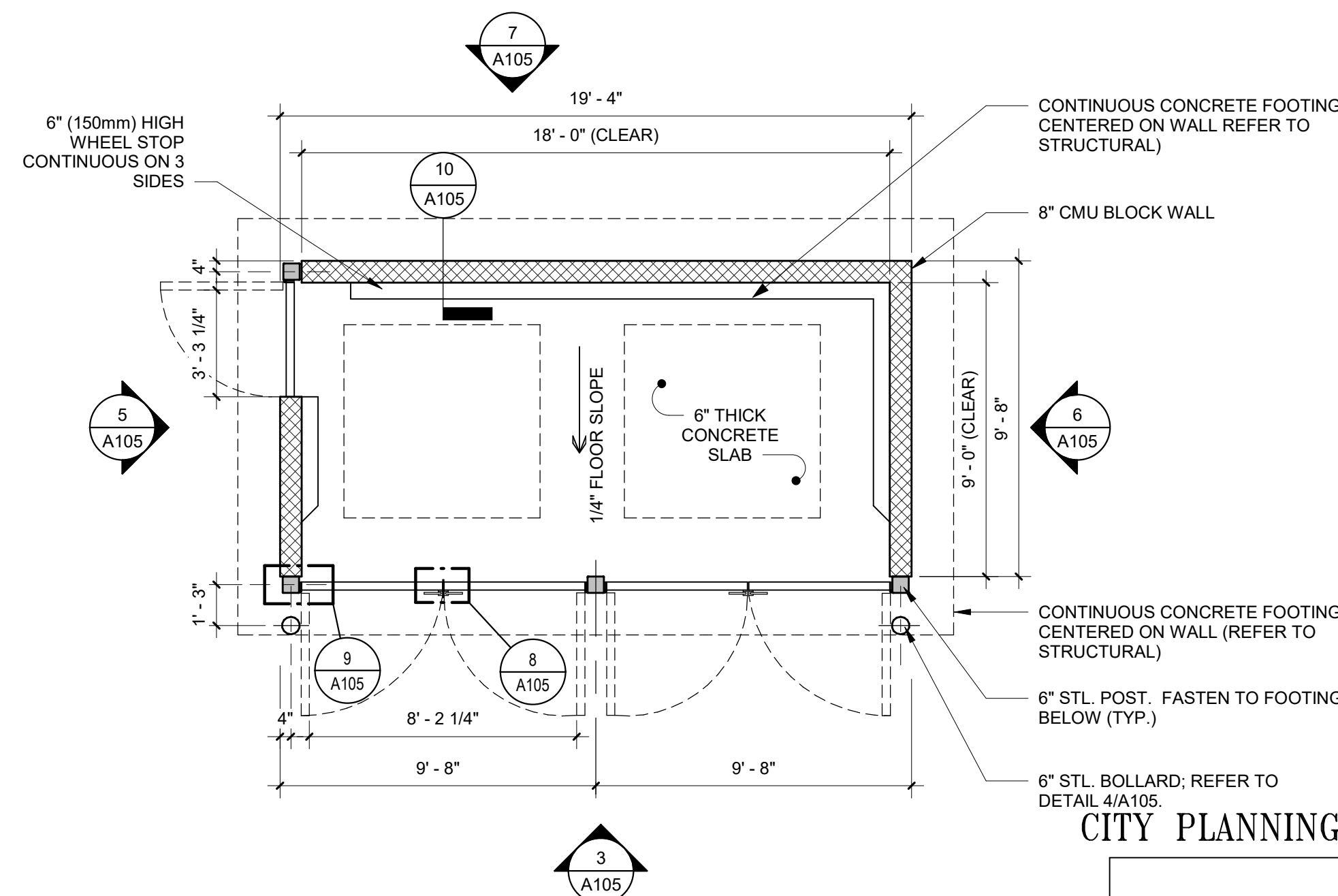
5 SIDE ELEVATION "B"  
Scale: 1/4" = 1'-0"



3 FRONT ELEVATION  
Scale: 1/4" = 1'-0"



2 CONTAINER LAYOUT OPTIONS  
Scale: 1/4" = 1'-0"



1 TRASH ENCLOSURE - FLOOR PLAN  
Scale: 1/4" = 1'-0"

CITY PLANNING APPROVAL

**STARBUCKS SHELL BUILDING**  
**MILTON PROBY CO**  
POWERS AND MILTON E PROBY  
COLORADO SPRINGS, CO

#	Description	Date

Issue Date: 10/01/24  
 Designer: M. FERGUSON  
 Drawn By: M. FERGUSON  
 Check By: A. HERNANDEZ  
 Project No: Q51220003  
 Package: DP SUBMITTAL

Title: SITE DETAILS - TRASH ENCLOSURE

Sheet No.

**A105**

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**STARBUCKS SHELL BUILDING**  
**MILTON PROBY CO**  
POWERS AND MILTON E PROBY  
COLORADO SPRINGS, CO

Revisions:

#	Description	Date

Issue Date: 10/01/24  
Designer: M. FERGUSON  
Drawn By: M. FERGUSON  
Check By: A. HERNANDEZ  
Project No: Q51220003  
Package: DP SUBMITTAL

Title: EXTERIOR ELEVATIONS

Sheet No.

**A200**

**ELEVATION KEY NOTES**

- EXTERIOR SCONCE. REFER TO LIGHTING SCHEDULE AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- FUTURE BUILDING SIGNAGE LOCATION. GC TO COORDINATE WITH TENANT FOR POWER LOCATION AND BLOCKING REQUIREMENTS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- WALL MOUNTED ROOF ACCESS LADDER WITH SECURITY GATE PER 2015 INC 306.5 AND OSHA STANDARDS. FINISH TO MATCH ADJACENT WALL COLOR. REFER TO DETAIL A-321 FOR LADDER CONNECTION.
- KNOX BOX LOCATION. COORDINATE FINAL LOCATION WITH FIRE DEPARTMENT. KNOXBOX 3200 SERIES, RECESSED, BLACK.
- DISCONNECT, CT AND ELECTRICAL METER. PAINT TO MATCH ADJACENT WALL COLOR. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- BUILDING ROOF DOWNSPOUT AND CANOPY DOWNSPOUT TO TIE INTO STORM DRAIN LINE REFER TO CIVIL DRAWINGS. FINISH COLOR TO MATCH ADJACENT WALL.
- LOCATION OF VERTICAL EIFS REVEAL, TYP.
- GAS METER LOCATION. EXTEND 1 1/2" NATURAL GAS SERVICE FROM THE P.O.C. SHOWN ON PLAN TO 5' INSIDE PREMISES. THIS WILL INCLUDE METER, GAS SERVICE SHALL BE A LOW PRESSURE OUTLET FROM THE METER AND SHALL BE SIZED TO ACCOMMODATE PRESSURE LOSS FROM THE DISTANCE TO THE METER. REFER TO CIVIL FOR ADDITIONAL INFORMATION TO COORDINATE. PAINT TO MATCH ADJACENT WALL COLOR.
- DRIVE THRU WINDOW AND SHELF. REFER TO DETAIL SHEET A-101
- PREMANUFACTURED CANOPIES WITH THE BACKS, REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION.
- DASHED LINE DENOTING LINE OF ROOF BEYOND.
- ALIGN END OF CANOPY WITH FINISH TRANSITION AS SHOWN
- EXTERIOR FROST-PROOF HOSE BIBB. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR SERVICE DOOR LIGHT. REFER TO LIGHTING SCHEDULE AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- PREFINISHED ROOFTOP SCREEN. REFER TO BUILDING ACCESSORY SCHEDULE FOR MORE INFORMATION.
- LOCATION OF UTILITY SCREEN.
- EXTENTS OF UTILITY SCREEN SHOWN DASHED FOR CLARITY.
- ADDRESS SIGN. 12" BLACK LETTERS.
- LOCATION OF HORIZONTAL EIFS REVEAL, TYP.

**GENERAL NOTES: EXTERIOR ELEVATIONS**

- ALL MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- EXPOSED STRUCTURAL STEEL COLUMNS, BEAMS, BRACING, ETC. AT EXTERIOR PATIO & DRIVE UP CANOPY SHALL BE ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) & SHALL BE GALVANIZED & FIELD PAINTED. COLOR SHALL MATCH COLOR OF CURTAIN WALL / WINDOW FRAMING.
- DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM DRAINAGE PIPING, UNLESS INDICATED OTHERWISE.
- CONTRACTOR TO SEAL ALL MEPPF PENETRATIONS AND OPENINGS AT THE BUILDING ENVELOPE. REFER TO MEPPF DRAWINGS FOR COORDINATION AND LOCATIONS OR PENETRATIONS.
- GAS METER MUST BE A MINIMUM OF 3- FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.
- FINAL SIGNAGE LOCATIONS TO BE COORDINATED WITH TENANT DRAWINGS. ALL SIGNAGE BY TENANT'S SIGN CONTRACTOR, UNDER SEPARATE PERMIT.

**EXTERIOR WALL LEGEND**

BR-01	THIN BRICK RUNNING BOND - IRONSIDE - TUNDRABRICK
EF-01	EIFS, DRYVIT SW 6991 BLACK MAGIC - SANDBLAST
TL-01	CERAMIC TILE ZIA CERAMICS - KELP FOREST

**EXTERIOR WALL TREATMENT SCHEDULE - "Q"**

DESIGN ID	TYPE	MFR / SUPPLIER	FINISH / COLOR
BR-01	THIN BRICK	ELDORADO STONE	200 - THIN FACE BRICK, RUNNING BOND - IRONSIDE - TUNDRABRICK. SPECMIX MORTAR SM800 - BLACK
EF-01	EIFS	DRYVIT	SANDBLEBBLE FINE FINISH, COLOR TO MATCH RAL7016 ANTHRACITE GREY
MT-01	METAL COPING	LOCALLY SOURCED	PREFINISHED COPING, COLOR TO MATCH ADJACENT WALL, SW 6991
MT-02	METAL TRIM / BRAKE METAL	LOCALLY SOURCED	PREFINISHED BRAKE METAL TRIM TO MATCH SW 6991
MT-03	METAL COMPOSITE PANEL	PAC CLAD	PREFINISHED - FLAT BLACK POWDERCOAT TO MATCH SW 6991
TL-01	CERAMIC TILE	ZIA TILE	KELP FOREST 2" X 8" GLOSSY FINISH, EPOXY GROUT COLOR MAPEI 5039 IVORY

