### LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 1. TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO.

TO BE PLATTED AS LOT 1, AIRPORT SPECTRUM FILING NO. 3

### SITE DATA:

SITE ADDRESS: 3565 SPECTRUM AIR WAY MASTER PLAN: N/A

CONCEPT PLAN: EXISTING ZONE: PDZ, AP-O (PLANNED DEVELOPMENT ZONE WITH AIRPORT OVERLAY); CITY FILE NO. CPC PUZ 17–00146 (ORD. 18–95)

SITE PLAN ACREAGE: 1.18 AC

TAX SCHEDULE NO.: 65011-00-013 PROPOSED USE: RESTAURANT (FAST FOOD)

EXISTING LAND USE: VACANT COMMERCIAL LAND

PARKING REQUIREMENTS: RESTAURANT (FAST FOOD) PARKING SPACES: TOTAL 1 SPACE PER 300 SF REQUIRED PER TABLE 7.4.10-A ~

PARKING REQUIREMENTS							
BUILDING SF	REQUIRED SPACES	PROVIDED SPACES	REQUIRED ADA ASSESSABLE	PROVIDED ADA ASSESSABLE			
2465	9	31	2	2			

PROPOSED BUILDING HEIGHT: 23 FEET (MAX HEIGHT ALLOWED 45 FEET) MAXIMUM LOT COVERAGE: 40% MAX. BUILDING LOT COVERAGE: 4.7%

IMPERVIOUS SURFACE COVERAGE: 55.8% ~ 44.2% OPEN/LANDSCAPING BLDG SETBACK/LANDSCAPE SETBACKS: MILTON PROBY - 25.0' BUILDING AND LANDSCAPE SETBACK

SIDE AND REAR SETBACKS – N/A

DRAINAGE BASIN: WINDMILL GULCH ANTICIPATED DEVELOPMENT SCHEDULE: MAY 2025 - JUNE 2026

WATER QUALITY / DETENTION SHALL BE PROVIDED VIA A PRIVATELY OWNED FULL SPECTRUM DETENTION POND. THE FSD POND WAS APPROVED WITH THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC.

### FEMA FLOODPLAIN NOTE:

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0763G DATED DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE SUBJECT PROPERTY. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

### **GENERAL NOTES:**

1. ALL PROPOSED CURB AND GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT OF WAY SHALL MEET CITY STANDARDS. 2. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

3. PER CITY CODE SECTION 7.4.1203, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED. 4. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.

5. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719–385–5982 TO BEGIN A SIGN PERMIT APPLICATION.

6. ALL EXISTING CURB, GUTTER SIDEWALKS, PEDESTRIAN RAMPS AND CROSS PANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ON ALL PUBLIC STREETS ADJACENT TO THE DEVELOPMENT WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUING THE CERTIFICATE OF OCCUPANCY C.O.) AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.

7. CONSTRUCTION PLANS WILL BE SUBMITTED TO ENGINEERING DEVELOPMENT REVIEW AND STORMWATER ENTERPRISE FOR GRADING AND EROSION CONTROL, CSWMP, STORMWATER PLANS, AND FINAL DRAINAGE REPORT.

- 8. TRASH DUMPSTER(S) MUST BE IN GATED ENCLOSURES, DESIGNED TO COMPLIMENT THE DESIGN OF THE MAIN STRUCTURE.
- 9. ALL STREETSCAPING LANDSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- 10. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND /OR THEIR SUCCESSORS.

11. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALK, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

12. EXISTING ACCESS FOR LOT 1 "AIRPORT SPECTRUM FILING NO. 3" SHALL BE PROVIDED FROM TWO POINTS OF ACCESS, ONE BEING FROM SPECTRUM AIR WAY FROM THE WEST VIA AN UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS), THE OTHER FROM MILTON E. PROBY PARKWAY TO THE NORTH, ALSO VIA UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS).

13. THIS SITE IS NOT SUBJECT TO GEOLOGIC HAZARD REGULATIONS. AND APPLICATION FOR GEOLOGIC HAZARD IS NOT APPLICABLE AS SUBMITTED WITH THE CITY OF COLORADO SPRINGS.

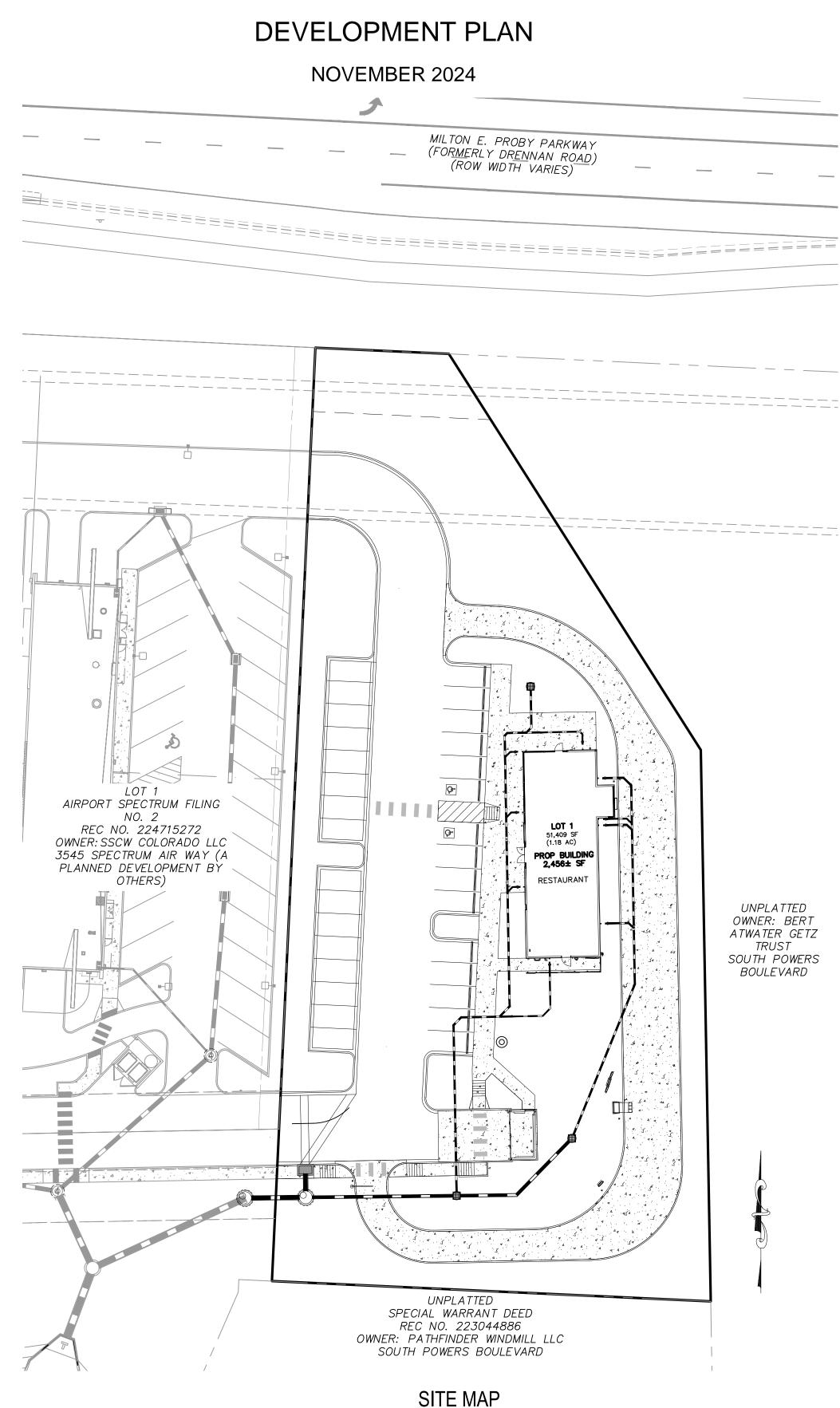
14. PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREA, AND LANDSCAPE AREAS ADJACENT TO THEIR PROPERTY.

### DEVELOPMENT STAGE NOTE:

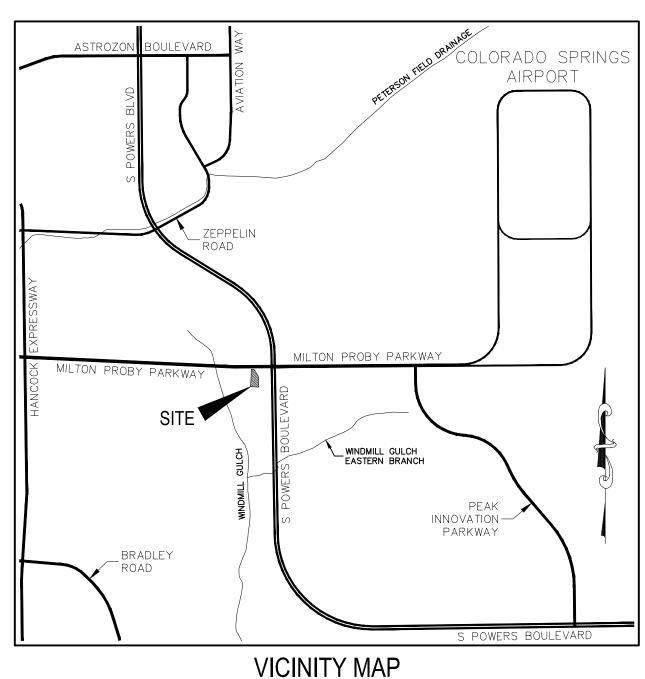
THE DEVELOPER ASSUMES THAT THE WEST PROPOSED DEVELOPMENT TO THIS SITE THAT IS PLANNED BY OTHERS ON LOT 2 OF AIRPORT SPECTRUM FILING NO. 2 SHALL BE CONSTRUCTED WITH OR BEFORE THE CONSTRUCTION OF THIS DEVELOPMENT ON LOT 1 OF AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - AIRPORT SPECTRUM FILING NO. 3 LOT 1 - STARBUCKS 3565 SPECTRUM AIR WAY

A PARCEL OF LAND IN THE NORTHEAST QUARTER (SW 1/4) OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



N.T.S.



N.T.S.

### SHEET INDEX:

- 1 DEVELOPMENT PLAN COVER SHEET
- 2 OVERALL SITE PLAN
- 3 PRELIMINARY GRADING PLAN
- 4 PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- 5-6 LANDSCAPE PLANS
  - 5 FINAL LANDSCAPE PLAN
- 6 LANDSCAPE NOTES/DETAILS
- 7-8 IRRIGATION PLANS 7 - IRRIGATION PLAN
  - 8 IRRIGATION NOTES/DETAILS
  - 9 IRRIGATION NOTES/DETAILS
- 10 SITE LIGHTING PLANS 10 - SITE LIGHTING PLAN CUT SHEETS/DETAILS
- 11-12 BUILDING ELEVATION PLANS
  - 11 BUILDING ELEVATIONS / TRASH ENCLOSURE 12 - ELEVATIONS

### OWNERS/DEVELOPER:

DTV AEROPLAZA LLC 1776 N. SCOTTSDALE RD SCOTTSDALE, AZ 85252

### **ARCHITECT/PHOTOMETRIC:**

NEWGROUND INTERNATIONAL 15450 SOUTH OUTER FORTY RD., SUITE 300 CHESTERFIELD, MO 63017 636-898-8100

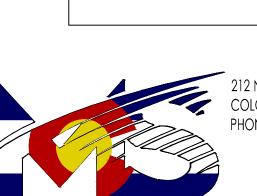
### LANDSCAPE ARCHITECT:

GALLOWAY & CO, INC 1155 KELLY JOHNSON BLVD. SUITE 305 COLORADO SPRINGS, CO 80920 719-900-7220

### **CIVIL ENGINEER:**

M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., SUITE 305 COLORADO SPRINGS, CO 80903 719-955-5485

### CITY PLANNING APPROVAL



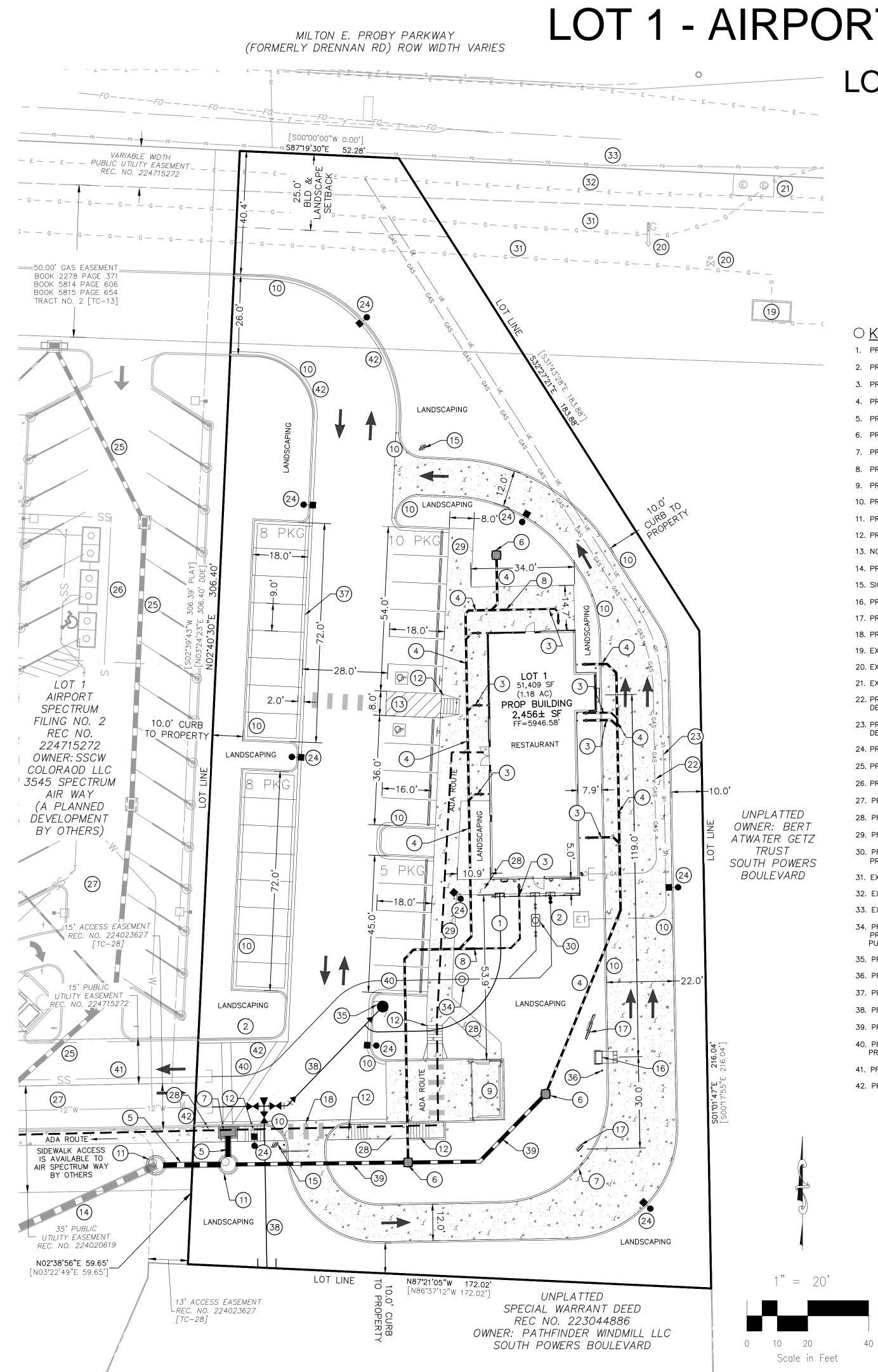
12 n. Wahsatch ave., ste 305 COLORADO SPRINGS, CO 80903 PHONE: 719.955.5485

DEVELOPMENT PLAN LOT 1 - AIRPORT SPECTRUM FILING NO. 3 O SPECTRUM AIR WAY JOB NO. 10-035 DATE PREPARED: OCTOBER 2024 DATE REVISED: NOVEMBER 2024

CITY FILE NO. DEPN-24-0152

CIVIL CONSULTANTS, INC.

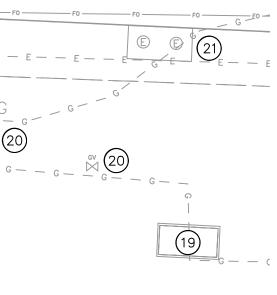
SHEET 1 OF 12



## LOT 1 - AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - STARBUCKS

SITE PLAN NOVEMBER 2024





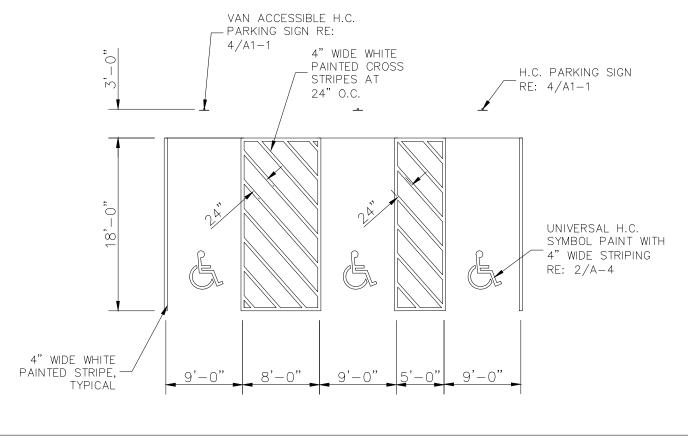


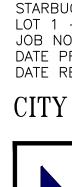
- 1. PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
- 2. PROPOSED PRIVATE 6" SAN SEWER
- 3. PROPOSED PRIVATE 6" PP STORM
- 4. PROPOSED PRIVATE 8" PP STORM
- 5. PROPOSED PRIVATE 18" PP STORM
- 6. PROPOSED AREA INLET
- 7. PROPOSED 2' WIDE CURB CUT
- 8. PROPOSED 6"X8" REDUCER
- 9. PROPOSED TRASH ENCLOSURE ON CONC PAD
- 10. PROPOSED TYPE 3 CURB AND GUTTER
- 11. PROPOSED 5' DIA TYPE II MANHOLE

- 15. SIGNAGE
- 17. PROPOSED MENU BOARD
- 18. PROPOSED CROSSWALK
- 19. EXISTING GAS VAULT
- 20. EXISTING GAS FEATURE
- 21. EXISTING ELECTRIC VAULT
- DETERMINED BY CSU
- 23. PROPOSED U/G ELECTRIC. FINAL LOCATION TO BE

- 26. PROPOSED SANITARY SEWER LINE (BY OTHERS)
- 27. PROPOSED WATER LINE (BY OTHERS)
- 28. PROPOSED 5' SIDEWALK
- 29. PROPOSED 8' SIDEWALK
- 30. PROPOSED TRAFFIC RATED GREASE INTERCEPTOR (SCHIER

- PUMP STATION
- 35. PROPOSED FIRE HYDRANT
- 36. PROPOSED BOLLARD
- 37. PROPOSED 2' WIDE CONCRETE CHASE
- 38. PROPOSED PRIVATE 6" PVC WATER SERVICE
- 39. PROPOSED PRIVATE 12" PP STORM
- 40. PROPOSED PRIVATE 2" HDPE
- 41. PROPOSED 2" HDPE PRESSURE SERVICE (BY OTHERS)





HANDRAIL.

REQUIREMENTS.



- 12. PROPOSED CITY STD PED RAMP
- 13. NO PARKING STRIPING
- 14. PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
- 16. PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP

- 22. PROPOSED GAS SERVICE. FINAL LOCATION TO BE
- DETERMINED BY CSU
- 24. PROPOSED LIGHT POSTS
- 25. PROPOSED PRIVATE 18" HP STORM PIPE (BY OTHERS)

- PRODUCTS GB-75)
- 31. EXISTING GAS LINE
- 32. EXISTING ELECTRIC LINE
- 33. EXISTING FIBER OPTIC
- 34. PROPOSED PRIVATE E/ONE PRESSURE SYSTEM GRINDER

- PRESSURE SERVICE
- 42. PROPOSED FIRE LANE

### <u>LEGEND</u>

LOT LINE		PLANNED INFILTRATION AREA	
EX. GAS EX. U/G ELECTRIC LINE EX. FIBER OPTIC		NO PARKING SRIPING	
EX. SANITARY SEWER LINE EX. WATER LINE	SS 	STORM SEWER INLET	
EX. STORM LINE		STORM SEWER MANHOLE	
STORM SEWER LINE		PROPOSED CONCRETE	Ą
SANITARY SEWER SERVICE	SS		
WATER LINE SERVICE	WL	LANDSCAPE SETBACK	
GAS SERVICE	GAS GAS	FIRE LANE	
U/G ELECTRIC SERVICE		ADA ROUTE	
SANITARY SEWER MANHOLE			
FIRE HYDRANT			

ABBF	REVIATION LEGEND	
CL C&G CONST WTR STM PUB EX NTS	CENTERLINE CURB AND GUTTER CONSTRUCTION WATER STORM SEWER PUBLIC EXISTING NOT TO SCALE	SPILL ½"/FT
PROP SAN	PROPOSED SANITARY SEWER	TYPE
PUB PVT PP	PUBLIC PRIVATE POLYPROPYLENE PIPE	

### HANDICAP PARKING DESIGN CRITERIA:

STA

RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACE

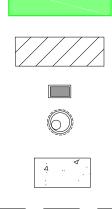
STATION

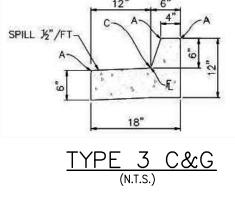
- WITHIN THE ADJOINING SIDEWALKS.
- 2. ACCESS AISLES MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION
- 3. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
- 4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
- 5. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A
- 6. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE

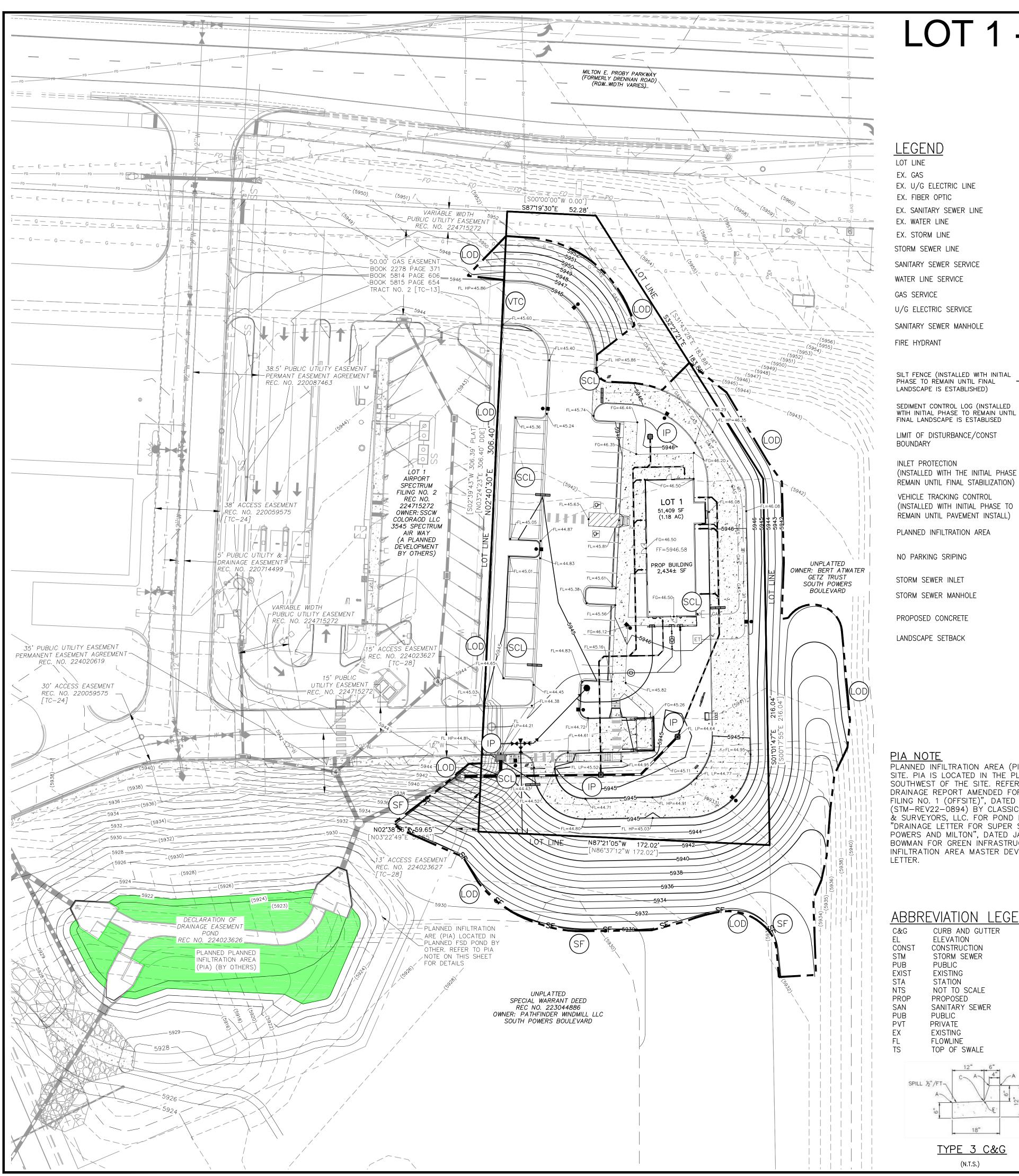
				CITY P	LANNING AP	PROVAL
UCKS – DEVELOPMENT PLAN – AIRPORT SPECTRUM FILING N 10. 10–035A PREPARED: OCTOBER 2024 REVISED: NOVEMBER 2024 <b>FILE NO. DEPN–2</b>						
	212 n. wahsatch ave., ste 305	LOT 1-	AIRF	PORT SPE	CTRUM FILING	S NO. 3
	COLORADO SPRINGS, CO 80903 PHONE: 719.955.5485			SITE F	PLAN	
		PROJECT NO. 10.	-035	SCALE: HORIZONTAL:	DATE: 11/26/20	24
IL CONSULTANTS, INC.		DESIGNED BY: DRAWN BY: CHECKED BY:	GW SPM GW	1"=20' VERTICAL:	SHEET 2 OF 12	S01

CHECKED BY: GW

N/A







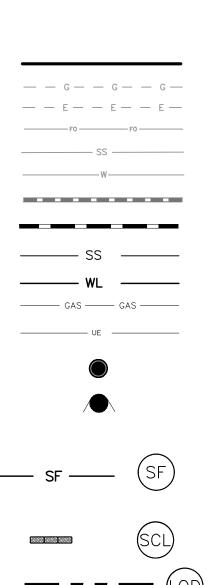
## LOT 1 - AIRPORT SPECTRUM FILING NO. 3 LOT 1 - STARBUCKS PRELIMINARY GRADING PLAN NOVEMBER 2024

EX. GAS
EX. U/G ELECTRIC LINE
EX. FIBER OPTIC
EX. SANITARY SEWER LINE
EX. WATER LINE
EX. STORM LINE
STORM SEWER LINE
SANITARY SEWER SERVICE
WATER LINE SERVICE
GAS SERVICE
U/G ELECTRIC SERVICE
SANITARY SEWER MANHOLE
FIRE HYDRANT
SILT FENCE (INSTALLED WITH INITIAL
PHASE TO RÉMAIN UNTIL FINAL – LANDSCAPE IS ESTABLISHED)

(INSTALLED WITH THE INITIAL PHASE TO

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH -POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION

### ABBREVIATION LEGEND



(IP

(VTC)

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## CONTROL PLAN NOTES

- CONSTRUCTION.

### EROSION CONTROL NOTES

- DISTURBED SOIL.
- NO LONGER NEEDED.

- SOILS.



1" =

0 15 30

30'

Scale in Feet

### STANDARD GRADING, EROSION, AND STORMWATER QUALITY

1. ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION. AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME I 2. NO CLEARING, GRADING, EXCAVATION, FILING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM EDRD.

3. THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 719-385-5980, 48 HOURS PRIOR TO

SEDIMENT (MUD AND DIRT) TRANSPORTED INTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN TWENTY-ONE (21) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

7. THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY EDRD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.

8. THE PLAN SHALL NO SUBSTANTIALLY CHANGE THE DEPTH OF COVER. OR ACCESS EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.

1. AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT, EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONTROL SYSTEMS SHALL INCLUDE, AS A MINIMUM, STRAW BALE SEDIMENT TRAPS (OR EQUAL) ALONG NATURAL DRAINAGE WAYS PRIOR TO GRADING AND UTILIZATION OF DESIGNED STORM DETENTION BASINS PRIOR TO FINAL GRADING RÉVEGETATION. AS AN AVERAGE, SEDIMENT TRAPS WITH A CAPACITY OF 15 CUBIC YARDS SHALL BE PROVIDED FOR EACH ACRE OF

2. ALL SEDIMENT TRAPS WILL BE CLEANED AND MAINTAINED TO PROVIDE ADEQUATE PROTECTION FROM SOIL LOSS UNTIL SUCH TIME AS THEY ARE

3. WHERE AREAS ARE TO BE LEFT BARE FOR EXTENDED PERIODS (TOPSOIL, STOCKPILES, EMPTY LOTS, RIGHTS-OF-WAY, HOME SITES AWAITING PURCHASE, ETC.) MECHANICAL MULCHING (STRAW CRIMP) IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS SHALL BE APPLIED WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN 30 DAYS TO DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.

4. TOPSOIL WILL BE STOCKPILED AND USED AS A TOP DRESSING OVER CUT AND FILL AREAS TO HELP IN THE ESTABLISHMENT OF ADAPTED VEGETATION. TOPSOIL STOCKPILE WILL BE SEEDED AND/OR MULCHED AND/OR SURROUNDED BY SILT FENCE TO MINIMIZE SOIL LOSS UNTIL TOPSOIL IS USED. STOCKPILES IN EXCESS OF 8' HIGH WILL REQUIRE AN ADDITIONAL PERIMETER ROW OF SILT FENCE.

5. TEMPORARY STOCKPILES (8' MAX. HEIGHT) DUE TO UTILITY CONSTRUCTION SHALL BE KEPT MOIST BY THE CONTRACTOR TO PREVENT BLOWING

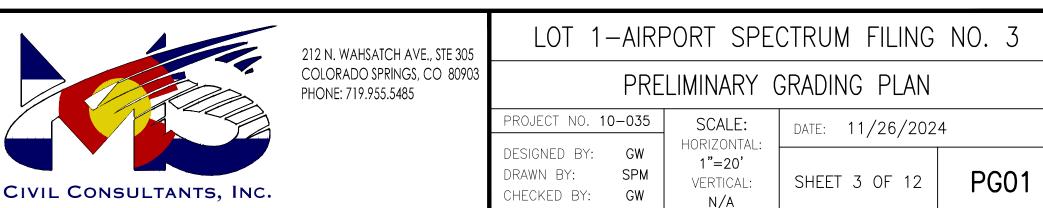
6. AREAS LEFT OPEN FOR 30 DAYS OR MORE, OTHER THAN FOR UTILITY AND DRAINAGE CONSTRUCTION, SHALL BE SEEDED AND/OR MULCHED.

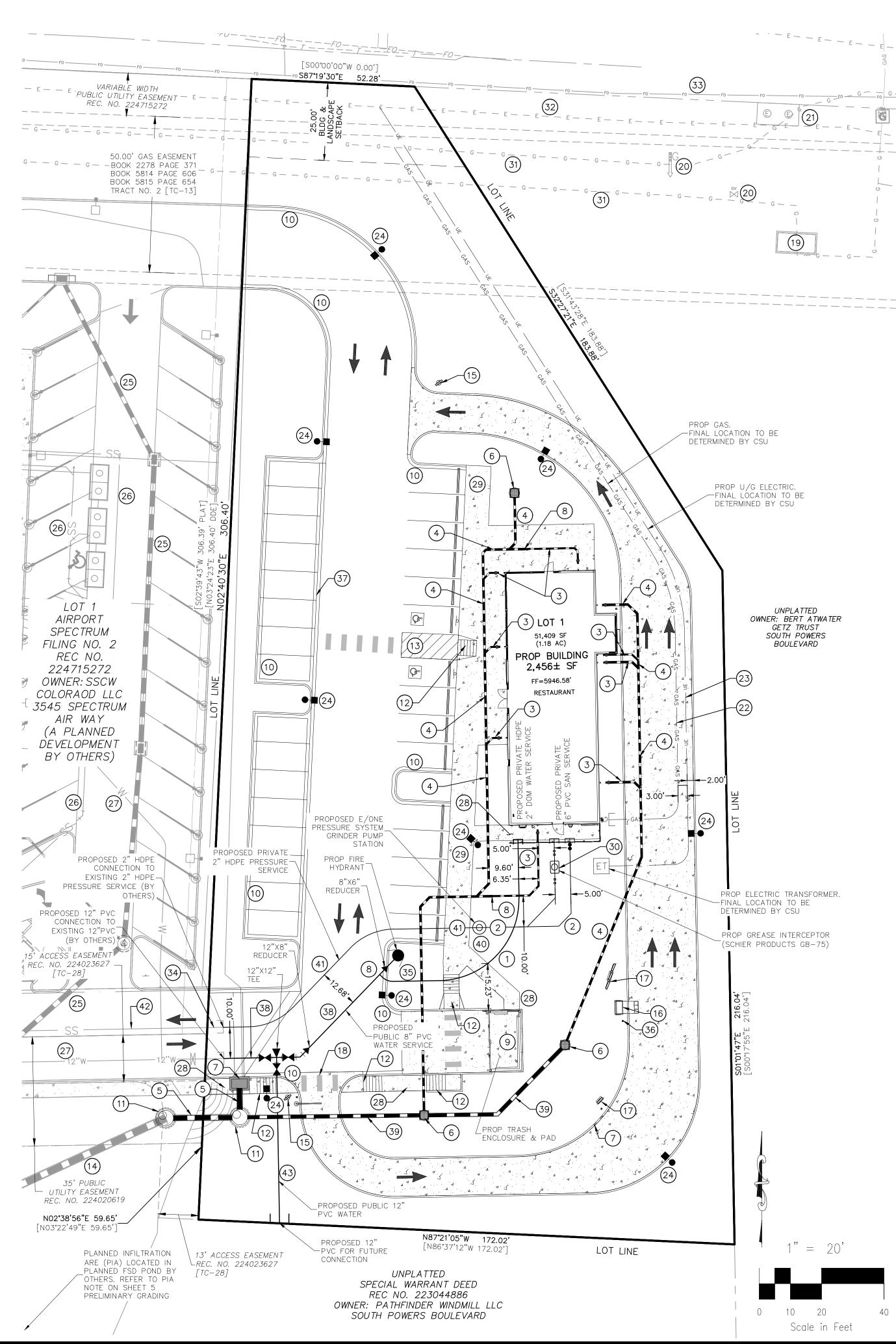
7. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT EROSION OF DISTURBED SOIL BY ABNORMAL WINDS.

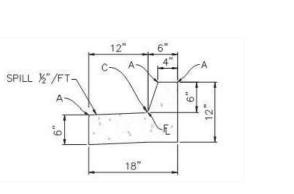
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.

### CITY PLANNING APPROVAL

CKS – DEVELOPMENT PLAN	
- AIRPORT SPECTRUM FILING NO. 3	
). 10–035	
REPARED: OCTOBER 2024	
EVISED: NOVEMBER 2024	







TYPE 3 C&(

DETERMINED BY CSU

24. PROPOSED LIGHT POSTS

LINE (BY OTHERS)

28. PROPOSED 5' SIDEWALK

29. PROPOSED 8' SIDEWALK

GREASE INTERCEPTOR

32. EXISTING ELECTRIC LINE

33. EXISTING FIBER OPTIC

34. PROPOSED 2" HDPE

36. PROPOSED BOLLARD

CONCRETE CHASE

38. PROPOSED PUBLIC WATER

39. PROPOSED PRIVATE 12" PP

40. PROPOSED PRIVATE E/ONE

41. PROPOSED PRIVATE 2" HDPE

PRESSURE SERVICE (BY

43. PROPOSED PUBLIC 12" PVC

PUMP STATION

PRESSURE SERVICE

42. PROPOSED 2" HDPE

OTHERS)

WATER MAIN

PRESSURE SYSTEM GRINDER

37. PROPOSED 2' WIDE

MAIN

STORM

(SCHIER PRODUCTS GB-75)

CONNECTION TO EXISTING

35. PROPOSED PUBLIC HYDRANT

2" HDPE PRESSURE SERVICE

OTHERS)

25. PROPOSED PRIVATE 18" HP

STORM PIPE (BY OTHERS)

26. PROPOSED SANITARY SEWER

27. PROPOSED WATER LINE (BY

## PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

NOVEMBE

### OKEY NOTES:

- 1. PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
- PROPOSED PRIVATE 6" SAN SEWER SERVICE
- PROPOSED PRIVATE 6" PP STORM
- 4. PROPOSED PRIVATE 8" PP
- 5. PROPOSED PRIVATE 18" PP
- STORM 6. PROPOSED AREA INLET

STORM

- 7. PROPOSED 2' WIDE CURB CUT 30. PROPOSED TRAFFIC RATED
- 8. PROPOSED 6"X8" REDUCER
- 9. PROPOSED TRASH ENCLOSURE 31. EXISTING GAS LINE ON CONC PAD
- 10. PROPOSED TYPE 3 CURB AND GUTTER
- 11. PROPOSED 5' DIA TYPE II
- MANHOLE 12. PROPOSED CITY STD PED
- RAMP
- 13. NO PARKING STRIPING
- 14. PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
- 15. SIGNAGE
- 16. PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
- 17. PROPOSED MENU BOARD
- 18. PROPOSED CROSSWALK
- 19. EXISTING GAS VAULT
- 20. EXISTING GAS FEATURE
- 21. EXISTING ELECTRIC VAULT
- 22. PROPOSED GAS SERVICE FINAL LOCATION TO BE DETERMINED BY CSU
- 23. PROPOSED U/G ELECTRIC. FINAL LOCATION TO BE

### ABBREVIATION LEGE

<u>· · · · · · · · · · · · · · · · · · · </u>	
C&G	CURB AND GUTTER
EL	ELEVATION
CONST	CONSTRUCTION
STM	STORM SEWER
PUB	PUBLIC
EXIST	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
EX	EXISTING
FL	FLOWLINE
TS	TOP OF SWALE

### PIA NOTE

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH -POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION LETTER.

ADDITIONAL ACKNOWLEDGEMENTS AND NOTES

1. PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES. FEES. RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ONLY INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.

2. WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL

3. CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.

4. CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS. CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.

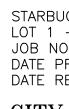
5. IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NESC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU'POLICIES.

6. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

### 7. LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.

8. CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

9. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6'MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10'FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15'OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3'CLEAR OF ALL FIRE HYDRANTS AT MATURE SI7F.





CIVIL CONSULTANTS, INC.

## LOT 1 - AIRPORT SPECTRUM FILING NO. 3

## LOT 1 - STARBUCKS

ER 2024	LEGEND			
	LOT LINE		SANITARY SEWER MANHOLE	
<u>ND</u>	EX. GAS EX. U/G ELECTRIC LINE	— — G — — G — — G — — — E — — E — — E —	FIRE HYDRANT	
	EX. FIBER OPTIC		PLANNED INFILTRATION AREA	
	EX. SANITARY SEWER LINE EX. WATER LINE	SS	NO PARKING SRIPING	
	EX. STORM LINE STORM SEWER LINE		STORM SEWER INLET	
	SANITARY SEWER SERVICE	SS	STORM SEWER MANHOLE	$\bigcirc$
	WATER LINE SERVICE	WL	PROPOSED CONCRETE	4 4 
	GAS SERVICE U/G ELECTRIC SERVICE	UE	LANDSCAPE SETBACK	

### <u>GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS</u>

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN

2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION

OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS. AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES'RULES AND REGULATIONS.

4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A 'FIRST-COME, FIRST-SERVED"BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.

5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.

6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.

7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).

8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.

9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).

10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE. THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

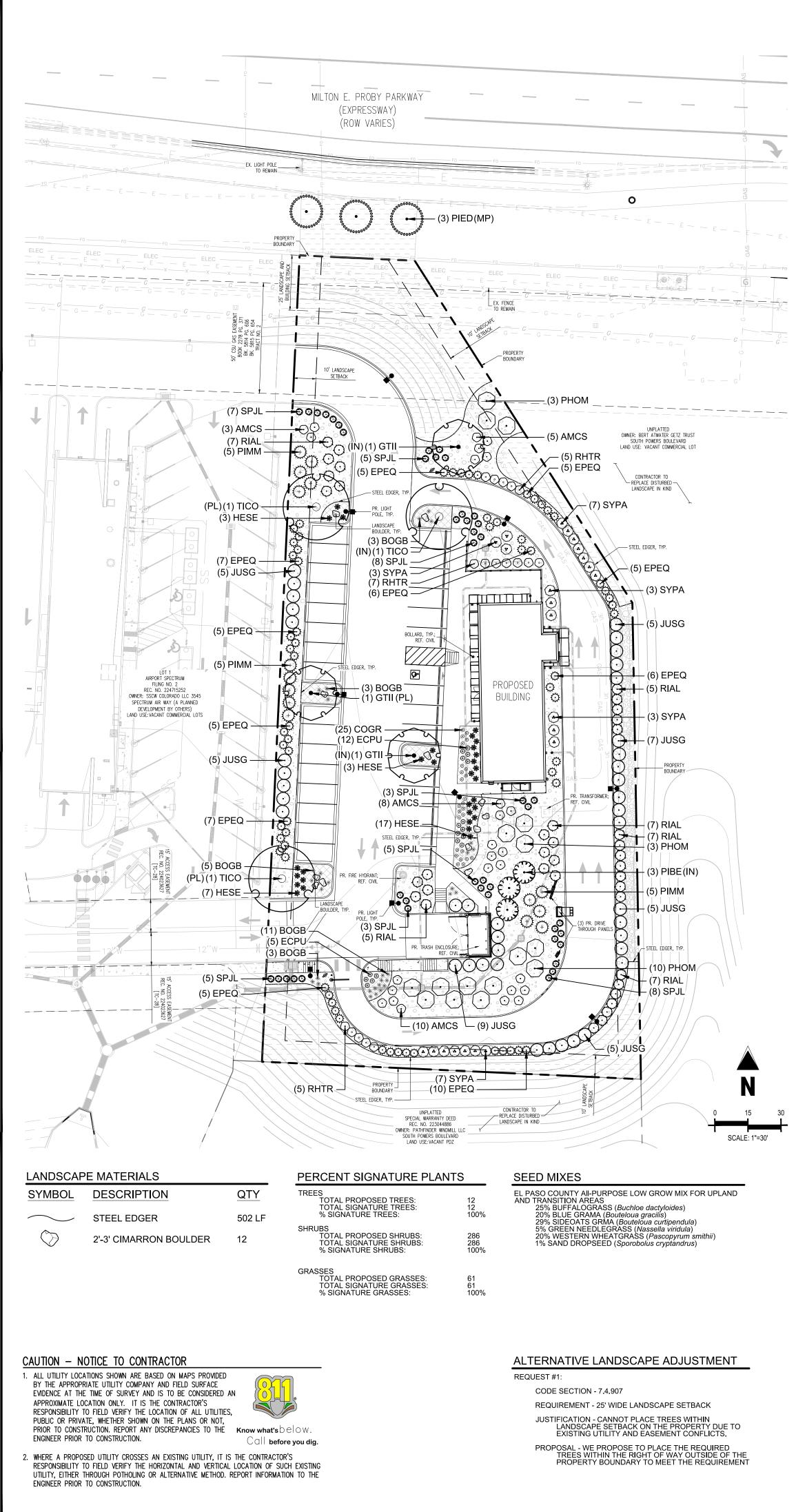
CITY PLANNING	APPROVAL
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STARBUCKS – DEVELOPMENT PLAN LOT 1 – AIRPORT SPECTRUM FILING NO. 3 JOB NO. 10–035A DATE PREPARED: OCTOBER 2024 DATE REVISED: NOVEMBER 2024
CITY FILE NO. DEPN-24-0152

COL

### LOT 1-AIRPORT SPECTRUM FILING NO. 3

N. WAHSAICH AVE., SIE 305							
ORADO SPRINGS, CO 80903 NE: 719.955.5485	PRELIMINA	RY U	TILITY AND	PUBLIC	FACIL	ITIES	PLAN
	PROJECT NO. 1		SCALE: HORIZONTAL:	DATE: 11/	26/202	4	
	DESIGNED BY: DRAWN BY: CHECKED BY:	GW SPM GW	1"=20' VERTICAL: N/A	SHEET 4 (	DF 12	Pl	J01



PLANT SCHI	EDULE								
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	<u>CAL / SIZE</u>	HT. X SPD.	WATER USE	CODE REQ.
	JS TREES								
	GTII	3	IMPERIAL HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' TM	B&B	2" CAL	35`X25`	LOW	PARKING / INTERNAL
$\circ$	TICO	3	LITTLELEAF LINDEN	TILIA CORDATA	B&B	2" CAL	40`X30`	MODERATE	PARKING / INTERNAL
EVERGREI	EN TREES								
E. Ma	PIBE	3	BABY BLUE EYES COLORADO BLUE SPRUCE	PICEA PUNGENS 'BABY BLUE EYES'	B&B	6` HT	15`X10`	LOW	INTERNAL
60000000000000000000000000000000000000	PIED	3	PINYON PINE	PINUS EDULIS	B&B	6` HT	25`X15`	LOW	ROW
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	CODE REQ.	
	JUNIPERS								
$\odot$	JUSG	41	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	#5 CONT.	15`X6`	VERY LOW	SCREEN	
DECIDUOL	JS SHRUBS	<u>}</u>							
$\overline{\cdot}$	AMCS	26	LEADPLANT	AMORPHA CANESCENS	#5 CONT.	4`X4`	VERY LOW		
$\bigcirc$	РНОМ	16	DIABOLO NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MONLO' TM	#5 CONT.	8`X8`	LOW	SCREEN	
$\bigcirc$	RHTR	17	SKUNKBUSH SUMAC	RHUS TRILOBATA	#5 CONT.	4`X4`	VERY LOW	SCREEN	
$\bigcirc$	RIAL	38	ALPINE CURRANT	RIBES ALPINUM	#5 CONT.	5`X5`	LOW	SCREEN	
	SPJL	44	LITTLE PRINCESS JAPANESE SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	#5 CONT.	2`X3`	LOW		
	SYPA	23	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5`X5`	VERY LOW	SCREEN	
EVERGREI	EN SHRUBS	5							
	EPEQ	66	BLUESTEM JOINT FIR	EPHEDRA EQUISETINA	#5 CONT.	4`X5`	LOW	SCREEN	
)))) )))) )))) ))))	PIMM	15	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.	5`X6`	LOW	SCREEN	
ORNAMEN	ITAL GRASS	SES							
×	BOGB	31	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2`X2`	LOW		
÷.	HESE	30	BLUE AVENA	HELICTOTRICHON SEMPERVIRENS	#1 CONT.	2.5`X2.5`	VERY LOW		
PERENNIA									
$\bigcirc$	COGR	25	JETHRO TULL TICKSEED	COREOPSIS GRANDIFLORA 'JETHRO TULL'	#1 CONT.	1.5`X1.5`	LOW		
¢	ECPU	17	CONEFLOWER	ECHINACEA PURPUREA	#1 CONT.	3`X2`	LOW		
SYMBOL		QTY	TYPE						
		812 SF	2"-4" ARKANSAS TAN ROCK COBBLE						
		12,858 SF	3/4" SADDLEBACK SWIRL ROCK MULCH						CITY
		1,593 SF	3/8" CACTUS GRANITE WASHED ROCK MULCH						
SOD/SEED	)								
		9,559 SF	EL PASO CTY. ALL-PURPOSE LOW GROW MIX						

### LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED OF PLAN
7.4.907	LANDSCAPE SETBACKS	MILTON E. PROBY PARKWAY (EXPRESSWAY) 25' SETBACK; 1 TREE / 20 LF	52 LF / 20	3 TREES	3 TREES; 0 SHRUB SUB.	(MP)
7.4.907	PARKING LOT LANDSCAPING	1 TREE / 15 PARKING SPACES	31 PARKING SPACES / 15	3 TREES	3 TREES; 0 SHRUB SUB.	(PL)
7.4.908	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	51,405 SF x 0.05	2,570 SF	24,822 SF	NA
7.4.908	INTERNAL LANDSCAPE	1 TREE / 500 SF	2,570 SF / 500	6 TREES	6 TREES; 0 SHRUB SUB.	(IN)
7.4.909.C	SCREENING	TRASH ENCLOSURE	40 LF	40 LF	40 LF	NA
7.4.909.C	SCREENING	DRIVE THROUGH	439 LF	439 LF	439 LF	NA
7.4.909.C	SCREENING	2/3 PARKING	144 LF x 0.67	96 LF	96 LF	NA
7.4.904.3	GROUND COVER	75% LIVING GROUND COVERAGE LANDSCAPE AREAS	24,822 SF x 0.75	18,617 SF	18,617 SF	NA

## NNING APPROVAL

### CITY FILE NO. DEPN -24-0152

5500 Greenwood Plaza Blvd., Suite 200 Greenwood Village, CO 80111 303.770.8884 GallowayUS.com	G	6		0	V	/a	y
	Greei 303.7	1wood ' 770.888	Village, 34			e 200	-



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0 SPECTRUM AIR WAY	COLORADO SPRINGS, CO 80916
	Init. SRM
	0 SPECTRUM AIR WAY

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Project No:	YMS7
Drawn By:	TJR
Checked By:	SRM
Date:	10/01/2024

FINAL LANDSCAPE PLAN

Sheet 5 of 12

L1.0

PLANTING NOTES GENERAL	UTILITY NOTES
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.	1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.	<ol> <li>THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, A PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE</li> <li>THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCAT</li> </ol>
<ol> <li>CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.</li> </ol>	UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRE THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABO\
<ol> <li>ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.</li> </ol>	CITY OF COLORADO SPRINGS STANDARD LANDSCAPE NOTES
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE	1. A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED A APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND
CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).	2. ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROV WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS
<ol> <li>LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.</li> <li>ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL.</li> </ol>	3. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLAN NECESSARY OUR DRE OFFICE (719-385-5982).
<ol> <li>ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.</li> <li>FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC</li> </ol>	4. COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED
<ul> <li>9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.</li> </ul>	5. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTEF (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
<ol> <li>WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.</li> </ol>	<ol> <li>TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CO PLANTING AREAS."</li> </ol>
<ol> <li>ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.</li> <li>LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF</li> </ol>	7. VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK, CALL 811 FOR UTI MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AI GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRIC VAULTS AND TRANSFORMERS SHALL BE KEPT CLI UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STA
OCCUPANCY.	REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. 8. PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVI
<ul> <li>FINISH GRADING AND SOIL PREPARATION</li> <li>13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.</li> </ul>	ADJACENT TO THEIR PROPERTY.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM	<ol> <li>THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS CONSIDERATION.</li> <li>UPON COMPLETION OF SOIL TESTING, AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABIL CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER &amp; F CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12 DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.</li> </ol>
FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. 15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR	
THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION. 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0	HYDROZONE DIAGRAM
CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS. 17. ALL PARKING ISLAND SOIL TO BE TILLED OR AMENDED TO A MINIMUM DEPTH OF 30".	MILTON E. PROBY PARKWAY
PLANTING 18. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE	PROPERTY
GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.	
19. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.	
20. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.	
<ol> <li>ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.</li> <li>ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR</li> </ol>	
TO INSTALLATION. 23. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR	
ROAD. 24. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.	
25. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.	
26. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.	PROPERTY MEDIAN WATER USE (M)
27. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.	
28. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.	PROPERTY BOUNDARY
MULCHING 29. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL A MIN OF 3' DIA.	
30. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.	
<ol> <li>INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.</li> <li>ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN</li> </ol>	
<ul> <li>33. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS.</li> </ul>	
SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.	
34. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.	
LANDSCAPE GUARANTEE AND MAINTENANCE 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION	
<ul> <li>SYSTEMS FOR A PERIOD OF <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.</li> <li>2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF <u>90</u></li> </ul>	PROPERTY BOUNDARY
DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE <u>90 DAYS</u> SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.	LEGEND SITE/TRACT WATER USE AREA TOTALS HIGH WATER USE (H) - 0 SF
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN	
WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPARED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.	LOW WATER USE (L) - 9,559 SF

PLANTING NOTES

SUB-TOTAL - 24,822 SF

IE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR ILITY LOCATION PRIOR TO ANY CONSTRUCTION.

IS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE ANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.

E LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN ADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE IDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR IE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT ATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

### OF COLORADO SPRINGS STANDARD LANDSCAPE NOTES

A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL. ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES

THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED RRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS

COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.

F SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.

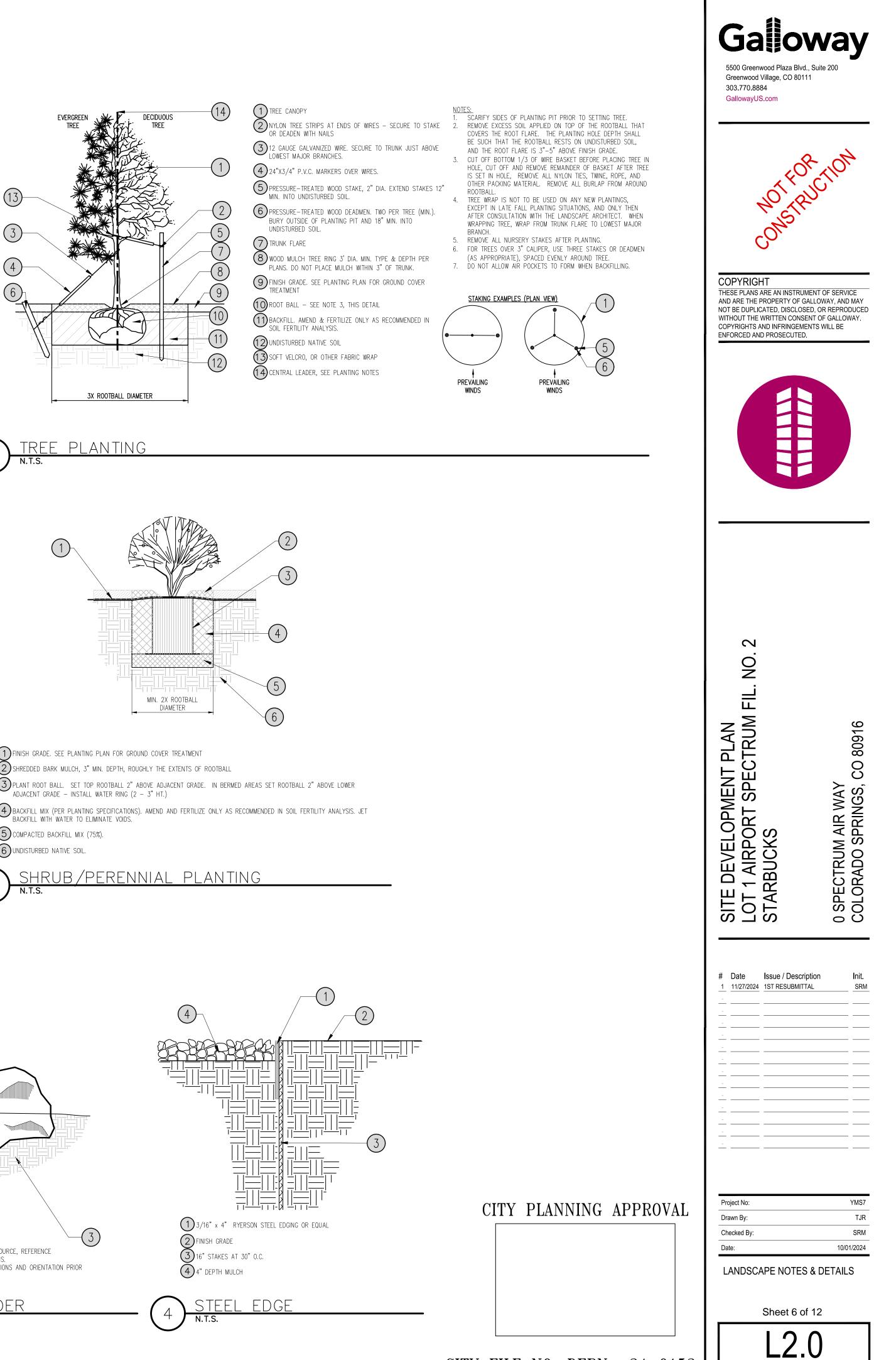
TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK, CALL 811 FOR UTILITY LOCATES, TREE TRUNK PLACEMENT SHALL BE 6 MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRIC VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

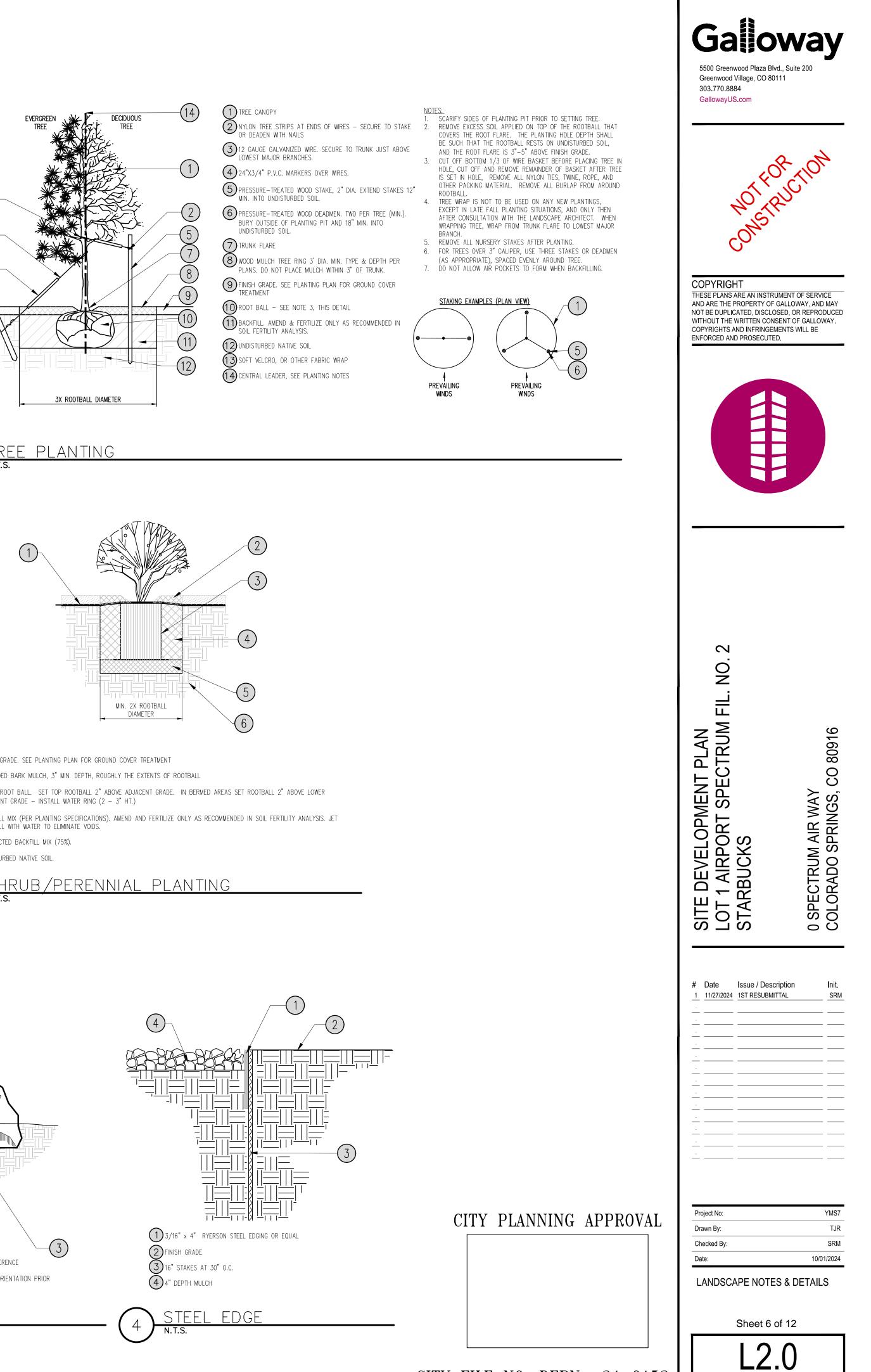
PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF SHARED COMMON TRACTS, ACCESS DRIVES, PRESERVATION AREAS, AND LANDSCAPE AREAS

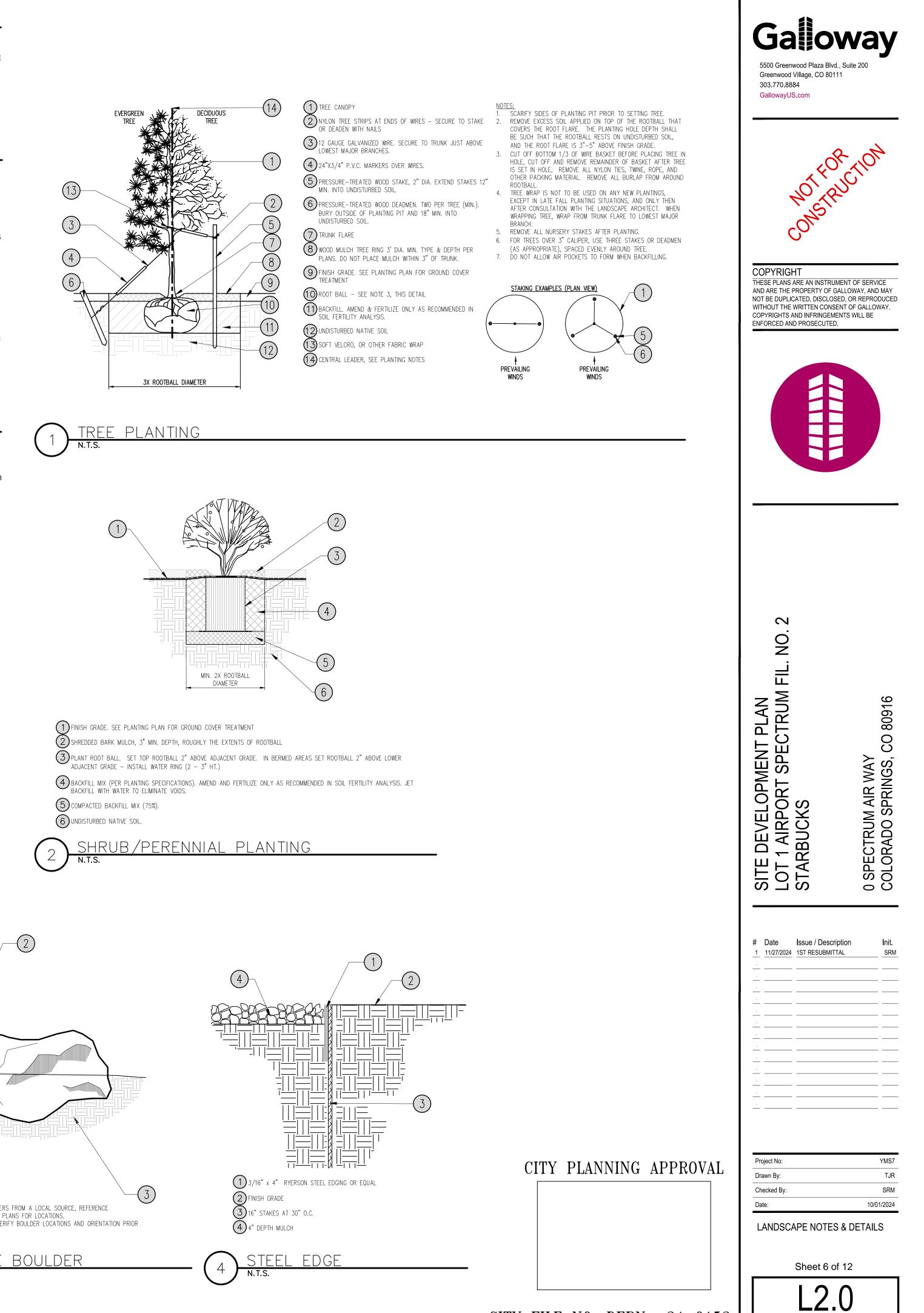
### HE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE

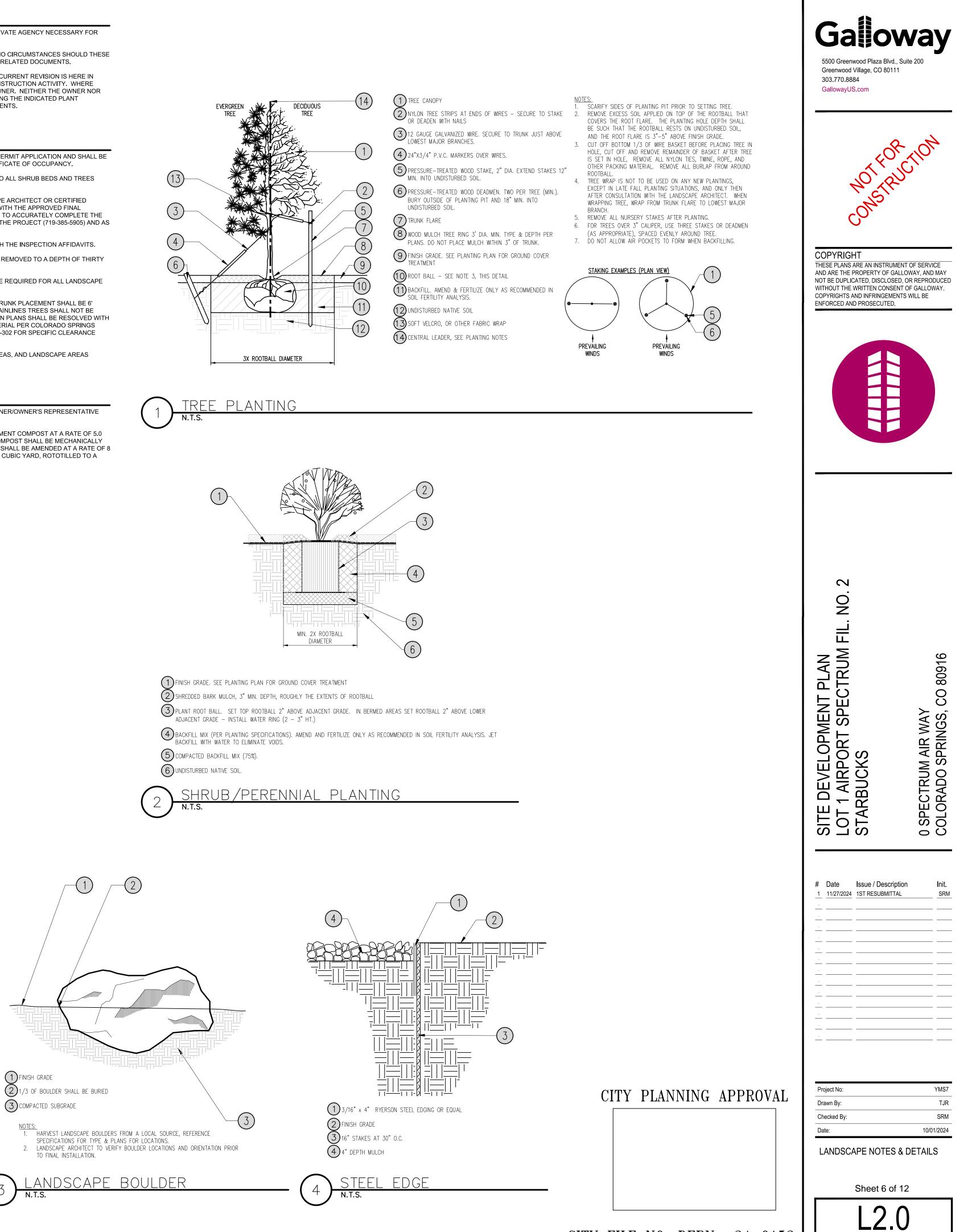
PON COMPLETION OF SOIL TESTING, AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 UBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY ITEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 UBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CUBIC YARD, ROTOTILLED TO A EPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

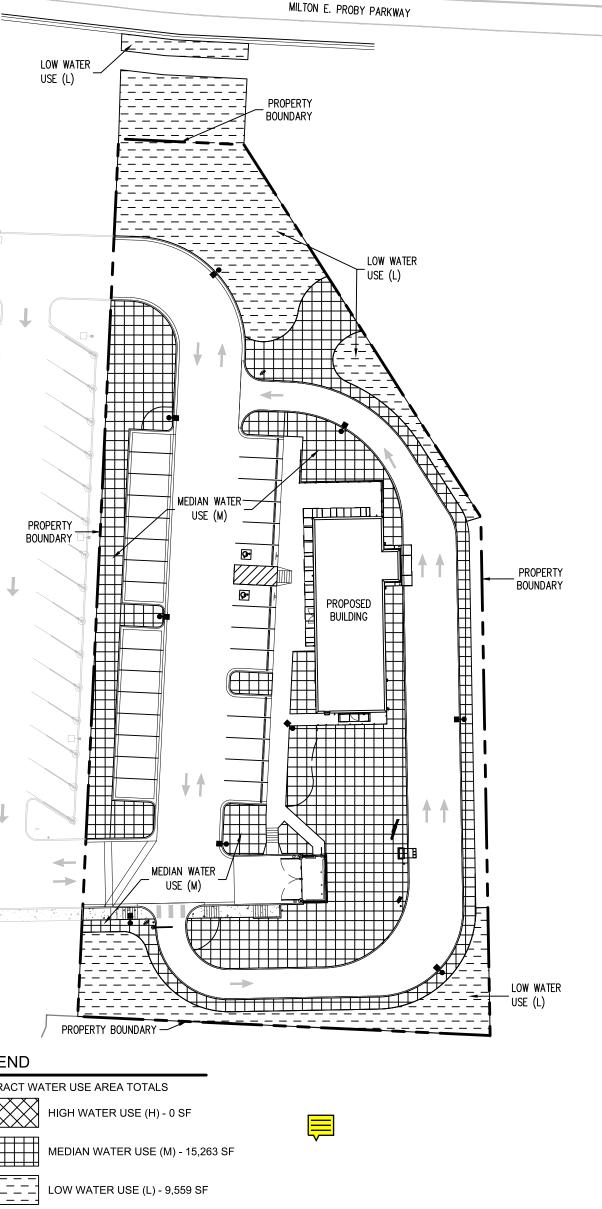


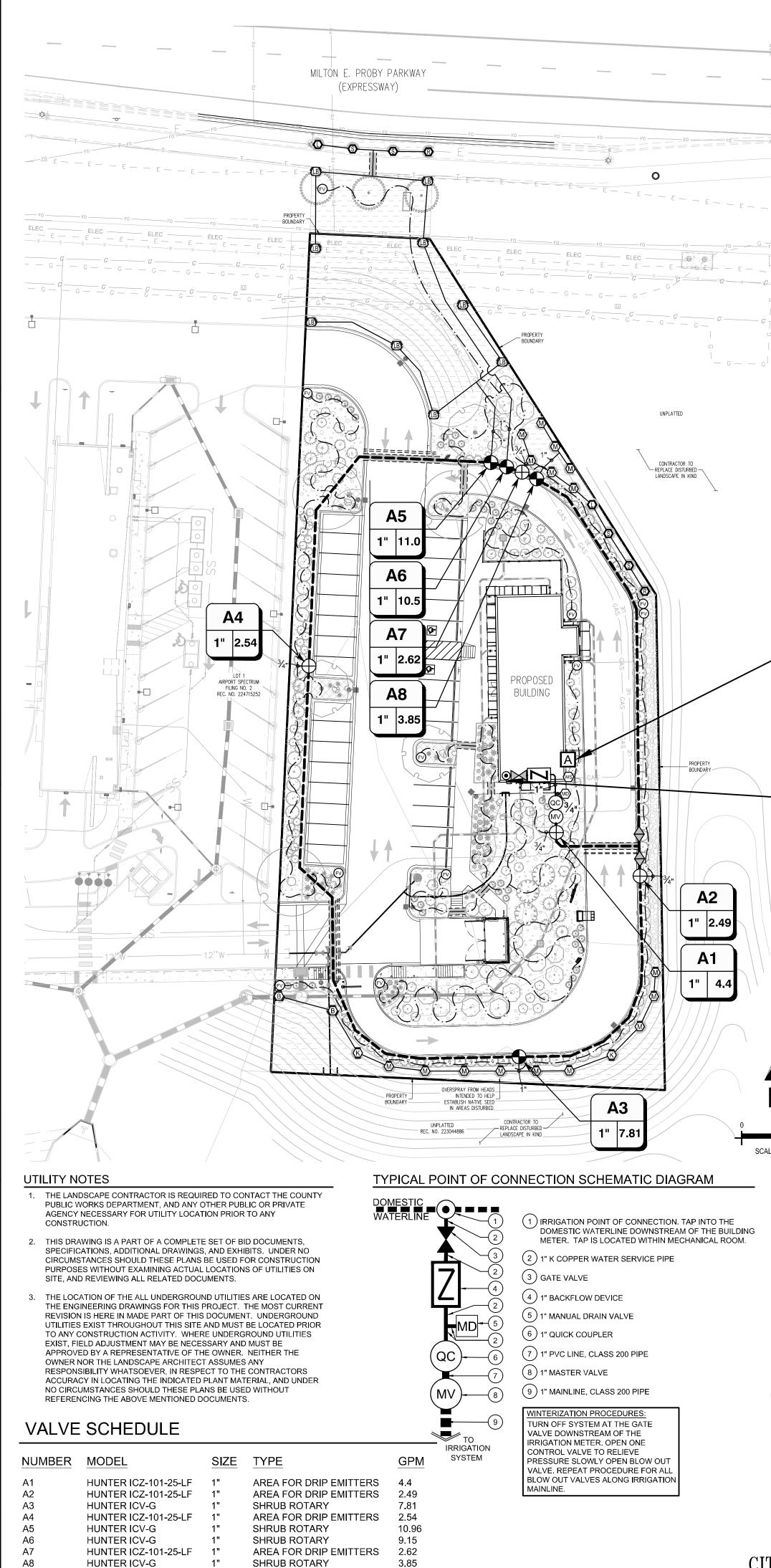












WIRING/SLEEVING NOTES		SCHEDULE	
IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA.	LST SST RST	HUNTER MP STRIP PROS-12-PRS40-CV SHRUB ROTATOR, 12IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. LCS=IVORY LEFT STRIP, SS=BROWN SIDE STRIP, RCS=COPPER RIGHT STRIP, ON PRS40 BODY.	SHEET IR2.0 DETAIL 1
MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONFLICTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.	$\overline{\mathbb{O}}$	HUNTER MP1000 PROS-12-PRS40-CV SHRUB ROTATOR, 12IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC ON PRS40 BODY.	SHEET IR2.0 DETAIL 1
<ul> <li>CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.</li> </ul>	& @ ®	HUNTER MP2000 PROS-12-PRS40-CV SHRUB ROTATOR, 12IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC ON PRS40 BODY.	SHEET IR2.0 DETAIL 1
3. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE AND VISIBLE IRRIGATION EQUIPMENT (CONTROLLERS, BACKFLOW PREVENTERS, METER PITS, ETC.) WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE INSTALLATION OF THESE ITEMS SHALL BE INTEGRATED WITHIN DESIGNATION OF THESE ADDRESS FAILURE TO LOCATE THIS		HUNTER MP3000 PROS-12-PRS40-CV SHRUB ROTATOR, 12IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTARY NOZZLE. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC ON PRS40 BODY.	SHEET IR2.( DETAIL 1
<ul> <li>DESIGNATED LANDSCAPE AREAS. FAILURE TO LOCATE THIS EQUIPMENT IN AN APPROVED LOCATION MAY RESULT IN THE IRRIGATION CONTRACTOR BEING REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.</li> <li>4. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND OUT THE DRAWNING THE INFINITION CONTRACTOR</li> </ul>		HUNTER MP3500 PROS-12-PRS40-CV SHRUB ROTATOR, 12IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. LB=LIGHT BROWN, ADJUSTABLE ARC, 90-210, ON PRS40 BODY.	SHEET IR2.( DETAIL 1
SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION OF ANY COMPONENT OF THE IRRIGATION SYSTEM. AFTER FIELD VERIFICATION, THE	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
IRRIGATION SYSTEM. AFTER FIELD VERFICATION, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE OWNER, OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, & IRRIGATION DESIGNER OF THE PRESSURE READING FOR THE TAP. 5. ALL PRESSURIZED MAINLINES, VALVES, DRIP, AND ROTOR AND	$\oplus$	HUNTER ICZ-101-25-LF 1" DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN. HY100 FILTER SYSTEM. PRESSURE REGULATION: 25 PSI. FLOW RANGE: .5 GPM - 15 GPM. 150 MESH STAINLESS STEEL SCREEN.	SHEET IR2.0 DETAIL 2
SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 5' AWAY FROM ANY BUILDING FOUNDATION. ADDITIONAL REQUIREMENTS MAY BE LISTED IN THE GEOTECHNICAL REPORT REGARDING IRRIGATION NEAR BUILDING FOUNDATIONS. CONTRACTOR IS RESPONSIBLE TO ABIDE BY	FV	NIBCO 4660-T 3/4" SCHEDULE 40 MANUAL FLUSH VALVE. CONNECT TO DRIP POLYTUBING FOR WINTERIZATION/BLOWOUT.	SHEET IR2.0 DETAIL 3
<ul> <li>THE 5' MINIMUM DISTANCE AND/OR THE GEOTECHNICAL REPORT REQUIREMENTS. IF THIS EQUIPMENT IS SHOWN WITHIN THE 5' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.</li> <li>6. REFER TO SHEET IR2.0 &amp; IR2.1 FOR IRRIGATION NOTES AND IRRIGATION DETAILS.</li> <li>CONTROLLER 'A' NOTE</li> </ul>		AREA TO RECEIVE DRIP EMITTERS HUNTER HE-B POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB. COLOR CODED EMITTERS FOR FLOW RATES OF 0.5 GPH, 1.0 GPH, 2.0 GPH, 4.0 GPH, AND 6.0 GPH. CAN BE INSERTED INTO 1/2IN. AND 3/4IN. TUBING AND HAVE PRESSURE COMPENSATING FROM 15 PSI-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE.	
<ul> <li>ONE (1) 16 STATION CONTROLLER, SEE LEGEND.</li> <li>EIGHT (8) OPEN STATIONS FOR FUTURE EXPANSION.</li> <li>STATION RUN ORDER SHALL MATCH PLANS.</li> <li>LOCATE CONTROLLER ON THE WALL OF THE BUILDING AS SPECIFIED ON THE PLAN. VERIFY LOCATION WITH OWNER OR REPRESENTATIVE.</li> <li>120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.</li> <li>CONDUIT FROM INSIDE THE BUILDING TO EXTERIOR IRRIGATION SYSTEM SHALL BE PROVIDED BY OTHERS.</li> </ul>		EMITTER SCHEDULE: -1 GALLON AND SMALLER: 2, HEB-5-B EMITTER PER PLANT (1 GPH TOTAL) -5 GALLON: 2, HEB-10-B EMITTERS PER PLANT (2 GPH TOTAL) -10-15 GALLONS & UPRIGHT JUNIPERS: 3, HEB-10-B EMITTERS PER PLANT (3 GPH TOTAL) -1" TO 2-1/2" CALIPER TREES: 4, HEB-10-B EMITTERS PER PLANT (4 GPH TOTAL) -3" TO 4" CALIPER TREES: 6, HEB-10-B EMITTERS PER PLANT (6 GPH TOTAL)	SHEET IR2.0 DETAIL 4
POINT OF CONNECTION 'A'	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
<ul> <li>STATIC PRESSURE: <u>+/- 80 ASSUMED</u> SIZE OF TAP: <u>1</u>"</li> <li>USE 1" TAP AND INTO THE DOMESTIC WATER LINE DOWNSTREAM OF THE BUILDING METER WITHIN THE MECHANICAL ROOM.</li> <li>1" TYPE K COPPER SERVICE FROM THE TAP THROUGH THE IRRIGATION BACKFLOW, TO THE MASTER VALVE.</li> <li>CONTRACTOR SHALL VERIFY LOCATION OF THE EQUIPMENT, IN</li> </ul>	•	HUNTER ICV-G 1" 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	SHEET IR2.0 DETAIL 5
FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. SEE POINT OF CONNECTION DIAGRAM, THIS SHEET, FOR THE IRRIGATION SYSTEM EQUIPMENT CONFIGURATION. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE SHOWN ABOVE PRIOR TO OPERATING WATER PRESSURE SHOWN ABOVE PRIOR TO		HUNTER HQ-44LRC 1" QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	SHEET IR2.0 DETAIL 6
CONSTRUCTION. IF PRESSURE IS UNKNOWN, THE CONTRACTOR MUST TEST WATER PRESSURE AND CONTACT THE LANDSCAPE ARCHITECT WITH THE RESULTS TO ENSURE SYSTEM WILL BE OPERATIONAL. SEE GENERAL IRRIGATION NOTES. • WHEN WATER PRESSURE TO THE IRRIGATION SYSTEM EXCEEDS 100 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A	$\diamondsuit$	NIBCO 4660-S SCHEDULE 40 MANUAL BALL VALVE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 3/4" - 3"	SHEET IR2.0 DETAIL 7
PRESSURE REDUCING / REGULATING VALVE (PRV) TO LIMIT THE WATER TO 80 PSI MAXIMUM. WHEN PRESSURE DROPS BELOW 65 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A BOOSTER PUMP TO A MINIMUM PRESSURE OF 80 PSI.	$\bowtie$	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4IN 3IN.	SHEET IR2.0 DETAIL 8
VALVE CALLOUT # • VALVE NUMBER	$\boxtimes \!$	HUNTER IBV-FS 1" 1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY FACTORY INSTALLED OPTION.	SHEET IR2.0 DETAIL 9
N #", # • VALVE FLOW		1" NIBCO T-113-K 1" CLASS 125 BRONZE MANUAL DRAIN VALVE WITH CROSS	SHEET IR2.0 DETAIL 10
Image: Signal and Sig	Z	HANDLE FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	SHEET IR2.0 DETAIL 11
CAUTION - NOTICE TO CONTRACTOR		REDUCED PRESSURE BACKFLOW PREVENTER HUNTER I2C-1600-M 16 STATION OUTDOOR MODULAR CONTROLLER, WITH 0800	SHEET IR2.0 DETAIL 12
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE	~	MODULE. COMMERCIAL USE. METAL CABINET. HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR	SHEET IR2.1 DETAIL 13
<ul> <li>ENGINEER PRIOR TO CONSTRUCTION.</li> <li>WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.</li> </ul>	0	LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. POINT OF CONNECTION 1" USE 1" TAP INTO THE DOMESTIC WATERLINE DOWNSTREAM OF	N/A
	•	THE BUILDING METER. TAP IS LOCATED WITHIN MECHANICAL ROOM. IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	SHEET IR2.1
		SIZE: 1" UNLESS OTHERWISE NOTED ON PLAN IRRIGATION DRIP SUPPLY TUBING: POLYETHYLENE PIPE	DETAIL 14 SHEET IR2.1
CITY PLANNING APPROVAL		SIZE: 3/4" IRRIGATION MAINLINE: CLASS 200 PVC	DETAIL 14 SHEET IR2.1
		SIZE: 1" UNLESS OTHERWISE NOTED ON THE PLAN IRRIGATION MAINLINE: TYPE K COPPER PIPE SIZE: 3/4" UNLESS OTHERWISE NOTED ON PLAN WIRE SLEEVE: PVC SCHEDULE 40 SIZE: 2"	DETAIL 14 SHEET IR2.1 DETAIL 14 SHEET IR2.1 DETAIL 14
		PIPE SLEEVE: PVC SCHEDULE 40 SIZE: DOUBLE THE SIZE OF PIPE INSERTED	SHEET IR2.1 DETAIL 14

### CITY FILE NO. DEPN -24-0152

### GENERAL IRRIGATION NOTES

- IRRIGATION DESIGN IS BASED ON THEORIES, ASSUMPTIONS, AND/OR INFORMATION PROVIDED BY CIVIL MODELS/UTILITIES/MUNICIPAL ENTITIES AND THUS, IS DIAGRAMMATIC IN NATURE. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR GRAPHIC CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- . REFER TO SPECIFICATIONS (AS APPROPRIATE) FOR SUBMITTALS, INSPECTIONS AND OTHER APPLICABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
- 3. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW PLANS & REPORT ANY CONFLICTS OR DISCREPANCIES TO OWNER'S REPRESENTATIVE IMMEDIATELY.
- 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK, DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE EXISTED AT THE TIME OF THE IRRIGATION DESIGN PREPARATION. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT GIVEN. THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY TO BRING THE SYSTEM TO A PROPER WORKING CONDITION, AND TO THE OWNER'S SATISFACTION.
- 5. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, RETAINING WALLS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALL, UNDER ROADWAY PAVING, ETC.
- 6. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- 7. SEE CIVIL ENGINEER'S DRAWINGS FOR IRRIGATION POINT OF CONNECTION (TAP) AND DOMESTIC WATER SUPPLY.
- 8. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS
- 9. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE POINT OF CONNECTION NOTE TAG(S) ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION, AND SHALL REPORT ANY DIFFERENCES BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED OR PRESSURES HAVE GREATLY CHANGED PRIOR TO THE START OF THE IRRIGATION SYSTEM CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR RECOMMENDING A SOLUTION AND PROVIDING AN ADD ALTERNATE BID FOR IRRIGATION COSTS.
- 10. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE
- 11. NO MORE THAN 90% OF AVAILABLE MINIMUM STATIC WATER PRESSURE WAS USED IN PREPARATION OF THESE PLANS, FURTHERMORE, THE MAXIMUM FLOW THROUGH THE METER SHOULD NOT EXCEED 75% OF THE MAXIMUM SAFE FLOW.
- 12. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- 13. INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN ON THE PLANS AND DETAILS. NO SUBSTITUTIONS OF EQUIPMENT WILL BE ACCEPTABLE WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNERS REPRESENTATIVE. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE ALL UNAPPROVED SUBSTITUTED EQUIPMENT AT HIS OWN COST IF SO DIRECTED BY THE OWNER.
- 14. WHEN INSTALLING IRRIGATION PIPE AND EQUIPMENT NEXT TO HARDSCAPE (SUCH AS WALLS, CURBS, OR WALKS), PLACE PIPE AS CLOSE AS POSSIBLE TO HARDSCAPE TO AVOID CONFLICTS WITH PLANTING. REFER TO MAINLINE TRENCHING DETAILS FOR ADDITIONAL INFORMATION.
- 15. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLERS AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
- 16. THE RAIN SENSOR SHALL BE LOCATED NEAR THE IRRIGATION CONTROLLER, AND SHALL BE MOUNTED AS SHOWN ON THE DETAIL AND/OR LEGEND. LOCATE SENSOR AWAY FROM TALL TREES, SHRUBS, AND OTHER POTENTIAL OBSTRUCTIONS
- 17. ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS. THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.
- 18. CONTRACTOR SHALL PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES. 19. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).
- 20. PROVIDE ADDITIONAL IRRIGATION CONTROL WIRES TO THE AMOUNT OF OPEN ZONES ON THE CONTROLLER ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.
- 21. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. ALL SLEEVING SHALL BE PVC SCHEDULE 40 PIPE. SLEEVES FOR MAINLINE AND LATERAL LINES SHALL BE A MINIMUM TWICE THE DIAMETER OF THE ENCLOSED PIPE; SLEEVES FOR CONTROL WIRES SHALL BE AS PER THE SLEEVING / WIRING NOTE AND THE WIRING SLEEVE LEGEND ITEM AS SHOWN ON THESE DRAWINGS.
- 22. TRENCH BACKFILL MATERIAL SHALL BE FREE OF ROCKS, GLASS, AND OTHER EXTRANEOUS MATERIALS LARGER THAN 1" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO 90% MAXIMUM DRY DENSITY.
- 23. WHERE VALVES ARE LOCATED IN CLOSE PROXIMITY TO EACH OTHER, CLUSTER VALVES INTO MANIFOLDS. INSTALL NO MORE THAN ONE VALVE PER VALVE BOX.
- 24. MANUAL DRAIN VALVE, FOR FREEZE PROTECTION, ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE THE LOW POINT IS AT THE END OF THE LINE, LOCATE DRAIN VALVE A MINIMUM OF 12" DOWNSTREAM FROM THE LAST SPRINKLER HEAD. SEE DETAIL FOR VALVE ORIENTATION.
- 25. USE TEFLON TAPE ON ALL PVC MALE PIPE THREADS ON ALL SWING JOINT AND VALVE ASSEMBLIES. 26. ALL IRRIGATION HEADS, INCLUDING FIXED-SPRAY AND DRIP DEVICES, SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED.
- 27. ALL PRESSURIZED MAINLINES, VALVES, DRIP, AND ROTOR AND SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 3' AWAY FROM ANY BUILDING FOUNDATION. IF THIS EQUIPMENT IS SHOWN WITHIN THE 3' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.
- 28. EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, IT IS THE INTENT OF THE IRRIGATION DESIGN TO INDICATE ALL SPRAY HEADS AS "POP-UPS". IN THE EVENT THAT POP-UP HEADS HAVE NOT BEEN SPECIFIED IN TURF AREAS, IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING AND CONSTRUCTION.
- 29. ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEAD STAKING SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE OR THE LANDSCAPE ARCHITECT BEFORE INSTALLATION. STAKED LOCATIONS SHALL BE SPACED TO PROVIDE HEAD-TO-HEAD COVERAGE. RECOMMENDED SETBACK DISTANCE OF ALL PROPOSED IRRIGATION HEADS IS 12" FROM BACK OF CURB AND EDGE OF PAVEMENT.
- 30. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS. ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST NOZZLE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS.
- 31. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH THE ADJACENT SIDEWALK, OR PAVING. ALL POP-UP HEADS AWAY FROM HARDSCAPE EDGES IN TURF SHALL BE 1" ABOVE THE FINISH GRADE TO PREVENT CONTACT WITH MOWERS.
- 32. EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE
- 33. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED. 34. UPON COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM, IRRIGATION CONTRACTOR SHALL PROVIDE THE
- FOLLOWING A. ACCURATE AND COMPLETE "AS BUILT" PLANS OF IRRIGATION SYSTEM INCLUDING 8-1/2" X 11" ZONE MAP TO BE PLACED INSIDE EACH CONTROLLER BOX. B. LOG ON ALL WATER WINDOWS, RUN SCHEDULE TIMES, AND OTHER CHANGES AND/OR MODIFICATIONS TO THE
- IRRIGATION SYSTEM SINCE INSTALLATION. C. ONE HOUR OF TRAINING TO OWNER ON IRRIGATION SYSTEM AND CONTROLLER OPERATION. D. THREE OF EACH TYPE OF HEAD AND EMITTER INSTALLED.
- E. ONE OF EACH TYPE OF VALVE INSTALLED. F. REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- 35. PRIOR TO ACCEPTANCE OF IRRIGATION SYSTEM AT THE END OF THE MAINTENANCE PERIOD, THE IRRIGATION
- CONTRACTOR SHALL PROVIDE THE FOLLOWING: CURRENT SCHEDULE RUN TIME AND WATER WINDOW LOG, ALONG WITH NOTING ANY OTHER PERTINENT INFORMATION.
- 36. UNLESS OTHERWISE SPECIFIED, THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ANYTHING DAMAGED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- 37. CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.
- 38. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND SPECIFICATIONS, THE PLAN SHALL TAKE PRECEDENCE. 39. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.

SITE DEVELOPMENT PLAN LOT 1 AIRPORT SPECTRUM FIL. NO. 2	STARBUCKS	0 SPECTRUM AIR WAY	COLORADO SPRINGS, CO 80916
#         Date           1         11//27/2024	Issue / Description 1ST RESUBMITTAL		Init. SRM 
Project No:			YMS7

Project No.	11/137
Drawn By:	JAC
Checked By:	EDN
Date:	11/08/2024

IRRIGATION PLAN

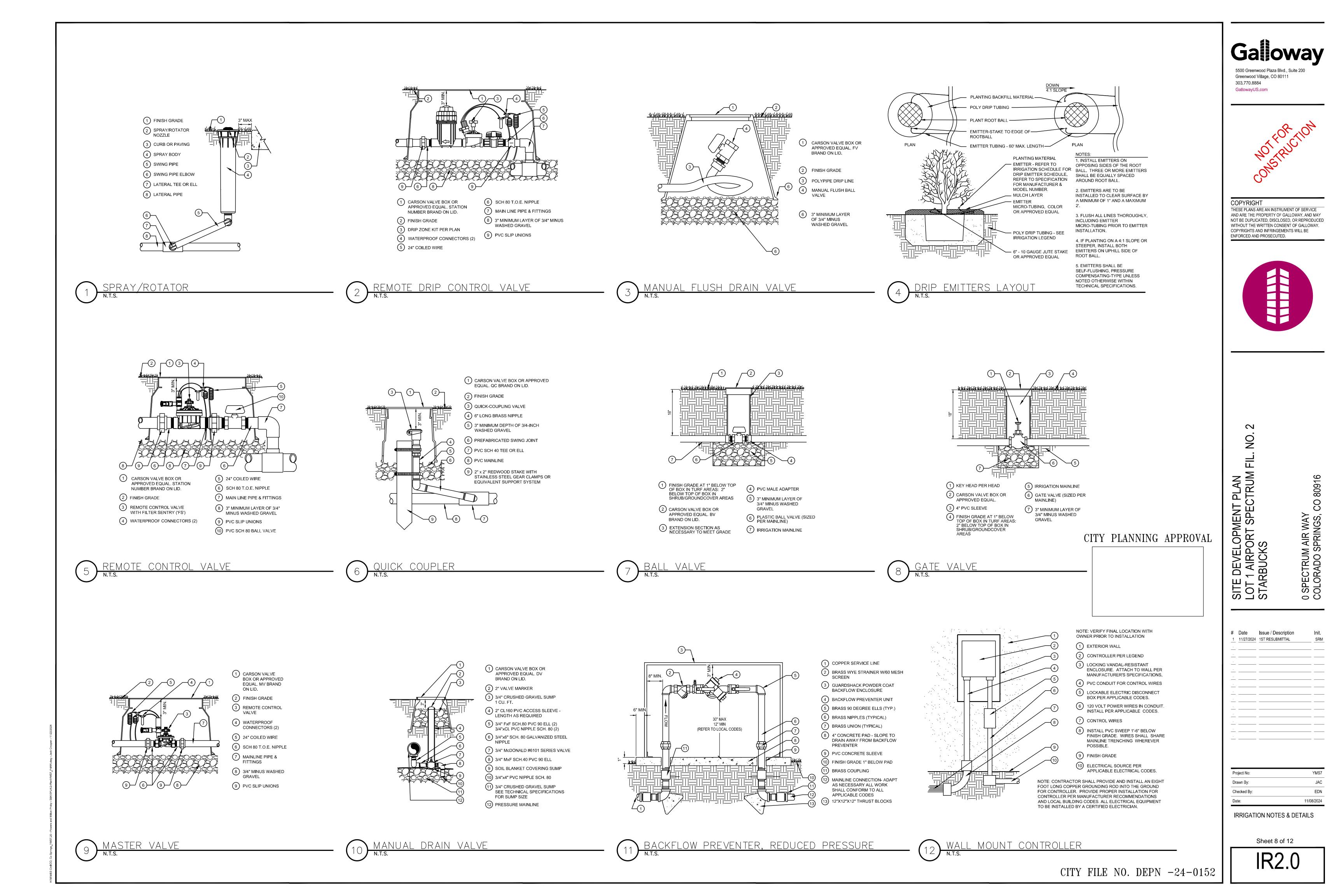
Sheet 7 of 12

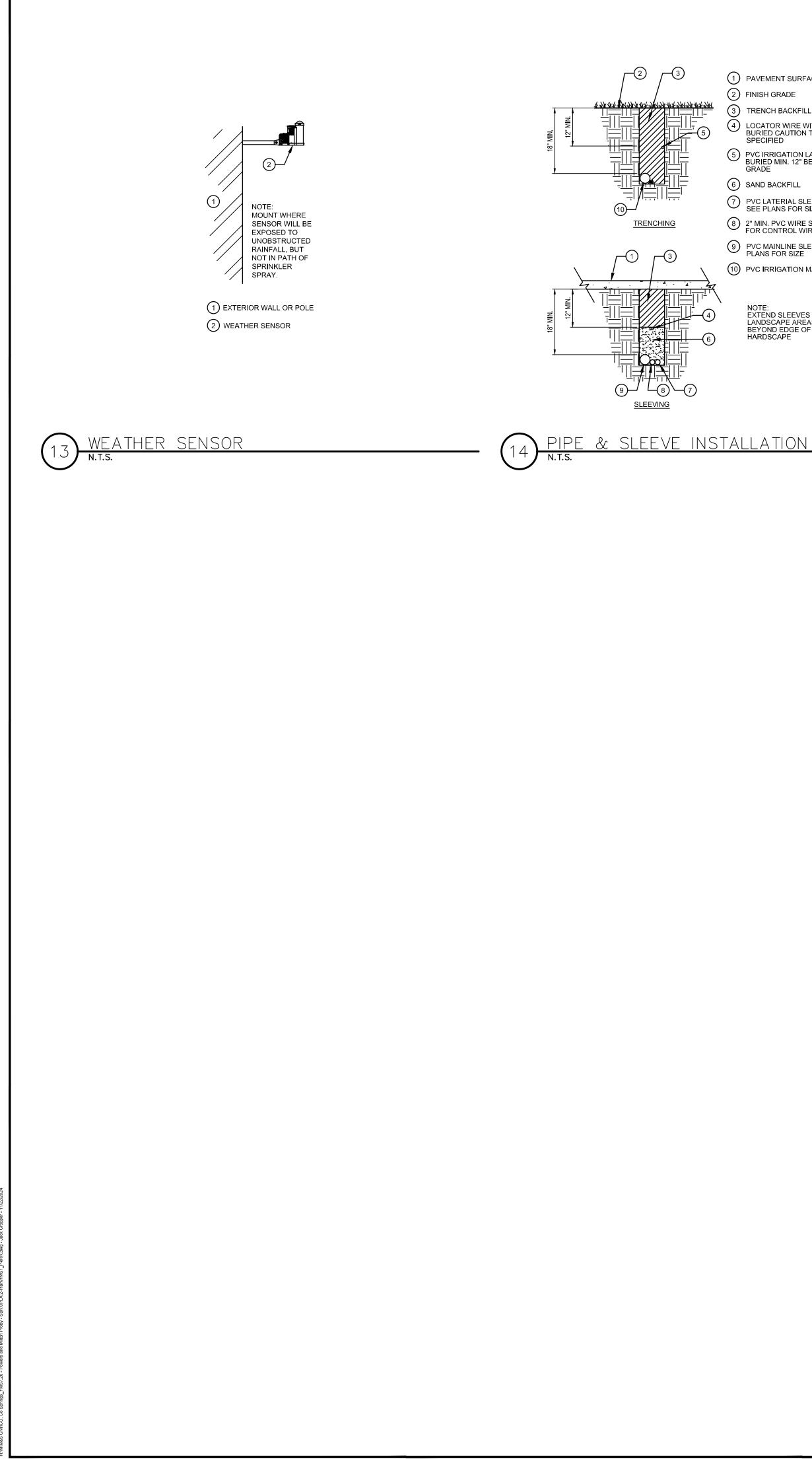
5500 Greenwood Plaza Blvd., Suite 200 Greenwood Village, CO 80111 303 770 8884

GallowayUS.com



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### ESTIMATED WATER DEMAND ANALYSIS

Туре	Square Feet	Acreage	Inches /Month	Inches/ Year	Feet/ Year	Estimated Demand (Acre Ft/Yr)	Gallons/Year
Seed	9,559	0.22	1.5	9	0.75	0.16	53,630
Plant Beds	15,218	0.35	2.5	15	1.25	0.44	142,298
	·				Total:	0.60	195,927

Notes:

~ Use the above demand as a rough guide. Demand may change based on numerous factors. ~ Due to Point Source Irrigation in the Plant Beds, the amount in the Square Feet column is based on the

estimated plant material coverage and may differ from the Plant Bed area on the landscape plan.

### IRRIGATION CONTROLLER CHART

Zone	<b>Plant Type</b> (turf, seed, shrubs, perennials, etc.	Head Type	Nozzle	Application Rate (inches/hour)	GPM	Inches/ Month	Run Time (minutes per month)	<b>Run Time</b> (Three times a week)	Water Usage (Gallons Per Month)
A1	Shrub Bed	Hunter Point Source	HE-B	0.7	4.4	4	343	34	1509
A2	Shrub Bed	Hunter Point Source	HE-B	0.7	2.49	4	343	34	854
A3	Seed	MP-Rotator	10'-35'	0.4	7.81	1.5	225	23	1757
A4	Shrub Bed	Hunter Point Source	HE-B	0.7	2.54	4	343	34	871
A5	Seed	MP-Rotator	10'-35'	0.4	10.96	1.5	225	23	2466
A6	Seed	MP-Rotator	10'-35'	0.4	9.15	1.5	225	23	2059
A7	Shrub Bed	Hunter Point Source	HE-B	0.7	2.62	4	343	34	898
A8	Seed	MP-Rotator	10'-35'	0.4	3.85	1.5	225	23	866

Notes:

~ Use the above schedule as a rough guide. Monitor plant health & soil moisture. Adjust water schedule, run times, and frequency accordi

~ Abide by jurisdictional water window requirements when running the irrigation.

~ Due to irrigation tap coming off the domestic water line, irrigation must run while all businesses are closed. ~ Group drip valves together (up to 18GPM or 6 zones) to decrease irrigation time and fit into water window.

~ Cycle soak seed zones for the first 3 months to improve establishment.

### CRITICAL ANALYSIS

Generated:	2024-11-05 07:13
P.O.C. NUMBER: 01 Water Source Information:	Use 1" tap into the domestic waterline downstream of the building meter. Tap is located within mechanical room.
FLOW AVAILABLE	
Point of Connection Size:	1"
Flow Available	18.2 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	80 PSI
Pressure Available:	80 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	10.96 GPM
Flow Available at POC:	18.2 GPM
Residual Flow Available:	7.24 GPM
Critical Station:	A6
Design Pressure:	40 PSI
Friction Loss:	2.14 PSI
Fittings Loss:	0.22 PSI
Elevation Loss:	0.87 PSI
Loss through Valve:	3.00 PSI
Pressure Req. at Critical Station:	45.40 PSI
Loss for Fittings:	0.40 PSI
Loss for Main Line:	3.95 PSI
Loss for Backflow:	12.30 PSI
Loss for Master Valve:	3.00 PSI
Critical Station Pressure at POC:	65.0 PSI
Pressure Available:	80 PSI 14 13 PSI
Residual Pressure Available:	14.13 PSI

### 1 PAVEMENT SURFACE 2 FINISH GRADE

3 TRENCH BACKFILL

(4) LOCATOR WIRE WITH BURIED CAUTION TAPE IF SPECIFIED

5 PVC IRRIGATION LATERAL -BURIED MIN. 12" BELOW

GRADE 6 SAND BACKFILL

7 PVC LATERIAL SLEEVE SEE PLANS FOR SIZE

8 2" MIN. PVC WIRE SLEEVE FOR CONTROL WIRES

PVC MAINLINE SLEEVE SEE PLANS FOR SIZE 10 PVC IRRIGATION MAINLINE

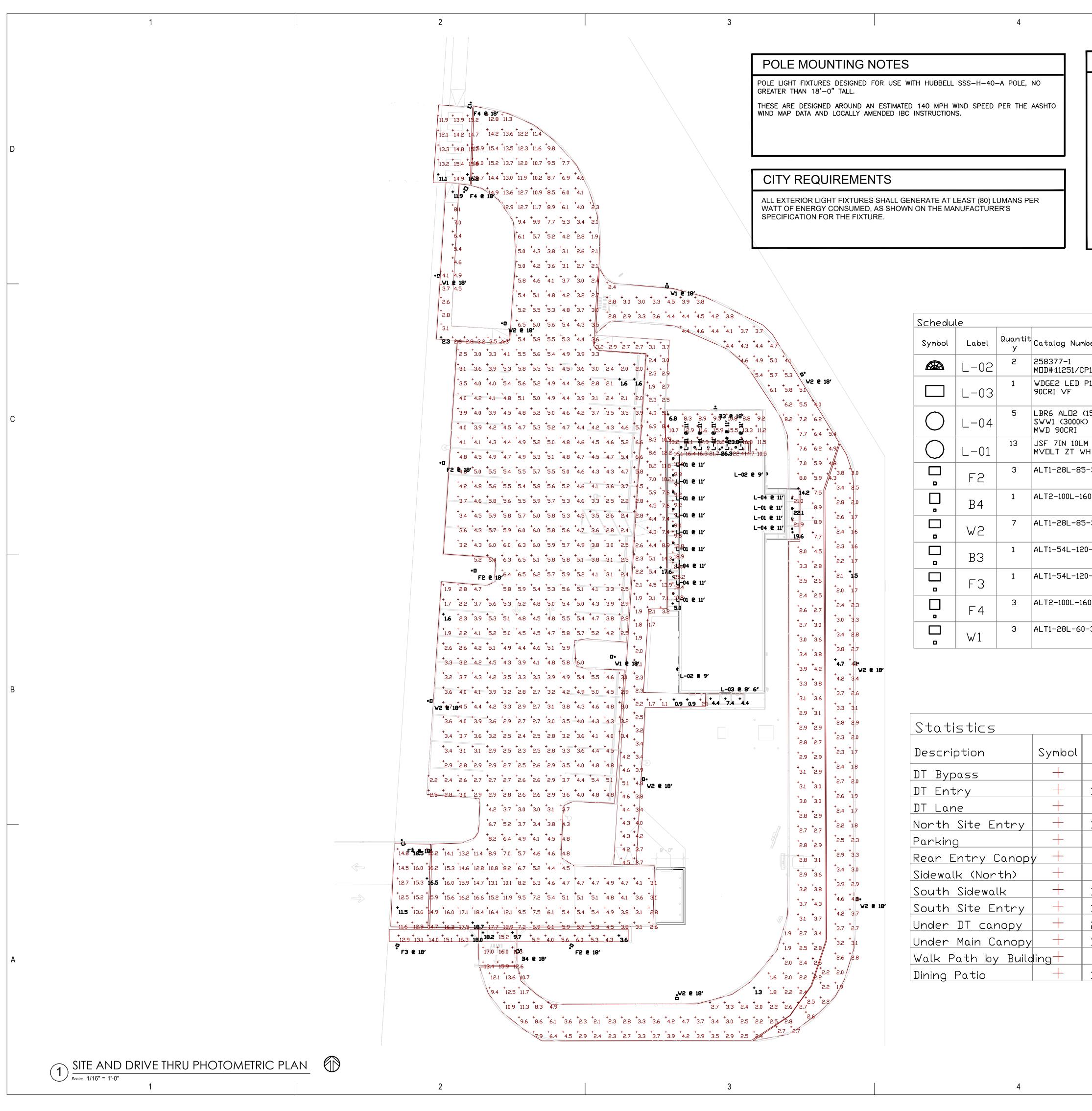
NOTE: EXTEND SLEEVES INTO LANDSCAPE AREAS 12" BEYOND EDGE OF

HARDSCAPE

- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AS OF JANUARY 1, 2020, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM. FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M. WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME). ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW
- LANDSCAPES. ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES." • FOR ALL DESIGN IRRIGATION SYSTEMS, IF
- MORE THAN THREE DAYS A WEEK ARE REQUIRED TO PROVIDE REQUIRED COVERAGE WITH SPRAY/ROTOR STATIONS/VALVES, A WATER ALLOCATION PLAN IS REQUIRED FROM COLORADO SPRINGS UTILITIES."
- CITY AFFIDAVIT NOTE THE DESIGN PROFESSIONAL OF RECORD IS TO COMPLETE THE IRRIGATION INSPECTION AFFIDAVIT BASED ON APPROVED IRRIGATION PLAN. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS AND A FUNCTIONAL TEST OF THE IRRIGATION SYSTEM SHALL BE PERFORMED TO ACCURATELY COMPLETE THE AFFIDAVIT. FINAL CO OR FINANCIAL ASSURANCES RELEASE SHALL NOT BE PROCESSED UNTIL AN EXECUTED AND APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982)".

	JANUARY 1, 2020, WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM. FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6	5500 Greenwood Plaza Blvd., Suite 200 Greenwood Village, CO 80111	y
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	APPROVED AFFIDAVIT IS SUBMITTED TO CITY STAFF. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS,		
	FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982)".		
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		#       Date       Issue / Description         1       11/27/2024       1ST RESUBMITTAL         -       -     <	Init
T	Y PLANNING APPROVA	# Date       Issue / Description         1       11/27/2024       1ST RESUBMITTAL         -       -       -         -       -	
T	Y PLANNING APPROVA	# Date       Issue / Description         1       11/27/2024       1ST RESUBMITTAL         -       -       -         -       -	

IR2.1



### PHOTOMETRIC NOTES

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF O" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN WHEN MOUNTED TO THE BUILDING ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS GIVEN WHERE POLE MOUNTED OR RECESSED ARE GIVEN FOR THE BOTTOM OF THE LENS OF THE LUMINAIRE AND DO NOT REFLECT THE HEIGHT OF THE POLE, BASE OR THE FIXTURE ITSELF.

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN LANDLORD'S CONTRACTOR LETTER TO DETERMINE FIXTURE OUTPUTS AND DISTRIBUTION AS TO MEET THE WRITTEN FOOT-CANDLE LEVELS REQUIRED. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE LANDLORD'S CONTRACTOR AND TENANT PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THER PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE IN AS THE BASIS OF DESIGN.

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR THE SHELL CONSTRUCTION ONLY AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING PROVIDED AWAY FROM THE SITE, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.

ber	Description	Number Lamps	Lumens Per Lamp	Wattage
P133537	LED WALL CYLINDER	1	574	14.7
P1 30K	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT FORWARD OPTIC	1	1166	9.81
1500LM) > AR LSS	6IN LBR Retrofit 1500LM 3000K Clea -Specular Medium Wide 90CRI	ur Slemi-	1683	18.74
1 40K 901 H	C <b>R1</b> Round Edgelit (Slimform) Surfact Mount, 4000K, 90CRI, MV	e 1	1135	12.8
-3K9-4	ALTITUDE 2.0	1	9170	86
50-3K9-2	ALTITUDE 2.0	1	19180	160
-3K9-3	ALTITUDE 2.0	1	9161	86
0-3K9-2	ALTITUDE 2.0	1	13671	122
)-3K9-4	ALTITUDE 2.0	1	13793	122
50-3K9-4	ALTITUDE 2.0	1	19532	160
-3K9-3	ALTITUDE 2.0	1	6939	60

Avg		Max	Min	Max/Min	A∨g/Min	
2.7 f	С	4.7 fc	1.5 fc	3.1:1	Plan1,\8∎¥	
14.4 f	`с	18.2 fc	9.7 fc	1.9:1	1.5:1	
4.3 f	С	14.2 fc	1.3 fc	10,9:1	3, <b>3</b> ;qle - 1,	/16" = 1ft
14.2 f	`с	16.2 fc	11.1 f⊂	1.5:1	1.3:1	
5.3 f	С	18.7 fc	1.6 fc	11.7:1	3.3:1	
5.4 f	С	7.4 fc	4.4 fc	1.7:1	1.2:1	
4.6 f	С	11.9 fc	2.3 fc	5.2:1	2.0:1	
10.3 f	С	18.0 fc	3.6 fc	5.0:1	2.9:1	
14.5 f	`c	16.5 fc	11.5 fc	1.4:1	1.3:1	
21.2 f	`c	22.1 fc	19.6 fc	1.1:1	1.1:1	
14.9 f	`с	26.3 fc	5.0 fc	5.3:1	3.0:1	
4.6 f	С	17.6 fc	0,9 fc	19.6:1	5.1:1	
13.0 f	С	23.8 fc	: 6,8 fc	3,5:1	1.9:1	
				CITY	<b>DIANNI</b>	

CITY PLANNING APPROVAL

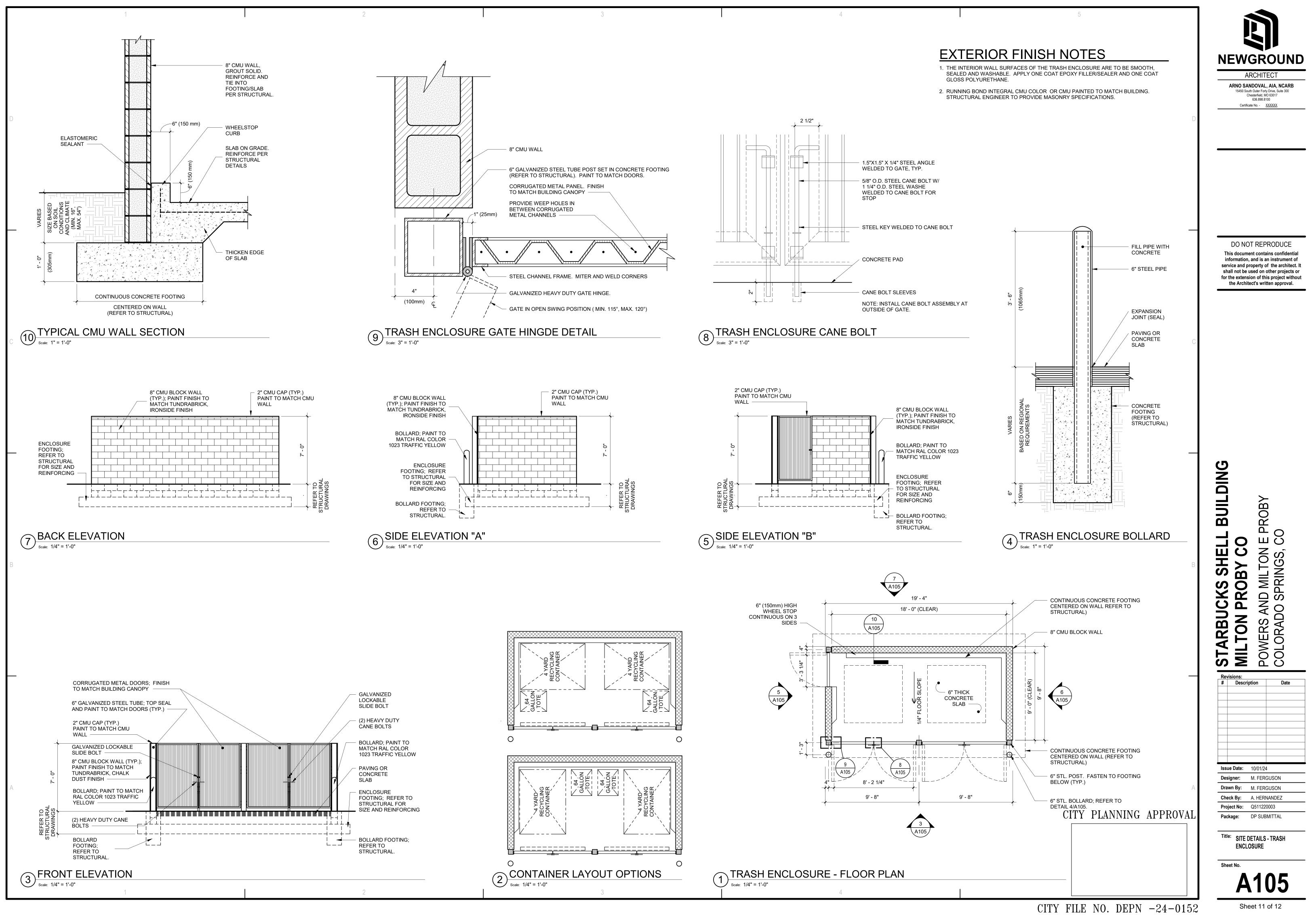
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	ARCHITECT

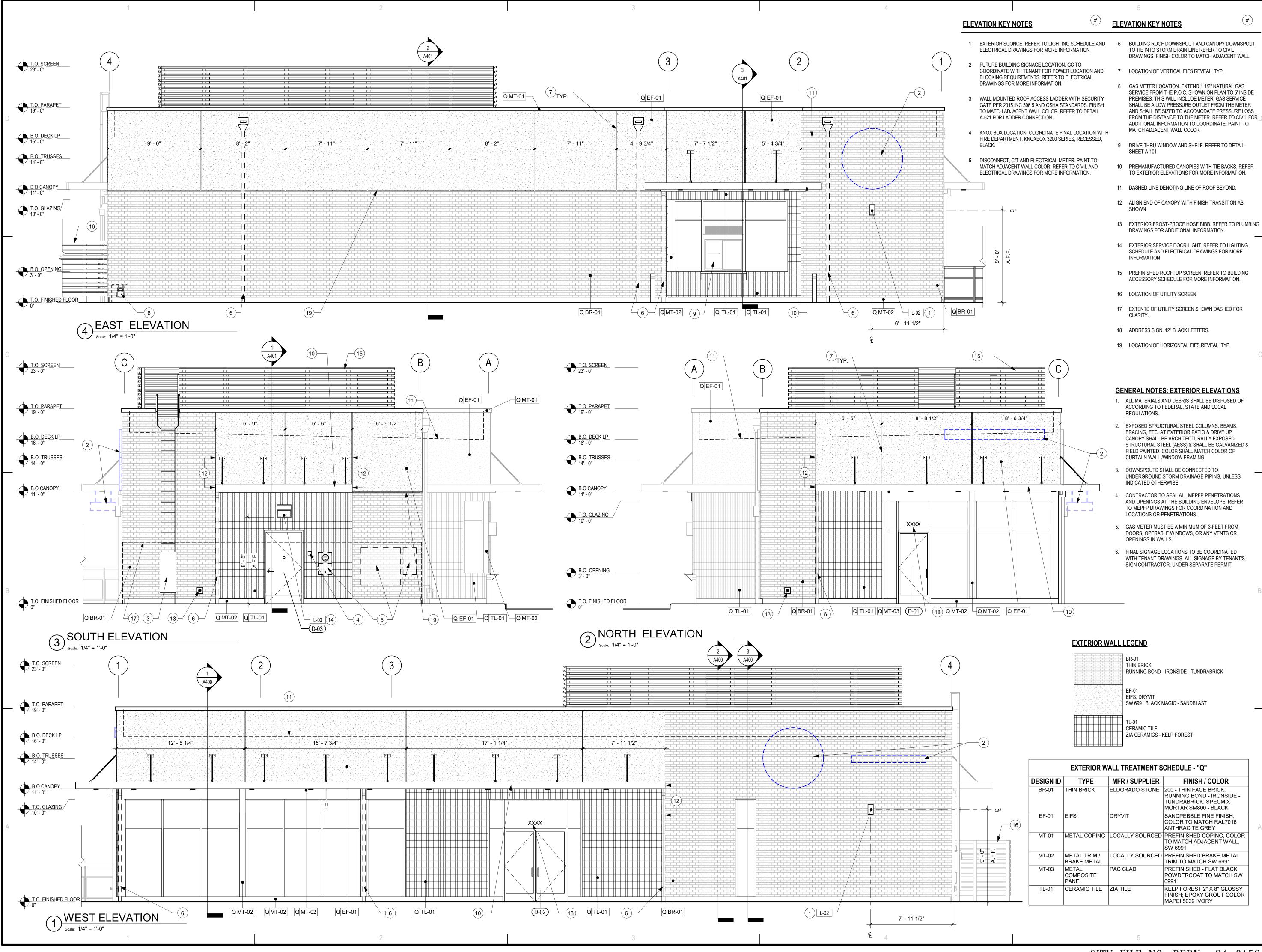
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STARBUCKS SHELL BUILDING MILTON PROBY CO	POWERS AND MILTON E PROBY COLORADO SPRINGS, CO
Revisions: # Description	n Date
Issue Date: 09/	20/24
Designer:	
Drawn By: Check By:	
Project No:	
Package: 209	% CD SET
	TRICAL OMETRICS
Sheet No.	
<b>E</b> 3	02

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- SERVICE FROM THE P.O.C. SHOWN ON PLAN TO 5' INSIDE PREMISES. THIS WILL INCLUDE METER. GAS SERVICE SHALL BE A LOW PRESSURE OUTLET FROM THE METER AND SHALL BE SIZED TO ACCOMODATE PRESSURE LOSS FROM THE DISTANCE TO THE METER. REFER TO CIVIL FOR ADDITIONAL INFORMATION TO COORDINATE. PAINT TO
- TO EXTERIOR ELEVATIONS FOR MORE INFORMATION.

- SCHEDULE AND ELECTRICAL DRAWINGS FOR MORE

- STRUCTURAL STEEL (AESS) & SHALL BE GALVANIZED &

# NEWGROUND

ARCHITECT ARNO SANDOVAL, AIA, NCARB 15450 South Outer Forty Drive, Suite 300 Chesterfield, MO 63017 636.898.8100 Certificate No. - XXXXXX

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STARBUCKS SHELL BUILDING MILTON PROBY CO	POWERS AND MILTON E PROBY COLORADO SPRINGS, CO
Revisions: # Descrip	tion Date
Issue Date:	10/01/24
Designer:	M. FERGUSON
Drawn By:	M. FERGUSON
,	A. HERNANDEZ
Project No: Package:	Q511220003 DP SUBMITTAL
rachaye:	DI GUDIVITI TAL
Title: EXTER	IOR ELEVATIONS
Sheet No.	
Λ	200

Sheet 12 of 12