

LOT 1 - AIRPORT SPECTRUM FILING NO. 3

LOT 1 - STARBUCKS

A PARCEL OF LAND IN THE NORTHEAST QUARTER (SW 1/4) OF SECTION 1,
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

OCTOBER 2024

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 1,
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO,
STATE OF COLORADO.

TO BE PLATTED AS LOT 1, AIRPORT SPECTRUM FILING NO. 3

SITE DATA:

SITE ADDRESS: 0 SPECTRUM AIR WAY
MASTER PLAN: FINAL DRAINAGE REPORT AMENDMENT FOR AIRPORT SPECTRUM FILING NO. 1
CONCEPT PLAN:
EXISTING ZONE: PDZ, AP-0
SITE PLAN ACREAGE: 1.18 AC
TAX SCHEDULE NO.: 65011-00-013
PROPOSED USE: DRIVE-IN FAST FOOD SERVICE
EXISTING LAND USE: VACANT COMMERCIAL LAND

PARKING REQUIREMENTS: DRIVE-IN FAST FOOD SERVICE
PARKING SPACES: TOTAL 1 SPACE PER 300 SF REQUIRED PER TABLE 7.4.10-A ~

PARKING REQUIREMENTS				
BUILDING SF	REQUIRED SPACES	PROVIDED SPACES	REQUIRED ADA ASSESSABLE	PROVIDED ADA ASSESSABLE
2434	9	31	2	2

PROPOSED BUILDING HEIGHT: 28 FEET (MAX HEIGHT ALLOWED 50 FEET)
BUILDING LOT COVERAGE: 4.7%
IMPERVIOUS SURFACE COVERAGE: 55.8% ~ 44.2% OPEN/LANDSCAPING
BLDG SETBACK/LANDSCAPE SETBACKS: N/A

DRAINAGE BASIN: WINDMILL GULCH
ANTICIPATED DEVELOPMENT SCHEDULE: MAY 2025 - JUNE 2026

WATER QUALITY / DETENTION SHALL BE PROVIDED VIA A PRIVATELY OWNED FULL SPECTRUM DETENTION POND. THE FSD POND WAS APPROVED WITH THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC.

FEMA FLOODPLAIN NOTE:

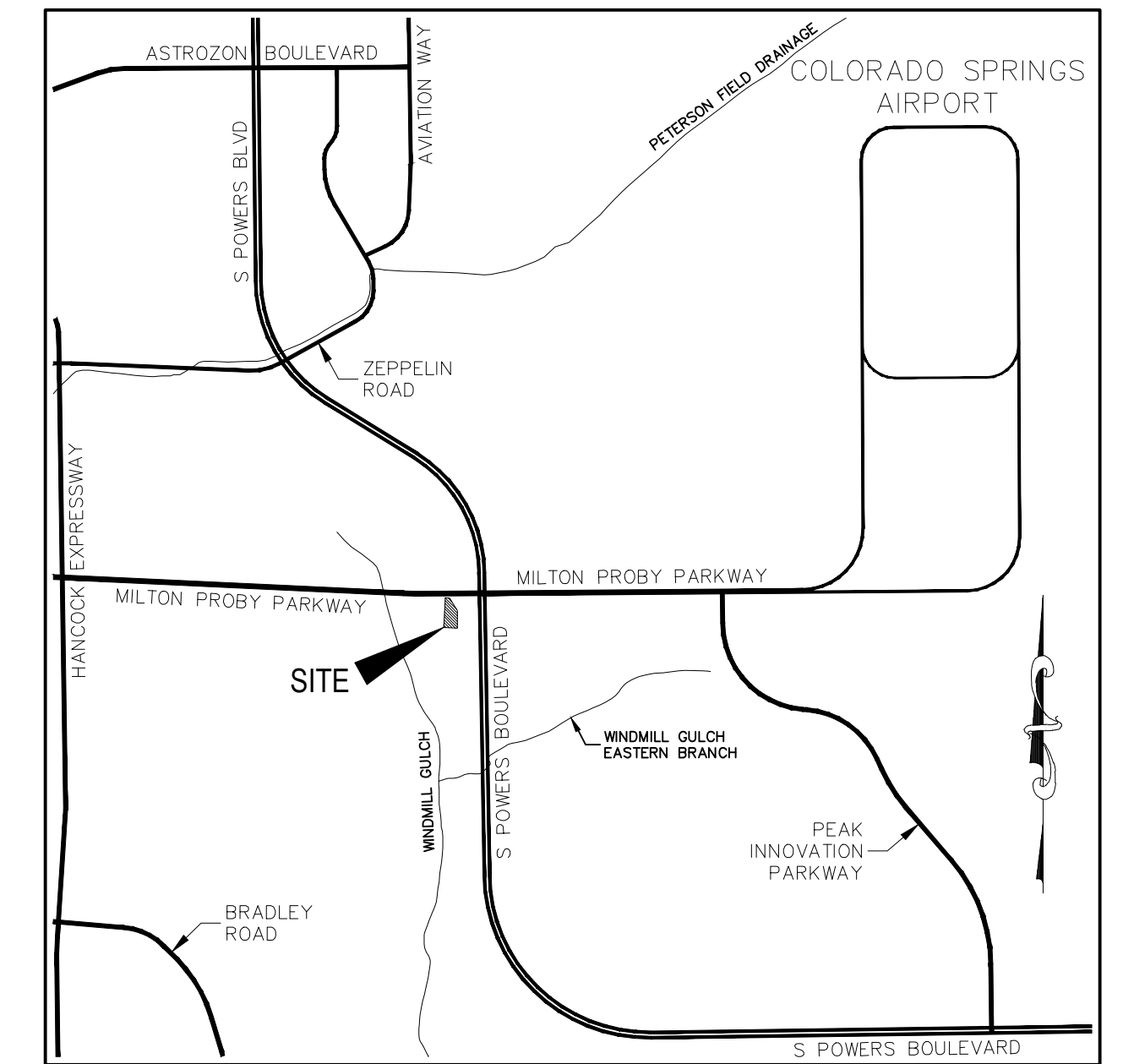
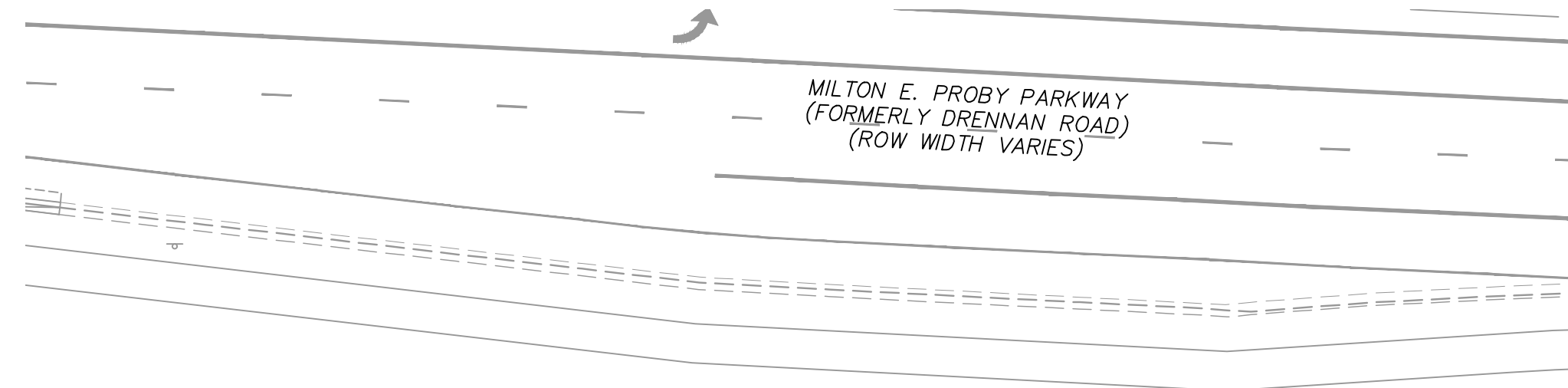
THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0763G DATED DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE SUBJECT PROPERTY. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

GENERAL NOTES:

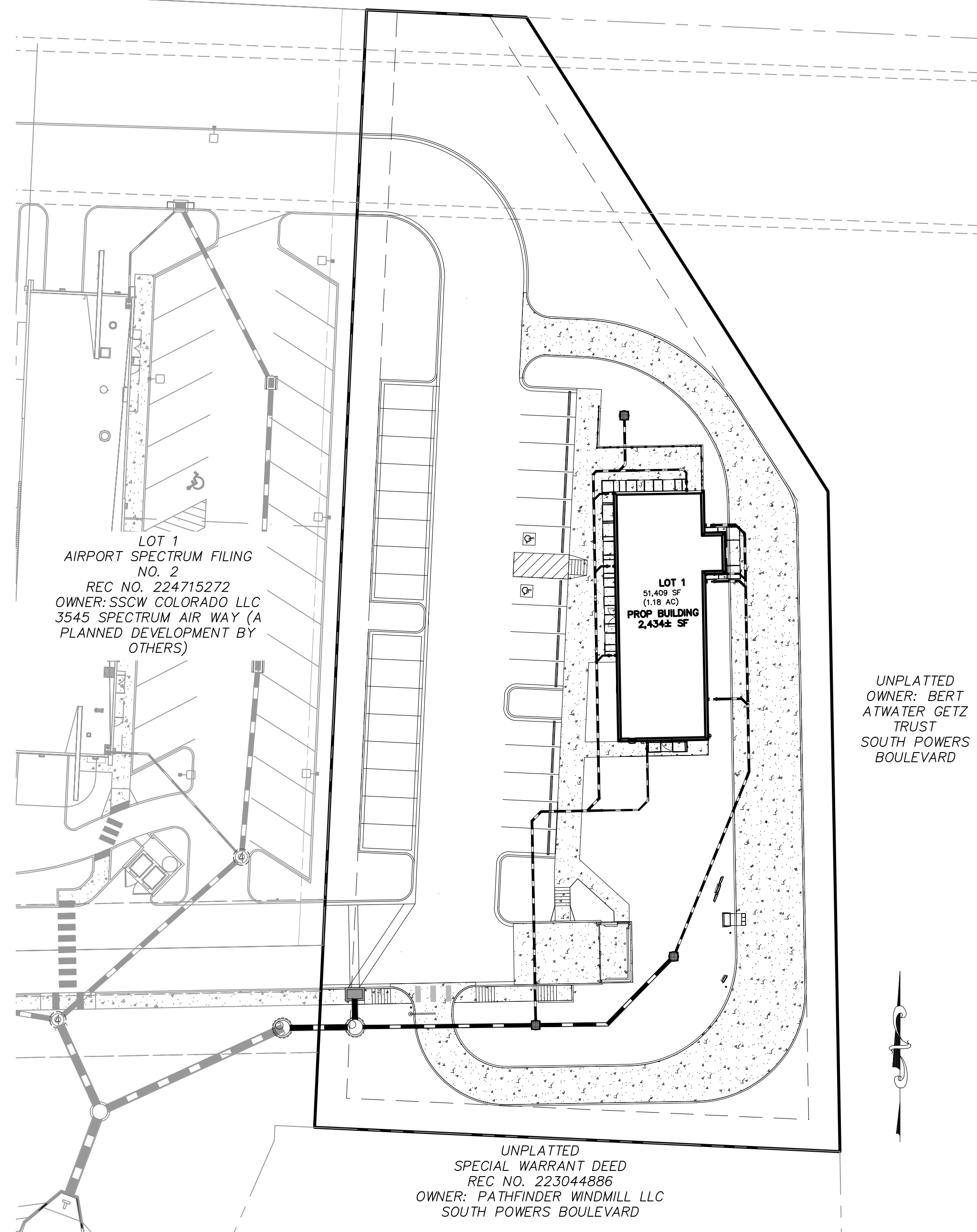
- ALL PROPOSED CURB AND GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT OF WAY SHALL MEET CITY STANDARDS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- PER CITY CODE SECTION 7.4.1203, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER SIDEWALKS, PEDESTRIAN RAMPS AND CROSS PANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ON ALL PUBLIC STREETS ADJACENT TO THE DEVELOPMENT WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.) AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.
- CONSTRUCTION PLANS WILL BE SUBMITTED TO ENGINEERING DEVELOPMENT REVIEW AND STORMWATER ENTERPRISE FOR GRADING AND EROSION CONTROL, CSWMP, STORMWATER PLANS, AND FINAL DRAINAGE REPORT.
- TRASH DUMPSTER(S) MUST BE IN GATED ENCLOSURES, DESIGNED TO COMPLIMENT THE DESIGN OF THE MAIN STRUCTURE.
- ALL STREETSCAPING LANDSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND /OR THEIR SUCCESSORS.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALK, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- EXISTING ACCESS FOR LOT 1 "AIRPORT SPECTRUM FILING NO. 3" SHALL BE PROVIDED FROM TWO POINTS OF ACCESS, ONE BEING FROM SPECTRUM AIR WAY FROM THE WEST VIA AN UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS), THE OTHER FROM MILTON E. PROBY PARKWAY TO THE NORTH, ALSO VIA UNNAMED PRIVATE SHARED ACCESS WAY (BY OTHERS).

DEVELOPMENT STAGE NOTE:

THE DEVELOPER ASSUMES THAT THE WEST PROPOSED DEVELOPMENT TO THIS SITE THAT IS PLANNED BY OTHERS ON LOT 2 OF AIRPORT SPECTRUM FILING NO. 2 SHALL BE CONSTRUCTED WITH OR BEFORE THE CONSTRUCTION OF THIS DEVELOPMENT ON LOT 1 OF AIRPORT SPECTRUM FILING NO. 3



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

SHEET INDEX:

- DEVELOPMENT PLAN COVER SHEET
- OVERALL SITE PLAN
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
- LANDSCAPE PLANS
 - FINAL LANDSCAPE PLAN
 - LANDSCAPE NOTES/DETAILS
- IRRIGATION PLANS
 - IRRIGATION PLAN
 - IRRIGATION NOTES/DETAILS
- SITE LIGHTING PLANS
 - SITE LIGHTING PLAN CUT SHEETS/DETAILS
- BUILDING ELEVATION PLANS
 - BUILDING ELEVATIONS / TRASH ENCLOSURE ELEVATIONS

OWNERS/DEVELOPER:

DTV AEROPLAZA LLC
1776 N. SCOTTSDALE RD
SCOTTSDALE, AZ 85252

ARCHITECT/PHOTOMETRIC:

NEWGROUND INTERNATIONAL
15450 SOUTH OUTER FORTY RD., SUITE 300
CHESTERFIELD, MO 63017
636-898-8100

LANDSCAPE ARCHITECT:

GALLOWAY & CO, INC
1155 KELLY JOHNSON BLVD, SUITE 305
COLORADO SPRINGS, CO 80920
719-900-7220

CIVIL ENGINEER:

M&S CIVIL CONSULTANTS, INC.
212 N. WAHSATCH AVE., SUITE 305
COLORADO SPRINGS, CO 80903
719-955-5485

DEVELOPMENT PLAN
LOT 1 - AIRPORT SPECTRUM FILING NO. 3
0 SPECTRUM AIR WAY
JOB NO. 10-035
DATE PREPARED: OCTOBER 2024

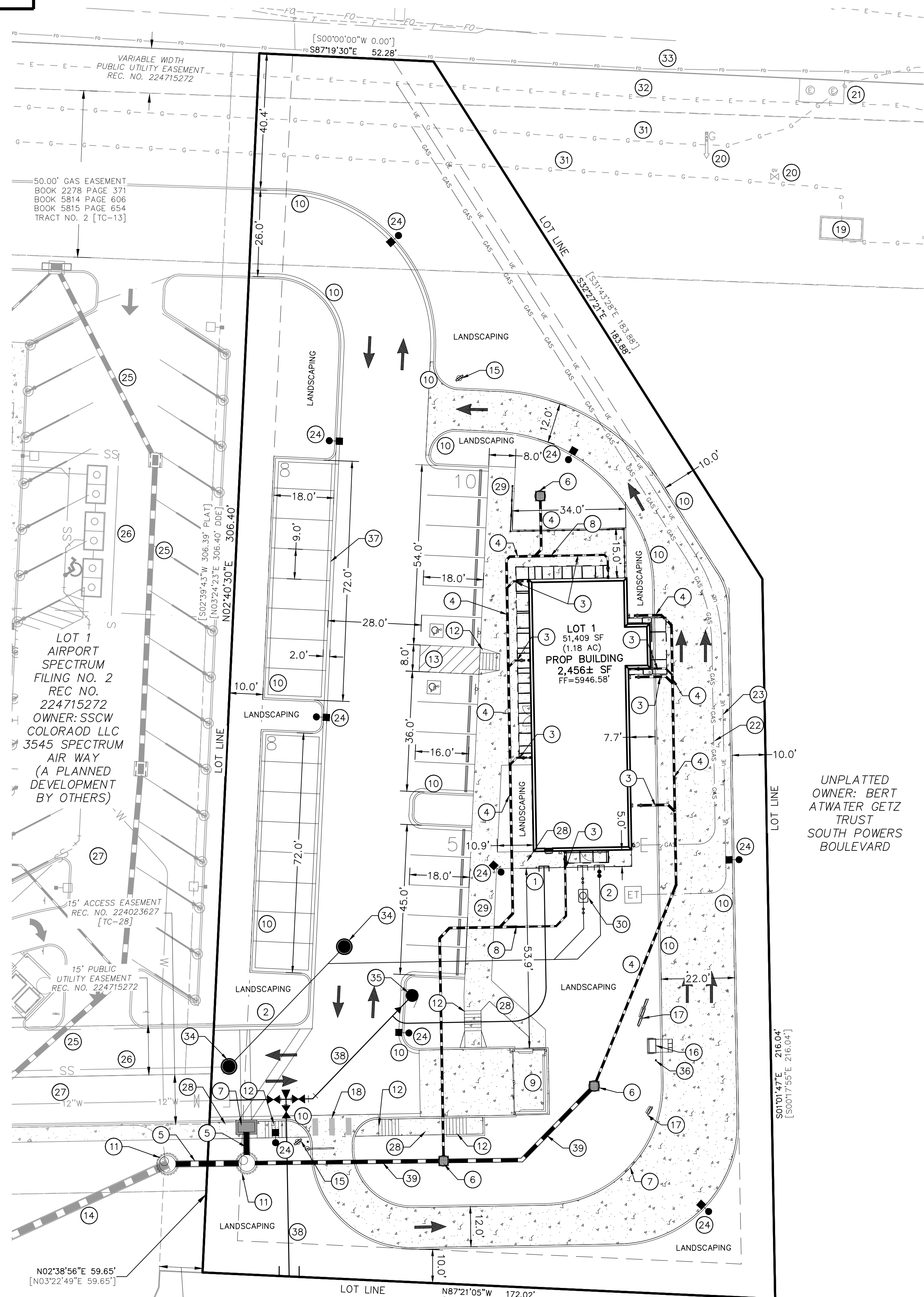
CITY FILE NO. DEPN-XX-XXXX

LOT 1 - AIRPORT SPECTRUM FILING NO. 3

LOT 1 - STARBUCKS

SITE PLAN
OCTOBER 2024

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES.
FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987



KEY NOTES:

1. PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
2. PROPOSED PRIVATE 6" SAN SEWER
3. PROPOSED PRIVATE 6" PP STORM
4. PROPOSED PRIVATE 8" PP STORM
5. PROPOSED PRIVATE 18" PP STORM
6. PROPOSED AREA INLET
7. PROPOSED 2" WIDE CURB CUT
8. PROPOSED 6"x8" REDUCER
9. PROPOSED TRASH ENCLOSURE ON CONC PAD
10. PROPOSED TYPE 3 CURB AND GUTTER
11. PROPOSED 5' DIA TYPE II MANHOLE
12. PROPOSED CITY STD PED RAMP
13. NO PARKING STRIPING
14. PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
15. SIGNAGE
16. PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
17. PROPOSED MENU BOARD
18. PROPOSED CROSSWALK
19. EXISTING GAS VAULT
20. EXISTING GAS FEATURE
21. EXISTING ELECTRIC VAULT
22. PROPOSED GAS SERVICE. FINAL LOCATION TO BE DETERMINED BY CSU
23. PROPOSED U/G ELECTRIC. FINAL LOCATION TO BE DETERMINED BY CSU
24. PROPOSED LIGHT POSTS
25. PROPOSED PRIVATE 18" HP STORM PIPE (BY OTHERS)
26. PROPOSED SANITARY SEWER LINE (BY OTHERS)
27. PROPOSED WATER LINE (BY OTHERS)
28. PROPOSED 5' SIDEWALK
29. PROPOSED 8' SIDEWALK
30. PROPOSED TRAFFIC RATED GREASE INTERCEPTOR (SCHIER PRODUCTS GB-75)
31. EXISTING GAS LINE
32. EXISTING ELECTRIC LINE
33. EXISTING FIBER OPTIC
34. PROPOSED SAN SEWER MANHOLE
35. PROPOSED FIRE HYDRANT
36. PROPOSED BOLLARD
37. PROPOSED 2" WIDE CONCRETE CHASE
38. PROPOSED PRIVATE 6" PVC WATER SERVICE
39. PROPOSED PRIVATE 12" PP STORM

UNPLATTED OWNER: BERT ATWATER GETZ TRUST SOUTH POWERS BOULEVARD

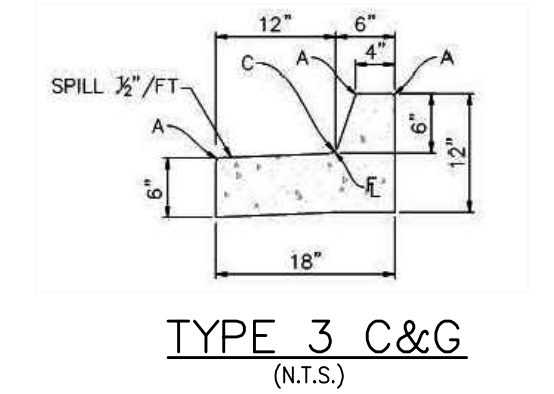
UNPLATTED SPECIAL WARRANT DEED REC NO. 223044886 OWNER: PATHFINDER WINDMILL LLC SOUTH POWERS BOULEVARD

LEGEND

LOT LINE	---	PLANNED INFILTRATION AREA	
EX. GAS	---	NO PARKING STRIPING	
EX. U/G ELECTRIC LINE	---	STORM SEWER INLET	
EX. FIBER OPTIC	---	STORM SEWER MANHOLE	
EX. SANITARY SEWER LINE	---	RETAINING WALL	
EX. WATER LINE	---	PROPOSED CONCRETE	
EX. STORM LINE	---	LANDSCAPE SETBACK	
STORM SEWER LINE	---		
SANITARY SEWER SERVICE	SS		
WATER LINE SERVICE	WL		
GAS SERVICE	GAS		
U/G ELECTRIC SERVICE	UE		
SANITARY SEWER MANHOLE			
FIRE HYDRANT			

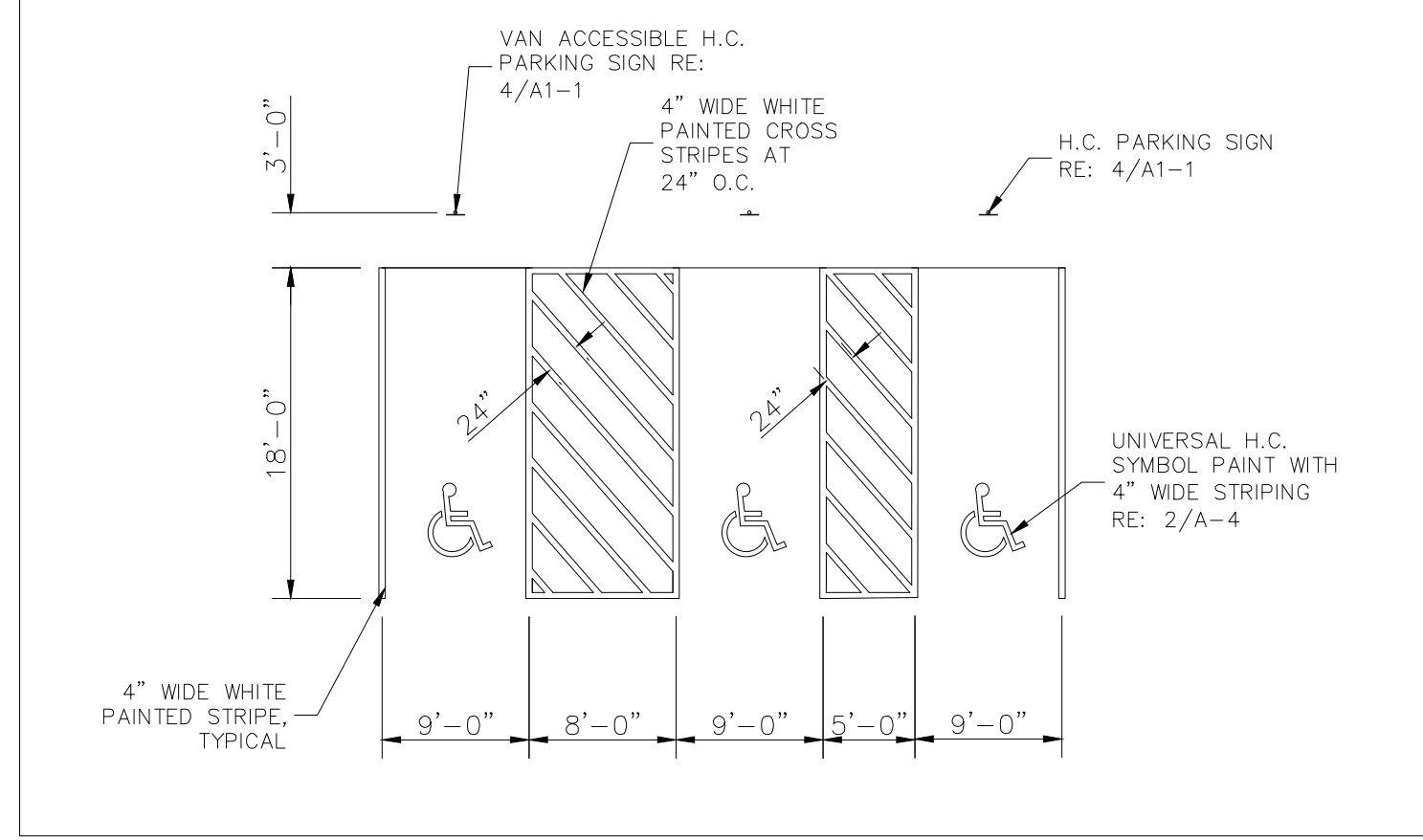
ABBREVIATION LEGEND

CL	CENTERLINE
C&G	CURB AND GUTTER
CONST	CONSTRUCTION
WTR	WATER
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
PP	POLYPROPYLENE PIPE
STA	STATION



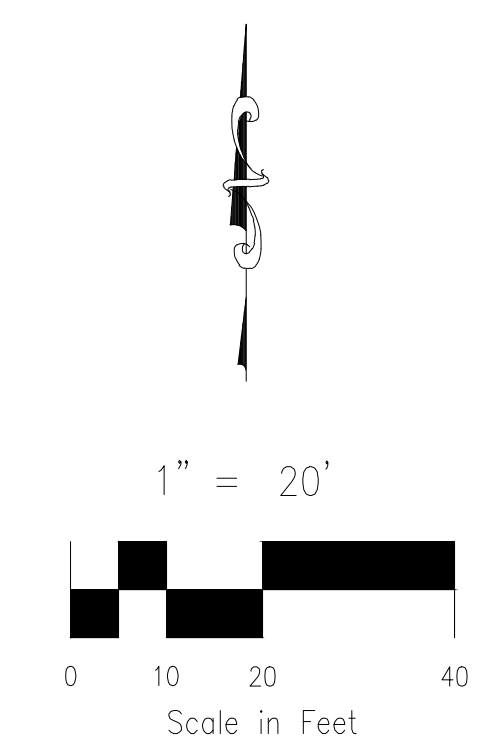
HANDICAP PARKING DESIGN CRITERIA:

1. RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE ADJOINING SIDEWALKS.
2. ACCESS AISLES MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION
3. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES.
5. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
6. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.



STARBUCKS - DEVELOPMENT PLAN
LOT 1 - AIRPORT SPECTRUM FILING NO. 3
JOB NO. 10-035A
DATE PREPARED: OCTOBER 2024

CITY FILE NO. DEPN-24-XXXX



212 N. WAHSATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

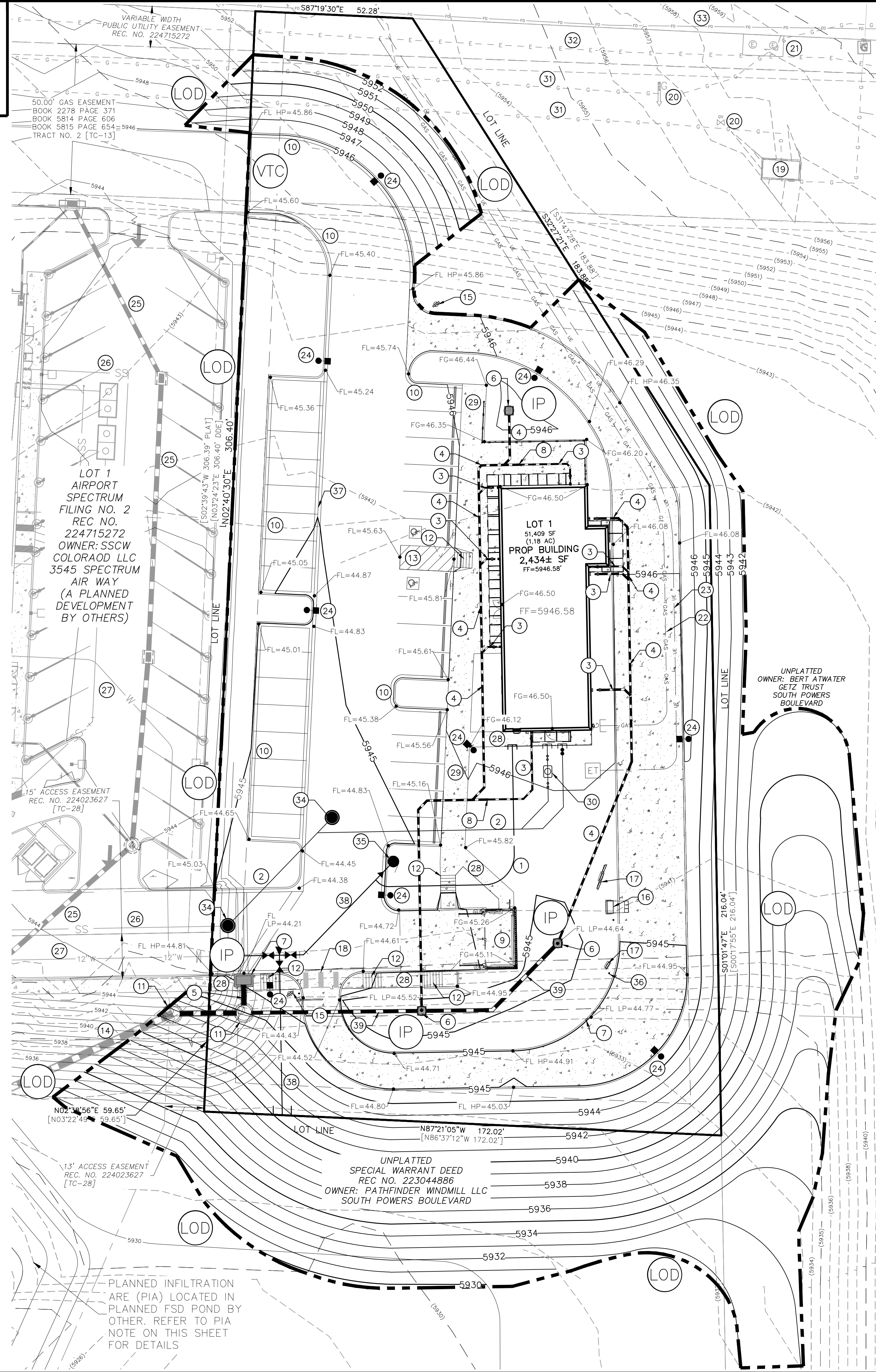
LOT 1-AIRPORT SPECTRUM FILING NO. 3			
SITE PLAN			
PROJECT NO. 10-035	SCALE:	DATE: 10/01/2024	
DESIGNED BY: GW	HORIZONTAL: 1"=20'	SHEET 2 OF 11	
DRAWN BY: SPM	VERTICAL: N/A		
CHECKED BY: GW		S01	

File: G:\10035A-Milton Proby Starbucks\Draw\Plan\10035 SITE PLAN.dwg Plotstamp: 9/30/2024 8:33 PM

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES
FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

LOT 1 - AIRPORT SPECTRUM FILING NO. 3

LOT 1 - STARBUCKS PRELIMINARY GRADING PLAN OCTOBER 2024



- KEY NOTES:**
- PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
 - PROPOSED PRIVATE 6" SAN SEWER
 - PROPOSED PRIVATE 6" PP STORM
 - PROPOSED PRIVATE 8" PP STORM
 - PROPOSED PRIVATE 18" PP STORM
 - PROPOSED AREA INLET
 - PROPOSED 2' WIDE CURB CUT
 - PROPOSED 6"x8" REDUCER
 - PROPOSED TRASH ENCLOSURE ON CONC PAD
 - PROPOSED TYPE 3 CURB AND GUTTER
 - PROPOSED 5' DIA TYPE II MANHOLE
 - NO PARKING STRIPING
 - PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
 - SIGNAGE
 - PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
 - PROPOSED MENU BOARD
 - PROPOSED CROSSWALK
 - EXISTING GAS VAULT
 - EXISTING GAS FEATURE
 - EXISTING ELECTRIC VAULT
 - PROPOSED GAS SERVICE. FINAL LOCATION TO BE DETERMINED BY CSU
 - PROPOSED U/G ELECTRIC. FINAL LOCATION TO BE DETERMINED BY CSU
 - PROPOSED LIGHT POSTS
 - PROPOSED PRIVATE 18" HP STORM PIPE (BY OTHERS)
 - PROPOSED SANITARY SEWER LINE (BY OTHERS)
 - PROPOSED WATER LINE (BY OTHERS)
 - PROPOSED 5' SIDEWALK
 - PROPOSED 8' SIDEWALK
 - PROPOSED TRAFFIC RATED GREASE INTERCEPTOR (SCHIER PRODUCTS GB-75)
 - EXISTING GAS LINE
 - EXISTING ELECTRIC LINE
 - EXISTING FIBER OPTIC
 - PROPOSED SAN SEWER MANHOLE
 - PROPOSED FIRE HYDRANT
 - PROPOSED BOLLARD
 - PROPOSED 2' WIDE CONCRETE CHASE
 - PROPOSED PRIVATE 6" PVC WATER SERVICE
 - PROPOSED PRIVATE 12" PP STORM

LEGEND

LOT LINE	---	LIMIT OF DISTURBANCE/CONST. BOUNDARY	---
EX. GAS	---	INLET PROTECTION (INSTALLED WITH THE INITIAL PHASE TO REMAIN UNTIL FINAL STABILIZATION)	IP
EX. U/G ELECTRIC LINE	---	VEHICLE TRACKING CONTROL (INSTALLED WITH INITIAL PHASE TO REMAIN UNTIL PAVEMENT INSTALL)	VTC
EX. FIBER OPTIC	---	PLANNED INFILTRATION AREA	[Green Box]
EX. SANITARY SEWER LINE	---	NO PARKING STRIPING	[Hatched Box]
EX. WATER LINE	---	STORM SEWER INLET	[Circle]
EX. STORM LINE	---	STORM SEWER MANHOLE	[Circle]
STORM SEWER LINE	---	PROPOSED CONCRETE	[Square]
SANITARY SEWER SERVICE	---	LANDSCAPE SETBACK	[Square]
WATER LINE SERVICE	---		
GAS SERVICE	---		
U/G ELECTRIC SERVICE	---		
SANITARY SEWER MANHOLE	●		
FIRE HYDRANT	●		

STANDARD GRADING, EROSION, AND STORMWATER QUALITY CONTROL PLAN NOTES

- ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION, AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME II.
- NO CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM EDRD.
- THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 719-385-5980, 48 HOURS PRIOR TO CONSTRUCTION.
- SEDIMENT (MUD AND DIRT) TRANSPORTED INTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED IMMEDIATELY.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN THIRTY (30) DAYS SHALL ALSO BE MULCHED WITHIN TWENTY-ONE (21) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY EDRD SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT-OF-WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS THE APPLICANT'S EXPENSE.

EROSION CONTROL NOTES

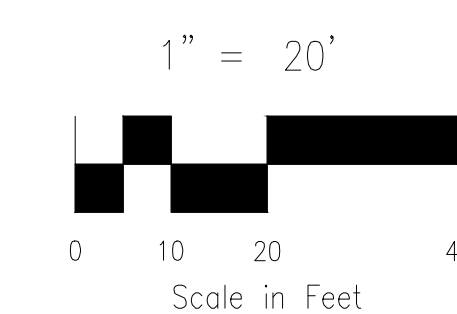
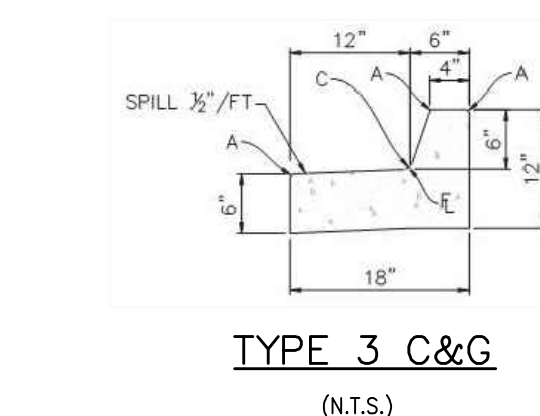
- AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT, EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONTROL SYSTEMS SHALL INCLUDE, AS A MINIMUM, STRAW BALE SEDIMENT TRAPS (OR EQUAL) ALONG NATURAL DRAINAGE WAYS PRIOR TO GRADING AND UTILIZATION OF DESIGNED STORM DETENTION BASINS PRIOR TO FINAL GRADING AND REVEGETATION. AS AN AVERAGE, SEDIMENT TRAPS WITH A CAPACITY OF 15 CUBIC YARDS SHALL BE PROVIDED FOR EACH ACRE OF DISTURBED SOIL.
- ALL SEDIMENT TRAPS WILL BE CLEANED AND MAINTAINED TO PROVIDE ADEQUATE PROTECTION FROM SOIL LOSS UNTIL SUCH TIME AS THEY ARE NO LONGER NEEDED.
- WHERE AREAS ARE TO BE LEFT BARE FOR EXTENDED PERIODS (TOPSOIL, STOCKPILES, EMPTY LOTS, RIGHTS-OF-WAY, HOME SITES AWAITING PURCHASE, ETC.) MECHANICAL MULCHING (STRAW CRIMP) IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS SHALL BE APPLIED WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN 30 DAYS TO DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.
- TOPSOIL WILL BE STOCKPILED AND USED AS A TOP DRESSING OVER CUT AND FILL AREAS TO HELP IN THE ESTABLISHMENT OF ADAPTED VEGETATION. TOPSOIL STOCKPILE WILL BE SEEDED AND/OR MULCHED AND/OR SURROUNDED BY SILT FENCE TO MINIMIZE SOIL LOSS UNTIL TOPSOIL IS USED. STOCKPILES IN EXCESS OF 8' HIGH WILL REQUIRE AN ADDITIONAL PERIMETER ROW OF SILT FENCE.
- TEMPORARY STOCKPILES (8' MAX. HEIGHT) DUE TO UTILITY CONSTRUCTION SHALL BE KEPT MOIST BY THE CONTRACTOR TO PREVENT BLOWING SOILS.
- AREAS LEFT OPEN FOR 30 DAYS OR MORE, OTHER THAN FOR UTILITY AND DRAINAGE CONSTRUCTION, SHALL BE SEEDED AND/OR MULCHED.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT EROSION OF DISTURBED SOIL BY ABNORMAL WINDS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.

PIA NOTE

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH - POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION LETTER.

ABBREVIATION LEGEND

C&G	CURB AND GUTTER
EL	ELEVATION
CONST	CONSTRUCTION
STM	STORM SEWER
PUB	PUBLIC
EXIST	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
EX	EXISTING
FL	FLOWLINE
TS	TOP OF SWALE



212 N. WAHSATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

STARBUCKS - DEVELOPMENT PLAN
LOT 1 - AIRPORT SPECTRUM FILING NO. 3
JOB NO. 10-035
DATE PREPARED: OCTOBER 2024

CITY FILE NO. DEPN -24-XXXX

LOT 1-AIRPORT SPECTRUM FILING NO. 3

PRELIMINARY GRADING PLAN

PROJECT NO. 10-035	SCALE:	DATE: 10/01/2024
DESIGNED BY: GW	HORIZONTAL: 1"=20'	SHEET 3 OF 11
DRAWN BY: SPM	VERTICAL: N/A	
CHECKED BY: GW		PG01

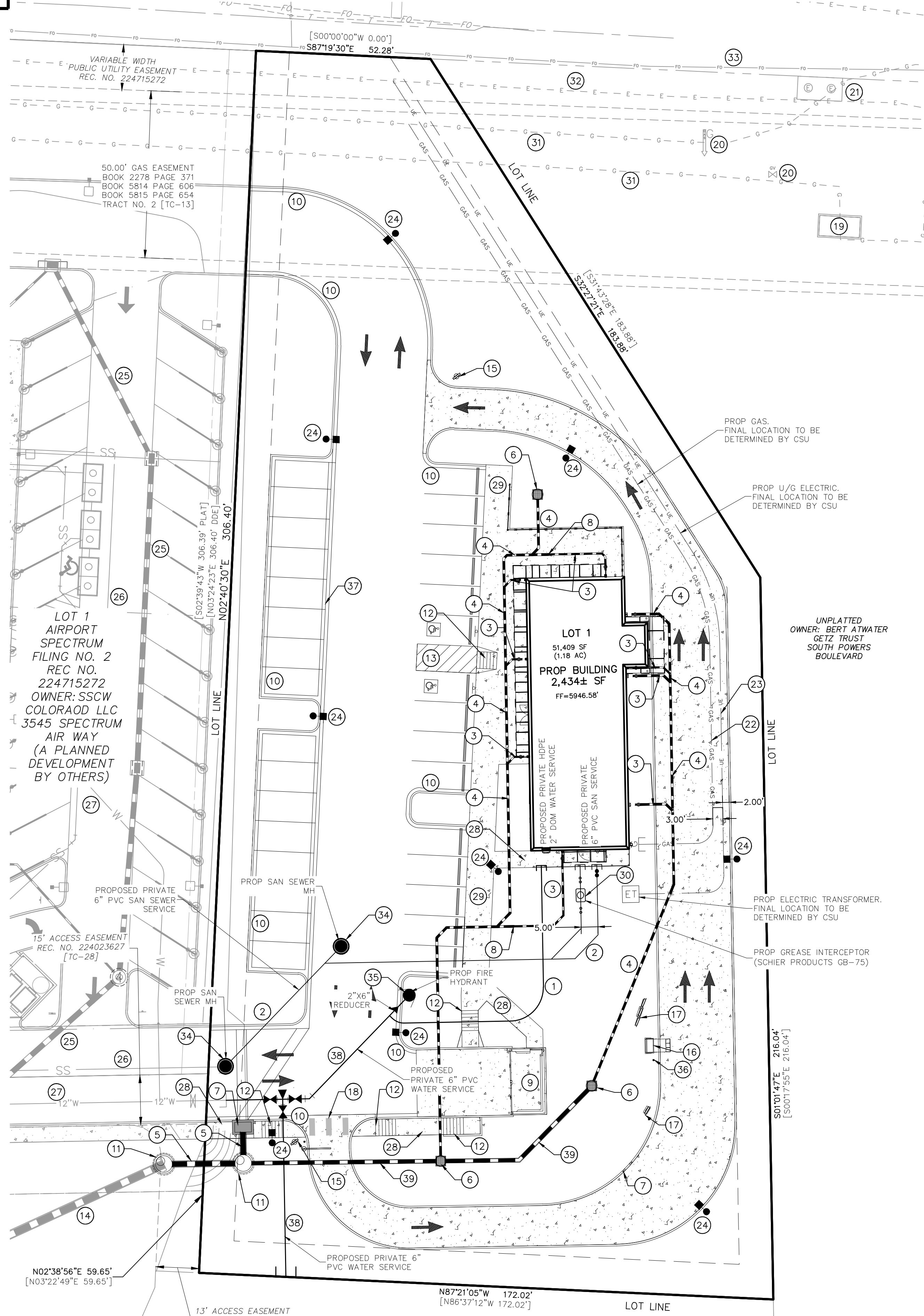
FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES
FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

LOT 1 - AIRPORT SPECTRUM FILING NO. 3

LOT 1 - STARBUCKS

PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

OCTOBER 2024



KEY NOTES:

- PROPOSED PRIVATE 2" HDPE DOM WATER SERVICE
- PROPOSED PRIVATE 6" SAN SEWER
- PROPOSED PRIVATE 6" PP STORM
- PROPOSED PRIVATE 8" PP STORM
- PROPOSED PRIVATE 18" PP STORM
- PROPOSED AREA INLET
- PROPOSED 2' WIDE CURB CUT
- PROPOSED 6"x8" REDUCER
- PROPOSED TRASH ENCLOSURE ON CONC PAD
- PROPOSED TYPE 3 CURB AND GUTTER
- PROPOSED 5' DIA TYPE II MANHOLE
- NO PARKING STRIPING
- PROPOSED PRIVATE 24" RCP STORM PIPE (BY OTHERS)
- SIGNAGE
- PROPOSED DIGITAL ORDER SCREEN W/TIMER LOOP
- PROPOSED MENU BOARD
- PROPOSED CROSSWALK
- EXISTING GAS VAULT
- EXISTING GAS FEATURE
- EXISTING ELECTRIC VAULT
- PROPOSED GAS SERVICE. FINAL LOCATION TO BE DETERMINED BY CSU
- PROPOSED U/G ELECTRIC. FINAL LOCATION TO BE DETERMINED BY CSU
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING FIBER OPTIC
- PROPOSED SAN SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED BOLLARD
- PROPOSED 2' WIDE CONCRETE CHASE
- PROPOSED PRIVATE 6" PVC WATER SERVICE
- PROPOSED PRIVATE 12" PP STORM

ABBREVIATION LEGEND

C&G	CURB AND GUTTER
EL	ELEVATION
CONST	CONSTRUCTION
STM	STORM SEWER
PUB	PUBLIC
EXIST	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
PUB	PUBLIC
PVT	PRIVATE
EX	EXISTING
FL	FLOWLINE
TS	TOP OF SWALE

LEGEND

LOT LINE	---	SANITARY SEWER MANHOLE	●
EX. GAS	- - - - -	FIRE HYDRANT	●
EX. U/G ELECTRIC LINE	- - - - -	PLANNED INFILTRATION AREA	■
EX. FIBER OPTIC	- - - - -	NO PARKING STRIPING	▨
EX. SANITARY SEWER LINE	- - - - -	STORM SEWER INLET	⊙
EX. WATER LINE	- - - - -	STORM SEWER MANHOLE	⊙
EX. STORM LINE	- - - - -	PROPOSED CONCRETE	■
STORM SEWER LINE	- - - - -	LANDSCAPE SETBACK	---
SANITARY SEWER SERVICE	- - - - -		
WATER LINE SERVICE	- - - - -		
GAS SERVICE	- - - - -		
U/G ELECTRIC SERVICE	- - - - -		

PIA NOTE

PLANNED INFILTRATION AREA (PIA) IS NOT LOCATED ON SITE. PIA IS LOCATED IN THE PLANNED POND SOUTHWEST OF THE SITE. REFER TO THE "FINAL DRAINAGE REPORT AMENDED FOR AIRPORT SPECTRUM FILING NO. 1 (OFFSITE)", DATED JULY 2022 (STM-REV22-0894) BY CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC. FOR POND DESIGN AND THE "DRAINAGE LETTER FOR SUPER STAR CARWASH - POWERS AND MILTON", DATED JANUARY 2024 BY BOWMAN FOR GREEN INFRASTRUCTURE PLANNED INFILTRATION AREA MASTER DEVELOPER ALLOCATION LETTER.

ADDITIONAL ACKNOWLEDGEMENTS AND NOTES

- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ONLY INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
- WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SETTING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
- CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
- CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
- IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.
- IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL NOT VIOLATE NEC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
- CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.
- VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150 PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES (CSU) GUIDELINES. LANDSCAPING AROUND ELECTRICAL EQUIPMENT - SEE CSU CONSTRUCTION STANDARDS DRAWINGS 18-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM, WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

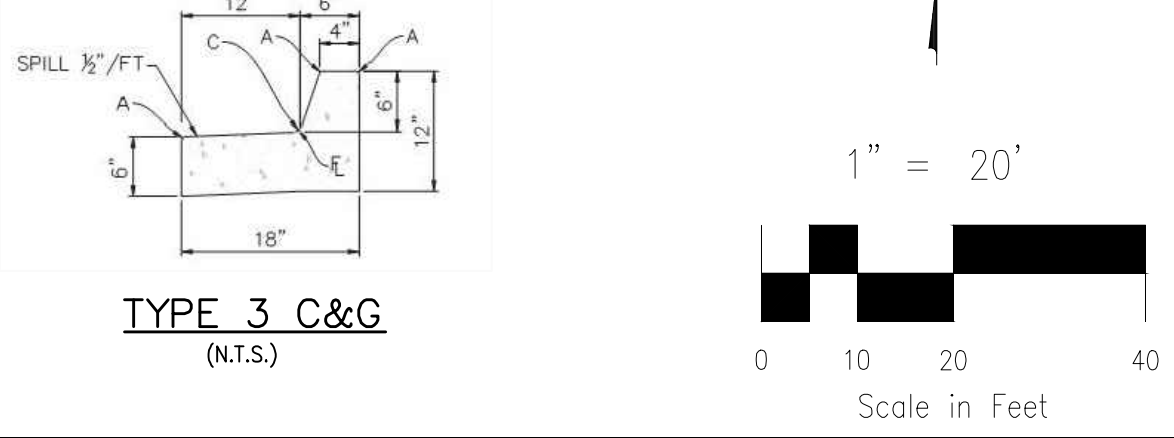
STARBUCKS - DEVELOPMENT PLAN
LOT 1 - AIRPORT SPECTRUM FILING NO. 3
JOB NO. 10-035A
DATE PREPARED: OCTOBER 2024

CITY FILE NO. DEPN-24-XXXX

LOT 1-AIRPORT SPECTRUM FILING NO. 3

PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

PROJECT NO. 10-035	SCALE:	DATE: 10/01/2024
DESIGNED BY: GW	HORIZONTAL:	
DRAWN BY: SPM	1"=20'	
CHECKED BY: GW	VERTICAL:	SHEET 4 OF 11
	N/A	PU01



212 N. WAHSATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

File: G:\10035A-Milton Proby_Starbucks\Draw\Plan\10035-0101.dwg Plot: 10/1/2024 8:34 PM



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFINGEMENTS WILL BE ENFORCED AND PROSECUTED.



**SITE DEVELOPMENT PLAN
LOT 1 AIRPORT SPECTRUM FIL. NO. 2
STARBUCKS**

3545 SPECTRUM AIRWAY
COLORADO SPRINGS, CO 80916

#	Date	Issue / Description	Init.

Project No:	YMS7
Drawn By:	TJR
Checked By:	SRM
Date:	10/01/2024

FINAL LANDSCAPE PLAN

SHEET 5 OF 11

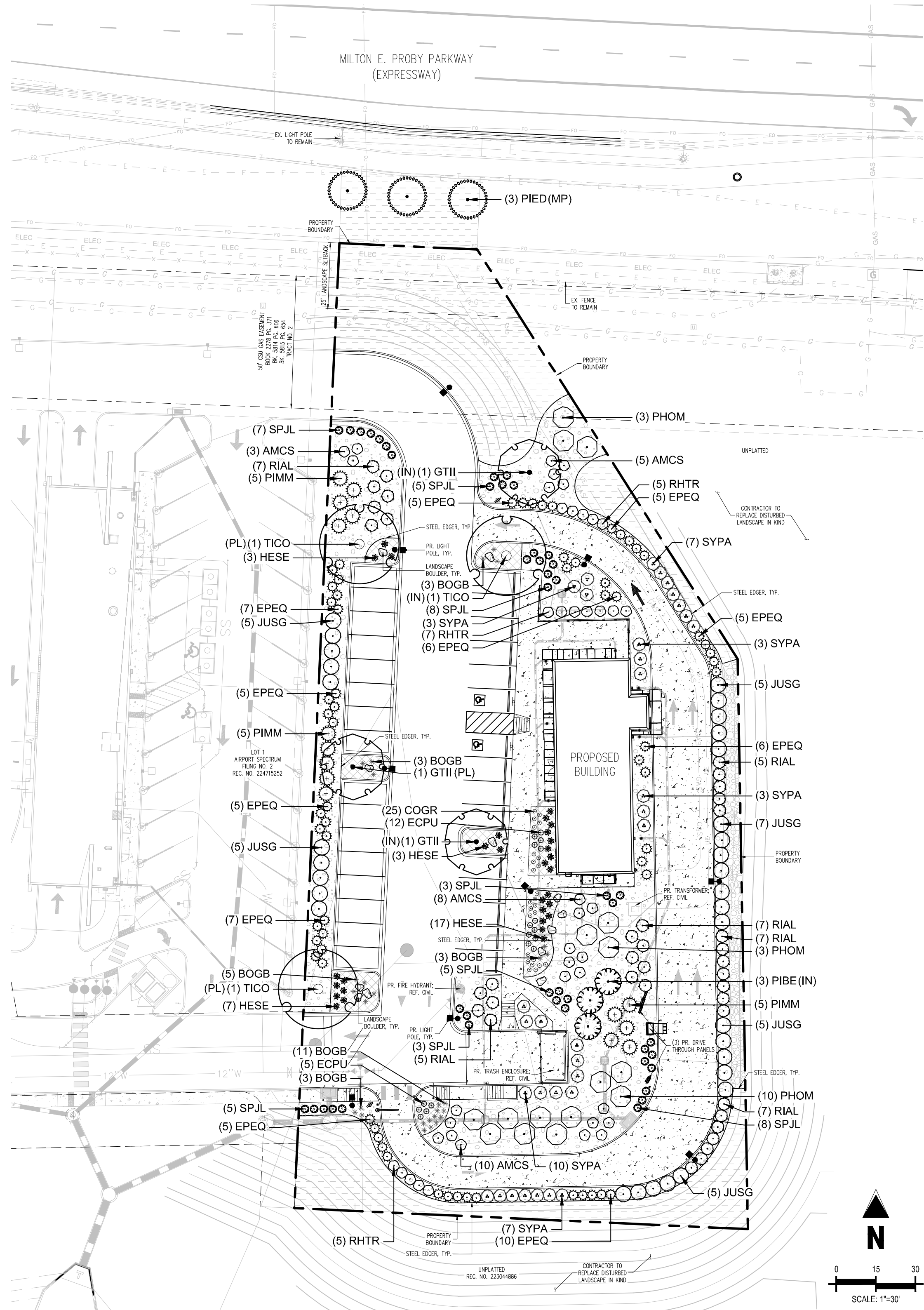
L1.0

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE	CODE REQ.
DECIDUOUS TREES									
	GTII	3	IMPERIAL HONEY LOCUST	GLEDTISIA TRIACANTHOS INERMIS 'IMPCOLE' TM	B&B	2" CAL	35'X25'	LOW	PARKING / INTERNAL
	TICO	3	LITTLELEAF LINDEN	TILIA CORDATA	B&B	2" CAL	40'X30'	MODERATE	PARKING / INTERNAL
EVERGREEN TREES									
	PIBE	3	BABY BLUE EYES COLORADO BLUE SPRUCE	PICEA PUNGENS 'BABY BLUE EYES'	B&B	6" HT	15'X10'	LOW	INTERNAL
	PIED	3	PINYON PINE	PINUS EDULIS	B&B	6" HT	25'X15'	LOW	ROW
UPRIGHT JUNIPERS									
	JUSG	32	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	#5 CONT.	15'X6'		VERY LOW	SCREEN
DECIDUOUS SHRUBS									
	AMCS	26	LEADPLANT	AMORPHA CANESCENS	#5 CONT.	4'X4'		VERY LOW	
	PHOM	16	DIABOLO NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MONLO' TM	#5 CONT.	8'X8'		LOW	SCREEN
	RHTR	17	SKUNKBUSH SUMAC	RHUS TRILOBATA	#5 CONT.	4'X4'		VERY LOW	SCREEN
	RIAL	38	ALPINE CURRANT	RIBES ALPINUM	#5 CONT.	5'X5'		LOW	SCREEN
	SPJL	44	LITTLE PRINCESS JAPANESE SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	#5 CONT.	2'X3'		LOW	
	SYPA	33	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5'X5'		VERY LOW	SCREEN
EVERGREEN SHRUBS									
	EPEQ	66	BLUESTEM JOINT FIR	EPHEDRA EUISETINA	#5 CONT.	4'X5'		LOW	SCREEN
	PIMM	15	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.	5'X6'		LOW	SCREEN
ORNAMENTAL GRASSES									
	BOGB	28	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	2'X2'		LOW	
	HESE	30	BLUE AVENA	HELICTOTRICHON SEMPERVIRENS	#1 CONT.	2.5'X2.5'		VERY LOW	
PERENNIALS									
	COGR	25	JETHRO TULL TICKSEED	COREOPSIS GRANDIFLORA 'JETHRO TULL'	#1 CONT.	1.5'X1.5'		LOW	
	ECPU	17	CONEFLOWER	ECHINACEA PURPUREA	#1 CONT.	3'X2'		LOW	
MULCH									
		812 SF	2"-4" ARKANSAS TAN ROCK COBBLE						
		12,898 SF	3/4" SADDLEBACK SWIRL ROCK MULCH						
		1,508 SF	3/8" CACTUS GRANITE WASHED ROCK MULCH						
SOD/SEED									
		9,559 SF	EL PASO CTY. CONSERVATION MIX						

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
7.4.907	LANDSCAPE SETBACKS	MILTON E. PROBY PARKWAY (EXPRESSWAY) 25' SETBACK; 1 TREE / 20 LF	52 LF / 20	3 TREES	3 TREES; 0 SHRUB SUB.	(MP)
7.4.907	PARKING LOT LANDSCAPING	1 TREE / 15 PARKING SPACES	31 PARKING SPACES / 15	3 TREES	3 TREES; 0 SHRUB SUB.	(PL)
7.4.908	INTERNAL LANDSCAPE	NON RESIDENTIAL - 5%	51,405 SF x 0.05	2,570 SF	24,777 SF	NA
7.4.908	INTERNAL LANDSCAPE	1 TREE / 500 SF	2,570 SF / 500	6 TREES	6 TREES; 0 SHRUB SUB.	(IN)
7.4.909.C	SCREENING	TRASH ENCLOSURE	40 LF	40 LF	40 LF	NA
7.4.909.C	SCREENING	DRIVE THROUGH	439 LF	439 LF	439 LF	NA
7.4.909.C	SCREENING	PARKING	144 LF	144 LF	144 LF	NA
7.4.904.3	GROUND COVER	75% LVING GROUND COVERAGE LANDSCAPE AREAS	24,777 SF x 0.75	18,583 SF	18,583 SF	NA



LANDSCAPE MATERIALS

SYMBOL	DESCRIPTION	QTY
	STEEL EDGER	500 LF
	2'-3' CIMARRON BOULDER	12

PERCENT SIGNATURE PLANTS

TREES	SHRUBS	GRASSES
TOTAL PROPOSED TREES: 12	TOTAL PROPOSED SHRUBS: 287	TOTAL PROPOSED GRASSES: 58
TOTAL SIGNATURE TREES: 12	TOTAL SIGNATURE SHRUBS: 287	TOTAL SIGNATURE GRASSES: 58
% SIGNATURE TREES: 100%	% SIGNATURE SHRUBS: 100%	% SIGNATURE GRASSES: 100%

SEED MIXES

EL PASO COUNTY CONSERVATION DISTRICT ALL-PURPOSE MIX
 20% BIG BLUESTEM
 10% BLUE GRAMA
 10% GREEN NEEDLE GRASS
 20% WESTERN WHEATGRASS
 10% SIDICATS GRAMA
 10% SWITCHGRASS
 10% PRAIRIE DROPSEED
 10% YELLOW INDIANGRASS

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

POLE MOUNTING NOTES

POLE LIGHT FIXTURES DESIGNED FOR USE WITH HUBBELL SSS-H-40-A POLE, NO GREATER THAN 18'-0" TALL.

THESE ARE DESIGNED AROUND AN ESTIMATED 140 MPH WIND SPEED PER THE AASHTO WIND MAP DATA AND LOCALLY AMENDED IBC INSTRUCTIONS.

PHOTOMETRIC NOTES

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF 0" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN WHEN MOUNTED TO THE BUILDING ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS GIVEN WHERE POLE MOUNTED OR RECESSED ARE GIVEN FOR THE BOTTOM OF THE LENS OF THE LUMINAIRE AND DO NOT REFLECT THE HEIGHT OF THE POLE, BASE OR THE FIXTURE ITSELF.






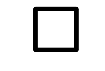
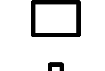
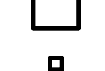
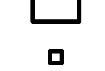
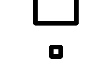

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN LANDLORD'S CONTRACTOR LETTER TO DETERMINE FIXTURE OUTPUTS AND DISTRIBUTION AS TO MEET THE WRITTEN FOOT-CANDLE LEVELS REQUIRED. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE LANDLORD'S CONTRACTOR AND TENANT PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THEIR PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE IN AS THE BASIS OF DESIGN.

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR THE SHELL CONSTRUCTION ONLY AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING PROVIDED AWAY FROM THE SITE, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.

DO NOT REPRODUCE
This document contains confidential information, and is an instrument of service and property of the architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

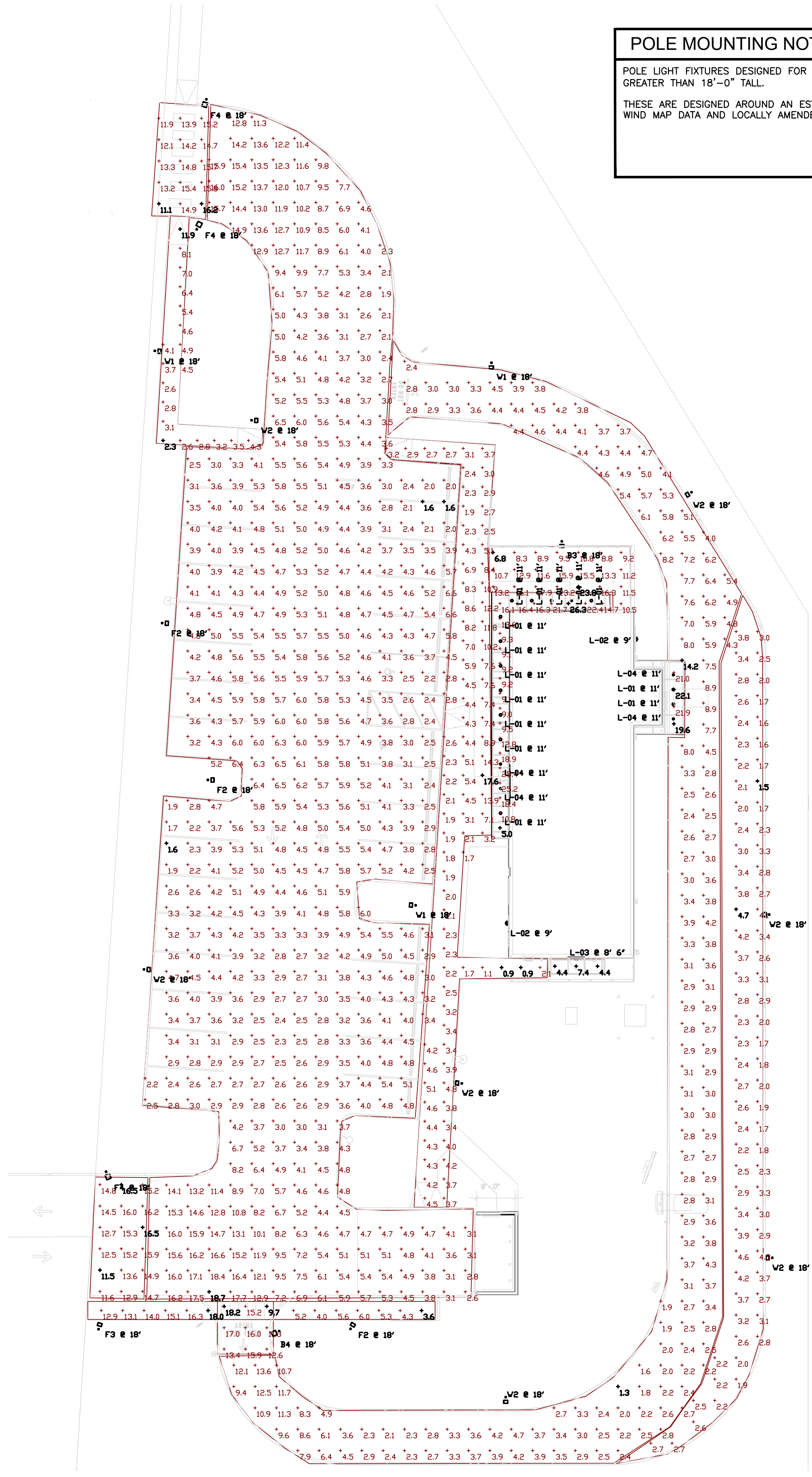


Schedule

Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	L-02	2	258377-1 MDD#11251/CP133537	LED WALL CYLINDER	1	574	14.7
	L-03	1	VDGE2 LED P1 30K 90CRI VF	VDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT FORWARD OPTIC	1	1166	9.81
	L-04	5	LBR6 ALD2 (1500LM) SWW1 (3000K) AR LSS MWD 90CRI	6IN LBR Retrofit 1500LM 3000K Clear Semi-Specular Medium Wide 90CRI	1	1683	18.74
	L-01	13	J5F 7IN 10LM 40K 90CRI MVDLT ZT WH	7IN Round Edgelit (Slimform) Surface Mount, 4000K, 90CRI, MV	1	1135	12.8
	F2	3	ALT1-28L-85-3K9-4	ALTITUDE 2.0	1	9170	86
	B4	1	ALT2-100L-160-3K9-2	ALTITUDE 2.0	1	19180	160
	W2	7	ALT1-28L-85-3K9-3	ALTITUDE 2.0	1	9161	86
	B3	1	ALT1-54L-120-3K9-2	ALTITUDE 2.0	1	13671	122
	F3	1	ALT1-54L-120-3K9-4	ALTITUDE 2.0	1	13793	122
	F4	3	ALT2-100L-160-3K9-4	ALTITUDE 2.0	1	19532	160
	W1	3	ALT1-28L-60-3K9-3	ALTITUDE 2.0	1	6939	60

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DT Bypass	+	2.7 fc	4.7 fc	1.5 fc	3.1:1	2.1:1
DT Entry	+	14.4 fc	18.2 fc	9.7 fc	1.9:1	1.5:1
DT Lane	+	4.3 fc	14.2 fc	1.3 fc	10.9:1	3.3:1
North Site Entry	+	14.2 fc	16.2 fc	11.1 fc	1.5:1	1.3:1
Parking	+	5.3 fc	18.7 fc	1.6 fc	11.7:1	3.3:1
Rear Entry Canopy	+	5.4 fc	7.4 fc	4.4 fc	1.7:1	1.2:1
Sidewalk (North)	+	4.6 fc	11.9 fc	2.3 fc	5.2:1	2.0:1
South Sidewalk	+	10.3 fc	18.0 fc	3.6 fc	5.0:1	2.9:1
South Site Entry	+	14.5 fc	16.5 fc	11.5 fc	1.4:1	1.3:1
Under DT canopy	+	21.2 fc	22.1 fc	19.6 fc	1.1:1	1.1:1
Under Main Canopy	+	14.9 fc	26.3 fc	5.0 fc	5.3:1	3.0:1
Walk Path by Building	+	4.6 fc	17.6 fc	0.9 fc	19.6:1	5.1:1
Dining Patio	+	13.0 fc	23.8 fc	6.8 fc	3.5:1	1.9:1



1 SITE AND DRIVE THRU PHOTOMETRIC PLAN
Scale: 1/16" = 1'-0"

STARBUCKS SHELL BUILDING
MILTON PROBY CO
POWERS AND MILTON E PROBY
COLORADO SPRINGS, CO

Revisions:

#	Description	Date

Issue Date: 09/20/24
Designer:
Drawn By:
Check By:
Project No:
Package: 20% CD SET

Title:
ELECTRICAL
PHOTOMETRICS

Sheet No.
E302

EXTERIOR FINISH NOTES

1. THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
2. RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. STRUCTURAL ENGINEER TO PROVIDE MASONRY SPECIFICATIONS.

DO NOT REPRODUCE
This document contains confidential information, and is an instrument of service and property of the architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

STARBUCKS SHELL BUILDING
MILTON PROBY CO
POWERS AND MILTON E PROBY
COLORADO SPRINGS, CO

Revisions:

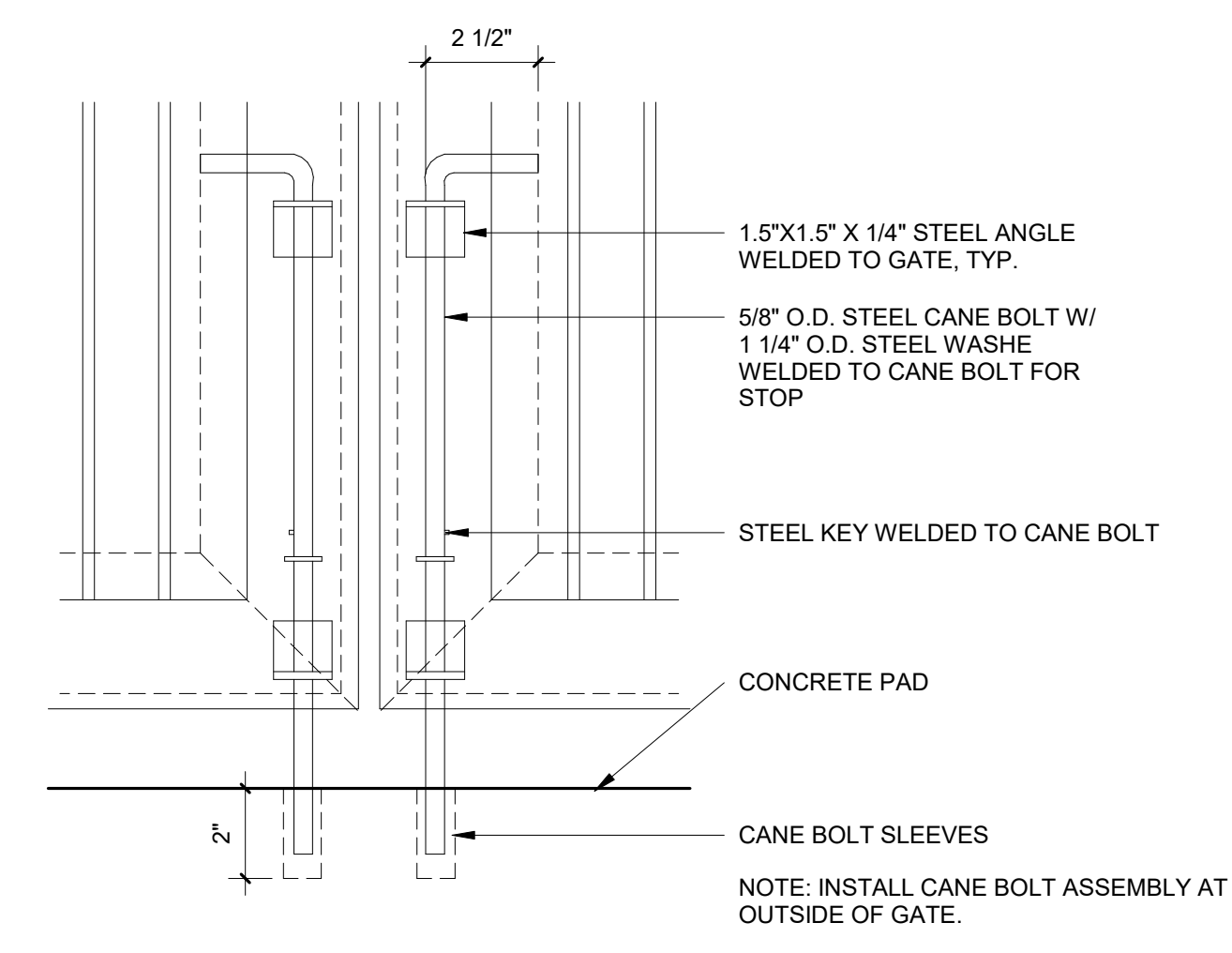
#	Description	Date

Issue Date: 10/01/24
Designer: M. FERGUSON
Drawn By: M. FERGUSON
Check By: A. HERNANDEZ
Project No: Q511220003
Package: DP SUBMITTAL

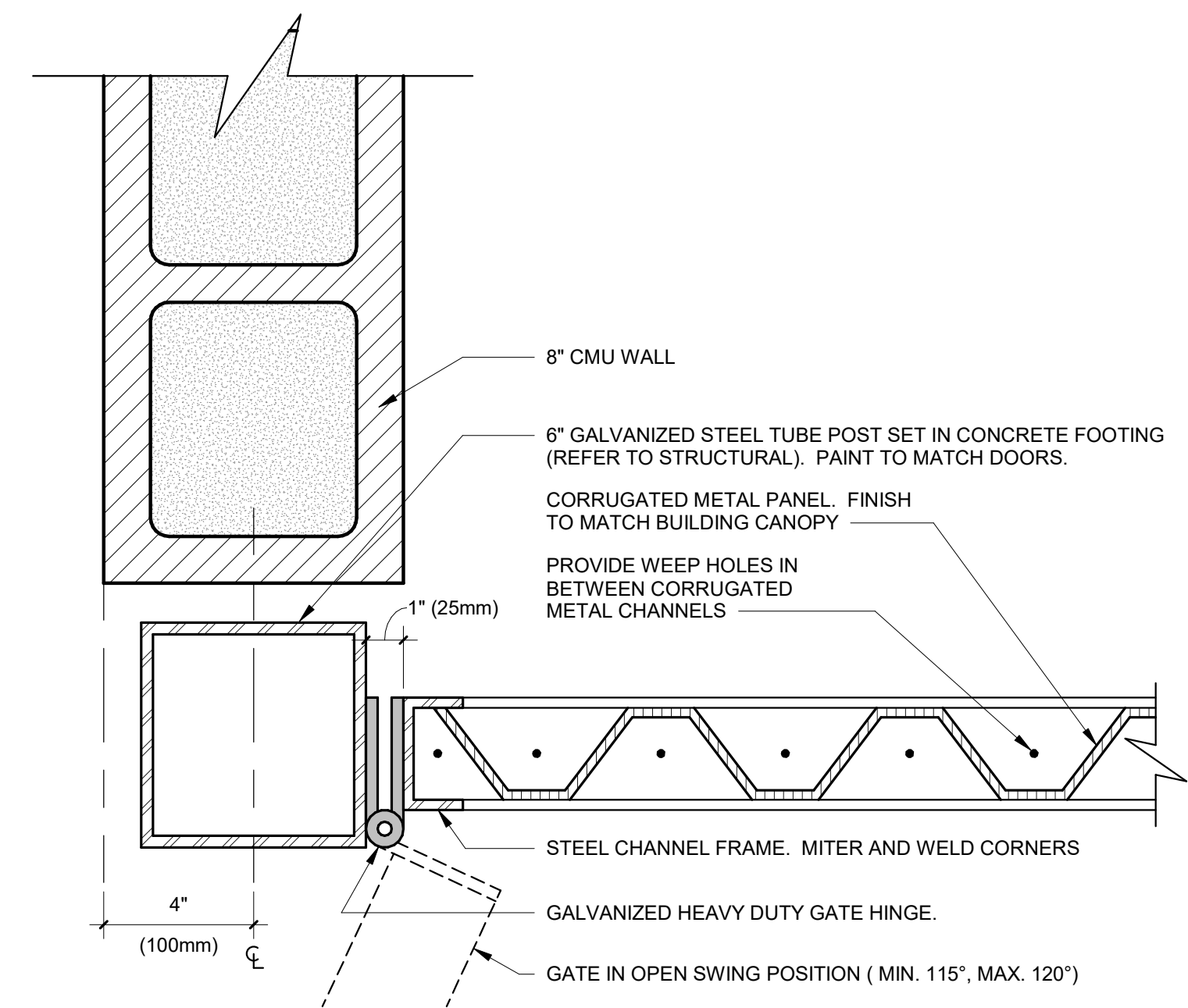
Title: SITE DETAILS - TRASH ENCLOSURE

Sheet No.

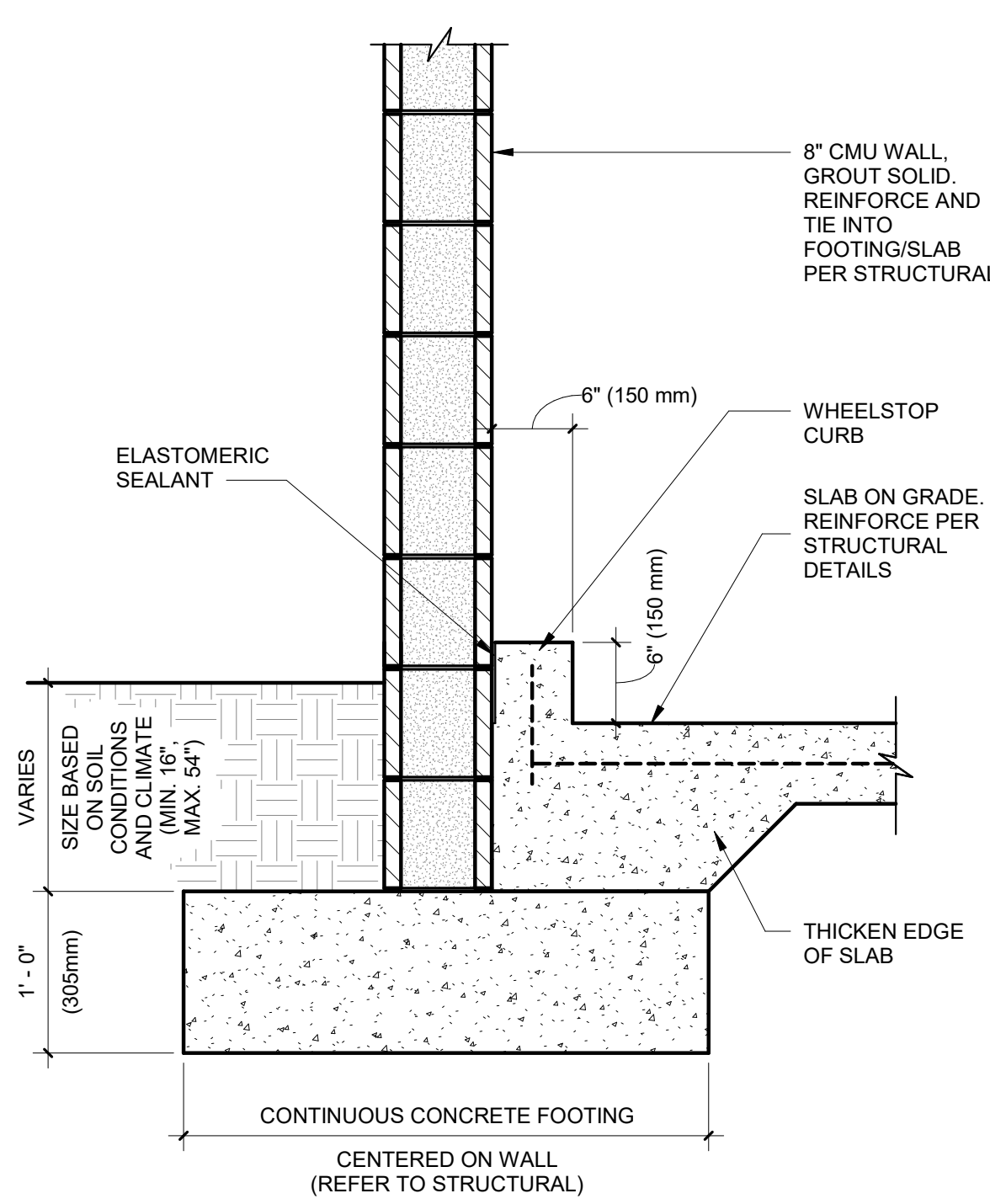
A105



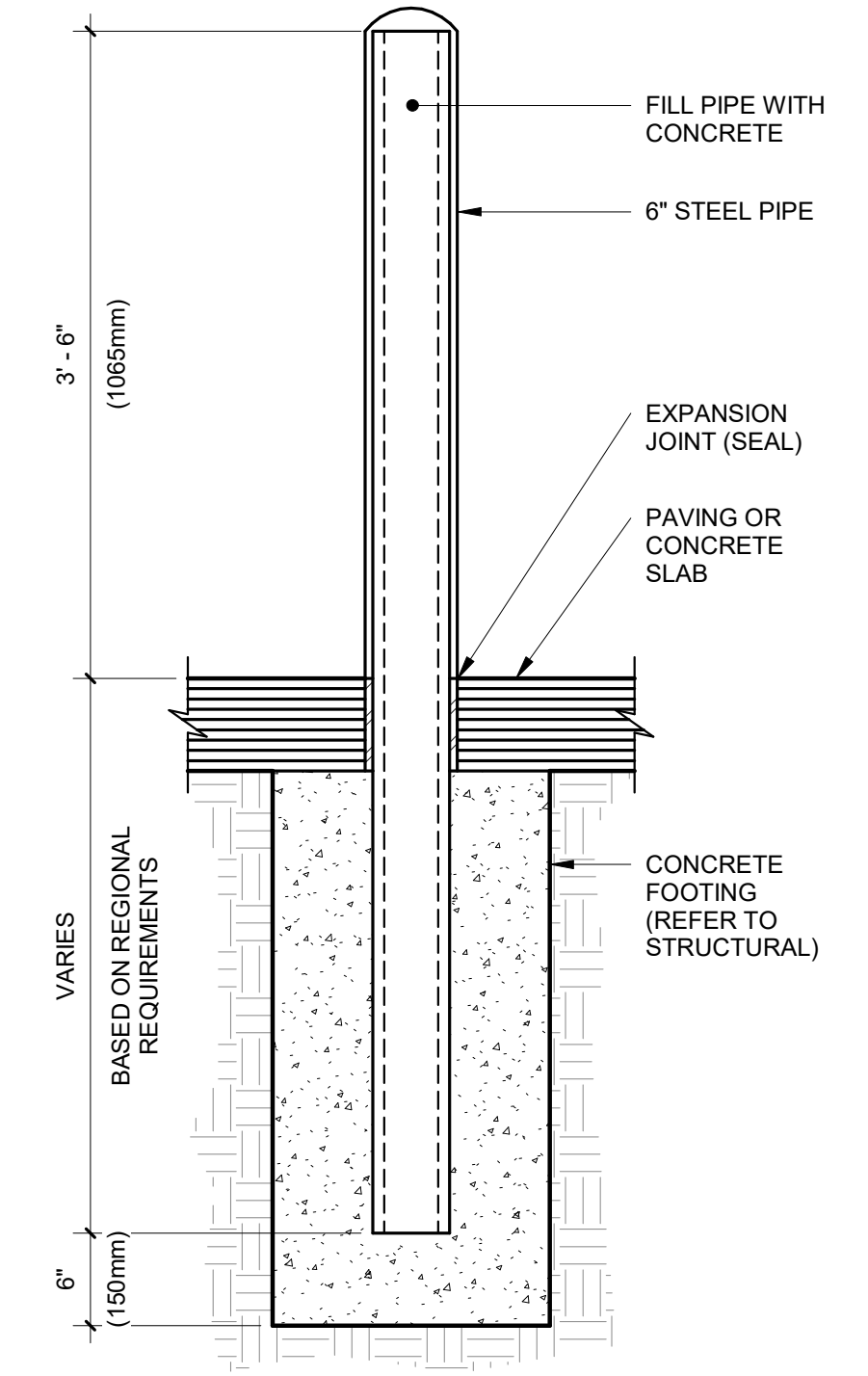
8 TRASH ENCLOSURE CANE BOLT
Scale: 3" = 1'-0"



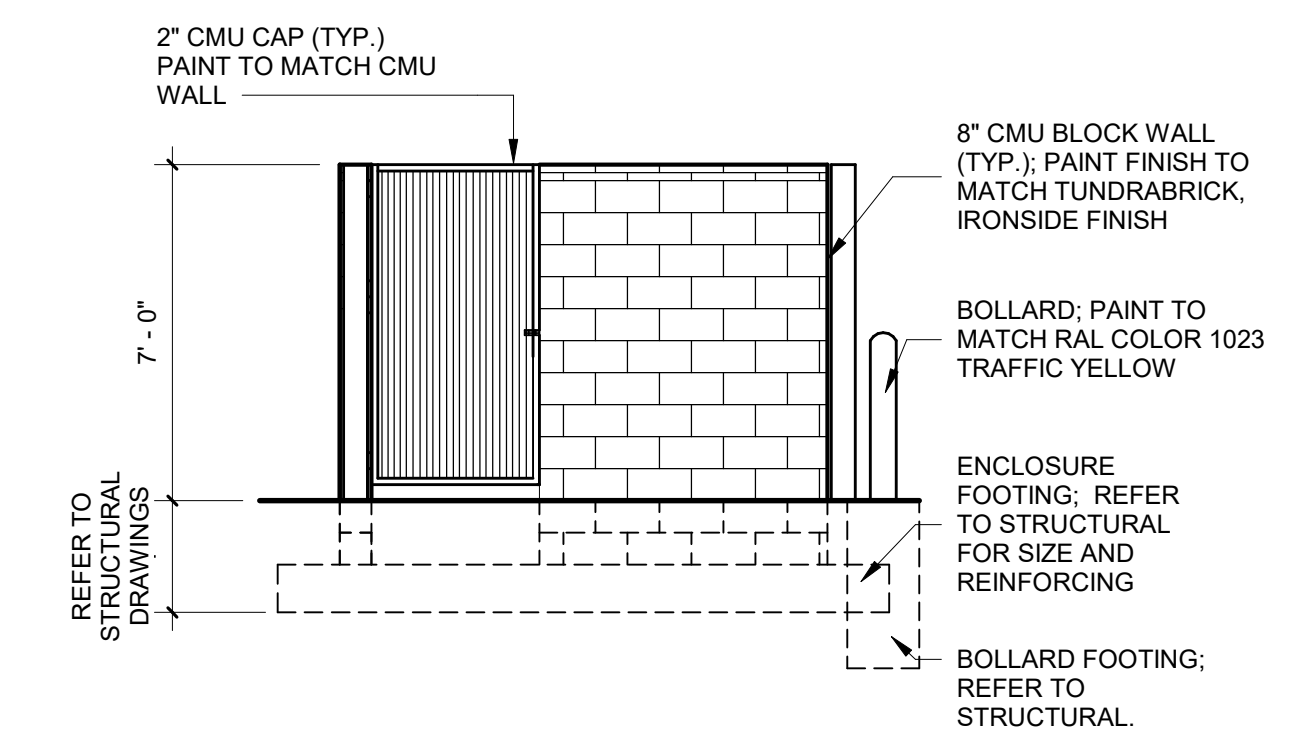
9 TRASH ENCLOSURE GATE HINGE DETAIL
Scale: 3" = 1'-0"



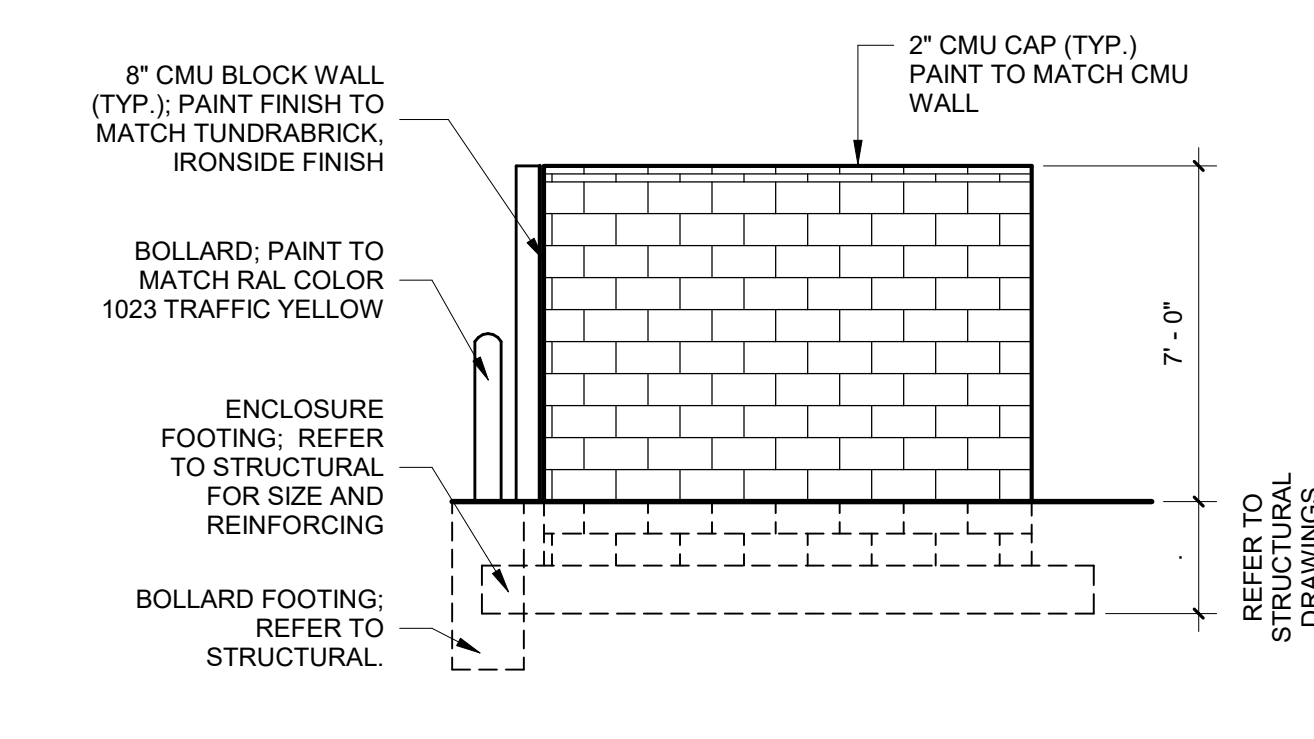
10 TYPICAL CMU WALL SECTION
Scale: 1" = 1'-0"



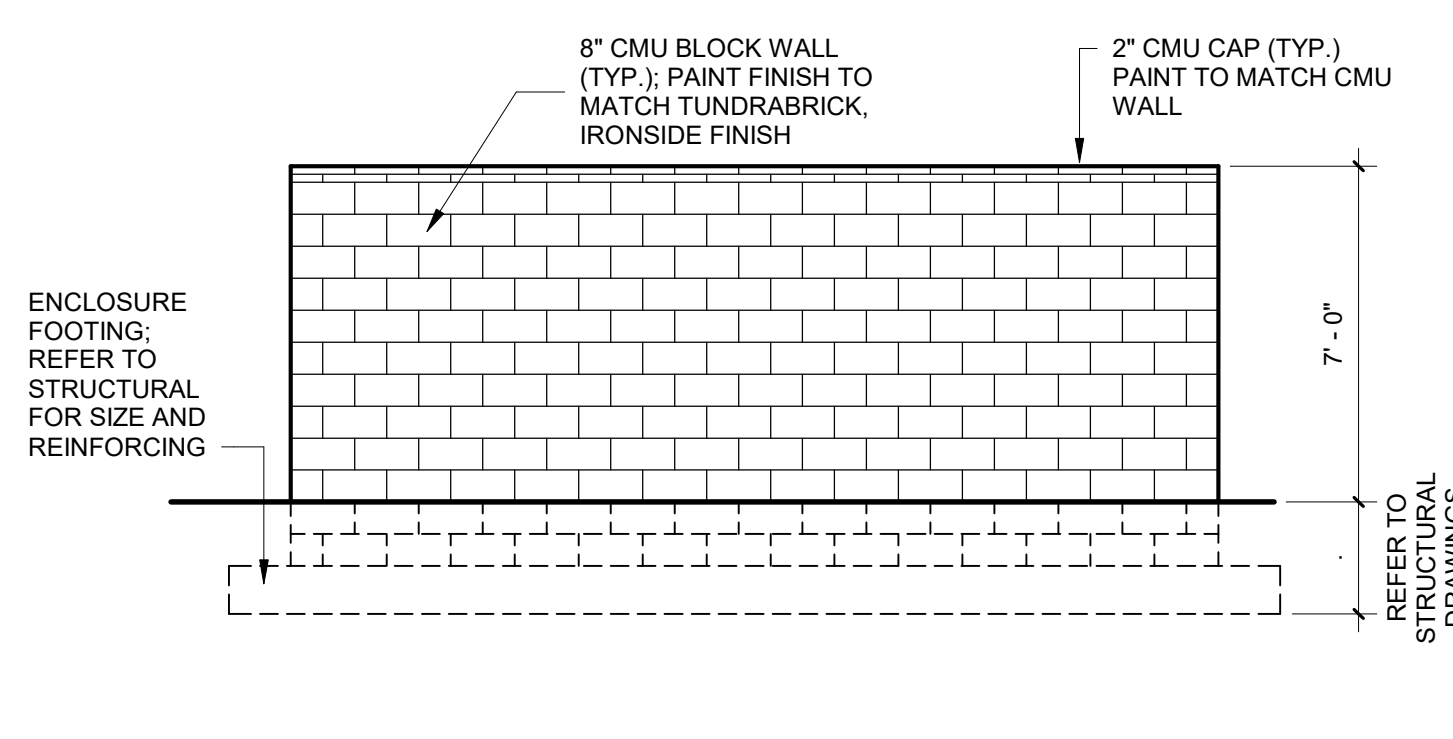
4 TRASH ENCLOSURE BOLLARD
Scale: 1" = 1'-0"



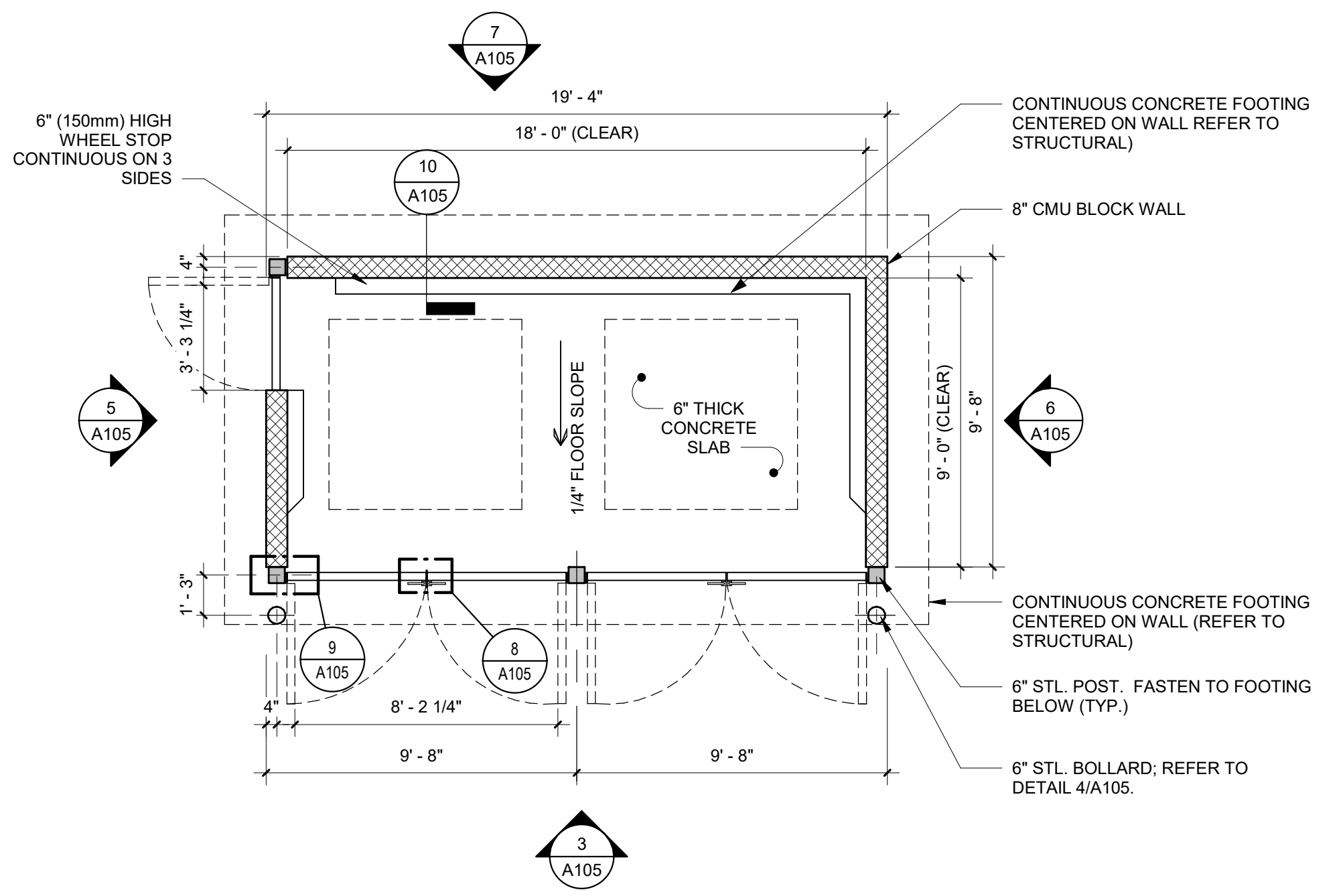
5 SIDE ELEVATION 'B'
Scale: 1/4" = 1'-0"



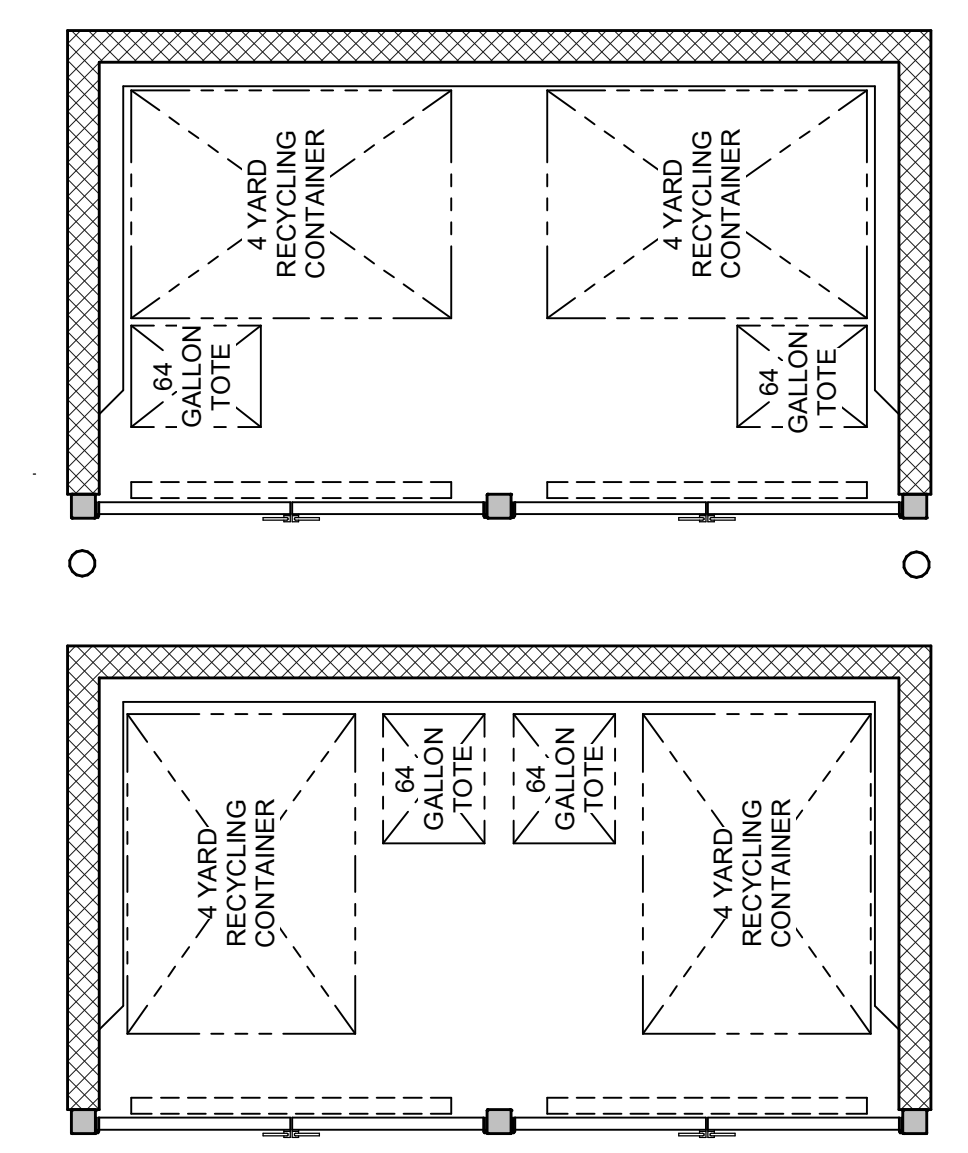
6 SIDE ELEVATION 'A'
Scale: 1/4" = 1'-0"



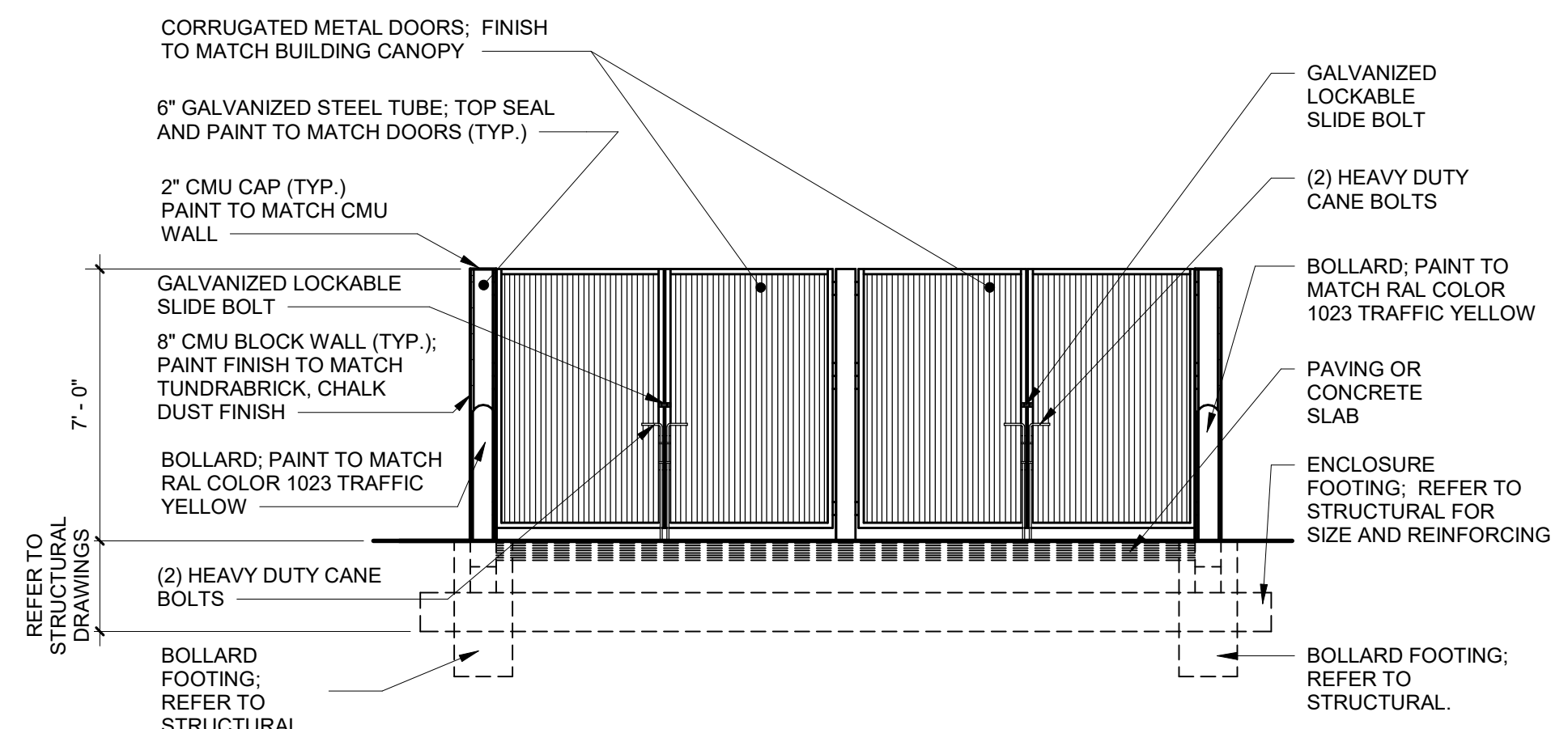
7 BACK ELEVATION
Scale: 1/4" = 1'-0"



1 TRASH ENCLOSURE - FLOOR PLAN
Scale: 1/4" = 1'-0"



2 CONTAINER LAYOUT OPTIONS
Scale: 1/4" = 1'-0"



3 FRONT ELEVATION
Scale: 1/4" = 1'-0"

DO NOT REPRODUCE
This document contains confidential information, and is an instrument of service and property of the architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

STARBUCKS SHELL BUILDING
MILTON PROBY CO
POWERS AND MILTON E PROBY
COLORADO SPRINGS, CO

Revisions:

#	Description	Date

Issue Date: 10/01/24
Designer: M. FERGUSON
Drawn By: M. FERGUSON
Check By: A. HERNANDEZ
Project No: Q511220003
Package: DP SUBMITTAL

Title: EXTERIOR ELEVATIONS

Sheet No.

A200

ELEVATION KEY NOTES

- EXTERIOR SCONCE. REFER TO LIGHTING SCHEDULE AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- FUTURE BUILDING SIGNAGE LOCATION. GC TO COORDINATE WITH TENANT FOR POWER LOCATION AND BLOCKING REQUIREMENTS. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- WALL MOUNTED ROOF ACCESS LADDER WITH SECURITY GATE PER 2015 INC 306.5 AND OSHA STANDARDS. FINISH TO MATCH ADJACENT WALL COLOR. REFER TO DETAIL A-321 FOR LADDER CONNECTION.
- KNOX BOX LOCATION. COORDINATE FINAL LOCATION WITH FIRE DEPARTMENT. KNOXBOX 3200 SERIES, RECESSED, BLACK.
- DISCONNECT, CIT AND ELECTRICAL METER. PAINT TO MATCH ADJACENT WALL COLOR. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- BUILDING ROOF DOWNSPOUT AND CANOPY DOWNSPOUT TO TIE INTO STORM DRAIN LINE REFER TO CIVIL DRAWINGS. FINISH COLOR TO MATCH ADJACENT WALL.
- LOCATION OF VERTICAL EIFS REVEAL, TYP.
- GAS METER LOCATION. EXTEND 1 1/2" NATURAL GAS SERVICE FROM THE P.O.C. SHOWN ON PLAN TO 5' INSIDE PREMISES. THIS WILL INCLUDE METER. GAS SERVICE SHALL BE A LOW PRESSURE OUTLET FROM THE METER AND SHALL BE SIZED TO ACCOMMODATE PRESSURE LOSS FROM THE DISTANCE TO THE METER. REFER TO CIVIL FOR ADDITIONAL INFORMATION TO COORDINATE. PAINT TO MATCH ADJACENT WALL COLOR.
- DRIVE THRU WINDOW AND SHELF. REFER TO DETAIL SHEET A-101
- PREMANUFACTURED CANOPIES WITH THE BACKS, REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION.
- DASHED LINE DENOTING LINE OF ROOF BEYOND.
- ALIGN END OF CANOPY WITH FINISH TRANSITION AS SHOWN
- EXTERIOR FROST-PROOF HOSE BIBB. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR SERVICE DOOR LIGHT. REFER TO LIGHTING SCHEDULE AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- PREFINISHED ROOFTOP SCREEN. REFER TO BUILDING ACCESSORY SCHEDULE FOR MORE INFORMATION.
- LOCATION OF UTILITY SCREEN.
- EXTENTS OF UTILITY SCREEN SHOWN DASHED FOR CLARITY.
- ADDRESS SIGN. 12" BLACK LETTERS.
- LOCATION OF HORIZONTAL EIFS REVEAL, TYP.

GENERAL NOTES: EXTERIOR ELEVATIONS

- ALL MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- EXPOSED STRUCTURAL STEEL COLUMNS, BEAMS, BRACING, ETC. AT EXTERIOR PATIO & DRIVE UP CANOPY SHALL BE ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) & SHALL BE GALVANIZED & FIELD PAINTED. COLOR SHALL MATCH COLOR OF CURTAIN WALL / WINDOW FRAMING.
- DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORM DRAINAGE PIPING, UNLESS INDICATED OTHERWISE.
- CONTRACTOR TO SEAL ALL MEPPF PENETRATIONS AND OPENINGS AT THE BUILDING ENVELOPE. REFER TO MEPPF DRAWINGS FOR COORDINATION AND LOCATIONS OR PENETRATIONS.
- GAS METER MUST BE A MINIMUM OF 3- FEET FROM DOORS, OPERABLE WINDOWS, OR ANY VENTS OR OPENINGS IN WALLS.
- FINAL SIGNAGE LOCATIONS TO BE COORDINATED WITH TENANT DRAWINGS. ALL SIGNAGE BY TENANT'S SIGN CONTRACTOR, UNDER SEPARATE PERMIT.

EXTERIOR WALL LEGEND

BR-01	THIN BRICK RUNNING BOND - IRONSIDE - TUNDRABRICK
EF-01	EIFS, DRYVIT SW 6991 BLACK MAGIC - SANDBLAST
TL-01	CERAMIC TILE ZIA CERAMICS - KELP FOREST

EXTERIOR WALL TREATMENT SCHEDULE - "Q"

DESIGN ID	TYPE	MFR / SUPPLIER	FINISH / COLOR
BR-01	THIN BRICK	ELDORADO STONE	200 - THIN FACE BRICK, RUNNING BOND - IRONSIDE - TUNDRABRICK. SPECMIX MORTAR SM800 - BLACK
EF-01	EIFS	DRYVIT	SANDBLEBBLE FINE FINISH, COLOR TO MATCH RAL7016 ANTHRACITE GREY
MT-01	METAL COPING	LOCALLY SOURCED	PREFINISHED COPING, COLOR TO MATCH ADJACENT WALL, SW 6991
MT-02	METAL TRIM / BRAKE METAL	LOCALLY SOURCED	PREFINISHED BRAKE METAL TRIM TO MATCH SW 6991
MT-03	METAL COMPOSITE PANEL	PAC CLAD	PREFINISHED - FLAT BLACK POWDERCOAT TO MATCH SW 6991
TL-01	CERAMIC TILE	ZIA TILE	KELP FOREST 2" X 8" GLOSSY FINISH, EPOXY GROUT COLOR MAPEI 5039 IVORY

