



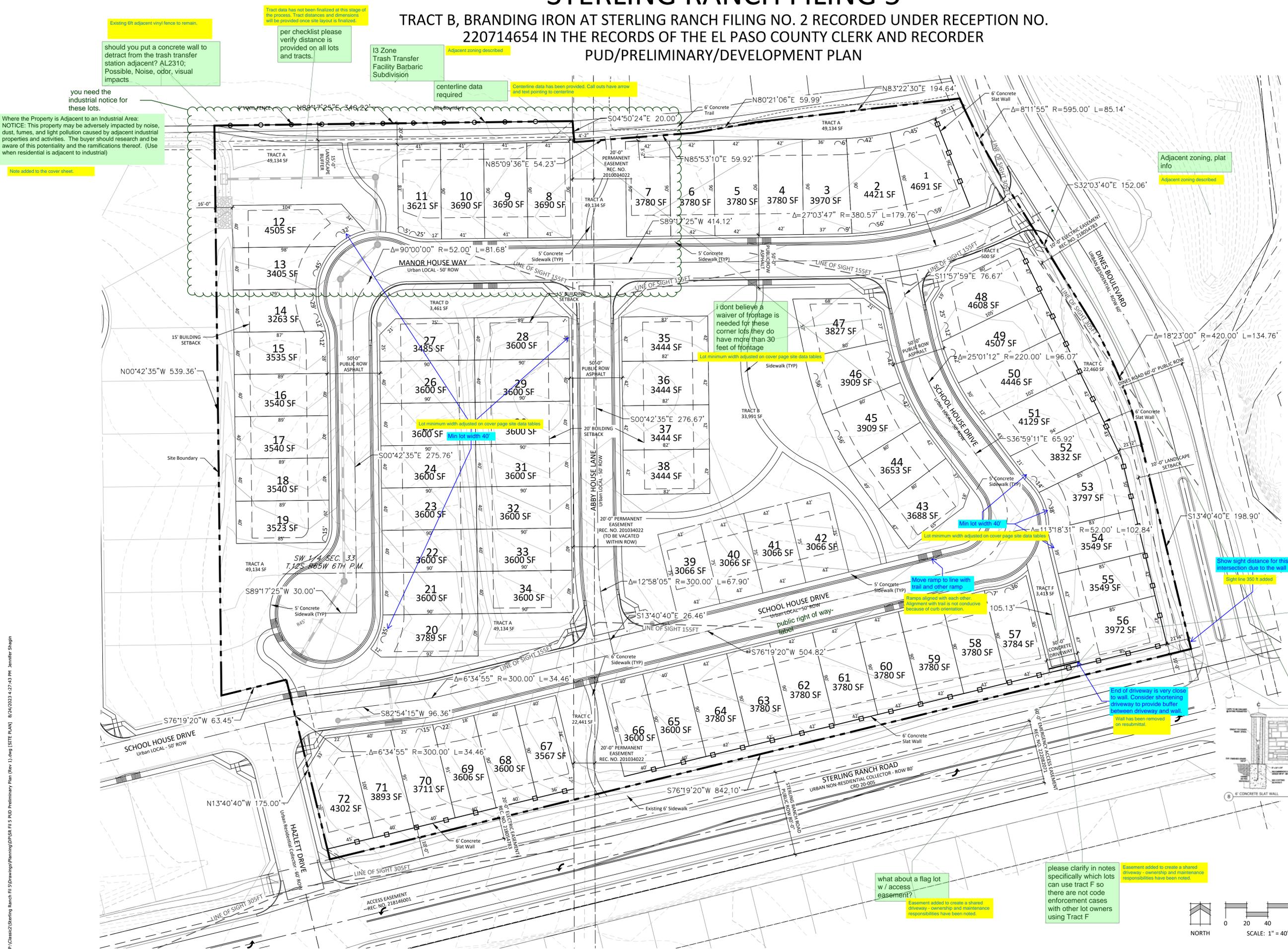


# STERLING RANCH FILING 5

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER  
PUD/PRELIMINARY/DEVELOPMENT PLAN



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
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Existing 6ft adjacent vinyl fence to remain.

Tract data has not been finalized at this stage of the process. Tract distances and dimensions will be provided once site layout is finalized.

per checklist please verify distance is provided on all lots and tracts.

13 Zone Trash Transfer Facility Barbaric Subdivision

centerline data required

Centerline data has been provided. Call outs have arrow and text pointing to centerline.

should you put a concrete wall to detract from the trash transfer station adjacent? AL2310; Possible, Noise, odor, visual impacts.

you need the industrial notice for these lots.

Where the Property is Adjacent to an Industrial Area: NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof. (Use when residential is adjacent to industrial)

Note added to the cover sheet.

Adjacent zoning, plat info

Adjacent zoning described

i dont believe a waiver of frontage is needed for these corner lots they do have more than 30 feet of frontage

Lot minimum width adjusted on cover page site data tables

Min lot width 40'

Lot minimum width adjusted on cover page site data tables

Show sight distance for this intersection due to the wall

Sight line 350 ft added

Move ramp to line with trail and other ramp

Ramps aligned with each other. Alignment with trail is not conducive because of curb orientation.

End of driveway is very close to wall. Consider shortening driveway to provide buffer between driveway and wall.

Wall has been removed for residential.

Does the wall meet sight distance?

Yes

what about a flag lot w / access easement?

Easement added to create a shared driveway - ownership and maintenance responsibilities have been noted.

please clarify in notes specifically which lots can use tract F so there are not code enforcement cases with other lot owners using Tract F

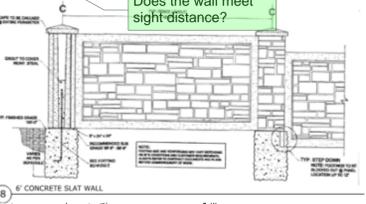
Easement added to create a shared driveway - ownership and maintenance responsibilities have been noted.

## STERLING RANCH FILING 5 PUD Preliminary Plan

DATE: 8/25/23  
PROJECT MGR: A BARLOW  
PREPARED BY: A LANGHANS

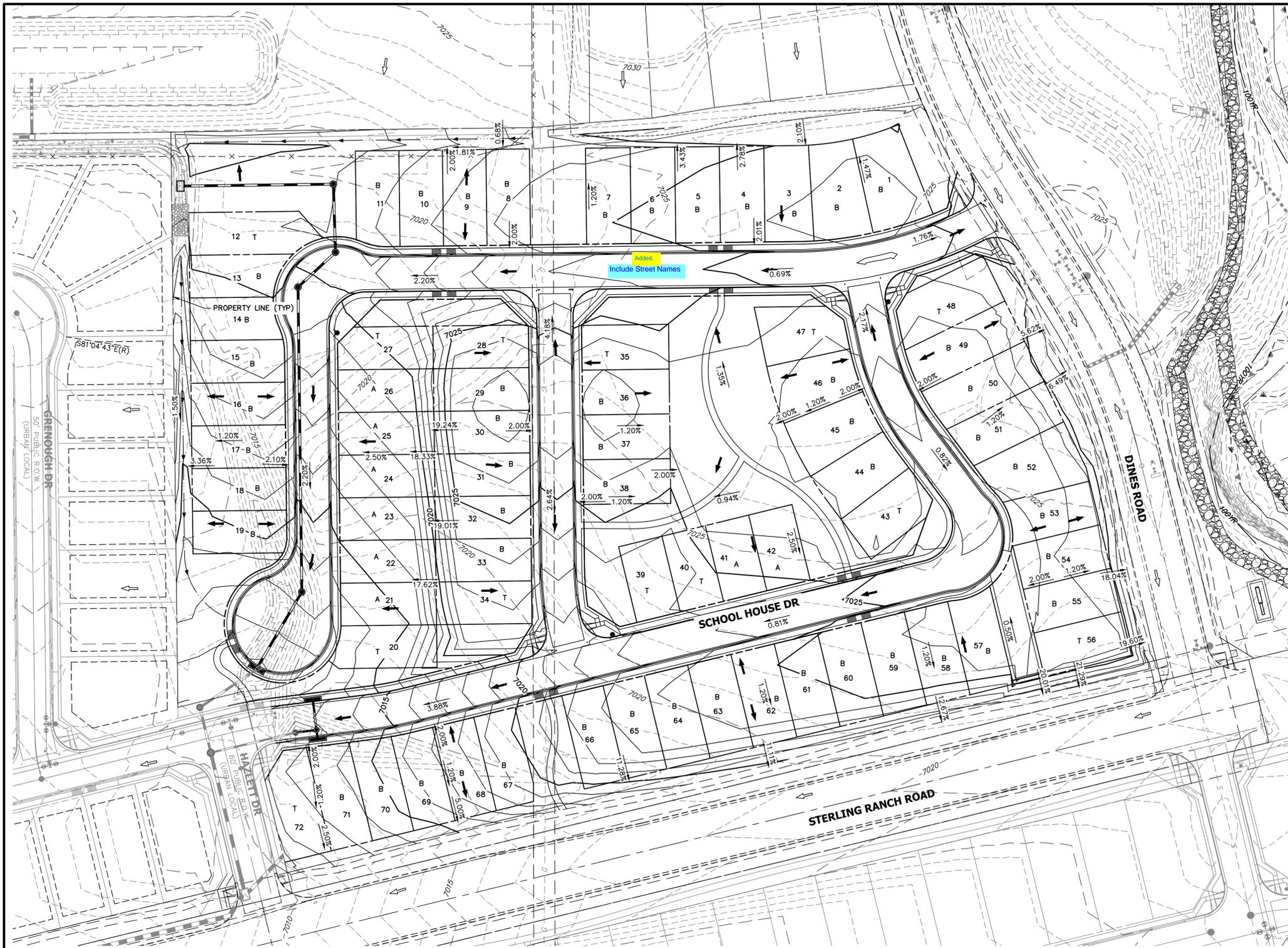
Does this lot meet clear zone for this classification of intersection?  
Yes

### ENTITLEMENT



### PUD PRELIMINARY PLAN

P:\Clients\Sterling Ranch Fil 5\Drawings\Planning\DP\SR Fil 5 PUD Preliminary Plan (Rev. 1).dwg (SITE PLAN) 8/24/2023 4:27:43 PM Jennifer Shagin

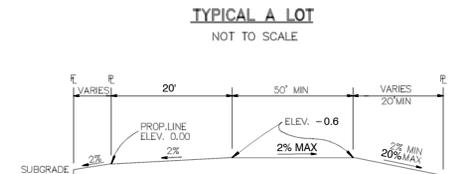
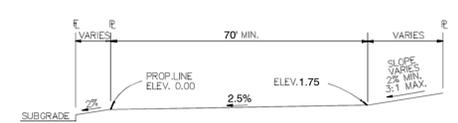


**LEGEND**

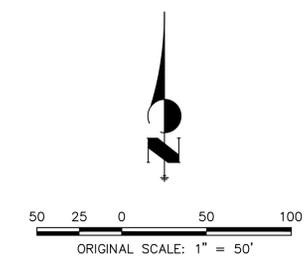
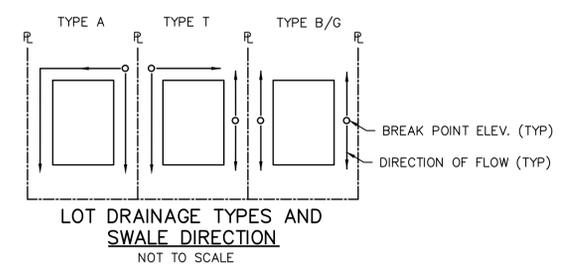
- EXISTING STORM SEWER
- STORM SEWER PROPOSED
- PROPOSED R.O.W
- PROPOSED PROPERTY LINES
- PROPOSED SIDEWALK
- EXISTING PROPERTY LINE
- ROW EXISTING
- FL EXISTING
- SIDEWALK EXISTING
- DRAINAGE ACCESS & MAINTENANCE EASEMENT
- SILT FENCE
- DRAINAGE DITCH/SWALE

- INLET
- L.P./H.P.
- LOW POINT/HIGH POINT
- FLOW DIRECTION & SLOPE
- FLOW DIRECTION ARROW
- EXISTING FLOW DIRECTION ARROW
- EMERGENCY OVERFLOW DIRECTION

- EXISTING
- 7100
- PROPOSED
- 7100



**NOTE:**  
 "T" LOTS OR "TRANSITION" LOTS OCCUR IN PLACES WHERE BOTH PROPERTY LINES CANNOT BE GRADED AS THE TYPICAL STANDARD LOT TEMPLATES SHOWN. THESE LOTS WILL STILL BE GRADED TO CREATE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.  
**NOTE:**  
 SIDE LOT SWALES WILL BE PROVIDED WHEN APPROPRIATE.



Cut volume (unadjusted) 6,130 Cu. Yd.  
 Fill volume (unadjusted) 26,628 Cu. Yd.  
 Net volume (unadjusted) 20,498 Cu. Yd. <Fill>



Know what's below.  
 Call before you dig.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR  
**CLASSIC SRJ LAND, LLC**  
 2138 FLYING HORSE CLUB DRIVE  
 COLORADO SPRINGS, CO 80921  
 LOREN MORELAND  
 (719) 785-3270

**J.R. ENGINEERING**  
 A Westman Company  
 Centennial 300-740-9383 • Colorado Springs 719-583-2583  
 Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=60'	N/A	08/08/23	RAB	DIG	

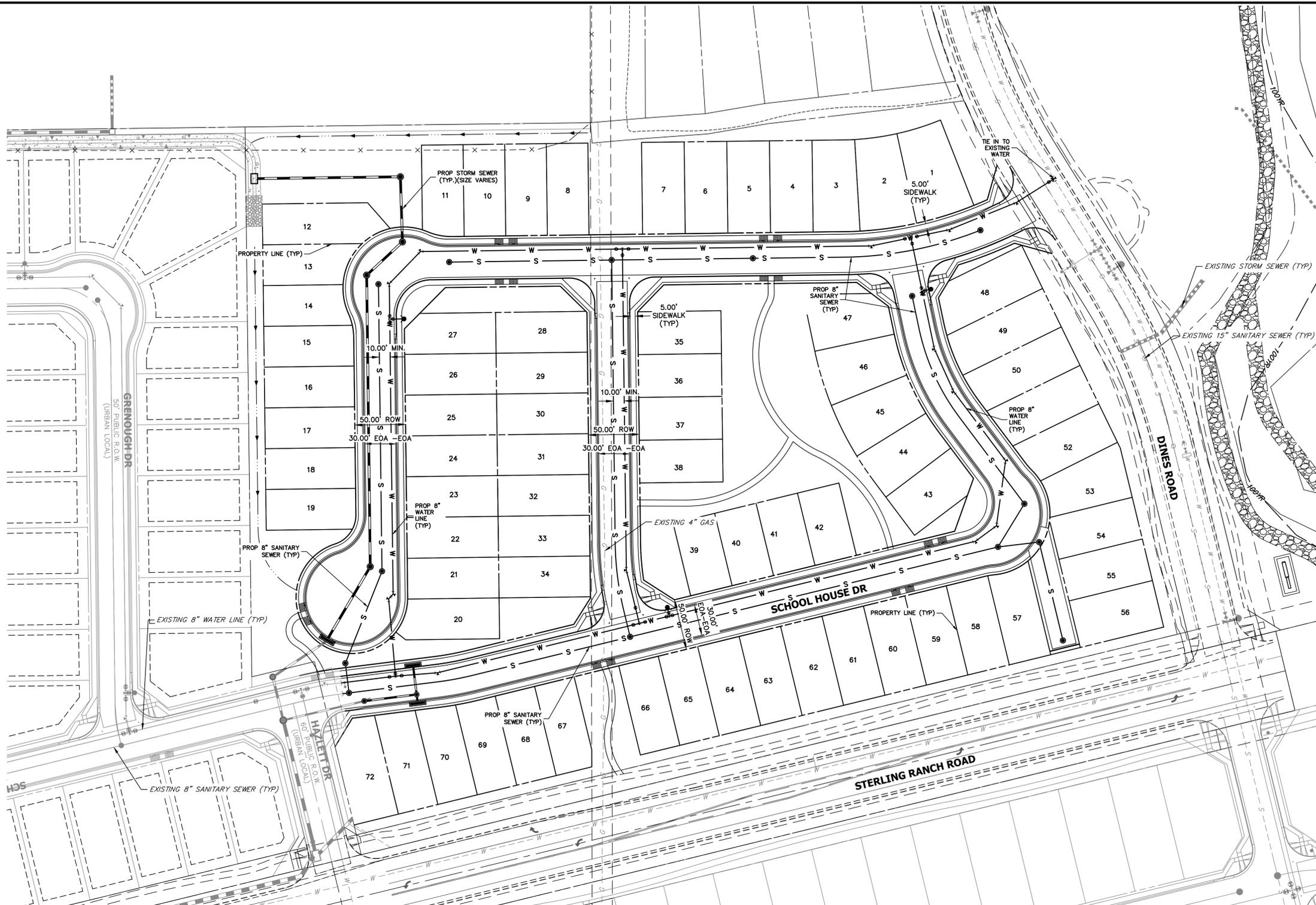
**STERLING RANCH FILING 5**

**PRELIMINARY GRADING PLAN**

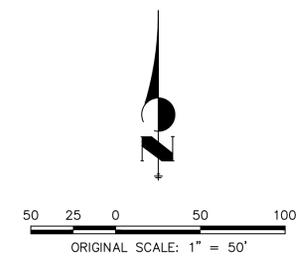
SHEET 4 OF 9

JOB NO. 25188.16

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- LEGEND**
- PROPOSED SANITARY SEWER MAIN (SAN)
  - PROPOSED WATER MAIN (WL)
  - S- EXISTING SANITARY SEWER
  - W- EXISTING WATER LINE
  - PROPOSED BOUNDARY
  - - - EXISTING R.O.W.
  - - - PROPOSED EASEMENT
  - - - EXISTING EASEMENT
  - G- EXISTING GAS LINE
  - E- EXISTING ELECTRIC LINE
  - T- EXISTING TELEPHONE LINE
  - OHU- EXISTING OVERHEAD UTILITIES
  - X- EXISTING FENCE
  - - - EXISTING STORM SEWER
  - PROPOSED STORM SEWER (STM)
  - STORM SEWER INLET
  - WATER VALVE
  - ⊕ WATER TEE FITTING
  - ⊙ CROSS FITTING
  - FIRE HYDRANT
  - WATER MANHOLE
  - SANITARY MANHOLE
  - ⊖ EXISTING SIGN



Label all easements  
 Include service lines



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H-SCALE	1"=60'
V-SCALE	N/A
DATE	08/08/23
DESIGNED BY	RAB
DRAWN BY	DIG
CHECKED BY	

STERLING RANCH FILING 5  
 UTILITY PLAN  
 SHEET 5 OF 9  
 JOB NO. 25188.16

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# STERLING RANCH FILING 5

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER  
PUD PRELIMINARY PLAN

## LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS. FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.
 

NITROGEN	0 LBS/1000SF
PHOSPHORUS (P205)	0 LBS/1000SF
POTASSIUM (K20)	0 LBS/1000SF
SULFUR (S04-5)	0 LBS/1000SF
LIME	0 LBS/1000SF

OR  
RECOMMENDED SOIL AMENDMENT:  
TRI-MIX III as supplied by C&C Sand  
-To be applied as backfill in planting pits
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- SOD TO BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SE: SOLID STEEL EDGING TO BE: "DURADEG" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, DARK GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- PSE: PERFORATED STEEL EDGING TO BE: ACME (14 GA. x 4" WIDE) GALVANIZED STEEL EDGING, WITH ROLLED EDGE AND GALVANIZED STEEL STAKES. COLOR TO BE DARK GREEN. USE PERFORATED STEEL EDGING AT BREEZE GRAVEL TRAILS ONLY. SEE PLAN FOR TRAIL LOCATIONS.
- ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.

## PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	As	10	Acer grandidentatum 'Schmidt' TM / Rocky Mountain Glow Maple	30'	30'	1.5" Cal.	B&B
	Apc	2	Acer platanoides 'Cleveland' / Cleveland Norway Maple	50'	30'	1.5" Cal.	B&B
	Gi	1	Gleditsia triacanthos inermis 'Northern Acclaim' TM / Northern Acclaim Honeylocust	50'	40'	1.5" Cal.	B&B
	Gd	3	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	60'	50'	1.5" Cal.	B&B
	Pv	14	Prunus x virginiana 'P0025' TM / Sucker Punch Red Chokecherry	25'	20'	1.5" Cal.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Pg	4	Juniperus scopulorum / Rocky Mountain Juniper	20'	12'	6" HT	B&B
	Js	2	Juniperus scopulorum 'Moonglow' / Moonglow Juniper			6" HT	B&B
	Pp	24	Picea pungens 'Glauca' / Colorado Blue Spruce			6" HT	B&B
	Ppg	7	Picea pungens glauca 'Baby Blue Eyes' / Baby Blue Eyes Colorado Blue Spruce	15'	10'	6" HT	B&B
	Ped	4	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B
	Pmr	25	Pinus mugo rostrata / Upright Mugo Pine	18'	10'	6" HT	B&B
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Ag1	24	Acer glabrum / Rocky Mountain Maple	20'	15'	1.5" Cal.	B&B
	Pto	1	Prunus tomentosa / Nanking Cherry	15'	10'	1.5" Cal.	B&B
	Sre	9	Syringa reticulata / Japanese Tree Lilac	25'	20'	1.5" Cal.	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Btc	9	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	4'	4'	5 GAL	CONT
	Cxc	15	Ceanothus x candonensis 'Blue Mist' / Blue Mist Shrub	4'	4'	5 GAL	CONT
	Cse	8	Cornus sericea / Redoiser Dogwood	8'	8'	5 GAL	CONT
	Ck2	122	Cornus sericea 'Kelsey' / Kelsey Dogwood	2.5'	2.5'	5 GAL	CONT
	Je	3	Juniperus virginiana 'Globosa' / Globe Eastern Redcedar	3'	8'	5 GAL	CONT.
	Pod	8	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	8'	8'	5 GAL	CONT
	Pb2	28	Pinus mugo 'Big Tuna' / Mountain Pine	5'	6'	5 GAL	CONT
	Pc	45	Pinus mugo 'Compacta' / Dwarf Mugo Pine	3'	3'	5 GAL	CONT
	Psy	20	Pinus sylvestris 'Hillside Creeper' / Hillside Creeper Scotch Pine	2'	6'	5 GAL	CONT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Fn	10	Forestiera neomexicana / New Mexico Privet	12'	12'	5 GAL	CONT.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Cxa	193	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5'	2'	1 GAL	CONT
	Cl	69	Chasmanthium latifolium 'Little Tickler' / Little Tickler Northern Sea Oats	2'	2'	1 GAL	CONT

This tree is not drought tolerant, nor wind tolerant and subject to disease when stressed; please use a more suitable tree. Austrian Pine; Ponderosa for example; a list of trees was recently sent to the HBA for the landscape update and is available on line

Austrian pines have been added to replace the Colorado Spruce. The baby blue eyes are located in protected areas internal to the site. Those 7 trees will do fine.

please check the drought tolerance (medium to high water usage)

Dogwoods will need moderate watering during establishment then can be watered on an as needed basis. Additional watering in the summer may be warranted if annual rainfall is down.

## GROUND COVER SCHEDULE

	NATIVE GRASS Upland Native Seed Mix	40,938 sf
	ROCK MULCH 3/4" Cimarron Granite	21,777 sf
	COBBLE 2"-4" Cripple Creek Gold Ore	26,272 sf
	TALL FESCUE SOD	18,932 sf



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

## STERLING RANCH FILING 5

PUD Preliminary Plan

DATE: 08/25/23  
PROJECT MGR: A. BARLOW  
PREPARED BY: A. LANGHANS

STAMP

ISSUE INFO

DATE:	BY:	DESCRIPTION:

ISSUE / REVISION

## PUD PRELIMINARY PLAN LANDSCAPE NOTES

SHEET TITLE

SHEET NUMBER

PLAN FILE #

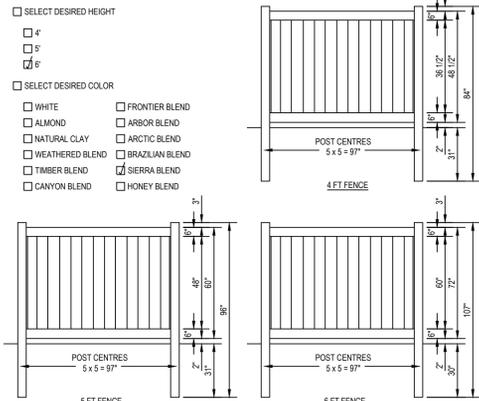
6 OF 9

# STERLING RANCH FILING 5

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER  
PUD PRELIMINARY PLAN

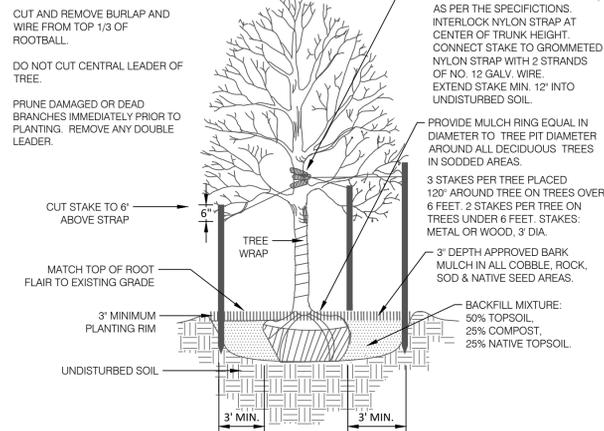


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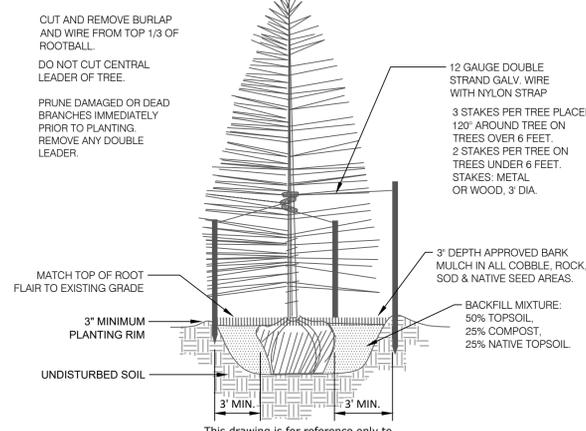
- NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWING.  
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 035-017C.

1 6' VINYL FENCE



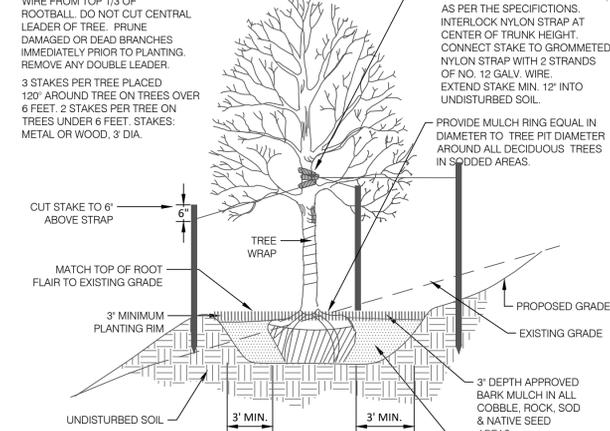
ROOTBALL SIZES:	TREE PIT DIAMETER:	MULCH RING DIAMETER:
1.5' Cal. = 1'-8"	1.5' Cal. = 7'-8"	1.5' Cal. = 7'-8"
2' Cal. = 2'-0"	2' Cal. = 8'-0"	2' Cal. = 8'-0"
2.5' Cal. = 2'-4"	2.5' Cal. = 8'-4"	2.5' Cal. = 8'-4"
3' Cal. = 2'-6"	3' Cal. = 8'-6"	3' Cal. = 8'-6"

2 DECIDUOUS TREE PLANTING DETAIL



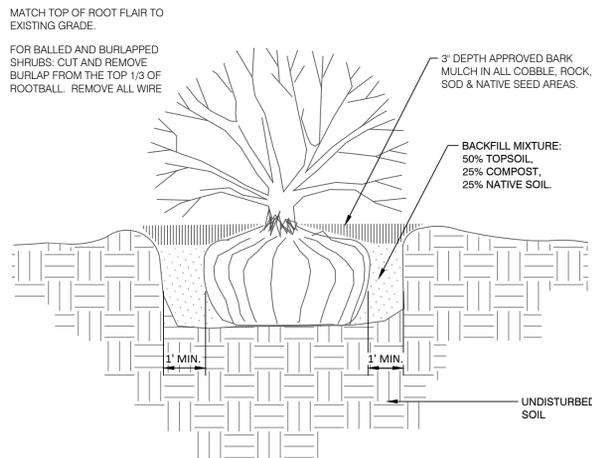
ROOTBALL SIZES:	TREE PIT DIAMETER:	MULCH RING DIAMETER:
6' HT. = 1'-10"	6' HT. = 6'-8"	6' HT. = 6'-8"
8' HT. = 2'-3"	8' HT. = 8'-0"	8' HT. = 8'-0"
10' HT. = 2'-10"	10' HT. = 8'-10"	10' HT. = 8'-10"
12' HT. = 2'-10"	12' HT. = 8'-10"	12' HT. = 8'-10"

3 CONIFEROUS TREE PLANTING DETAIL

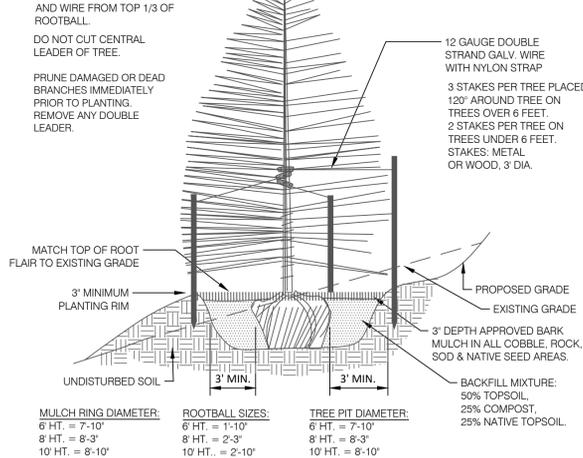


MULCH RING DIAMETER:	ROOTBALL SIZES:	TREE PIT DIAMETER:
6' HT. = 7'-10"	1.5' Cal. = 1'-8"	1.5' Cal. = 7'-8"
8' HT. = 8'-3"	2' Cal. = 2'-0"	2' Cal. = 8'-0"
10' HT. = 8'-10"	2.5' Cal. = 2'-4"	2.5' Cal. = 8'-4"
12' HT. = 8'-10"	3' Cal. = 2'-6"	3' Cal. = 8'-6"

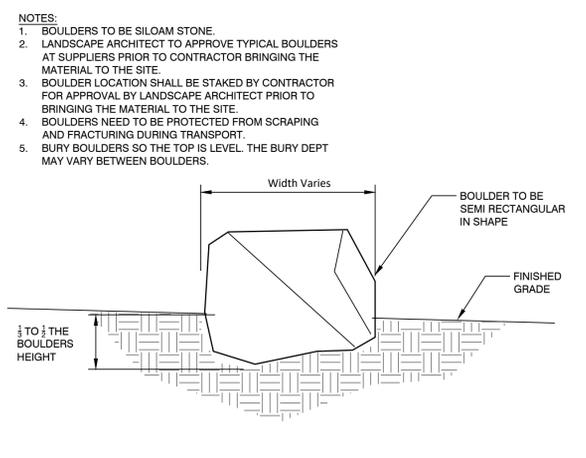
4 DECIDUOUS TREE PLACEMENT ON SLOPE



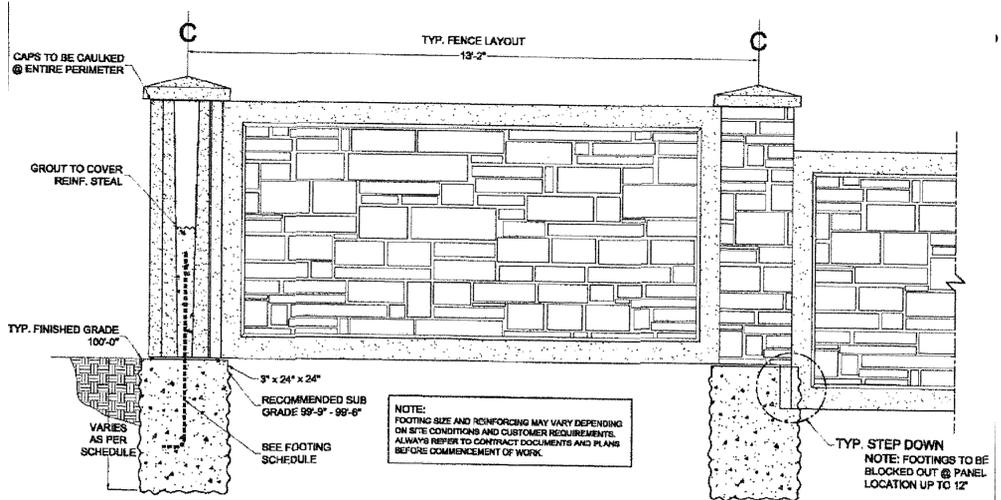
5 SHRUB PLANTING DETAIL



6 CONIFEROUS TREE PLACEMENT ON SLOPE



7 LANDSCAPE BOULDER



8 6' CONCRETE SLAT WALL



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## STERLING RANCH FILING 5

PUD Preliminary Plan

DATE: 08/25/23  
PROJECT MGR: A. BARLOW  
PREPARED BY: A. LANGHANS

PUD PRELIMINARY PLAN  
LANDSCAPE DETAILS

7

7 OF 9

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# STERLING RANCH FILING 5

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PUD PRELIMINARY PLAN



**CONCEPT PLANT SCHEDULE**

	NATIVE GRASS Upland Native Seed Mix	40,938 sf
	ROCK MULCH 3/4" Cimarron Granite	21,211 sf
	COBBLE 2"-4" Cripple Creek Gold Ore	27,526 sf
	TALL FESCUE SOD	19,402 sf

N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
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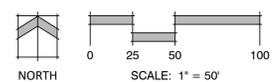
**STERLING RANCH FILING 5**  
PUD Preliminary Plan

DATE: 08/25/23  
PROJECT MGR: A. BARLOW  
PREPARED BY: A. LANGHANS

**FINAL LANDSCAPE PLAN**

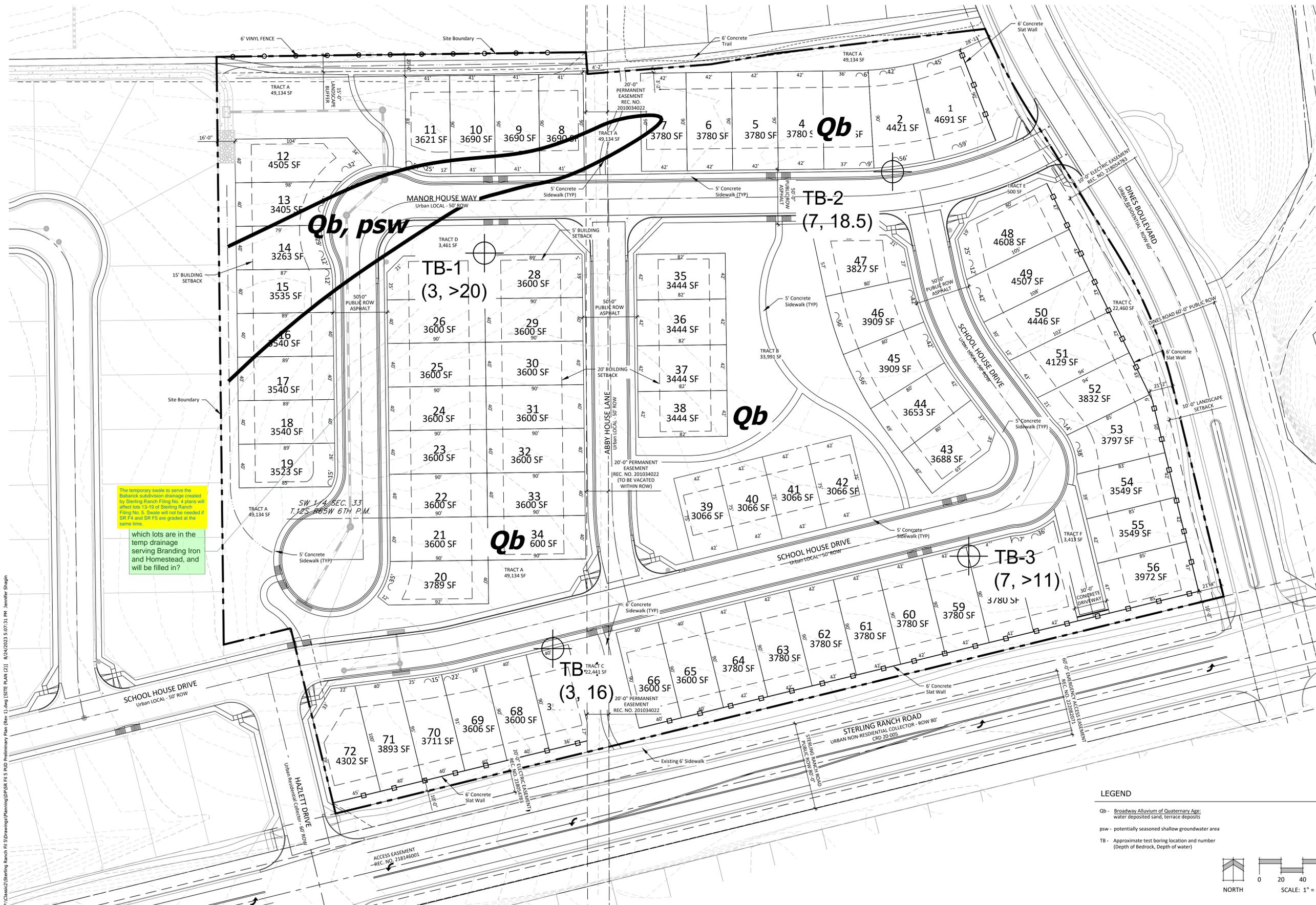
SHEET NUMBER: 8 OF 9

P:\Class\Sterling Ranch FE\Drawings\1-ARCH\PL\Sterling Ranch, Filing 5 LS.dwg (S. FRANK) 8/24/2023 3:04:48 PM Jimmie Shagin



# STERLING RANCH FILING 5

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER  
PUD PRELIMINARY PLAN



The temporary swale to serve the historic subdivision drainage created by Sterling Ranch Filing No. 4 plans will affect lots 13-19 of Sterling Ranch Filing No. 5. Swales will not be needed if lots 14 and 15 are graded at the same time.

which lots are in the temp drainage serving Branding Iron and Homestead, and will be filled in?



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## STERLING RANCH FILING 5

PUD Preliminary Plan

DATE: 8/25/23  
PROJECT MGR: A BARLOW  
PREPARED BY: A LANGHANS

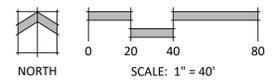
### ENTITLEMENT

DATE:	BY:	DESCRIPTION:

### PUD PRELIMINARY PLAN GEOHAZARDS CONSTRAINTS MAP

9 OF 9

- LEGEND**
- Qb - Broadway Alluvium of Quaternary Age: water deposited sand, terrace deposits
  - psw - potentially seasoned shallow groundwater area
  - TB - Approximate test boring location and number (Depth of Bedrock, Depth of water)



P:\Client\Sterling Ranch Fil 5\Drawings\Planning\DP\SR Fil 5 PUD Preliminary Plan (Rev. 1).dwg (SITE PLAN (2)) 8/24/2023 5:07:31 PM Jennifer Shapiro

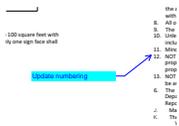
# V1\_PUDSP comments.pdf Markup Summary

CDurham (13)



**Subject:** Callout  
**Page Label:** [1] COUNTY\_COVER  
**Author:** CDurham  
**Date:** 10/2/2023 8:43:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Ensure note lists all items noted in Geology Report and matches with Letter of Intent



**Subject:** Callout  
**Page Label:** [1] COUNTY\_COVER  
**Author:** CDurham  
**Date:** 10/2/2023 8:44:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Update numbering



**Subject:** Text Box  
**Page Label:** [1] COUNTY\_COVER  
**Author:** CDurham  
**Date:** 10/2/2023 8:46:25 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Notes to Include:  
-No direct lot access to Sterling Ranch Road and Dines Boulevard.  
-All private shared drives shall be owned & maintained by Sterling Ranch Metro District.  
-Shared access easement providing access to 3 lots to remain clear of any obstructions or parked vehicles.  
-Sterling Ranch Metro District to maintain site retaining walls.



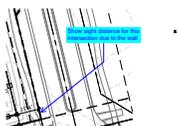
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**Page Label:** [1] SITE PLAN  
**Author:** CDurham  
**Date:** 10/2/2023 8:48:36 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Min lot width 40'



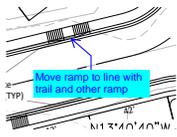
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**Page Label:** [1] SITE PLAN  
**Author:** CDurham  
**Date:** 10/2/2023 8:49:19 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Min lot width 40'



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** CDurham  
**Date:** 10/2/2023 2:15:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show sight distance for this intersection due to the wall



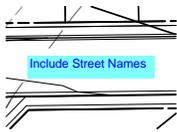
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**Page Label:** [1] SITE PLAN  
**Author:** CDurham  
**Date:** 10/2/2023 2:19:03 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Move ramp to line with trail and other ramp



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** CDurham  
**Date:** 10/2/2023 2:22:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

End of driveway is very close to wall. Consider shortening driveway to provide buffer between driveway and wall.



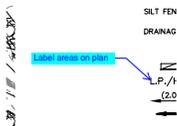
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**Page Label:** [1] GR01  
**Author:** CDurham  
**Date:** 10/2/2023 8:49:56 AM  
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**Color:** ■  
**Layer:**  
**Space:**

Include Street Names



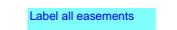
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**Author:** CDurham  
**Date:** 10/2/2023 8:50:20 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Indicate these areas on plan



**Subject:** Callout  
**Page Label:** [1] GR01  
**Author:** CDurham  
**Date:** 10/2/2023 8:50:31 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Label areas on plan



**Subject:** Text Box  
**Page Label:** [1] UT01  
**Author:** CDurham  
**Date:** 10/2/2023 8:53:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Label all easements

Include service lines

**Subject:** Text Box  
**Page Label:** [1] UT01  
**Author:** CDurham  
**Date:** 10/2/2023 8:54:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include service lines

dsdparsons (55)



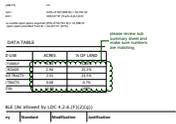
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**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:10:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please get the heading form the surveyor it must include the township range section, not the reception number.



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:10:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

move here or under here



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:13:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

please review sub summary sheet and make sure numbers are matching



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:53:36 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

identify lots that have the ground water and the lots to be filled in and identify what lots will require the "high foundation, floating foundation or no basements"

Identify who will install and maintain under drains...

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:54:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

identify who will install and maintain under drains...

way to Stirling Ranch Tract 5. The maximum size of the Community Center shall be determined by the number of units proposed to be developed on the site. The maximum size of the Community Center shall be determined by the number of units proposed to be developed on the site. The maximum size of the Community Center shall be determined by the number of units proposed to be developed on the site.

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:38:15 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

corner lots typically have 2 frontages ; the code allows for the lot side that does not have access to road to have a larger setback to ensure sight visibility..and eliminate two front setbacks- please address.

please identify setbacks for attached units and then setbacks for detached units so front counter staff has clarity.

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:57:34 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

please identify setbacks for attached units and then setbacks for detached units so front counter staff has clarity.

detached unit side setback: 5' ?

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:08:26 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

detached unit side setback: 5' ?

thirty (35) feet  
40%  
m  
(0' Attached Units)  
(Corner Lot)  
m  
m

**Subject:** Arrow  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:08:18 PM  
**Status:**  
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**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:11:40 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

is this realistic on small lots? Max building coverage of 40 % is very low thats 1226 sf first floor w garage principle house...did you want to up it to 65% so a product can fit...?

thirty (35) feet  
40%  
m  
(0' Attached Units)  
(Corner Lot)  
m  
m

**Subject:** Arrow  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:10:03 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

- 1. N
- 2. N
- 3. S

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:11:54 PM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

- B. Signs shall be permitted to identify entries a maximum height of 10 feet. Sign size shall be measured perpendicular to the maximum size.
- C. **Development Standards:**
  - 1. **Minimum Front Setback:** 10 feet
  - 2. **Maximum Lot Coverage:** 40%
  - 3. **Maximum Height:** 10 feet
- D. **Signs:**
  - 1. **Minimum (Front Attached Signs):** 5' Minimum (Corner Lots)
  - 2. **Minimum (Corner Lots):** 5' Minimum
- 4. **Minimum Lot Width:** 30'
- 5. **Minimum Lot Size:** 3000 SF
- 6. No projections into the tracks owned and/or

**Subject:** Cloud  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:12:01 PM  
**Status:**  
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**Layer:**  
**Space:**



**Subject:** Image  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:13:25 PM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

of El Paso County and shall be provision which is most restrictive shown sample from Copper Chase detached product with City Engineering and Planning and Community

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:13:42 PM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

sample from Copper Chase detached product



**Subject:** Image  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:14:47 PM  
**Status:**  
**Color:**   
**Layer:**  
**Space:**

sample easement note

**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:15:02 PM  
**Status:**  
**Color:**   
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**Space:**

sample easement note

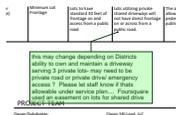


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**Author:** dsdparsons  
**Date:** 10/2/2023 1:26:18 PM  
**Status:**  
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**Space:**

see example



**Subject:** Cloud  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:26:47 PM  
**Status:**  
**Color:** ■  
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**Subject:** Planner  
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**Author:** dsdparsons  
**Date:** 10/2/2023 2:11:46 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this may change depending on Districts ability to own and maintain a driveway serving 3 private lots- may need to be private road or private drive/ emergency access ? Please let staff know if thats allowable under service plan.... Foursquare used an easement on lots for shared drive



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:29:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

put lot size in development standards

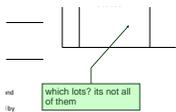


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**Date:** 10/2/2023 1:29:08 PM  
**Status:**  
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**Space:**



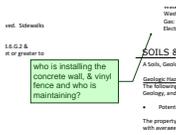
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**Author:** dsdparsons  
**Date:** 10/2/2023 1:37:52 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Are the accessory uses the same for detached and attached units?



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:52:06 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

which lots? its not all of them



**Subject:** Planner  
**Page Label:** [1] COUNTY\_COVER  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:01:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

who is installing the concrete wall, & vinyl fence and who is maintaining?



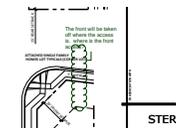
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**Date:** 10/2/2023 2:02:31 PM  
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**Layer:**  
**Space:**

delete this some lots are under 40



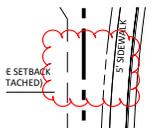
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**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 12:58:48 PM  
**Status:**  
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**Space:**

what is the black heavy dashed line representing? is that fencing?



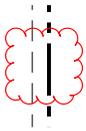
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**Author:** dsdparsons  
**Date:** 10/2/2023 1:39:32 PM  
**Status:**  
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**Layer:**  
**Space:**

The front will be taken off where the access is. where is the front access?



**Subject:** Cloud  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:39:57 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Subject: Cloud

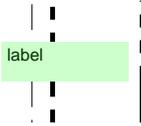


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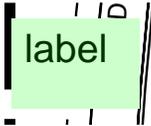
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**Author:** dsdparsons  
**Date:** 10/2/2023 1:42:15 PM  
**Status:**  
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**Layer:**  
**Space:**

side yard set backs on streets must met clear zone- please add setback label (5-feet?)



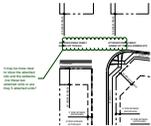
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**Space:**

label



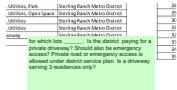
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label



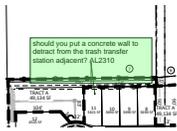
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**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:44:36 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

it may be more clear to show the attached lots and the setbacks. Are these two attached units or are they 5 attached units?



**Subject:** Planner  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:11:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

for which lots \_\_\_\_\_. Is the district paying for a private driveway? Should also be emergency access? Private road or emergency access is allowed under district service plan. Is a driveway serving 3 residences only?



**Subject:** Planner  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:29:30 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

should you put a concrete wall to detract from the trash transfer station adjacent? AL2310



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:01:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

i dont believe a waiver of frontage is needed for these corner lots they do have more than 30 feet of frontage



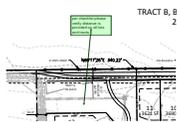
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**Author:** dsdparsons  
**Date:** 10/2/2023 1:02:40 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

public right of way- label



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:03:46 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

centerline data required



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:04:51 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

per checklist please verify distance is provided on all lots and tracts.



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:46:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Adjacent zoning, plat info



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:59:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

please clarify in notes specifically which lots can use tract F so there are not code enforcement cases with other lot owners using Tract F



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 1:58:28 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Does this lot meet clear zone for this classification of intersection?



**Subject:** Image  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:03:28 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Does the wall meet sight distance?



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:04:27 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Does the wall meet sight distance?



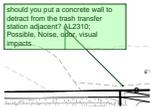
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**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:04:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

I3 Zone  
 Trash Transfer Facility Barbaric Subdivision



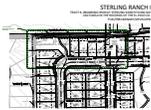
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**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:31:08 PM  
**Status:**  
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**Layer:**  
**Space:**

I3 Zone  
 Trash Transfer Facility Barbaric Subdivision



**Subject:** Planner  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:34:05 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

should you put a concrete wall to detract from the trash transfer station adjacent? AL2310; Possible, Noise, odor, visual impacts



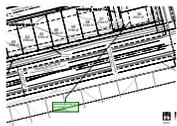
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**Author:** dsdparsons  
**Date:** 10/2/2023 2:35:08 PM  
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**Layer:**  
**Space:**

you need the industrial notice for these lots.



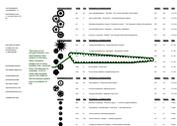
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**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:34:55 PM  
**Status:**  
**Color:** ■  
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**Space:**

Where the Property is Adjacent to an Industrial Area:  
NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof. (Use when residential is adjacent to industrial)



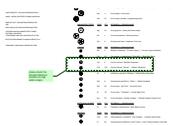
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**Author:** dsdparsons  
**Date:** 10/2/2023 2:37:25 PM  
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**Space:**

what about a flag lot w / access easement?



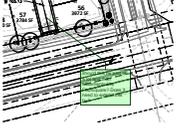
**Subject:** Planner  
**Page Label:** [1] COUNTY\_LS (2)  
**Author:** dsdparsons  
**Date:** 10/2/2023 3:22:08 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

This tree is not drought tolerant, nor wind tolerant and subject to disease when stressed ; please use a more suitable tree. Austrian Pine; Ponderosa for example; a list of trees was recently sent to the HBA for the landscape update and is available on line



**Subject:** Planner  
**Page Label:** [1] COUNTY\_LS (2)  
**Author:** dsdparsons  
**Date:** 10/2/2023 3:24:42 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

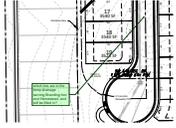
please check the drought tolerance (medium to high water usage)



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**Subject:** Planner  
**Page Label:** [1] LS PLAN  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:08:50 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

should this be part of a lot and than easements like Foursquare? Does it need to extend this far?



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**Subject:** Planner  
**Page Label:** [1] SITE PLAN (2)  
**Author:** dsdparsons  
**Date:** 10/2/2023 2:05:23 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

which lots are in the temp drainage serving Branding Iron and Homestead, and will be filled in?