neading form the surveyor it must

include the township range section, not the

Sheet 4 of 9:

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Sheet 6 of 9:

Sheet 8 of 9:

Sheet 9 of 9:

PUD Preliminary Grading Plan

PUD Preliminary Utility Plan

PUD Preliminary Plan Landscape Notes

PUD Preliminary Plan Landscape Details PUD Preliminary Plan Landscape Plan

PUD Preliminary Plan Geohazards Constraints Map

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER **GENERAL PROVISIONS** PUD PRELIMINARY PLAN Authority. This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit SITE DATA Applicability. The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Director or Board of County Commissioners. Tax ID Number: 5233302049 Adoption. The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this 11.66 AC (507,909.6 SQ. FT.) Development Plan for Sterling Ranch Filing 5 is in general conformity with the El Paso County Master Plan and El Paso County Policy Plan; and that the El Paso **Development Schedule** Spring 2024 County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended. Current Zoning: RR-5 CAD-O Proposed Zoning: D. Relationship to County Regulations. The provisions of this Development Plan shall prevail and govern the development of Sterling Ranch Filing 5, provided, Current Land Use: however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Single Family Residential (Attached & Detached) Proposed Land Use Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of Number of Lots: 72 (267,325 SQ. FT.) 619 N. Cascade Avenue, Suite 200 Enforcement. To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this Colorado Springs, CO 80903 development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be Open Space Area: 1251 AS (Thacks, AB, C, D, E) enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law. Tel. 719.471.0073 Conflict. Where there is more than one provision within the down Fax 719.471.0267 Lot Setbacks or imposes higher standards or requirements shall gove Front: Development Requirements 5' (5' Minimum Corner Lots, & Attached) G. Maximum Level of Development. The total num 1. Maximum lot coverage: sixty-five (65) percent www.nescolorado.com for development within the specified planning areas is . Maximum building height: thirty-five (35) feet. Chase detached product The actual number of dwellings or level of developmen Setback minimums: Landscape Setbacks © 2012. All Rights Reserved. requirements of the Board of County Commissioners. a. Front yard: twenty (20) fee South (Sterling Ranch Road): put ot size in b. Side yard: five (5) feet East (Dines Blvd) H. <u>Project Tracking</u>. At the time of any final plat ap End/Corner lot: The side yard setback shall be ten (5) feet along the corner adjacent to a tract Development, in order to assure maximum developmer The side yard setback shall be fifteen (15) feet along the corner adjacent to the ROW Landscape Buffer: standards North east (340 FT) Overall Project Standards. The standard zoning I 5. Accessory buildings must comply with the setbacks established above. landscaping, site development, accessory and temporar 6. Projections into setbacks are governed by the Land Development Code, as may be amended, and as stated below: a. Patios, landings, window wells and other similar features may project into rear setbacks a maximum of 3' provided they do Open Space Provided = Utility Providers. The following utility providers v Water: FAWWA not interfere with utility services and drainage easements 25% min. contiguous usable open space required (25% of 50,791 SF)= 12,698 SF Wastewater: FAWWA The minimum lot size is 3,200 square feet. Contiguous usable open space provided Tract B = 34,327 SF (67%) Gas: Colorado Springs Utilities The lot sizes, dimensions, and bearings will be established with the Final Plat and may vary from that shown on the PUD Electric: Mountain View Electric please review sub Development/Preliminary Plan The Final Plat will not create any additional building lots. summary sheet and 4. No subdivision of any lot will be allowed if such subdivision results in the creation of additional building lots. LAND USE DATA TABLE make sure numbers . Lot line adjustments, per Chapter 7 of the Land Development Code or as amended will not require an amendment of this PUD DEVELOPMENT GUIDELINES are matching % OF LAND LAND USE Sterling Ranch Filing 5 is a planned residential community on 11.66AC of land located east of Dines Boulevard and North of Sterling Ranch Road. The project is planned as a single family detached and attached community with a range of lot sizes, trails and open space throughout. **₹6.13 ₹**52.6% SINGLE FAMILY B. Permitted and Accessory uses: Permitted and accessory uses ar Yes, they will be the same PUBLIC ROADS 25.2% Covenants and approval of the Sterling Ranch Metro District. **OPEN SPACE TRACTS** 2.51 21.5% Are the accessory uses the same for detached and attached units? PRINCIPAL USES **ACCESSORY USES** OTHER TRACTS 0.08 0.7% Day Care Home CMRS Facility, Stealth TOTAL **A*** Dwellings - Detached Single Family Group Home Dwellngs -Attached Single Family Home Occupation, Residential Α Α Model Home/Subdivision Sales Office Accessory Living Quarters Α Public Park, Open Space PUD MODIFICATION TABLE (As allowed by LDC 4.2.6.(F)(2)(g)) Personal Use Greenhouse Α lesidential accessory structures & uses Α LDC/ECM VICINITY MAP Category **Justification** Lot coverage has been updated accordingly for both the attached and Section **STERLING** is this realistic on small lots? Max A: Allowed Use LDC Chapter Lots utilizing private The allowance of three lots to be accessed from a shared drive will | Minimum Lot allow for additional open space and more efficient vehicular and 8.4.3(B)(2)(e) shared driveways will ouilding coverage of 40 % is very low S: Special Use* **RANCH** LEGAL DESCRIPTION not have direct frontage 1 pedestrian circulation. The shared private drive directly connects to a frontage on and thats 1226 sf first floor w garage principle : Temporary Use** access from a public on or across from a house...did you want to up it to 65% so a Uses not listed in this table are prohibited. public road. TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER FILING 5 product can fit...? * Day Care & Group Homes may be an Allowed Use or a Special Use depending on the size as defined in Table 5-3 of the El Paso GENERAL NOTES County Land Development Code and are subject to the criteria in Section 5.2.2 of the El Paso County Land Development Code OR as PUD Preliminary Plan this may change depending on Districts otherwise Amended All sidewalks shown on development plan are to be 5' concrete unless otherwise specifie please identify Facilities and common area landscape will be maintained by the Sterling Ranch Metro District * Special uses are subject to the requirements of the El Paso ability to own and maintain a driveway Landscape entry features, open space tracts, parks and trails shall be owned and maintained Sterling Ranch Metro District. setbacks for attached county Land Development Code, Section 5.3.2 OR as otherwise Updated. which lots? its not all Federal Emergency Management Agency, Flood Insurance Rate Map number 08041C0533G, effective date, December 7, 2018, indicates the area in the vicinity of this parcel of land serving 3 private lots- may need to be units and then *** Temporary uses are subject to the requirements of the El to be a Zone X (area determined to be out of the 500 year floodplain). private road or private drive/ emergency setbacks for detached Paso County Land Development Code, Section 5.3.1 OR as The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by Updated. access? Please let staff know if thats otherwise Amended. the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance units so front counter allowable under service plan.... Foursquare with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws. staff has clarity. All open space/trail/landscape tracts shall be limited to non-motorized use only, except for maintenance and emergency vehicles. sed an easement on lots for shared drive The public roads as shown on this PUD will be constructed to El Paso County standards and maintained by El Paso County. B. Signs. Signs/shall be permitted to identify entryways to Sterling Ranch Filing 5. The maximum size of the Community Entryway Sign shall be 100 square feet with 08/25/23 10. Unless otherwise indicated, all side, front, and rear lot lines will include 5 foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries a maximum height of (6) feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall PROJECT MGR: A BARLOW include a 20 foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners. Owner/Subdivider: Classic SRJ Land, LLC contribute to the maximum size. 11. Minor changes such as minor lot or tract line adjustments upon final engineering will not require a PUD or Preliminary Plan amendment. PREPARED BY: A LANGHANS 2138 Flying Horse Club Dr. corner lots typically have 2 NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft overflight and noise impacts on this Development Standards.

1. Maximum building height: thirty (35) feet Colorado Springs, CO 80921 property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This frontages; the code allows for the property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. lot side that does not have access Applicant/Preparer: Maximum Lot Coverage: 40% NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and 619 N Cascade Avenue, Ste 200 3 Setback minimums: be aware of this potentiality and the ramifications thereof. to road to have a larger setback to Colorado Springs, CO 80903 6. The following reports have been submitted in association with the PUD Preliminary Plan for this subdivision and are on file at the County Planning and Community Development ensure sight visibility..and Side: 5' Minimum (0' Attached 🗸 nits) Department: Traffic Impact Study prepared by LSC Transportation Consultants Inc., Soil, Geology and Geologic Hazard Study prepared by Entech Engineering Inc., Water Resources Report prepared by JDS Hydro, Waste Water Disposal Report prepared by JDS Hydro, Drainage Report prepared by JR Engineering

Notes added to General Notes section Land Planner: eliminate two front setbacks-Side: 5' Minimum (Corner Lot) 619 N Cascade Avenue, Ste 200 Rear: 15' Minimum please address. Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations. Colorado Springs, CO 80903 Minimum Lot Width: 40' The following utility providers will serve Sterling Ranch Filing 5 PUD Preliminary Plan: Minimum Lot Size: 3066 SF There is only one true corner lot (#72). The rest of the Civil Engineer: J.R. Engineering No projections into the tracts owned and maintaine lots have a tract in between the row and property line. mitted. No direct lot access to Sterling Ranch Road and Dines Boulevard. Wastewater: FAWWA 5475 Tech Center Drive, suite 235 Il private shared drives shall be owned & maintained by Sterling Ranch Metropo Gas: Colorado Springs Utilities Streets. Streets within Sterling Ranch Filing 5 subdivision provide general vehicular circulation throughout the development. All Streets shall be paved. Sidewalks Colorado Springs, CO 80919 will be provided as illustrated on this plan and as required by the LDC and ECM. thared access easement providing access to 3 lots to remain clear of any Sight Distance Triangles: No landscaping may obstruct sight distance triangles or pedestrian facilities per Engineering Criteria Manual Reference Sterling Ranch Metro District to maintain site retaining walls and tructions or parked vehicles. ..5.2.H. respectively. The minimum horizontal clearance for sidewalks around utilities structures, furniture, and other encroachments shall be 4 vinyl fencing under property ownership. S & GEOLOGY CONDITIONS, CONSTRAINTS & HAZA -Sterling Ranch Metro District to maintain site retaining walls. provide safe conditions for pedestrians and bicyclists per the Engineering Criteria Manual. A Soils, Geology and Geologic Hazard Study for Sterling Ranch Filing 5, El Paso County, Colorado was completed by Entech Engineering, Inc. on November 22, 2022. who is installing the **ENTITLEMENT** detached unit side concrete wall, & vinyl Geologic Hazard Note:
The following lots have been found to be impacted by geologic hazards, Lots: 7,8,9,10,11,13,14,15,16,17. Mitigation measures and a map of the hazard area can be found in the Soil, setback: 5' ? fence and who is Geology, and Geologic Hazard Study by Entech Engineering inc. on November 22, 2022 available at the El Paso County Planning and Community Development Department: maintaining? All setback information has been revised for both detached and delete this some lots Potentially Seasoned Shallow Groundwater: (Northwestern portion of the site) Detached Side setback of 5ft are under 40 The property is located on FIRM panel NO. 08041CO533G, Dated 12.07.2018. Said property is located in zone X, area of 0.2% annual chance of flood; areas of 1% annual change flood ninimum lot width revised to 30ft with average depths of less than 1 foot or with drainage areas less than 1 square mile DESCRIPTION: Entech Engineering inc. concludes in their report that development of the site can be achieved if the items mentioned above are mitigated. These items can be mitigated through proper design and construction or through avoidance. Investigation on each lot is recommended prior to construction. SeoHaz section has been updated to match the revised report. easement note added to the identify lots that have the ground water and the lots to be filled in and identify what lots will require the "high foundation, floating" standards foundation or no basements" sample easement identify who will install **Board of County Commissioners Certification Clerk and Recorder Certification** Classic SRJ Land, LLC and maintain under State of Colorado) This PUD/preliminary plan for at Sterling Ranch was approved for filing by the El Paso Name of Landowner County, Colorado Board of County Commissioners on the ______ day of ______, El Paso County) 20___, subject to any notes specified hereon and any conditions included in the Landowner's Signature, notarized **COVER SHEET** General note has been added resolution of approval. The dedications of land to the public (easements) are accepted, but public improvements thereon will not become the maintenance responsibility of El hereby certify that this Plan was filed in my office on this _____(day) of **Ownership Certification** Paso County until preliminary acceptance of the public improvements in accordance _(month), 20___ at _____ o'clock a.m./p.m. and was recorded per Unless otherwise indicated, all side, front, and rear lot lines are kereby platted on either side with a 5 foot public utility and drainage easement unless a (one of the following: qualified title with the requirements of the Land Development Code and Engineering Criteria otherwise indicated. All exterior subdivision boundaries are bereby platted with a 7 foot public utility and drainage easement. The sole responsibility insurance company, title company, title attorney, or attorney at law) duly Manual, and the Subdivision Improvements Agreement. for maintenance of these easements is hereby vested with the individual property owners. A ten (10) foot front line MVFA utility easement will be qualified, insured, or licensed by the State of Colorado, do hereby certify SHEET INDEX that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple by President, Board of County Commissioners El Paso County Clerk and Recorder see example at the time of this application. Tract Table, Lot Typicals, Adjacent Property Owners Sheet 2 of 9: **PUD Preliminary Plan** Sheet 3 of 9:

Director, Planning & Community Development Department

Notarized signature

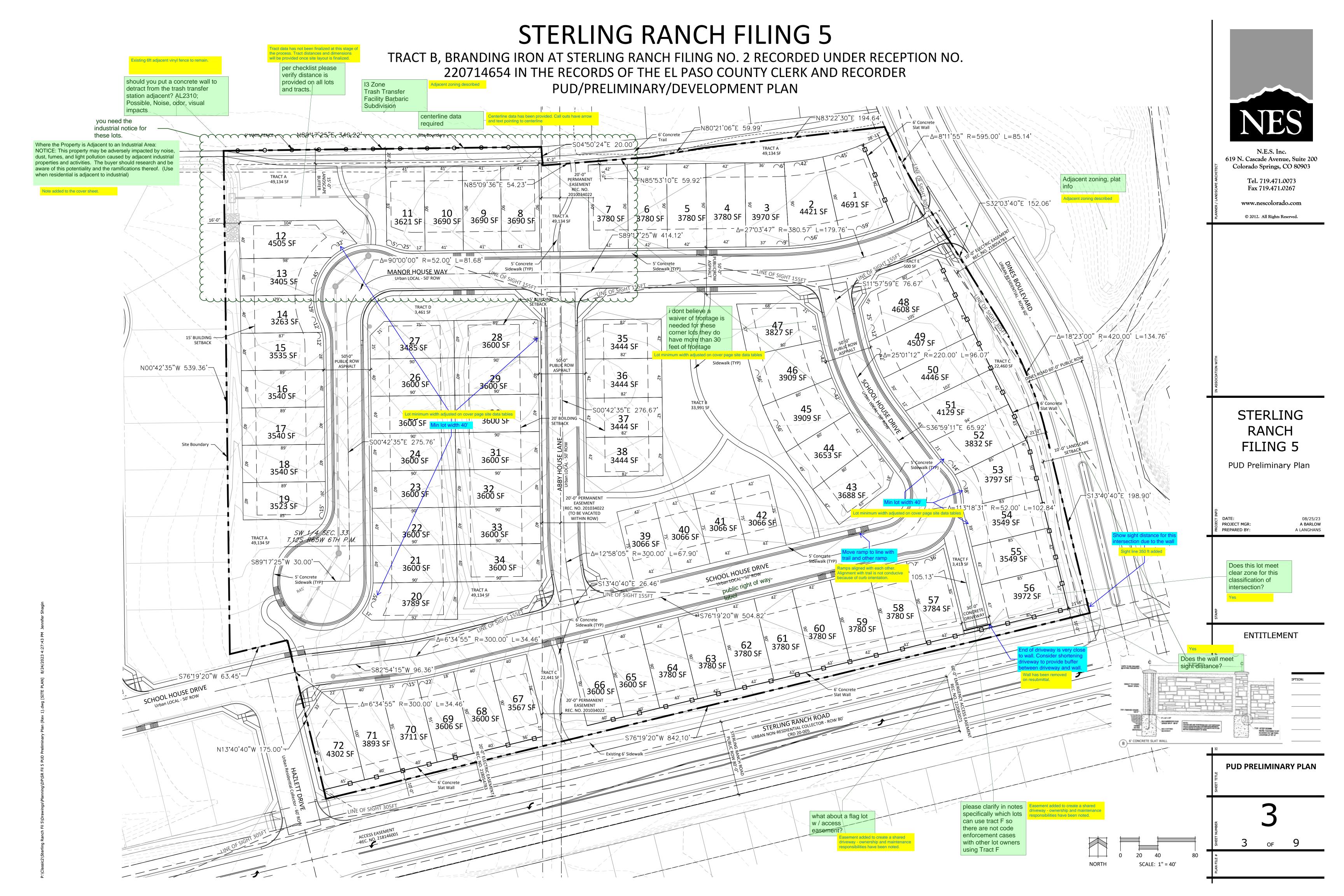
OR Name of Attorney and registration number

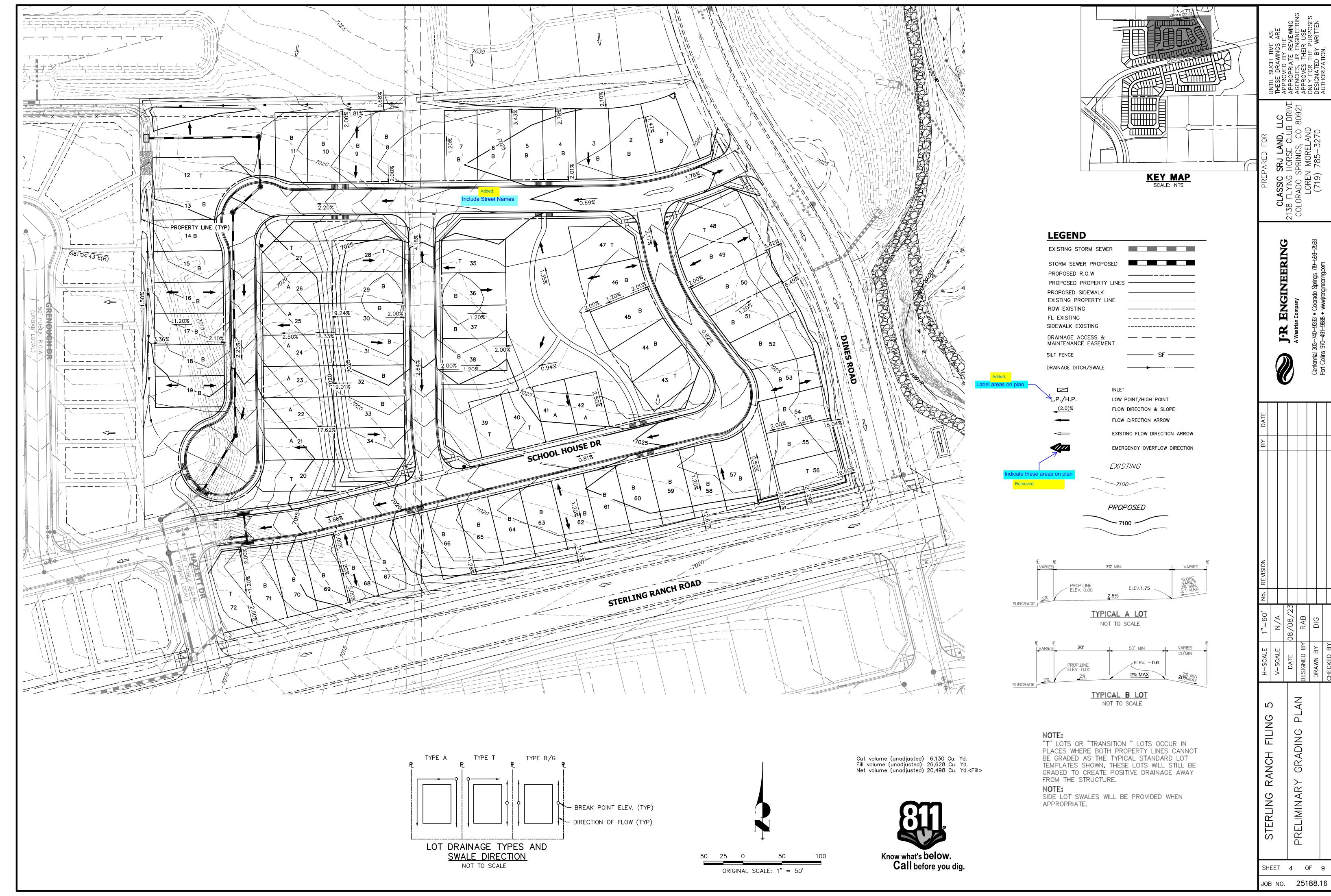
No example was given. Note #7 matches

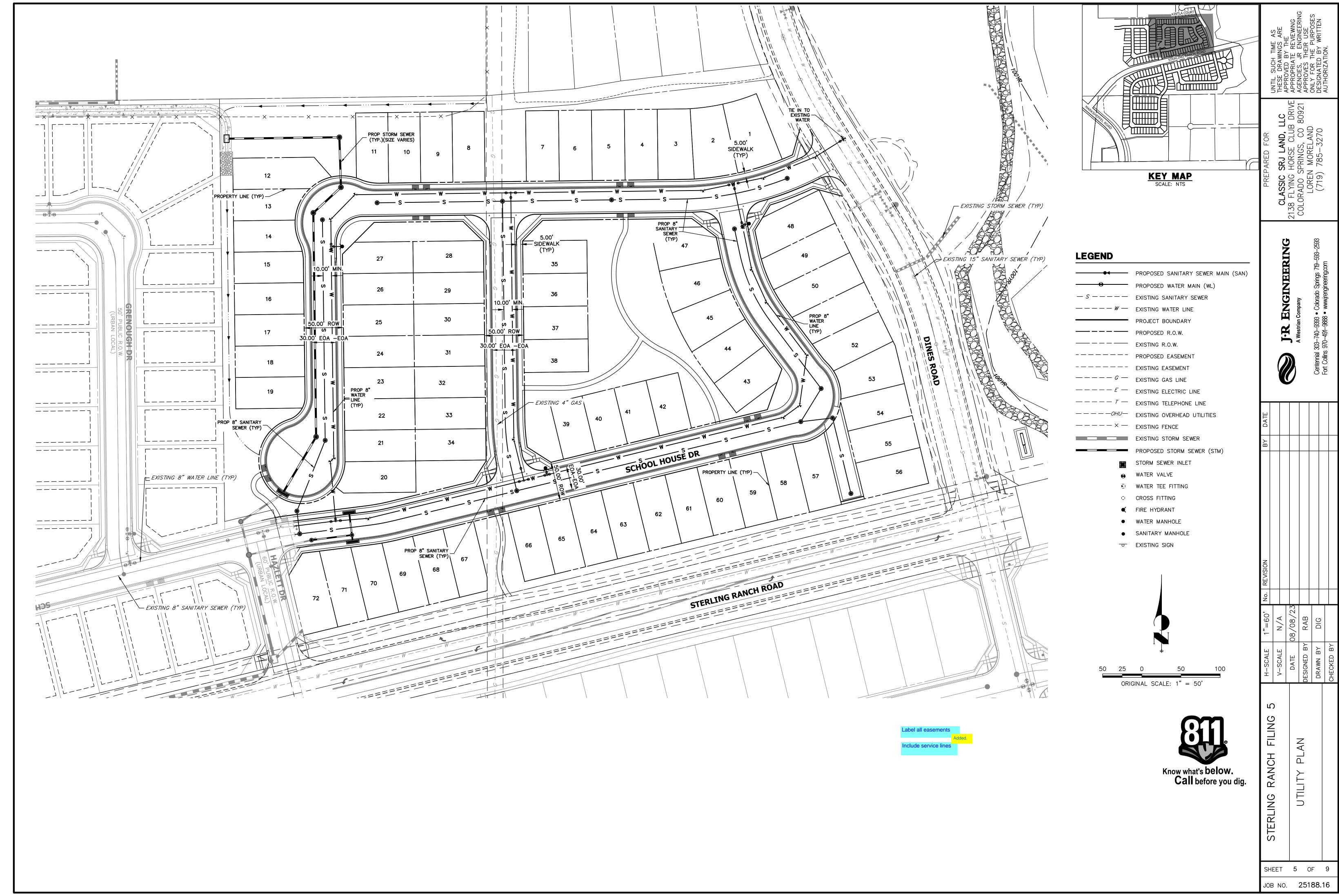
other submittals within Sterling Ranch

STERLING RANCH FILING 5 side yard set backs on streets must met clear zone- please TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. add setback label LOT TYPICALS 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER PUD/PRELIMINARY/DEVELOPMENT PLAN **DETACHED SINGLE FAMILY** DETACHED SINGLE FAMILY HOMES LOT TYPICALS (SIDE SETBACK) S' SIDEWALK 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 1 28 1 29 Fax 719.471.0267 www.nescolorado.com © 2012. All Rights Reserved. 5' SIDE SETBACK (DETACHED) 5' SIDE SETBACK (DETACHED) should you put a concrete wall to The front will be taken station adjacent? AL2310 off where the access Line work legend added is. where is the front what is the black ATTACHED SINGLE FAMILY ATTACHED SINGLE FAMILY heavy dashed line representing? is that , marine de la company de la c S' SIDEWALK it may be more clear to show the attached lots and the setbacks. Are these two STERLING attached units or are they 5 attached units? NOTIFICATION AREA **RANCH** FILING 5 5' SIDE SETBACK PUD Preliminary Plan 5' SIDE SETBACK (DETACHED) 0' SIDE SETBACK 0' SIDE SETBACK (ATTACHED) (ATTACHED) A BARLOW PREPARED BY: A LANGHANS **ADJACENT OWNERS ENTITLEMENT** CITY, STATE, ZIP Owner Name 1 JEFFREY LAND KRISTA K HARDSOCK 8297 KINTLA CT Colorado Springs,CO,80908 2 JACKSON EDWARD AND PATRICIA JOANN POPE 8287 KINTLA CT Colorado Springs,CO,80908 3 DUANE AND GLENDA LEWIS HERBERT 8277 KINTLA CT Colorado Springs,CO,80908 8267 KINTLA CT 4 RYAN AND JESSICA L RHUDE Colorado Springs,CO,80908 Colorado Springs,CO,80908 JOSEPH AND WINNIE VASQUEZ 8257 KINTLA CT 7|BR 8812 CLIFF ALLEN POINT LLC PO BOX 88120 Colorado Springs,CO,80908 12,13,15 SR LAND LLC 20 BOULDER CRESCENT ST STE 102 | Colorado Springs, CO, 80903 4400 STATE HIGHWAY 121 STE 410 | Colorado Springs, CO, 75056 11 ARTESIA LOT HOLDINGS LLC 14 CLASSIC SRJ LAND LLC 2138 FLYING HORSE CLUB DR Colorado Springs,CO,80921 Colorado Springs,CO,80908 17 CRAIG M AND JULIE A DRAGOSH 8881 MISTY LAKE CT 18 ELIZABETH AND MICHAEL FREAUFF 8337 SPRAGUE WAY Colorado Springs,CO,80908 19 BRANDON & ASHLEY VRCIC 8891 MISTY LAKE CT Colorado Springs,CO,80908 20 JACQUELYN LEE ELESON 8870 MISTY LAKE CT Colorado Springs,CO,80908 21 WILLIAM BRAWNER AND PAOLA GOYTIA BENITEZ Colorado Springs,CO,80908 8880 MISTY LAKE CT 22 ALEXA AND BAILEY LYONS 8890 MISTY LAKE CT Colorado Springs, CO, 80908 TRACT TABLE, LOT 23 ROBERT LAWRENCE AND STEPHANIE DEWOODY 8298 KINTLA CT Colorado Springs,CO,80908 TYPICALS, ADJACENT TRACT TABLE 6480 OLYMPIC PARK PT UNIT 302 Colorado Springs,CO,80923 24 FKH SFR L LP **PROPERTY OWNERS** 8278 KINTLA CT 25 MARK R AND SHANNA W GARDNER Colorado Springs, CO, 80908 8268 KINTLA CT Tract Area (SF) Area (AC) Use 26 MIC AND VICKY PHILLIPS Colorado Springs,CO,80908 27 MIKAL LEON MURREY, MARGARET ANNE MURREY, MICHELLE MEKEL MURREY 8289 SPRAGUE WAY 1.13 Landscape, Utilities, Open Space | Sterling Ranch Metro District Colorado Springs, CO, 80908 8281 SPRAGUE WAY Colorado Springs,CO,80908 0.52 Landscape, Utilities, Open Space | Sterling Ranch Metro District 29 PALANIAPPAN SASIKUMAR 8273 SPRAGUE WAY Colorado Springs, CO, 80908 30 ERIN FACH AND ROBERT L EINSPAHR 8265 SPRAGUE WAY 0.08 Landscape, Utilities Colorado Springs,CO,80908 Sterling Ranch Metro District 31 CHAD CASKEY AND JILLIAN MASSEY 8257 SPRAGUE WAY 0.01 Landscape, Utilities Sterling Ranch Metro District 32 BWH PROPERTIES LLC 125 S CHESTNUT ST Colorado Springs,CO,80905 3,413 0.08 Private Driveway Sterling Ranch Metro District Colorado Springs, CO, 80905 33 LEWIS-WOLF PROPERTIES LLLP C/O BILLS TOOL RENTAL INC 125 S CHESTNUT ST Total Tract Area: private driveway? Should also be emergency 34 HW DIESEL ENTERPRISES LLC 125 S CHESTNUT ST Colorado Springs, CO, 80905 35 SR LAND LLC AND CHALLENGER COMMUNITIES LLC 20 BOULDER CRESCENT ST STE 102 | Colorado Springs, CO, 80903 SCALE: 1" = 100' allowed under district service plan. Is a driveway

serving 3 residences only?







TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER PUD PRELIMINARY PLAN

LANDSCAPE NOTES

- 1. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- 2. SOIL AMENDMENT INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS. FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

NITROGEN 0 LBS/1000SF PHOSPHORUS (P205) 0 LBS/1000SF POTASSIUM (K20) 0 LBS/1000SF SULFUR (SO4-S) 0 LBS/1000SF 0 LBS/1000SF

RECOMMENDED SOIL AMENDMENT: TRI-MIX III as supplied by C&C Sand -To be applied as backfill in planting pits

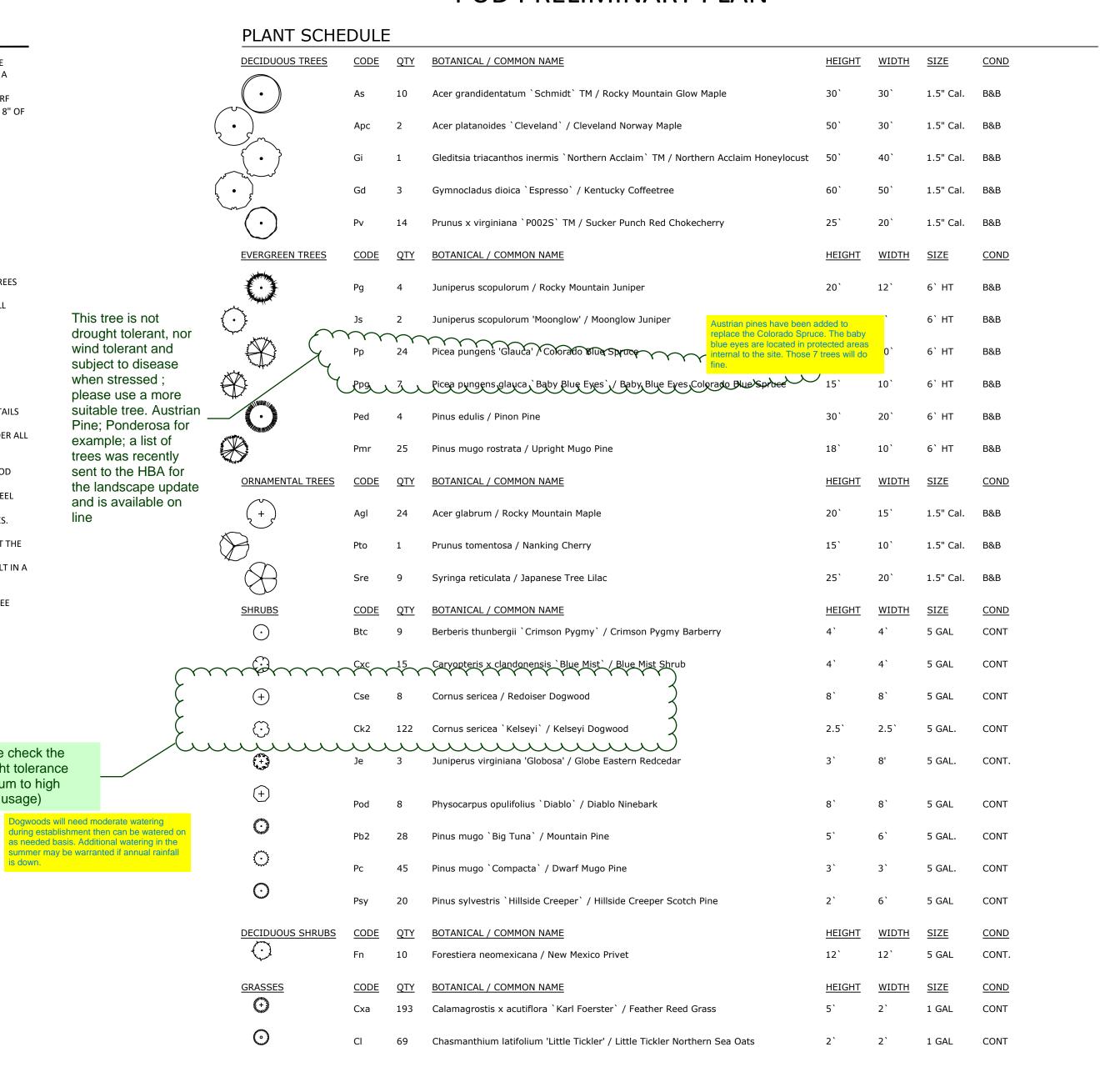
- 3. CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES. 4. FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- 5. ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- 6. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- 7. SOD TO BE TALL FESCUE BLEND.
- 8. NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- 9. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- 10. FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- 11. NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS. 12. ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS
- FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- 13. COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- 14. ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- 15. ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- 16. SE: SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, DARK GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- 17. PSE: PERFORATED STEEL EDGING TO BE: ACME (14 GA. x 4" WIDE) GALVANIZED STEEL EDGING, WITH ROLLED EDGE AND GALVANIZED STEEL STAKES. COLOR TO BE DARK GREEN. USE PERFORATED STEEL EDGING AT BREEZE GRAVEL TRAILS ONLY. SEE PLAN FOR TRAIL LOCATIONS.
- 18. ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION. 19. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A
- DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 20. THESE PLANS ARE FOR COUNTY APPROVALS ONLY ma AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- 21. ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.

please check the

(medium to high water usage)

This tree is not

when stressed;



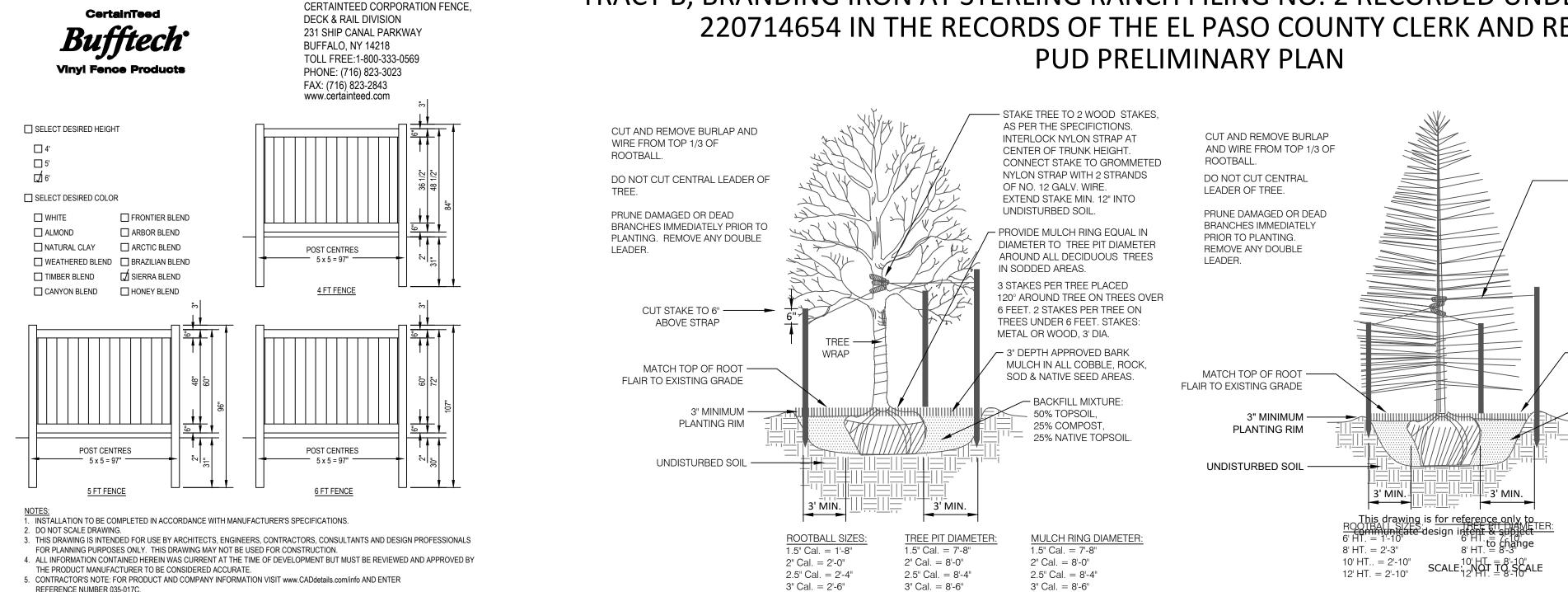


	N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012. All Rights Reserved.
	IN ASSOCIATION WITH
	STERLING RANCH FILING 5 PUD Preliminary Plan DATE: 08/25/23 A.BARLOW PREPARED BY: A. LANGHANS
	MATERIANS A. LANGHANS
_	ISSUE INFO
	PUD PRELIMINARY PLAN
_	LANDSCAPE NOTES 6 6 6 9 9 9 11 11 11 11 11

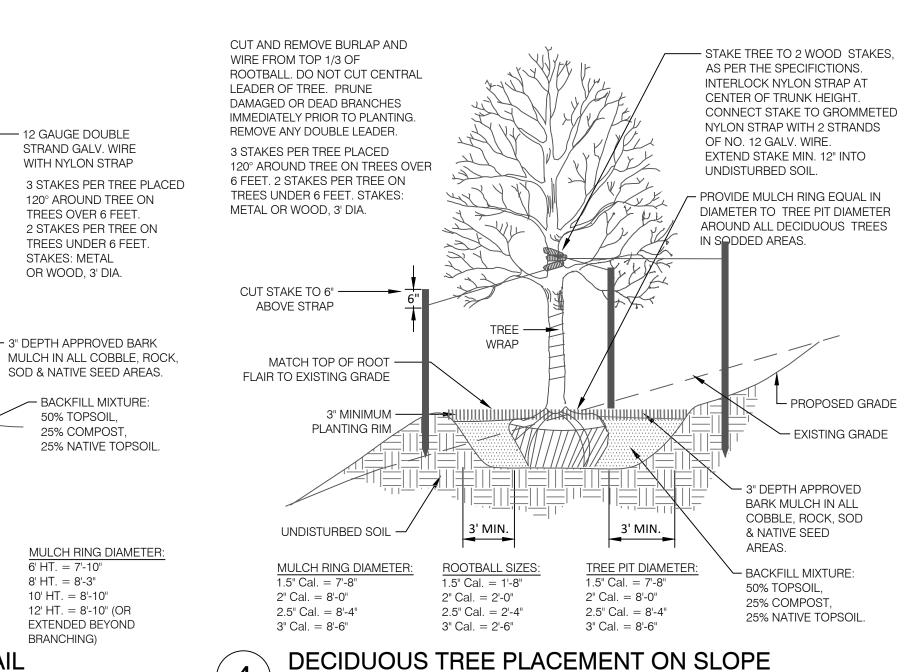
TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER PUD PRELIMINARY PLAN

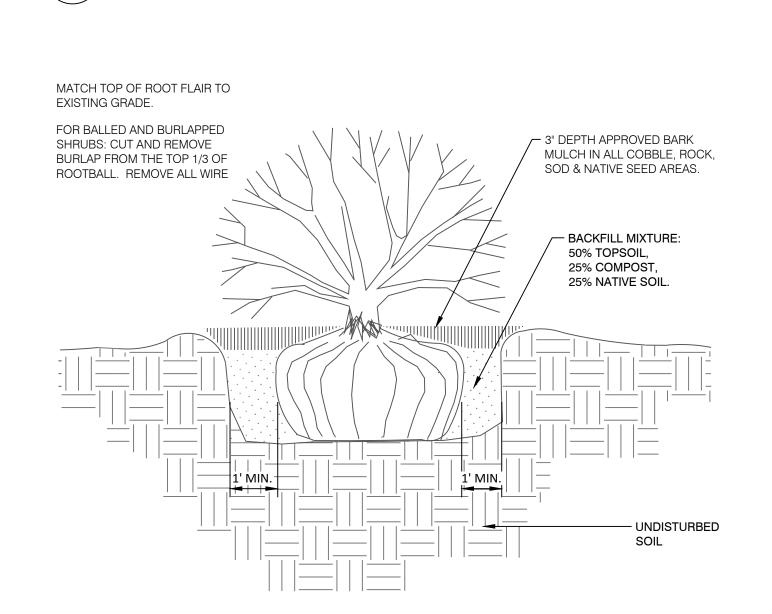
329343-01

329343-06

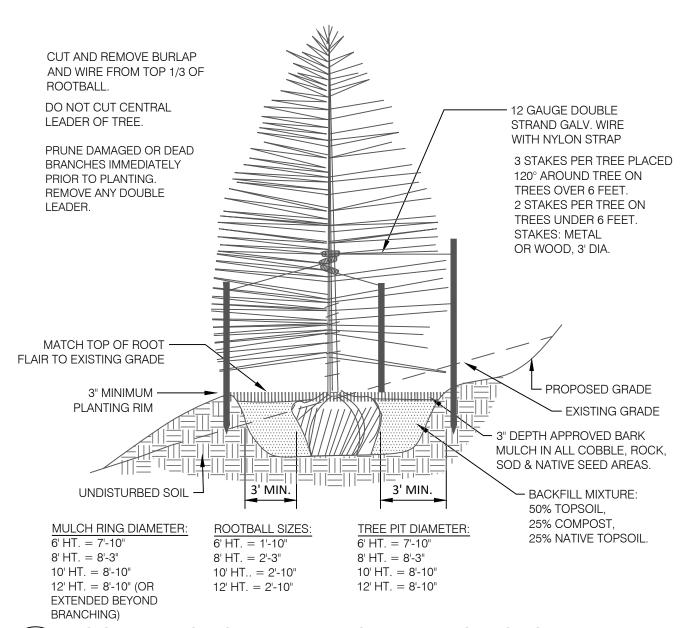


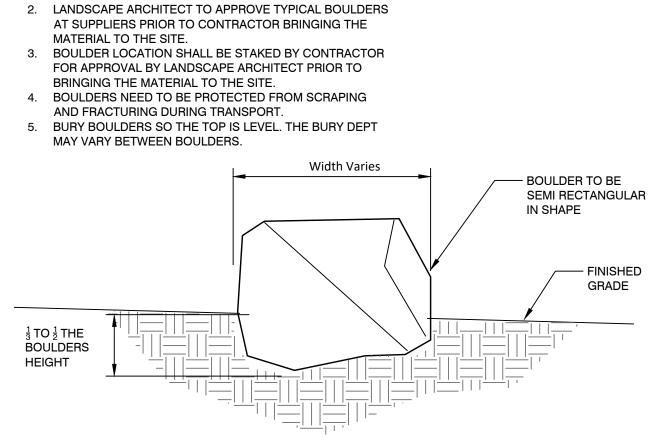
DECIDUOUS TREE PLANTING DETAIL





6' VINYL FENCE





CONIFEROUS TREE PLANTING DETAIL

BOULDERS TO BE SILOAM STONE.

- 12 GAUGE DOUBLE

STRAND GALV. WIRE

WITH NYLON STRAP

TREES OVER 6 FEET.

STAKES: METAL

OR WOOD, 3' DIA.

50% TOPSOIL,

8' HT. = 8'-3"

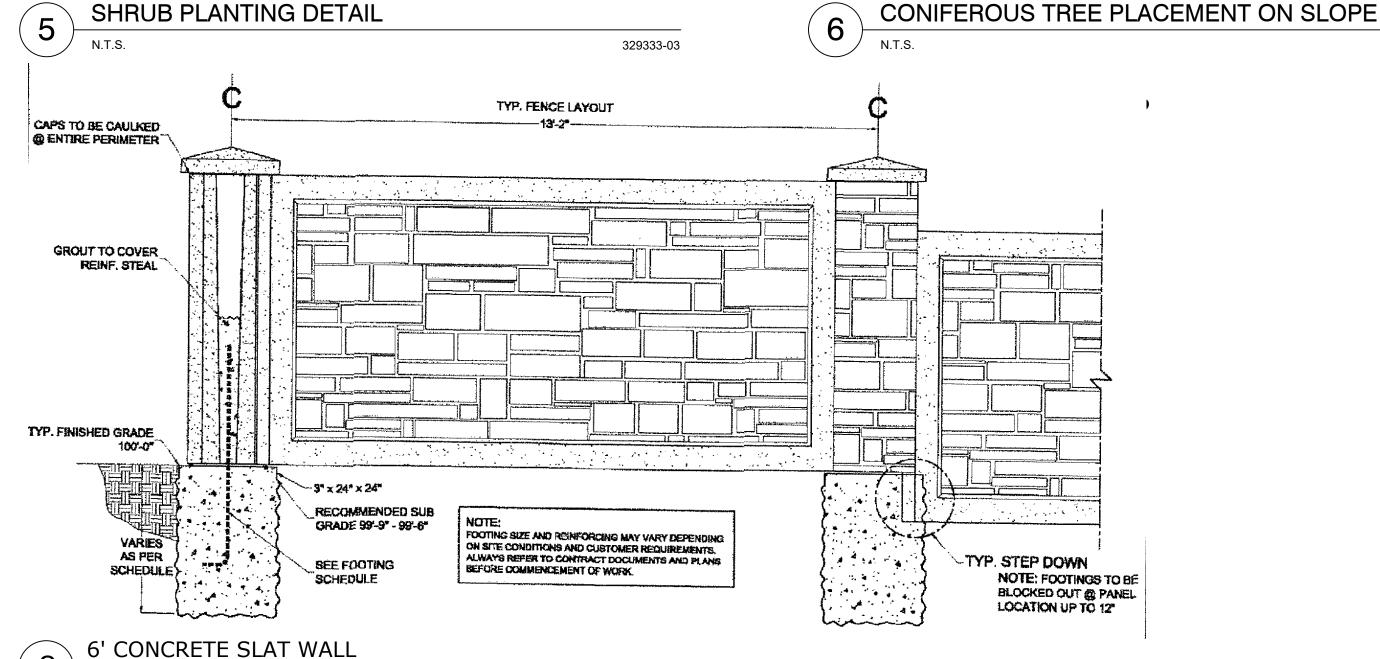
10' HT. = 8'-10"

12' HT. = 8'-10" (OR

EXTENDED BEYOND

329343-02

25% COMPOST,



LANDSCAPE BOULDER 3294-08 **STERLING RANCH** FILING 5

329343-05

619 N. Cascade Avenue, Suite 200

Colorado Springs, CO 80903

Tel. 719.471.0073

Fax 719.471.0267

www.nescolorado.com

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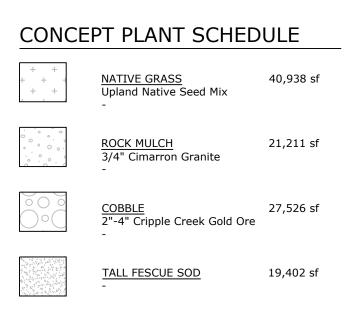
PUD Preliminary Plan

DATE: 08/25/23 PROJECT MGR: A.BARLOW PREPARED BY: A. LANGHANS

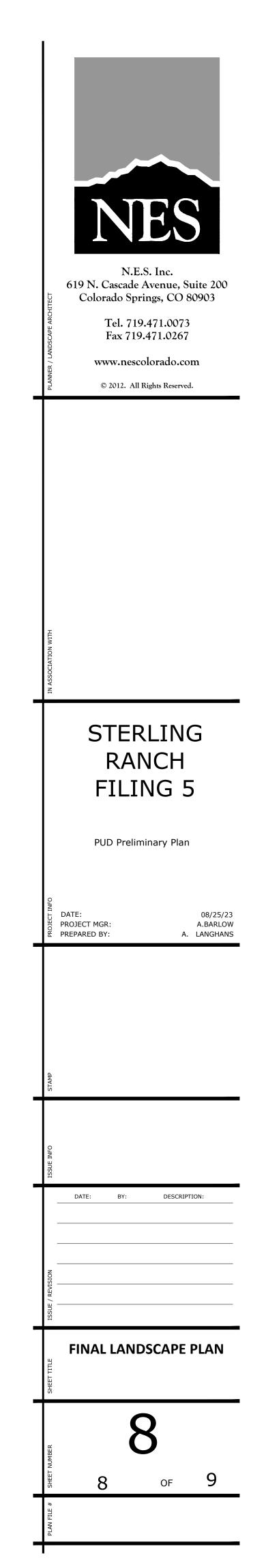
PUD PRELIMINARY PLAN LANDSCAPE DETAILS

TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER PUD PRELIMINARY PLAN

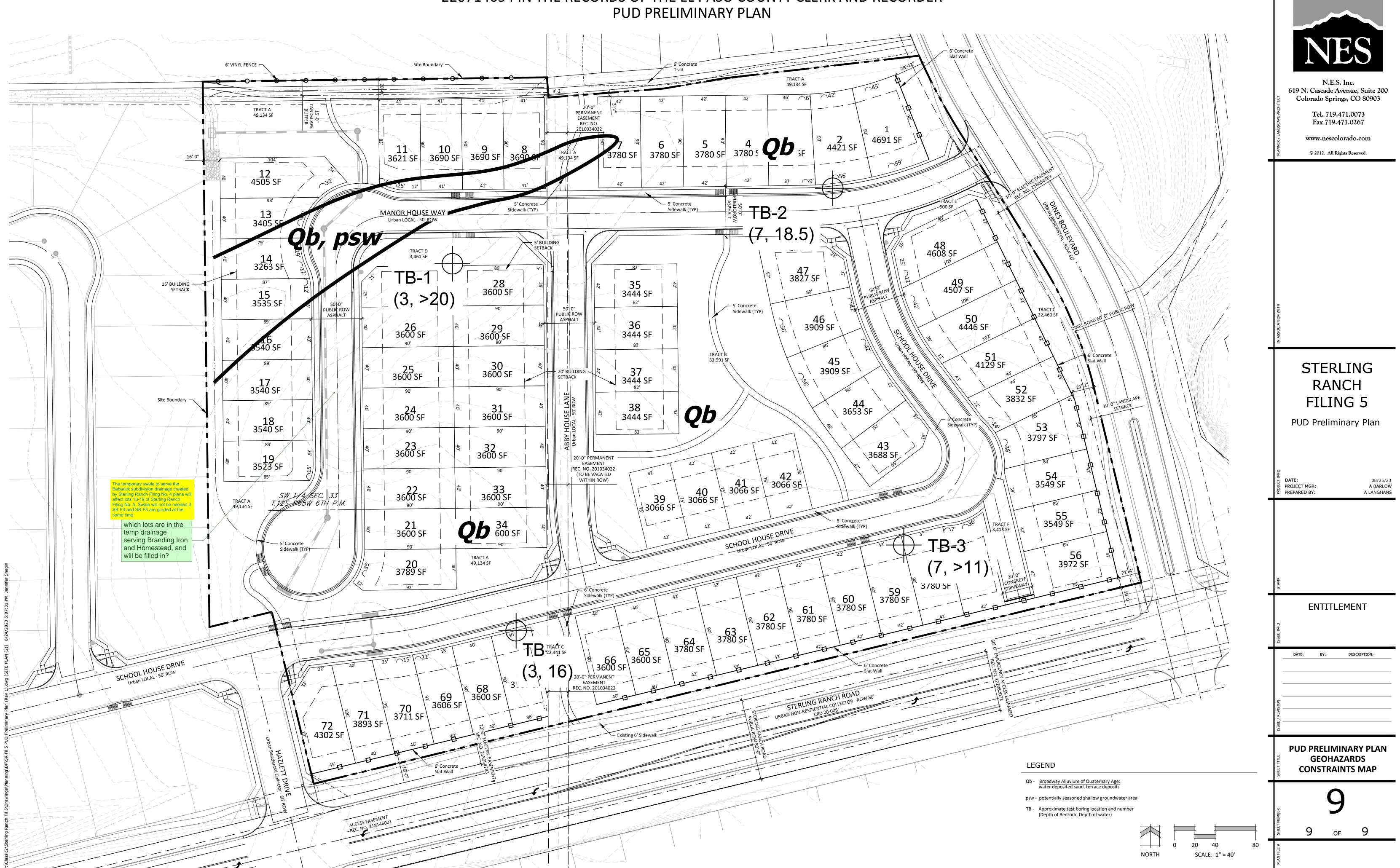


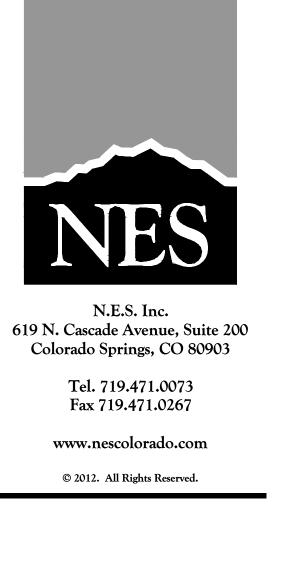


SCALE: 1" = 50'



TRACT B, BRANDING IRON AT STERLING RANCH FILING NO. 2 RECORDED UNDER RECEPTION NO. 220714654 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER





V1_PUDSP comments.pdf Markup Summary

CDurham (13)

Subject: Callout

Page Label: [1] COUNTY_COVER

Author: CDurham

Date: 10/2/2023 8:43:35 AM

Status: Color: Layer: Space:

Ensure note lists all items noted in Geology Report and matches with Letter of Intent



Subject: Callout

Page Label: [1] COUNTY_COVER

Author: CDurham

Date: 10/2/2023 8:44:06 AM

Status: Color: Layer: Space:

Update numbering



Subject: Text Box

Page Label: [1] COUNTY_COVER

Author: CDurham

Date: 10/2/2023 8:46:25 AM

Status: Color: Layer: Space:

Notes to Include:

-No direct lot access to Sterling Ranch Road and

Dines Boulevard.

-All private shared drives shall be owned & maintained by Sterling Ranch Metropo District. -Shared access easement providing access to 3 lots to remain clear of any obstructions or parked

vehicles.

-Sterling Ranch Metro District to maintain site

retaining walls.



Subject: Callout

Page Label: [1] SITE PLAN

Author: CDurham

Date: 10/2/2023 8:48:36 AM

Status: Color: Layer: Space:

Min lot width 40'



Subject: Callout

Page Label: [1] SITE PLAN

Author: CDurham

Date: 10/2/2023 8:49:19 AM

Status: Color: Layer: Space:

Min lot width 40'



Subject: Callout

Page Label: [1] SITE PLAN

Author: CDurham

Date: 10/2/2023 2:15:00 PM

Status: Color: Layer: Space:

Show sight distance for this intersection due to the



Subject: Callout

Page Label: [1] SITE PLAN

Author: CDurham **Date:** 10/2/2023 2:19:03 PM

Status: Color: Layer: Space: Move ramp to line with trail and other ramp



Subject: Callout

Page Label: [1] SITE PLAN

Author: CDurham **Date:** 10/2/2023 2:22:20 PM

Status: Color: Layer: Space: End of driveway is very close to wall. Consider shortening driveway to provide buffer between

driveway and wall.



Subject: Text Box Page Label: [1] GR01

Author: CDurham Date: 10/2/2023 8:49:56 AM

Status: Color: Layer: Space: Include Street Names



Subject: Callout Page Label: [1] GR01 Author: CDurham

Date: 10/2/2023 8:50:20 AM

Status: Color: Layer: Space: Indicate these areas on plan



Subject: Callout Page Label: [1] GR01 Author: CDurham

Date: 10/2/2023 8:50:31 AM

Status: Color: Layer: Space: Label areas on plan

Label all easements

Subject: Text Box Page Label: [1] UT01 Author: CDurham

Date: 10/2/2023 8:53:35 AM

Status: Color: Layer: Space: Label all easements

Include service lines

Subject: Text Box Page Label: [1] UT01 Author: CDurham

Date: 10/2/2023 8:54:06 AM

Status: Color: Layer: Space: Include service lines

dsdparsons (55)



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons **Date:** 10/2/2023 12:10:12 PM

Status: Color: ■ Layer: Space: Please get the heading form the surveyor it must include the township range section, not the reception number.

Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons **Date:** 10/2/2023 12:10:54 PM

Status: Color: Layer: Space: move here or under here



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons **Date:** 10/2/2023 12:13:08 PM

Status: Color: Layer: Space: please review sub summary sheet and make sure numbers are matching



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons
Date: 10/2/2023 12:53:36 PM

Status: Color: ■ Layer: Space: identify lots that have the ground water and the lots to be filled in and identify what lots will require the "high foundation, floating foundation or no

basements"



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 12:54:35 PM

Status: Color: ■ Layer: Space: identify who will install and maintain under drains...

was a South Beach Trail, "The presention of a first Connected," but you was the present of the p

Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons Date: 10/2/2023 1:38:15 PM

Status:
Color: Layer:
Space:

corner lots typically have 2 frontages; the code allows for the lot side that does not have access to road to have a larger setback to ensure sight visibility..and eliminate two front setbacks- please

address.

please idedify
setbacked for attached
units and then
setbacked for datached
units and then
setbacked five detached
units so fight counter
staff has judiciarity.

B. Sign. Samphath be permitted as leastify entryways
a residuant hauged fight ext. Sign size shall be measured I
contribute to off-measurem size.

Contributes to off-measurem size.

Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 12:57:34 PM

Status: Color: ■ Layer: Space: please identify setbacks for attached units and then setbacks for detached units so front counter

staff has clarity.



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons **Date:** 10/2/2023 1:08:26 PM

Status: Color: ■ Layer: Space: detached unit side setback: 5'?



Subject: Arrow

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:08:18 PM

Status: Color: ■ Layer: Space:



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons Date: 10/2/2023 1:11:40 PM

Status: Color: ■ Layer: Space: is this realistic on small lots? Max building coverage of 40 % is very low thats 1226 sf first floor w garage principle house...did you want to up

it to 65% so a product can fit...?



Subject: Arrow

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:10:03 PM

Status: Color: ■ Layer: Space:

Subject: Planner 1. N Page Label: [1] COUNTY_COVER 2. **N** Author: dsdparsons Date: 10/2/2023 1:11:54 PM 3. Status: Color: Layer: Space: Subject: Cloud Page Label: [1] COUNTY_COVER Author: dsdparsons Date: 10/2/2023 1:12:01 PM Status: Color: Layer: Space: Subject: Image Page Label: [1] COUNTY_COVER Author: dsdparsons Date: 10/2/2023 1:13:25 PM Status: Color: Layer: Space: Subject: Planner sample from Copper Chase detached product Page Label: [1] COUNTY_COVER Author: dsdparsons Date: 10/2/2023 1:13:42 PM Status: Color: Layer: Space: Subject: Image Page Label: [1] COUNTY_COVER Author: dsdparsons Date: 10/2/2023 1:14:47 PM Status: Color: Layer: Space: Subject: Planner sample easement note Page Label: [1] COUNTY_COVER Author: dsdparsons Date: 10/2/2023 1:15:02 PM Status: Color: Layer: Space:



Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:26:18 PM

Status: Color: ■ Layer: Space: see example



Subject: Cloud

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:26:47 PM **Status:**

Status: Color: Layer: Space:



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 2:11:46 PM

Status: Color: ■ Layer: Space: this may change depending on Districts ability to own and maintain a driveway serving 3 private lots- may need to be private road or private drive/ emergency access? Please let staff know if thats allowable under service plan.... Foursquare used

an easement on lots for shared drive



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:29:20 PM

Status: Color: Layer: Space: put lot size in development standards



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons
Date: 10/2/2023 1:29:08 PM

Status: Color: Layer: Space:



Subject: Text Box

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 1:37:52 PM

Status: Color: ■ Layer: Space: Are the accessory uses the same for detached and attached units?



Page Label: [1] COUNTY_COVER

Author: dsdparsons Date: 10/2/2023 1:52:06 PM

Status: Color: ■ Layer: Space: which lots? its not all of them



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons Date: 10/2/2023 2:01:02 PM

Status: Color: Layer: Space: who is installing the concrete wall, & vinyl fence and who is maintaining?



Subject: Planner

Page Label: [1] COUNTY_COVER

Author: dsdparsons

Date: 10/2/2023 2:02:31 PM

Status: Color: ■ Layer: Space: delete this some lots are under 40



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons

Date: 10/2/2023 12:58:48 PM

Status: Color: ■ Layer: Space: what is the black heavy dashed line representing?

is that fencing?



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons **Date:** 10/2/2023 1:39:32 PM

Status: Color: ■ Layer: Space: The front will be taken off where the access is. where is the front access?



Subject: Cloud

Page Label: [1] TRACT PLAN

Author: dsdparsons

Date: 10/2/2023 1:39:57 PM

Status: Color: E Layer: Space:



Subject: Cloud

Page Label: [1] TRACT PLAN

Author: dsdparsons Date: 10/2/2023 1:40:09 PM

Status: Color: Layer: Space:



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons Date: 10/2/2023 1:42:15 PM

Status: Color: Layer: Space:

side yard set backs on streets must met clear zone- please add setback label (5-feet?)



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons

Date: 10/2/2023 1:42:38 PM

Status: Color: Layer: Space:





Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons

Date: 10/2/2023 1:42:48 PM

Status: Color: Layer: Space:

label



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons Date: 10/2/2023 1:44:36 PM

Status: Color: Layer: Space:

it may be more clear to show the attached lots and the setbacks. Are these two attached units or are they 5 attached units?



Subject: Planner

Page Label: [1] TRACT PLAN

Author: dsdparsons

Date: 10/2/2023 2:11:08 PM

Status: Color: Layer: Space:

_. Is the district paying for a private driveway? Should also be emergency access? Private road or emergency access is allowed under district service plan. Is a driveway

serving 3 residences only?



Page Label: [1] TRACT PLAN

Author: dsdparsons Date: 10/2/2023 2:29:30 PM

Status: Color: ■ Layer: Space: should you put a concrete wall to detract from the trash transfer station adjacent? AL2310



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:01:12 PM

Status: Color: Layer: Space: i dont believe a waiver of frontage is needed for these corner lots they do have more than 30 feet of frontage



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:02:40 PM

Status: Color: Layer: Space: public right of way- label



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:03:46 PM

Status: Color: ■ Layer: Space: centerline data required



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:04:51 PM

Status: Color: ■ Layer: Space: per checklist please verify distance is provided on all lots and tracts.

Space

Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:46:04 PM **Status:**

Color: Layer: Space:

Adjacent zoning, plat info



Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:59:00 PM

Status: Color: ■ Layer: Space: please clarify in notes specifically which lots can use tract F so there are not code enforcement cases with other lot owners using Tract F



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 1:58:28 PM

Status: Color: ■ Layer: Space: Does this lot meet clear zone for this classification of intersection?



Subject: Image

Page Label: [1] SITE PLAN Author: dsdparsons Date: 10/2/2023 2:03:28 PM

Status: Color: Layer: Space:



Subject: Planner

Page Label: [1] SITE PLAN

Author: dsdparsons

Date: 10/2/2023 2:04:27 PM

Status: Color: ■ Layer: Space: Does the wall meet sight distance?



Subject: Arrow

Page Label: [1] SITE PLAN Author: dsdparsons Date: 10/2/2023 2:04:20 PM

Status: Color: Layer: Space:



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 2:31:08 PM

Status: Color: ■ Layer: Space: I3 Zone

Trash Transfer Facility Barbaric Subdivision



Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 2:34:05 PM

Status: Color: ■ Layer: Space: should you put a concrete wall to detract from the trash transfer station adjacent? AL2310; Possible,

Noise, odor, visual impacts



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 2:35:08 PM

Status: Color: ■ Layer: Space: you need the industrial notice for these lots.



Subject: Industrial

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 2:34:55 PM

Status: Color: ■ Layer: Space: Where the Property is Adjacent to an Industrial Area:

NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof. (Use when residential is adjacent to industrial)



Subject: Planner

Page Label: [1] SITE PLAN Author: dsdparsons

Date: 10/2/2023 2:37:25 PM

Status: Color: Layer: Space: what about a flag lot w / access easement?



Subject: Planner

Page Label: [1] COUNTY_LS (2)

Author: dsdparsons Date: 10/2/2023 3:22:08 PM

Status: Color: ■ Layer: Space: This tree is not drought tolerant, nor wind tolerant and subject to disease when stressed; please use a more suitable tree. Austrian Pine; Ponderosa for example; a list of trees was recently sent to the HBA for the landscape update and is available on

line



Subject: Planner

Page Label: [1] COUNTY_LS (2)

Author: dsdparsons **Date:** 10/2/2023 3:24:42 PM

Status: Color: ■ Layer: Space: please check the drought tolerance (medium to high water usage)



Page Label: [1] LS PLAN Author: dsdparsons

Date: 10/2/2023 2:08:50 PM

Status: Color: Layer: Space:

should this be part of a lot and than easements like Foursquare? Does it need to extend this far?



Subject: Planner

Page Label: [1] SITE PLAN (2) Author: dsdparsons

Date: 10/2/2023 2:05:23 PM

Status: Color: Layer: Space:

which lots are in the temp drainage serving Branding Iron and Homestead, and will be filled in?