

FOUNDATION LUTHERAN CHURCH

TOWNERS AVENUE, FALCON, COLORADO



GENERAL NOTES

FLOODPLAIN STATEMENT:

THIS PROPERTY IS NOT LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA "X" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS-MAP NUMBER 08041C0276 G EFFECTIVE DECEMBER 7, 2018.

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



PROJECT TEAM

CLIENT:
Foundation Lutheran Church
10387 Mount Evans Drive
Peyton, Colorado, 80831
Contact: Pastor Steven Prahl
pastor@foundationlutheran.com
719-396-1058

CLIENT REPRESENTATIVE / GENERAL CONTRACTOR:
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5410 Powers Center Point, Ste. 210
Colorado Springs, CO
Contact: Dale Beggs
dbeggs@cocommercial.net
719-264-6955

ARCHITECT:
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19375 Beacon Lite Road
Monument, CO 80132
Contact: Keith Moore
KMoore@rmg-engineers.com
719-548-0600

MEP ENGINEER:
McShea Consulting, LLC
4445 Northpark Dr., Ste. 200
Colorado Springs, CO 80907
Contact: Michael McShea
mike@mcsheaconsulting.com
719-358-8208

LANDSCAPE ARCHITECT:
JWLA, LLC
PO BOX 354
Palmer Lake, CO 80133
Jon Walsh
jwlandarch@gmail.com
719-640-9428

PROJECT INFORMATION

SITE AREA: 5.97 AC (258,746 S.F.)
DEVELOPMENT NAME: FOUNDATION LUTHERAN CHURCH (WORSHIP)
DESCRIPTION: CHURCH
TAX SCHEDULE NO: 5225208001
LEGAL DESCRIPTION: TR C PAINT BRUSH HILLS FILING NO. 13 A
PROPERTY ADDRESS: TOWNERS AVE
COLORADO SPRINGS, COLORADO 80831
EXISTING ZONING: CR (NO CHANGE)

BUILDING SETBACKS:
FRONT 50'-0"
SIDE (STREET) 25'-0"
SIDE (INTERIOR LOT LINE) 25'-0"
REAR (NEXT TO RR ZONE) 25'-0"

LANDSCAPE SETBACKS:
FRONT 15'-0"
SIDE (STREET) 10'-0"
SIDE (BUFFER) 15'-0"
REAR (BUFFER) 15'-0"

EXISTING LAND USE: VACANT
PROPOSED LAND USE: OFFICE/ WAREHOUSE
BUILDING HEIGHT: 45' MAX ALLOWED

BUILDING INFO:
GROSS BUILDING AREA 9,730 S.F.

BUILDING OCCUPANCY (NON-SEPARATED USES) B, A-3, E

TYPE OF CONSTRUCTION V-B

FIRE SPRINKLER NO

AREA SEPERATION WALLS NO

LOT DATA & COVERAGE:
LOT COVERAGE: 15.26%
IMPERVIOUS AREA:
BUILDING 9,730 S.F.
PAVED 24,490 S.F.
SIDEWALKS/PAVILLION 5,270 S.F.
TOTAL 39,490 S.F. (15.26% LOT)

PERVIOUS AREA:
LANDSCAPING 236,100 S.F.
TOTAL 236,100 S.F. (84.74% LOT)

PARKING DATA:
ASSEMBLY 1/4 SEATS (250 OCC) = 63 PS REQUIRED
HC ACCESS (51-75) 3 HC SPACES REQ
TOTAL 63 PS REQUIRED

PARKING PROVIDED: 67 TOTAL PS
(INCL 2 HC + 1 VAN)

SIGNAGE:
A SIGNAGE PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY. INCLUDES ALL ON-SITE DIRECTIONAL SIGNS.

PROPOSED DEV. SCHED. FALL/WINTER 2023/2024

SHEET INDEX:	
SHEET NAME:	SHEET NO:
COVER SHEET	DP.01
SITE DEVELOPMENT PLAN	DP.02
EXTERIOR ELEVATIONS	DP.03
EXTERIOR ELEVATIONS	DP.04
CIVIL UTILITY PLAN	C-103
CIVIL SITE DETAILS	C-105
FINAL LANDSCAPE PLAN	L1
FINAL LANDSCAPE DETAILS	L2
SITE PHOTOMETRIC PLAN	SP1
LIGHTING DETAILS	SP2

Add "PCD File No. PPR2321"

Architectural
Structural
Forestry

RMG

Engineers / Architects

SOUTHERN COLORADO
19375 Beacon Lite Rd., Monument, CO 80132
(719) 488-2145 - WWW.RMG-ENGINEERS.COM

SOUTHERN COLORADO, FALCON, METEN, MONUMENT, COLORADO

Colorado Commercial
Construction

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FOUNDATION LUTHERAN CHURCH

TOWNER AVE., FALCON, COLORADO

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DEVELOPMENT PLAN COVER SHEET

DEVELOPMENT PLANS

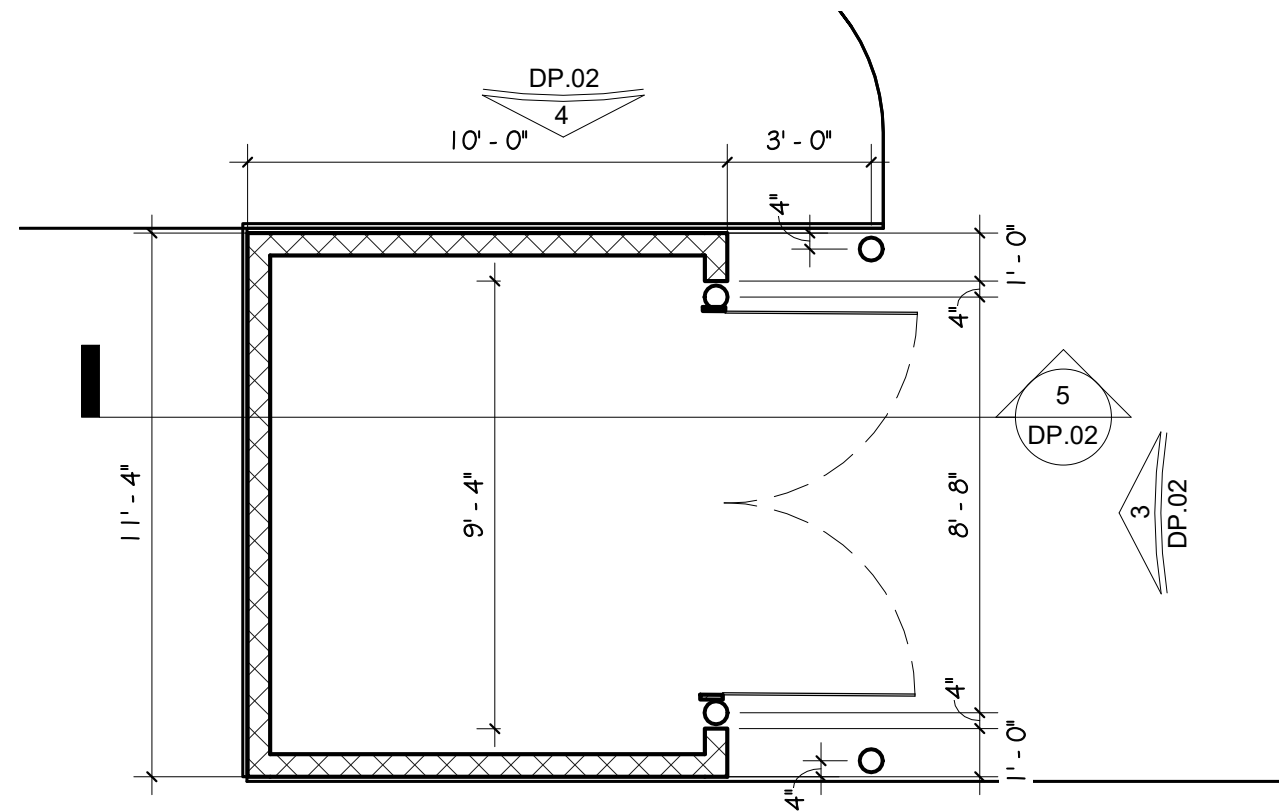
ARCHENG: KEM
DRAWN: JDZ
CHECKED: km

DATE
05.02.23

REVISION DATE

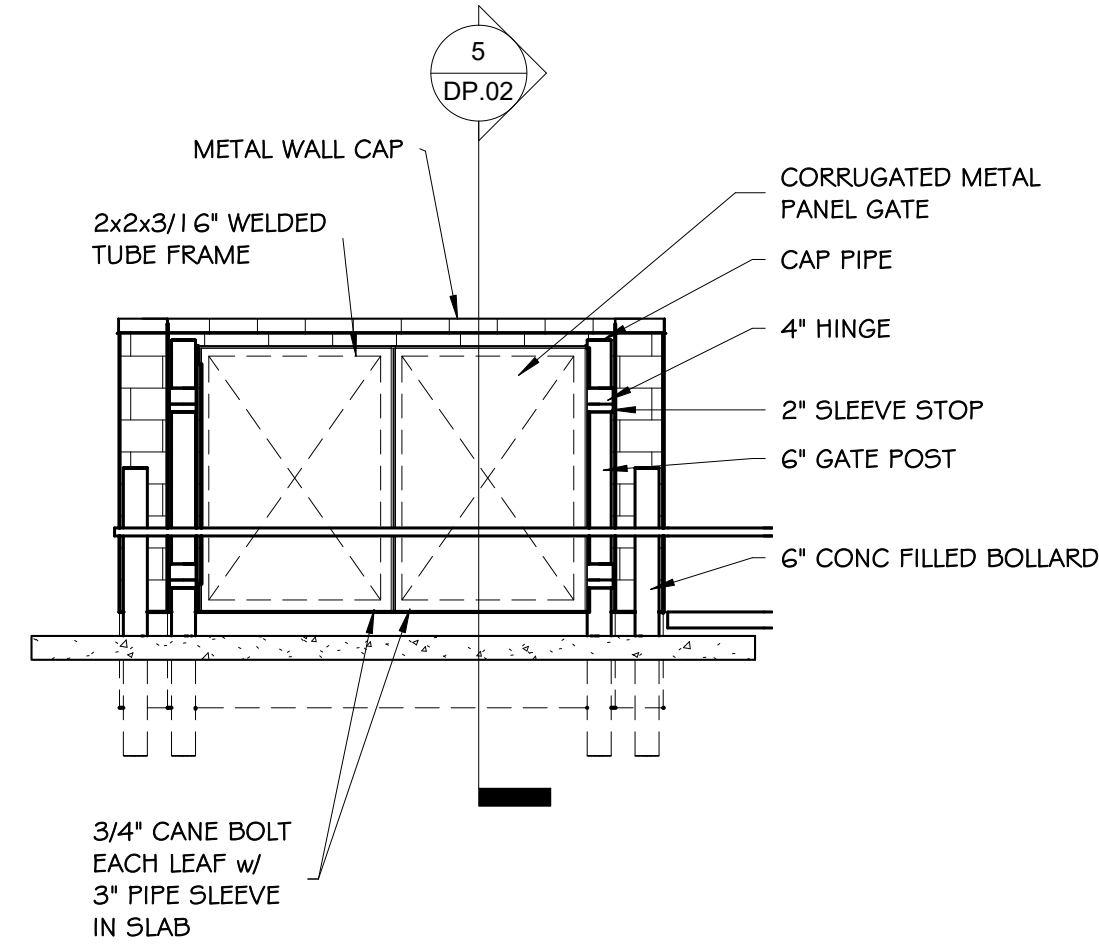
JOB NO.
191726

SHEET NO.
DP.01



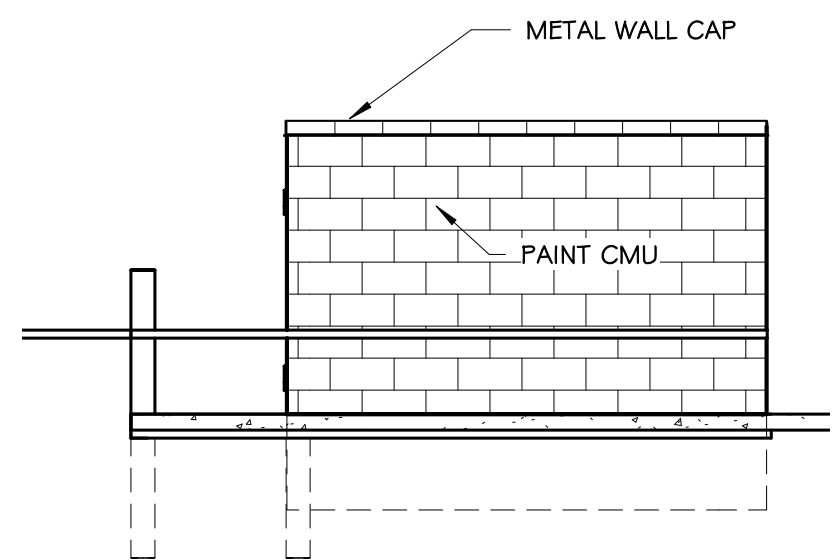
2 ENLARGED PLAN - DUMPSTER ENCLOSURE

DP.02 SCALE: 1/4" = 1'-0"



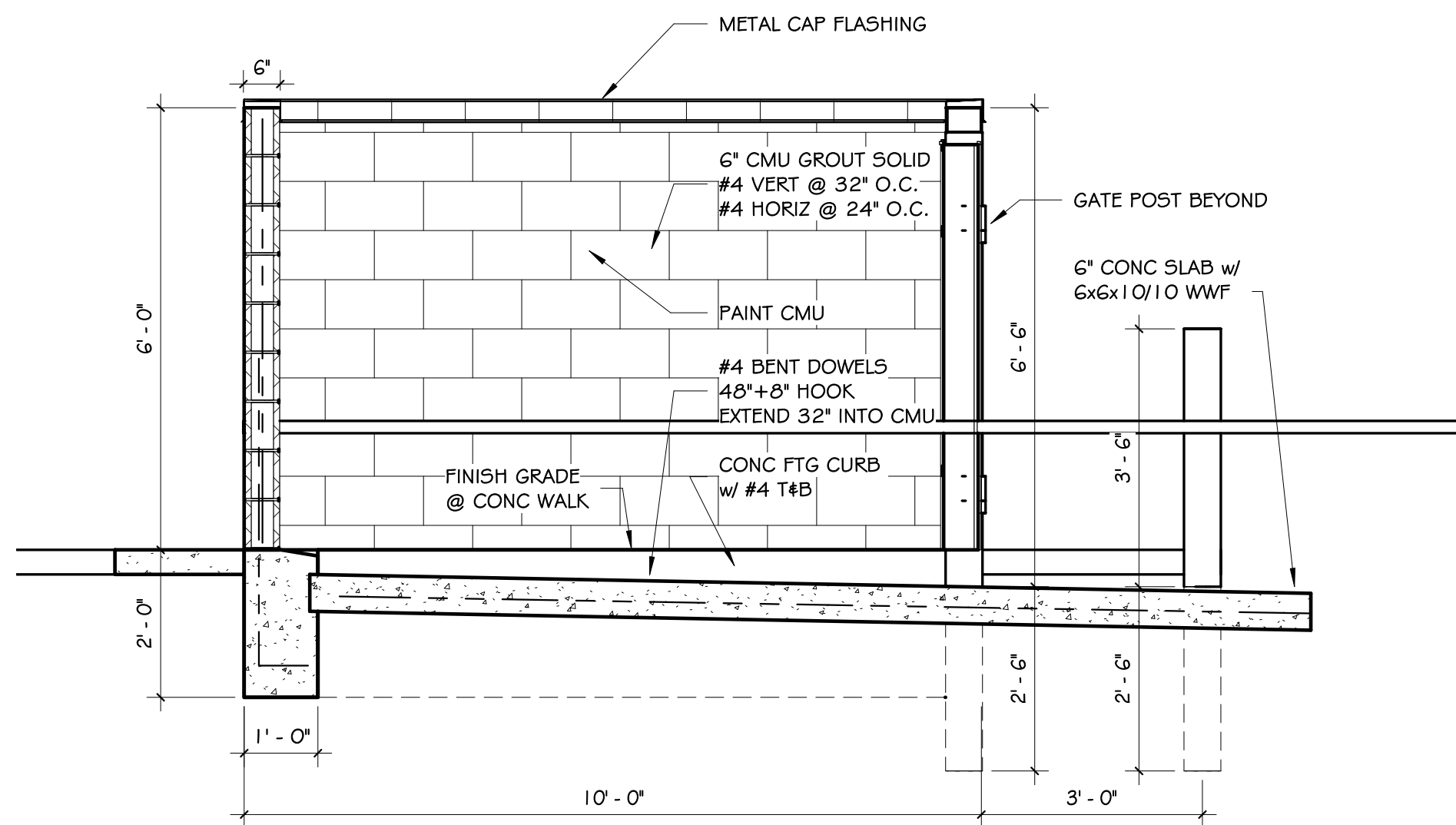
3 DUMPSTER FRONT ELEV

DP.02 SCALE: 1/4" = 1'-0"



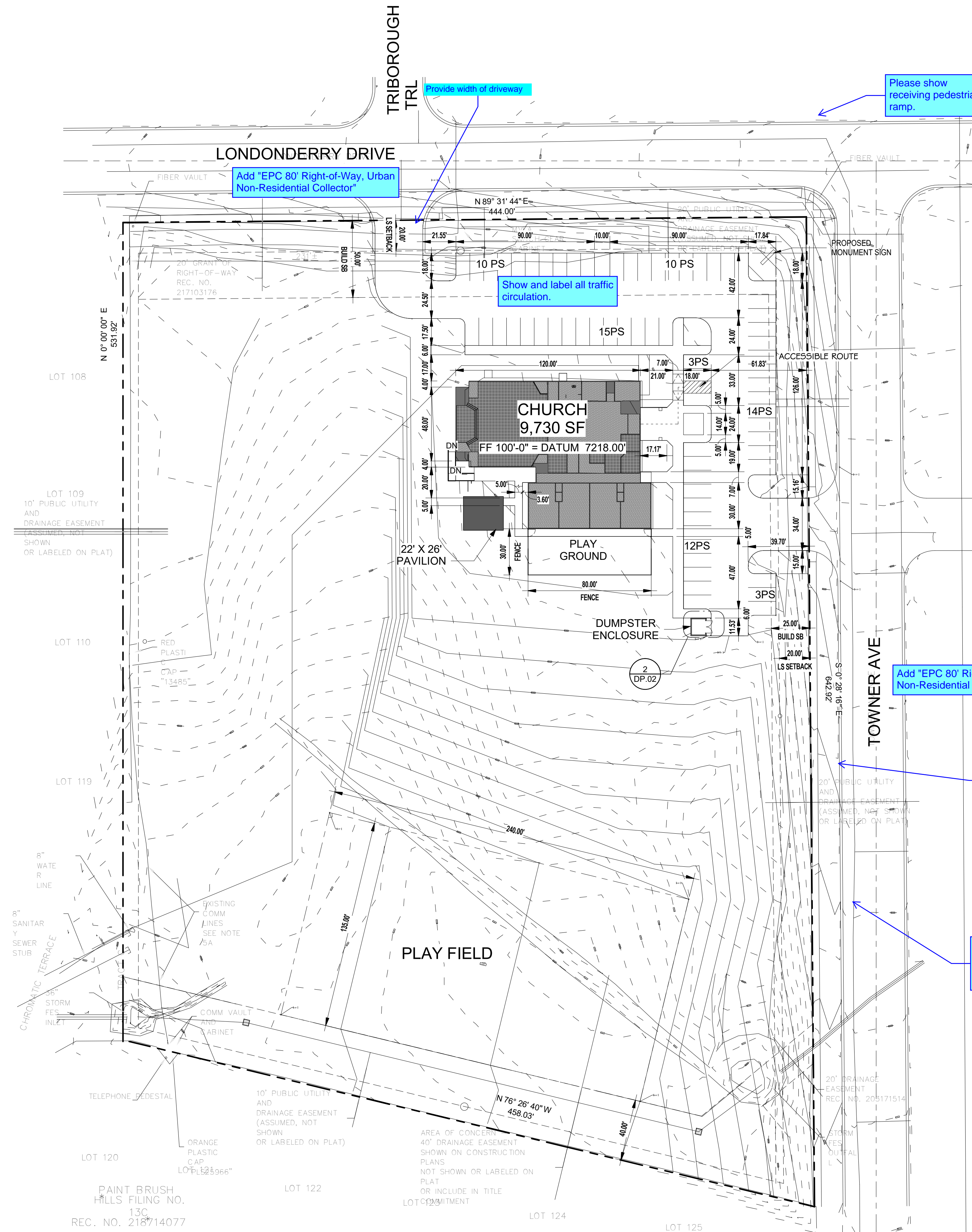
4 DUMPSTER SIDE ELEV

DP.02 SCALE: 1/4" = 1'-0"



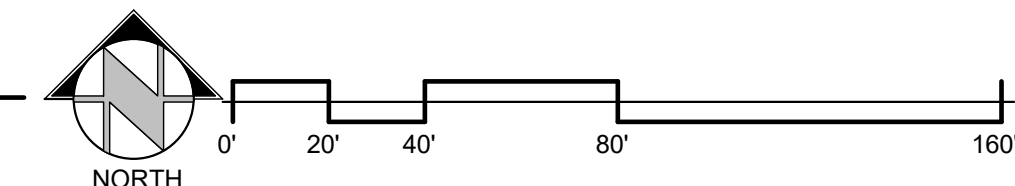
5 DUMPSTER SECTION

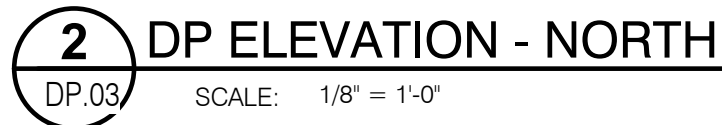
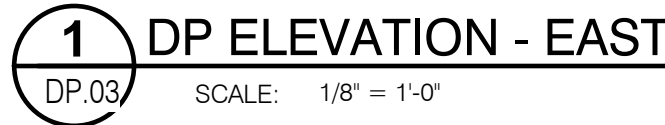
DP.02 SCALE: 1/2" = 1'-0"

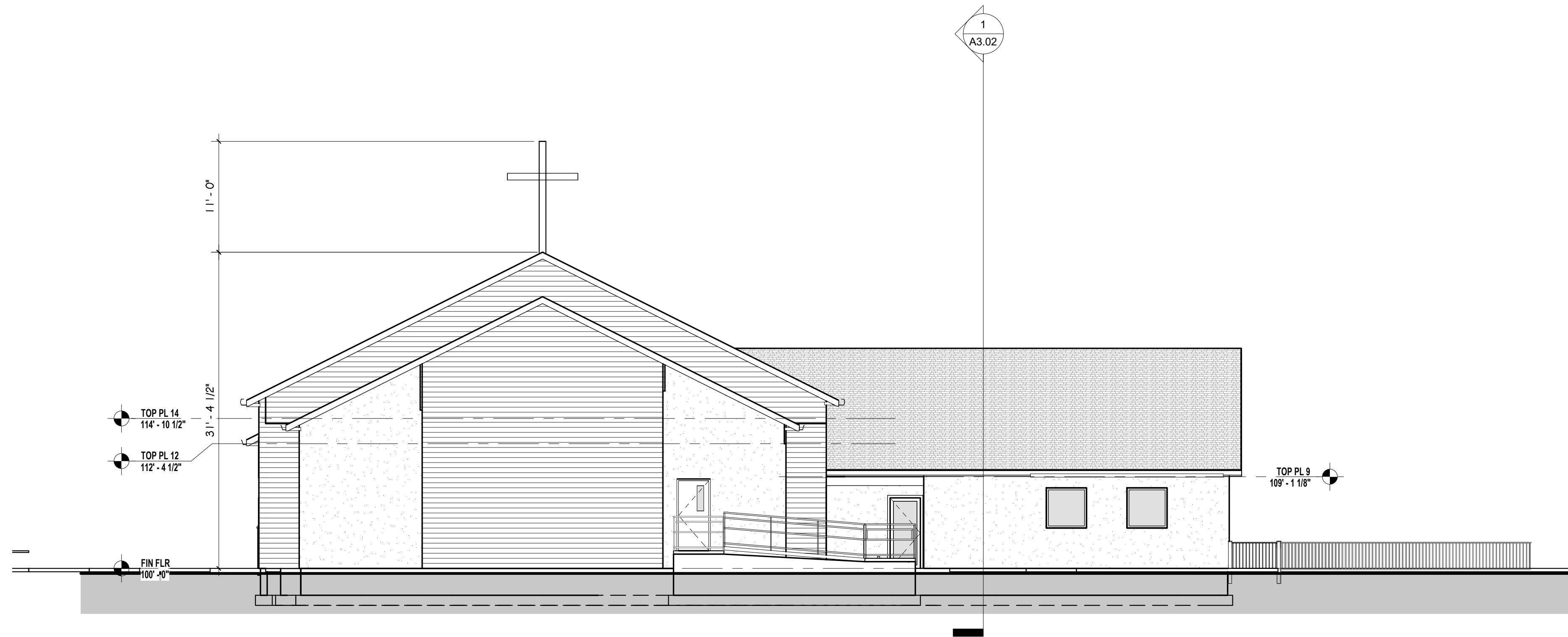


1 ARCHITECTURAL SITE PLAN

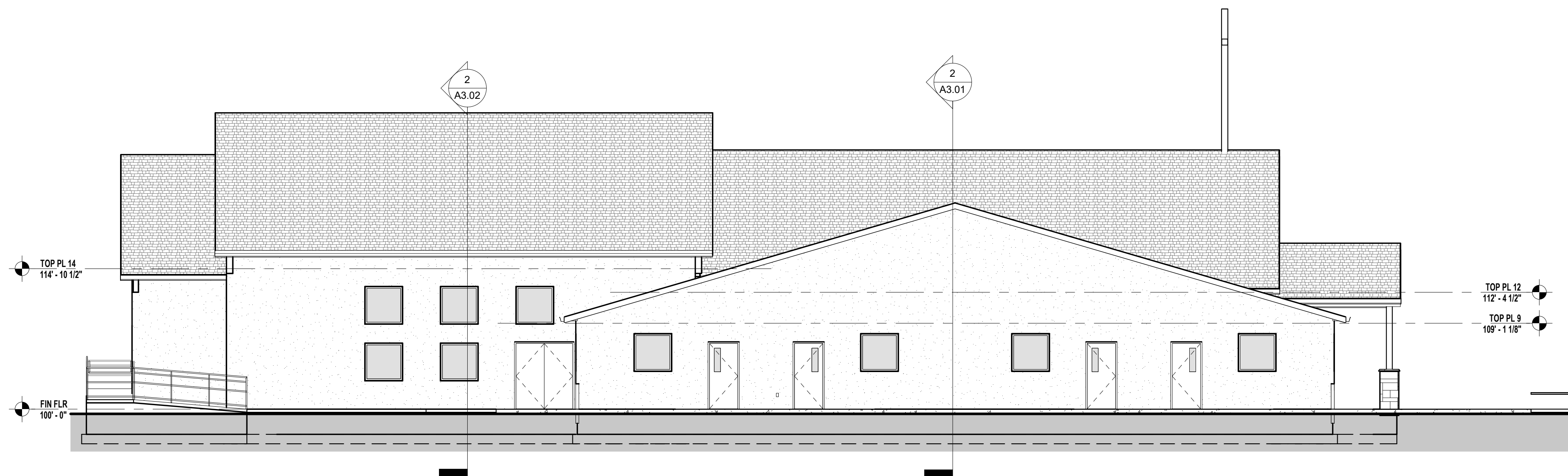
DP.02 SCALE: 1" = 40'-0"







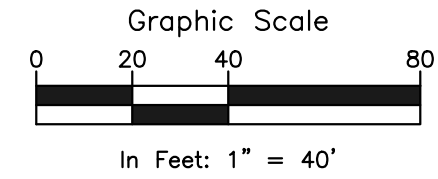
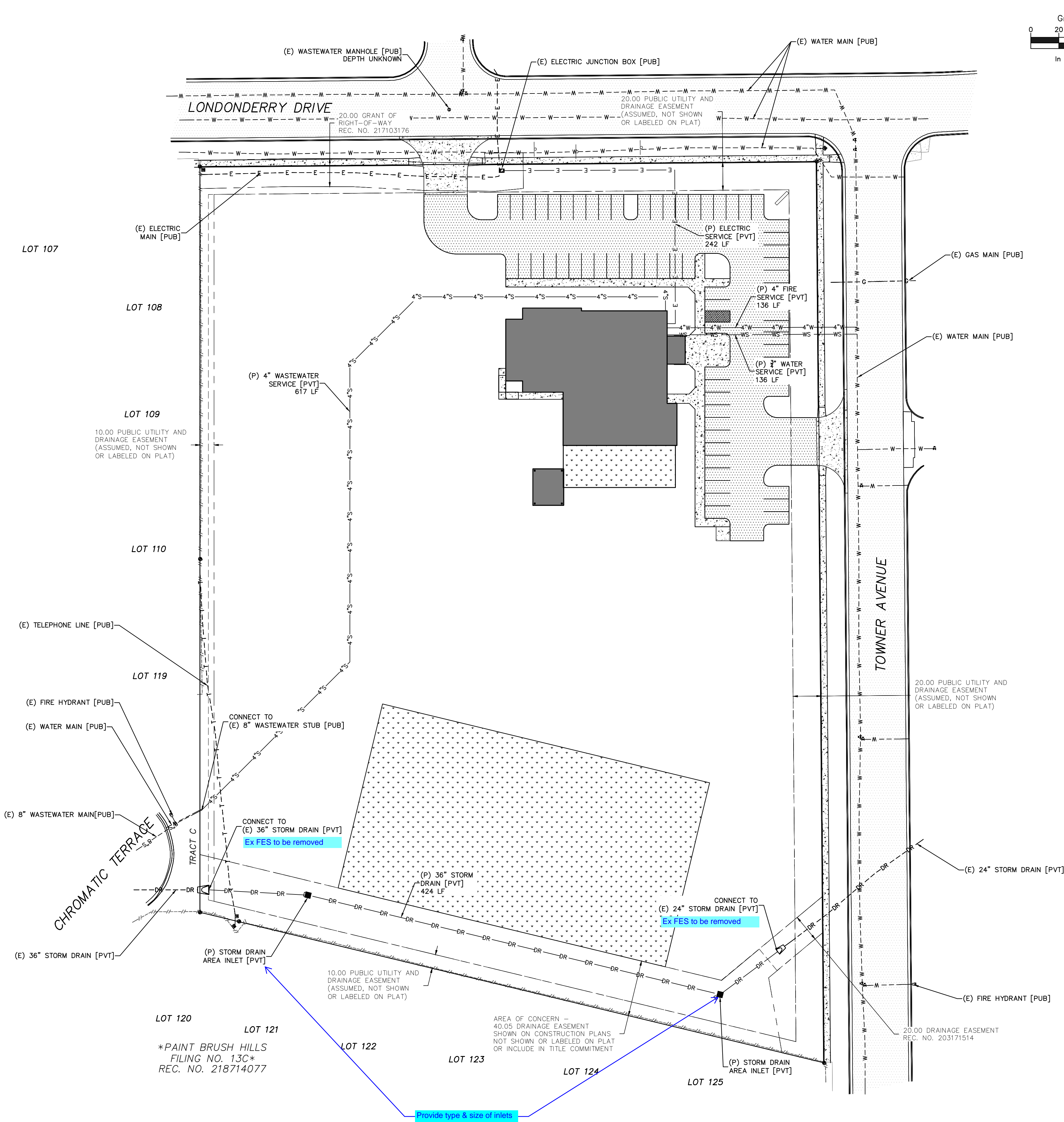
1 DP ELEVATION - WEST
DP.04 SCALE: 1/8" = 1'-0"



2 DP ELEVATION - SOUTH
DP.04 SCALE: 1/8" = 1'-0"

<div>Architectural Standard Forms</div> <div>RMG Engineers / Architects</div> <div>Southern Colorado 19375 Beacon Life Rd. Monument, CO 80132 719.488.2145 - WWW.RMGENGINEERS.COM Southern Colorado, Denver Metro, Northern Colorado</div>	
<div>COLORADO COMMERCIAL CONSTRUCTION</div> <div>1225 ORACLE BLVD. STE. 100 COLORADO SPRINGS, COLORADO 80901 719.261.8855</div>	
FOUNDATION LUTHERAN CHURCH	
TOWNER AVE., FALCON, COLORADO	
Colorado Commercial Construction, Inc.	
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SHEET NAME	SDP ELEVATIONS
ARCHENG:	KEM
DRAWN:	-
CHECKED:	-
DATE	05.02.23
REVISION	DATE
JOB NO.	191726
SHEET NO.	DP.04

LAST SAVED: 3/24/2023 3:44:43 PM PATH: T:\Projects\Site Specific\2022\Colorado Commercial Construction, Inc.-11228\Towers Ave-19729\Civil\Drawings\From RMG\Sheet Set\SDP 191729 Lutheran Church-Utility Plan.dwg



LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
	EXISTING WATER MAIN
	EXISTING WATER MAIN (SIZE)
	EXISTING WATER SERVICE
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING HYDRANT
	EXISTING GAS LINE
	EXISTING CABLE LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING TELEPHONE PEDESTAL
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING ELECTRIC JUNCTION VAULT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED WATER MAIN
	PROPOSED WATER MAIN (SIZE)
	PROPOSED WATER SERVICE
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED WATER SERVICE SHUTOFF
	PROPOSED HYDRANT
	PROPOSED GAS LINE
	PROPOSED CABLE LINE
	PROPOSED TELEPHONE LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	PROPOSED SANITARY SEWER
	PROPOSED STORM DRAIN
	PROPOSED ELECTRIC METER
	PROPOSED GAS METER
	PROPOSED SANITARY CLEANOUT
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED SANITARY MANHOLE

- SURVEY NOTES:**
1. THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NGVD 1929.
 2. THE BASIS OF BEARINGS IS THE WEST LINE OF TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 13A" UNDER RECEPTION NO. 213713413 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00"E A DISTANCE OF 531.92 FEET.



THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE 719-668-4658 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

Marking Testing
Foreman's
Civil / Planning

RMG

Architectural
Structural
Geotechnical

Engineers / Architects

SOUTHERN COLORADO OFFICE
2910 AUSTIN BLUFFS PKWY., SUITE 100, COLORADO SPRINGS, CO 80918
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SOUTHERN COLORADO ENGINEERING, INC. is a subsidiary of RMG.

FOUNDATION LUTHERAN CHURCH
TOWNERS AVE
FALCON, COLORADO

COLORADO COMMERCIAL CONSTRUCTION, INC.

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SHEET NAME
UTILITY PLAN

PROJECT STATUS
SITE DEVELOPMENT PLAN

ENG: DGW
DRAWN: AMH
CHECKED: TPT
DATE
03/28/2023

#	REVISION	DATE

JOB NO.
191726

SHEET NO.
C-103

Both are classified as Non- Arterial Roads
Table 6-1 LDC
Non-Arterial 10 feet Depth of road way landscaping Required Tress 1 per 30 feet / The required depth of the roadway landscape area shall be increased to 15 feet along a non-arterial road or public alley where the road or alley separates a non-residential use from a residential zoning district. The number of required trees shall be increased to 1 per 15 feet of linear frontage. A minimum of 1/2 of the trees shall be evergreen trees.

SITE CATEGORY CALCULATIONS

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req. Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.	Setback Plant Abbr. Denoted on Plan
Londonderry Drive Towner Avenue	Collector Collector	15' / 20' 10' / 20'	444' 693'	1 / 15' 1 / 30'	30 / 30 23 / 23	(LD) (TA)

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
67	5 / 5	(MV)	Londonderry Drive Towner Avenue	180' 153'	120' 101'

Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Reg. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
24 / 24 20 / 20	12 / 15 10 / 10	-	(LS) (TS)	75% / 75% 75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required /Provided	Internal Trees (1/500 SF) Required /Provided
--------------------------------------	-----------------------------------	---------------------------------------	--

79,300 s.f.
(Approx. developed area)

5%

3,965 s.f. / 19,500 s.f.

8 / 4

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req. (1/3) / Provided
West boundary South boundary	15' / 15' 15' / 15'	532' 458'	21 / 0 18 / 0	7 / 0 6 / 0

Length of 6 Ft. Opaque Structure Req. / Prov.





464' / 464' (existing fence)
458' / 458' (existing fence)

75% / 100%
75% / 100%


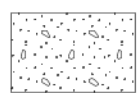


ALTERNATIVE LANDSCAPE PLAN REQUEST

Because the proposed church is over 200' away from the west boundary and over 300' from the south boundary it is requested that the buffer tree requirement along these boundaries be waived. All other landscape requirements are being met.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	ACE HOT	9	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	1" Cal.	B & B	15' to 20'
	CEL OCC	4	Celtis occidentalis	Common Hackberry	1.5" Cal.	B & B	30' to 40'
	CRA VIR	12	Crataegus viridis 'Winter King'	Winter King Hawthorn	1" Cal.	B & B	15' to 20'
	GLE SH2	3	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	1.5" Cal.	B & B	30' to 40'
	MAL SPR	3	Malus x 'Spring Snow'	Spring Snow Crab Apple	1" Cal.	B & B	20' to 25'
	PIC BAB	6	Picea pungens glauca 'Baby Blue Eyes'	Baby Blue Eyes Spruce	6' Ht.	B & B	25' to 30'
	PIN EDU	23	Pinus cembroides edulis	Pinyon Pine	6' Ht.	B & B	15' to 20'
	QUE RUB	1	Quercus rubra	Northern Red Oak	1.5" cal.	B & B	30' to 40'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CAR CLA	12	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal		3' to 4'
	COT RO2	3	Cotinus coggygia 'Royal Purple'	Royal Purple Smoke Tree	5 gal		5' to 8'
	JUN HUG	22	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal		1' to 2'
	JUN BUF	19	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal		1' to 2'
	JUN W13	9	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	5 gal		12' to 15'
	PIN CO2	6	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3' to 5'
	RHU GRO	8	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal		1' to 2'
	ROS GLA	7	Rosa glauca	Redleaf Rose	5 gal		4' to 5'
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CAL KA2	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal		3' to 4'

GROUND PLANE TREATMENT

SYMBOL	DESCRIPTION	QTY
	BLUE GRAY RIVER ROCK, 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	13,873 sf
	CLEAR CREEK GRANITE, 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	17,764 sf
	PLAYGROUND MULCH- 6" DEPTH	1,994 sf
	EXISTING NATIVE GRASS TO REMAIN. ALL DISTURBED NATIVE GRASS AREAS ARE TO BE RE-SEEDDED.	202,469 sf

Unless otherwise approved by the ECM Administrator, the depth of roadway landscaping shall be measured from the property line. Where a roadway easement has been provided, the measurement shall be from the ROW or roadway easement. In reference to the landscaping Located on Londonderry Drive and Towner Ave

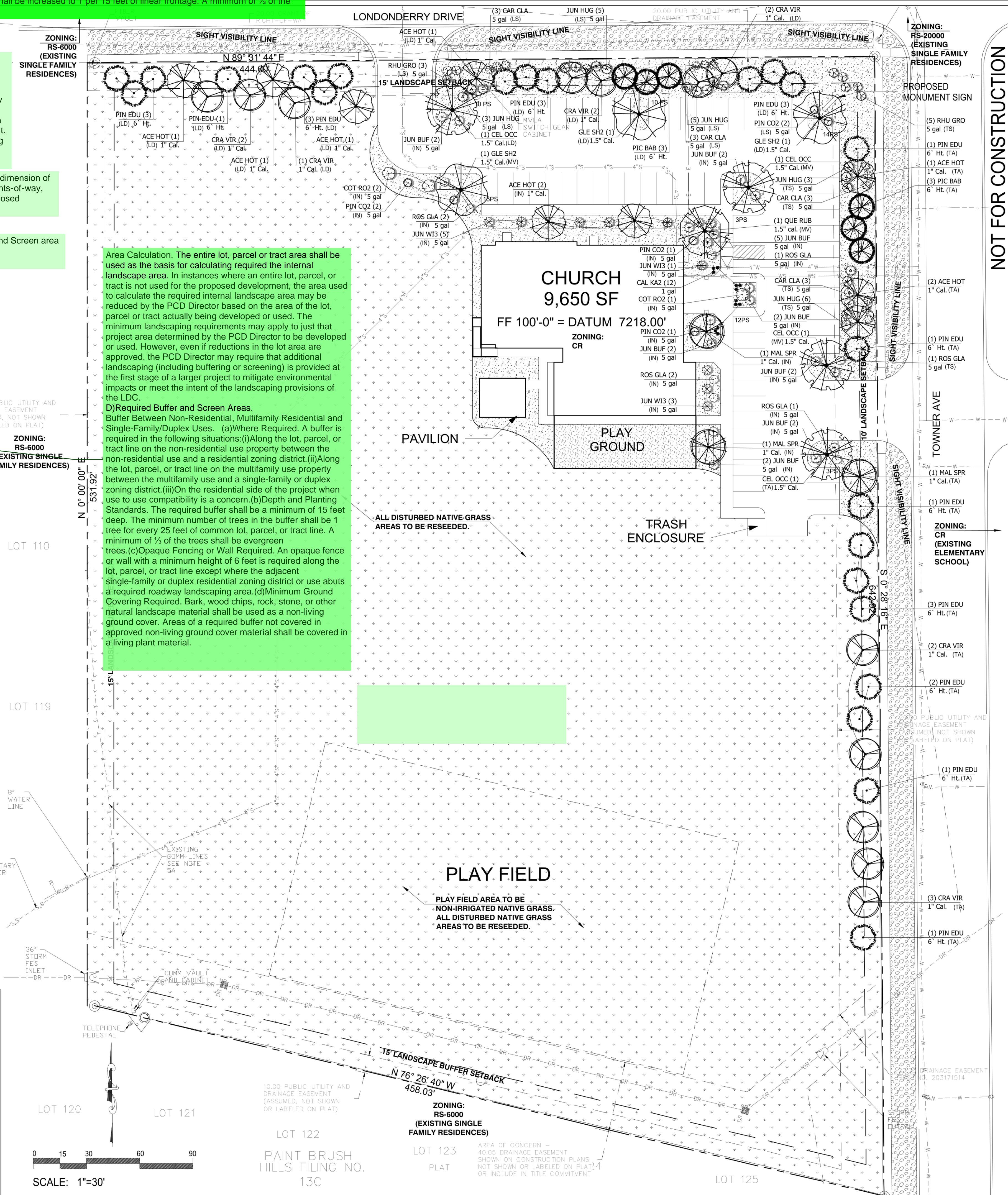
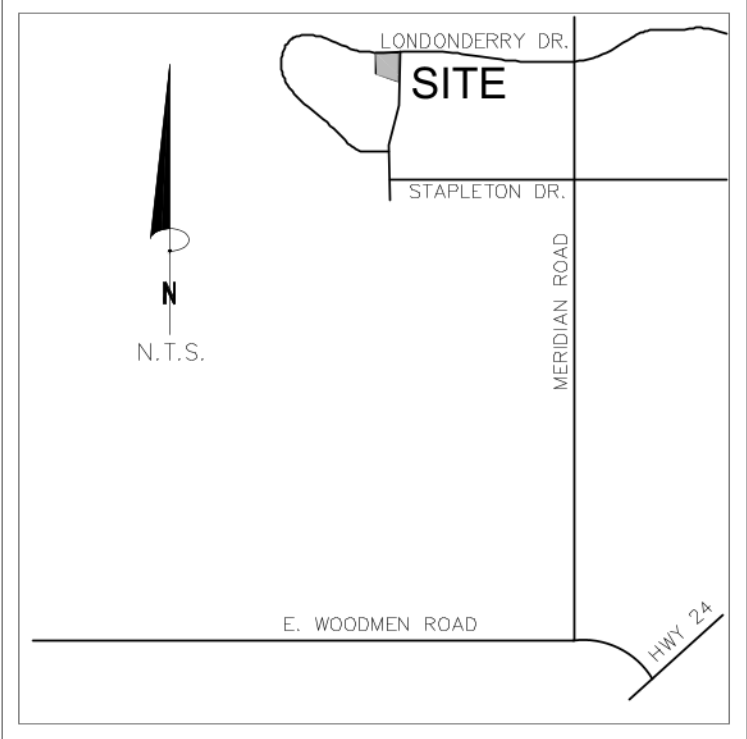
Identify all Location and dimension of the all property lines, rights-of-way, and all existing and proposed easements.

You will need to provide the required Buffer and Screen area around the Western and Southern Boundary.

Area Calculation. The entire lot, parcel or tract area shall be used as the basis for calculating required the internal landscape area. In instances where an entire lot, parcel, or tract is not used for the proposed development, the area used to calculate the required internal landscape area may be reduced by the PCD Director based on the area of the lot, parcel or tract actually being developed or used. The minimum landscaping requirements may apply to just that project area determined by the PCD Director to be developed or used. However, even if reductions in the lot area are approved, the PCD Director may require that additional landscaping (including buffering or screening) is provided at the first stage of a larger project to mitigate environmental impacts or meet the intent of the landscaping provisions of the LDC.

D)Required Buffer and Screen Areas. Buffer Between Non-Residential, Multifamily Residential and Single-Family/Duplex Uses. (a)Where Required. A buffer is required in the following situations:(i)Along the lot, parcel, or tract line on the non-residential use property between the non-residential use and a residential zoning district.(ii)Along the lot, parcel, or tract line on the multifamily use property between the multifamily use and a single-family or duplex zoning district.(iii)On the residential side of the project when use to use compatibility is a concern.(b)Depth and Planting Standards. The required buffer shall be a minimum of 15 feet deep. The minimum number of trees in the buffer shall be 1 tree for every 25 feet of common lot, parcel, or tract line. A minimum of 1/2 of the trees shall be evergreen trees.(c)Opaque Fencing or Wall Required. An opaque fence or wall with a minimum height of 6 feet is required along the lot, parcel, or tract line except where the adjacent single-family or duplex residential zoning district or use abuts a required roadway landscaping area.(d)Minimum Ground Covering Required. Bark, wood chips, rock, stone, or other natural landscape material shall be used as a non-living ground cover. Areas of a required buffer not covered in approved non-living ground cover material shall be covered in a living plant material.

VICINITY MAP



NOT FOR CONSTRUCTION

JWLA

Jon Walsh.
LANDSCAPE ARCHITECT
LLC

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Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT
FILE: ftdnchurch-ftp.dwg

FOUNDATION LUTHERAN CHURCH

Falcon, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

DATE: March 24, 2023

REVISIONS:

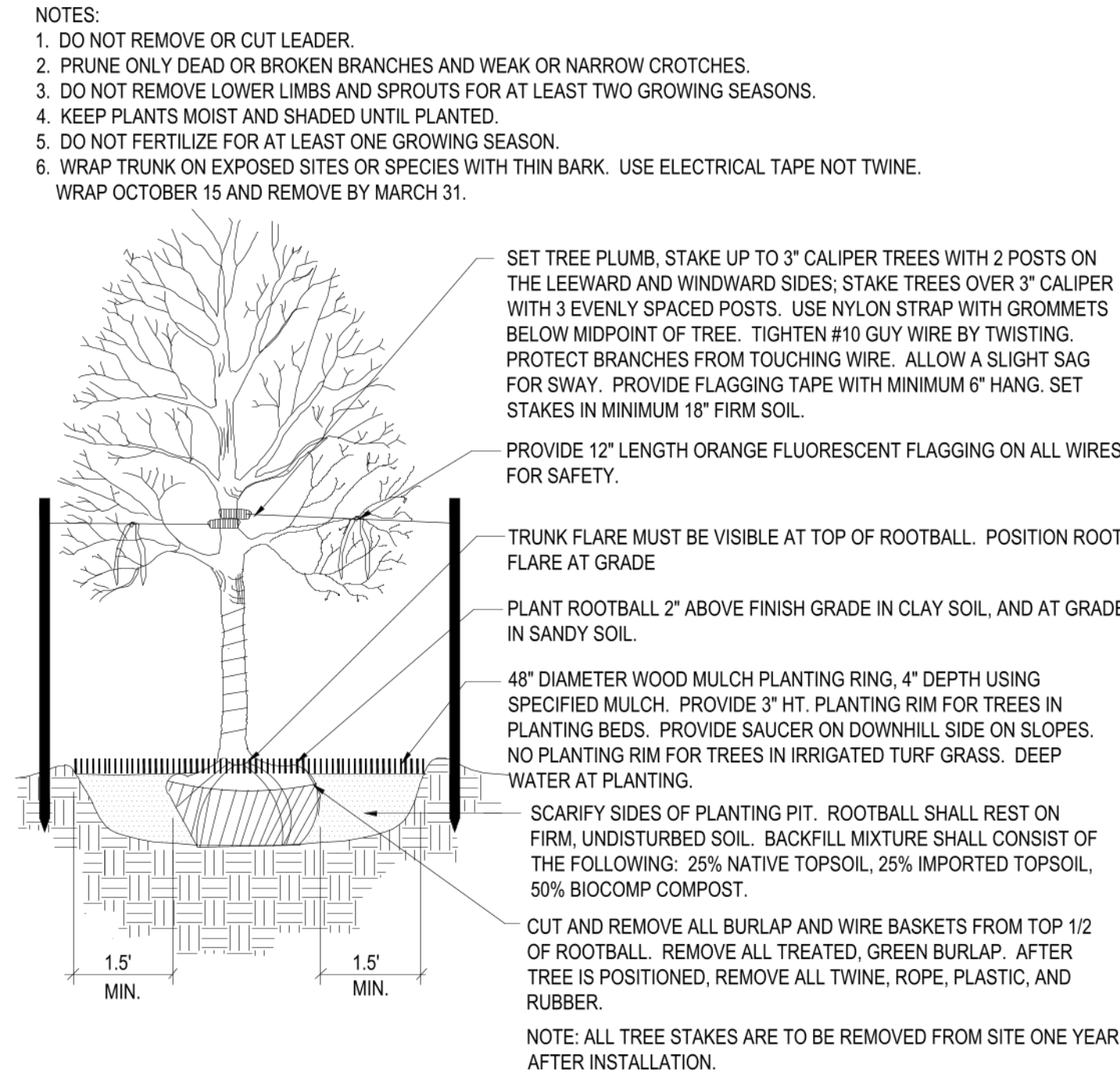
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SHEET NO.

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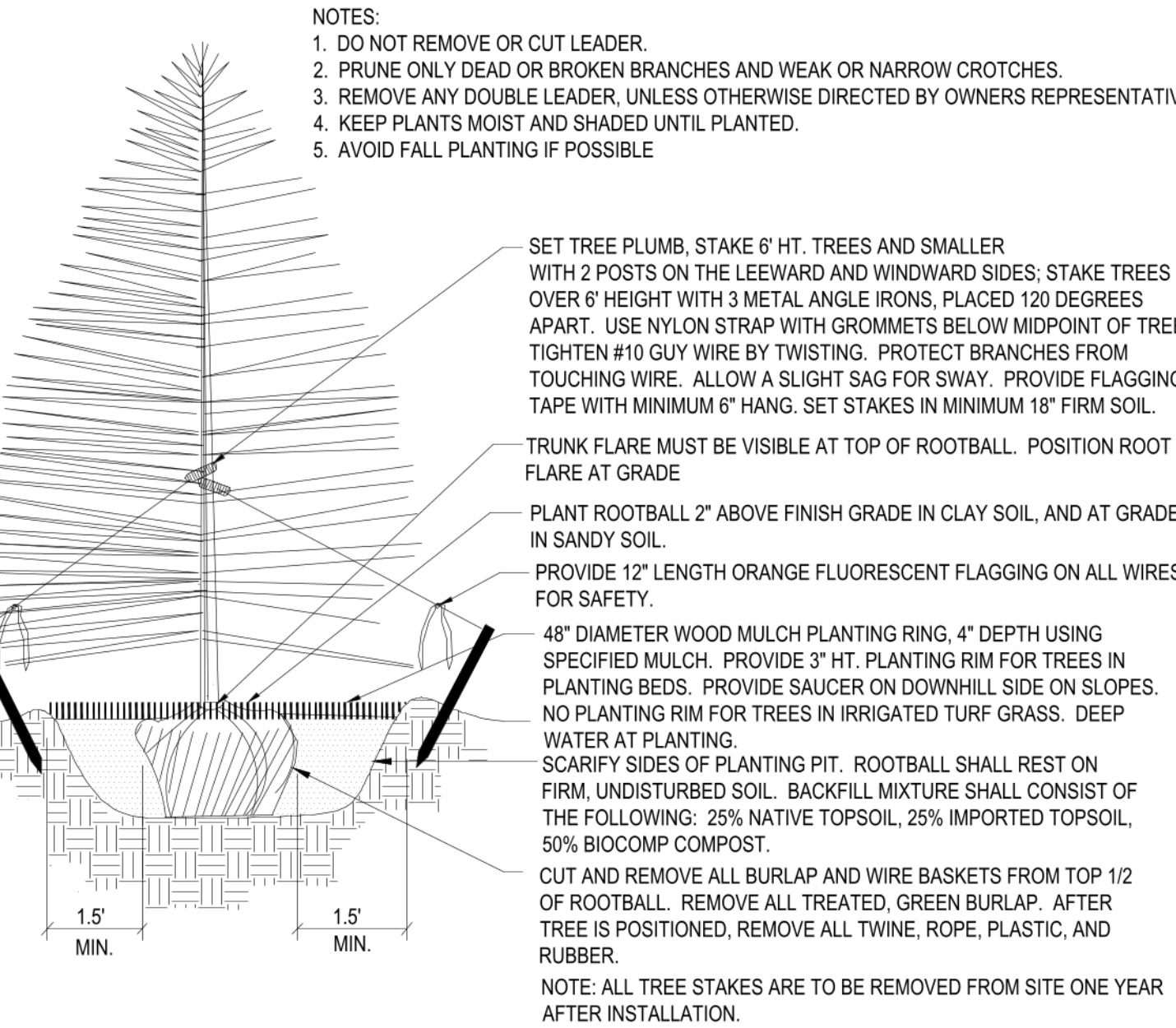
Sheet 1 of 2

PLANTING DETAILS



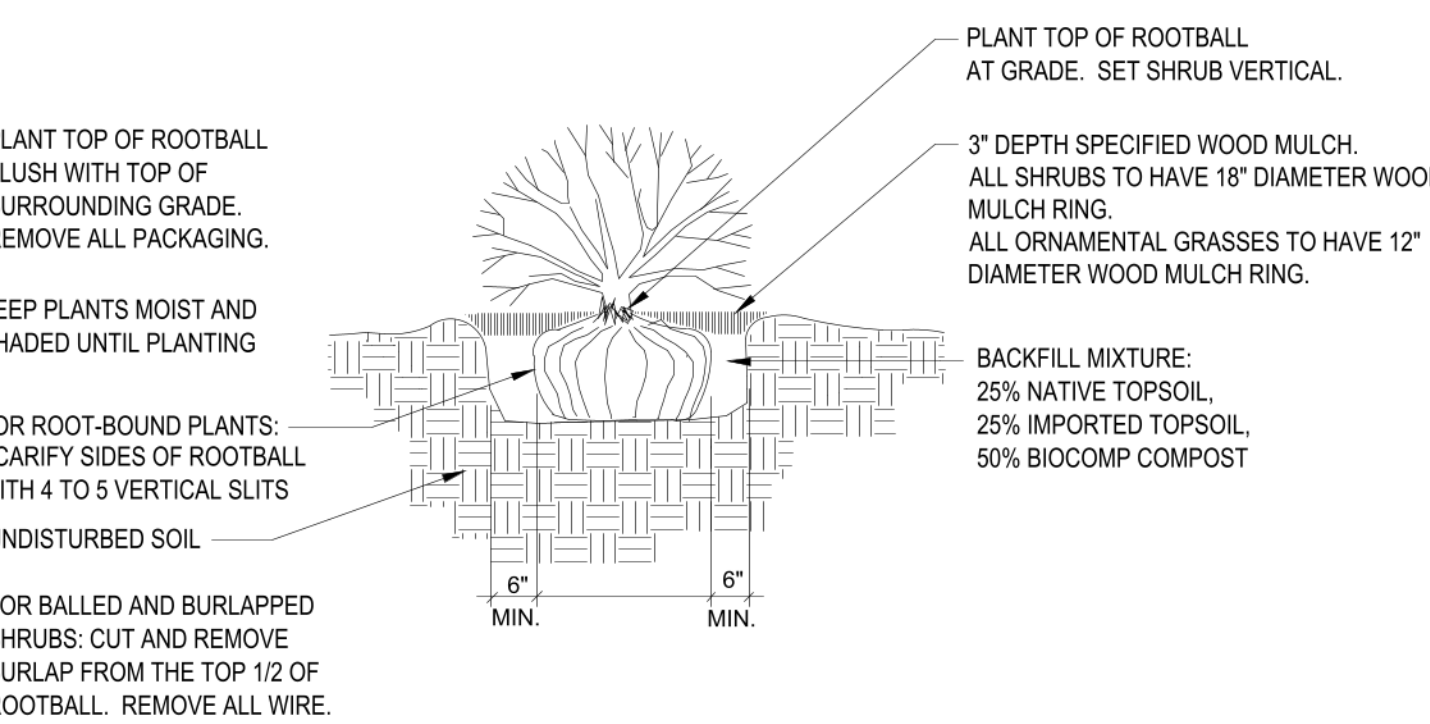
1 Deciduous Tree Planting Detail

NOT TO SCALE



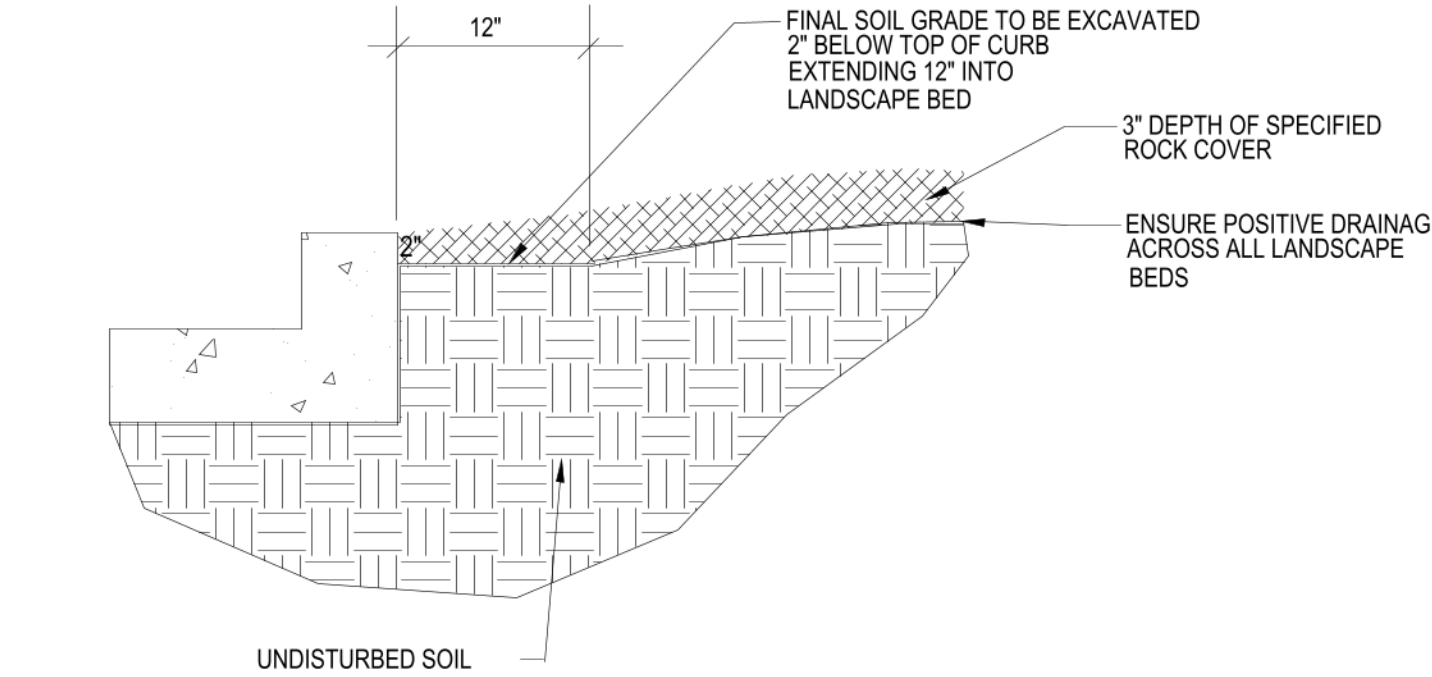
2 Coniferous Tree Planting Detail

NOT TO SCALE



3 Shrub Planting Detail

SCALE: NOT TO SCALE



4 Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS (PURE LIVE SEED)		
				-IRRIGATED BROADCAST -IRRIGATED HYDROSEEDED	-NON-IRRIGATED BROADCAST -NON-IRRIGATED HYDROSEEDED -IRRIGATED DRILLED	-NON-IRRIGATED DRILLED
BIG BLUESTEM	Buchloe dactyloides	WARM, SOD	20%	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
GREEN NEEDLEGRASS	Nassella viridula	COOL, BUNCH	10%	2	1	0.5
WESTERN WHEATGRASS	Pascopyrum smithii	COOL, SOD	20%	6.4	3.2	1.6
SIDE-OATS GRAMA	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
SWITCHGRASS	Panicum virgatum	WARM, BUNCH/ SOD	10%	0.8	0.4	0.2
PRAIRIE SANDREED	Calamovilfa longifolia	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIANGRASS	Sorghastrum nutans	WARM, SOD	10%	2	1	0.5
SEED RATE (LBS. PLS / ACRE)				19.3	9.7	4.8

NATIVE SEED ESTABLISHMENT

INITIAL PLANTING

STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

OVER SEEDING

SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP ¼" TO ½" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.

PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
2" BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.
1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS INSIDE PROPERTY BOUNDARIES TO CONSIST OF 1.5" 'CLEAR CREEK GRANITE' CRUSHED GRANITE (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. RIGHT OF WAY AREAS TO CONSIST OF 1.5" BLUE GRAY RIVER ROCK, SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8' O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE GRASS AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX.. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.

SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

IRRIGATION NOTES

- ALL PROPOSED PLANT MATERIALS ARE TO BE WATERED BY A PROPOSED PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM. ALL SHRUBS TO HAVE (2) 1 GPH EMITTERS PLACED AT EDGE OF ROOTBALL ON OPPOSITE SIDES. ALL TREES TO HAVE (4) 1 GPH EMITTERS PLACED 90 DEGREES APART AROUND EDGE OF ROOTBALL.
- ALL SEEDED NATIVE GRASS AREAS TO BE ESTABLISHED BY A TEMPORARY SPRAY IRRIGATION ZONES CONNECTED TO THE AUTOMATIC IRRIGATION SYSTEM OR WITH PORTABLE SPRINKLER HEADS AND HOSES CONNECTED TO IRRIGATION SYSTEM QUICK COUPLERS AND/OR BUILDING HOSE BIBS.

GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. REMOVE SMALL SECTIONS OF STEEL EDGING WHEREVER DRAINAGE WILL NOT FREELY FLOW THROUGH EDGING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

NOT FOR CONSTRUCTION

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FOUNDATION LUTHERAN CHURCH
Falcon, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

DATE: March 24, 2023

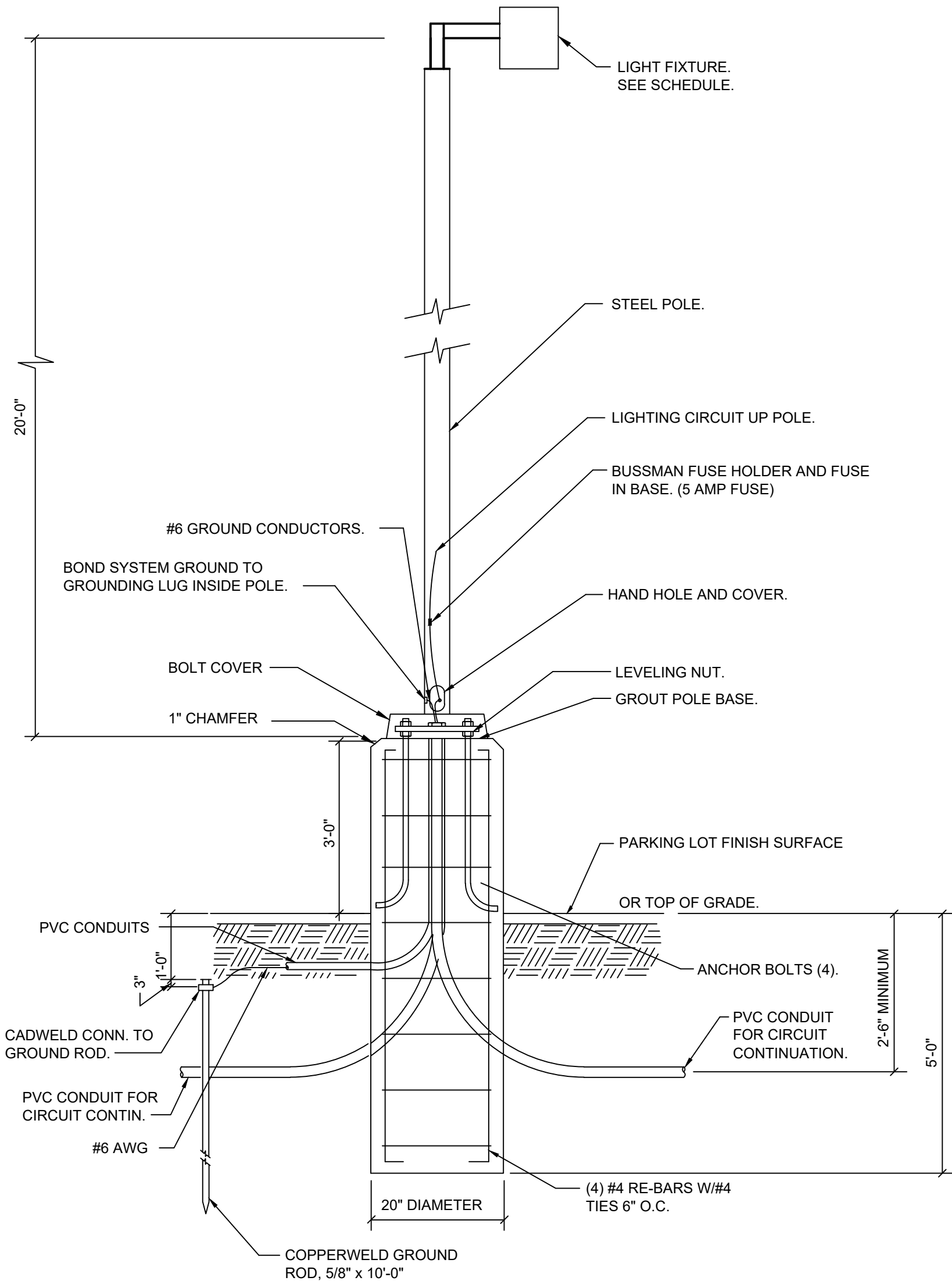
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SHEET NO. L2
Sheet 2 of 2

LIGHT FIXTURE SCHEDULE										
MARK	MANUFACTURER	MODEL	LAMPS PER FIXTURE			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS PER FIXTURE	QUANTITY OF EACH FIXTURE IN PROJECT
			QTY.	WATT	TYPE					
P1	LITHONIA	DSX1 LED P4 30K 80CRI T4M	2	124	LED	POLE MOUNT @ 20'	(2) AREA SITE POLE LIGHT @ 90°	120/277	248	1
P2	LITHONIA	DSX1 LED P4 30K 80CRI T4M	1	124	LED	POLE MOUNT @ 20'	AREA SITE POLE LIGHT	120/277	124	4
WP1	LITHONIA	WDGE2 LED P2 40K 80CRI T3M	1	19	LED	WALL MOUNT	ARCHITECTURAL WALLPACK	120/277	19	7
WP2	LITHONIA	WDGE3 LED P4 40K 80CRI R3	1	88	LED	WALL MOUNT	ARCHITECTURAL WALLPACK	120/277	88	2
NOTES:										
1) PROVIDE EMERGENCY BACKUP BATTERY.										
2) CONFIRM ALL LIGHT FIXTURE SELECTIONS WITH TENANT PRIOR TO ORDERING. THIS INCLUDES COLORS, COLOR TEMPERATURES, MANUFACTURER, ETC.										

CALCULATION ZONE STATISTICS						
DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	2.2	6.0	0.5	12.0:1	4.4:1



4 WdGE3 WALLPACK LUMINAIRE (WP2)
SP1 SCALE: NONE



3 WdGE2 WALLPACK LUMINAIRE (WP1)
SP1 SCALE: NONE



2 DSX1 AREA POLE LIGHT (P1 & P2)
SP1 SCALE: NONE

