

FOUNDATION LUTHERAN CHURCH

9960 TOWNER AVENUE,
PEYTON, COLORADO 80831



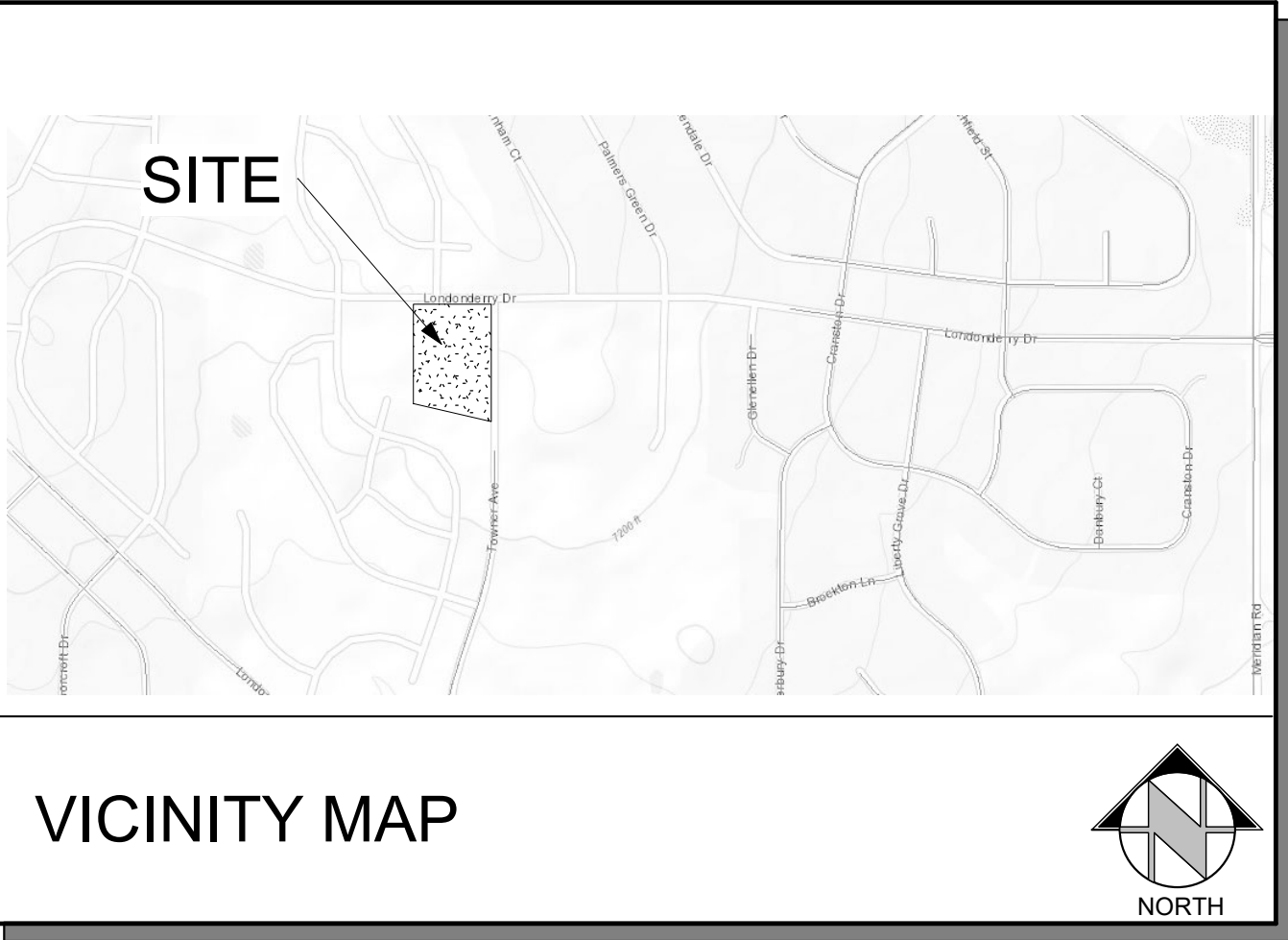
GENERAL NOTES

FLOODPLAIN STATEMENT:

THIS PROPERTY IS NOT LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA "X" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS-MAP NUMBER 08041C0276 G EFFECTIVE DECEMBER 7, 2018.

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



PROJECT TEAM

CLIENT:
Foundation Lutheran Church
10387 Mount Evans Drive
Peyton, Colorado, 80831
Contact: Pastor Steven Prah
pastor@foundationlutheran.com
719-396-1058

CLIENT REPRESENTATIVE / GENERAL CONTRACTOR:
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5410 Powers Center Point, Ste. 210
Colorado Springs, CO
Contact: Dale Beggs
dbeggs@cocommercial.net
719-264-6955

ARCHITECT:
RMG-Rocky Mountain Group
19375 Beacon Lite Road
Monument, CO 80132
Contact: Keith Moore
KMoore@rmg-engineers.com
719-548-0600

MEP ENGINEER:
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4445 Northpark Dr., Ste. 200
Colorado Springs, CO 80907
Contact: Michael McShea
mike@mcsheaconsulting.com
719-358-8208

LANDSCAPE ARCHITECT:
JWLA, LLC
PO BOX 354
Palmer Lake, CO 80133
Jon Walsh
jwlandarch@gmail.com
719-640-9428

PROJECT INFORMATION

SITE AREA: 5.97 AC (258,746 S.F.)
DEVELOPMENT NAME: FOUNDATION LUTHERAN CHURCH (WORSHIP)
DESCRIPTION: CHURCH
TAX SCHEDULE NO: 5225208001
LEGAL DESCRIPTION: TR C PAINT BRUSH HILLS FILING NO. 13 A
PROPERTY ADDRESS: 9960 TOWNER AVENUE
PEYTON, COLORADO 80831
EXISTING ZONING: CR (NO CHANGE)

BUILDING SETBACKS:
FRONT 50'-0"
SIDE (STREET) 25'-0"
SIDE (INTERIOR LOT LINE) 25'-0"
REAR (NEXT TO RR ZONE) 25'-0"

LANDSCAPE SETBACKS:
FRONT 15'-0"
SIDE (STREET) 10'-0"
SIDE (BUFFER) 15'-0"
REAR (BUFFER) 15'-0"

EXISTING LAND USE: VACANT
PROPOSED LAND USE: OFFICE/ WAREHOUSE
BUILDING HEIGHT: 45' MAX ALLOWED

BUILDING INFO:
GROSS BUILDING AREA 9,730 S.F.

BUILDING OCCUPANCY (NON-SEPARATED USES) B, A-3, E

TYPE OF CONSTRUCTION V-B

FIRE SPRINKLER NO

AREA SEPERATION WALLS NO

LOT DATA & COVERAGE:
LOT COVERAGE: 15.26%

IMPERVIOUS AREA:
BUILDING 9,730 S.F.
PAVED 24,490 S.F.
SIDEWALKS/PAVILLION 5,270 S.F.
TOTAL 39,490 S.F. (15.26% LOT)

PERVIOUS AREA:
LANDSCAPING 236,100 S.F.
TOTAL 236,100 S.F. (84.74% LOT)

PARKING DATA:
ASSEMBLY 1/4 SEATS (250 OCC) = 63 PS REQUIRED
HC ACCESS (51-75) 3 HC SPACES REQ
TOTAL 63 PS REQUIRED

PARKING PROVIDED: 67 TOTAL PS
(INCL 2 HC + 1 VAN)

SIGNAGE:
A SIGNAGE PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN PRIOR TO PLACING ANY SIGN ON THE PROPERTY. INCLUDES ALL ON-SITE DIRECTIONAL SIGNS.

PROPOSED DEV. SCHED. FALL/WINTER 2023/2024

Approved

By: Ryan Howser, AICP
Date:06/26/2024
El Paso County Planning & Community Development



SHEET INDEX:	
SHEET NAME:	SHEET NO:
COVER SHEET	DP.01
SITE DEVELOPMENT PLAN	DP.02
EXTERIOR ELEVATIONS	DP.03
EXTERIOR ELEVATIONS	DP.04
CIVIL UTILITY PLAN	C-103
CIVIL SITE DETAILS	C-104
FINAL LANDSCAPE PLAN	L1
FINAL LANDSCAPE DETAILS	L2
SITE PHOTOMETRIC PLAN	SP1
LIGHTING DETAILS	SP2

FOUNDATION LUTHERAN CHURCH

9960 TOWNER AVE., PEYTON, COLORADO 80831

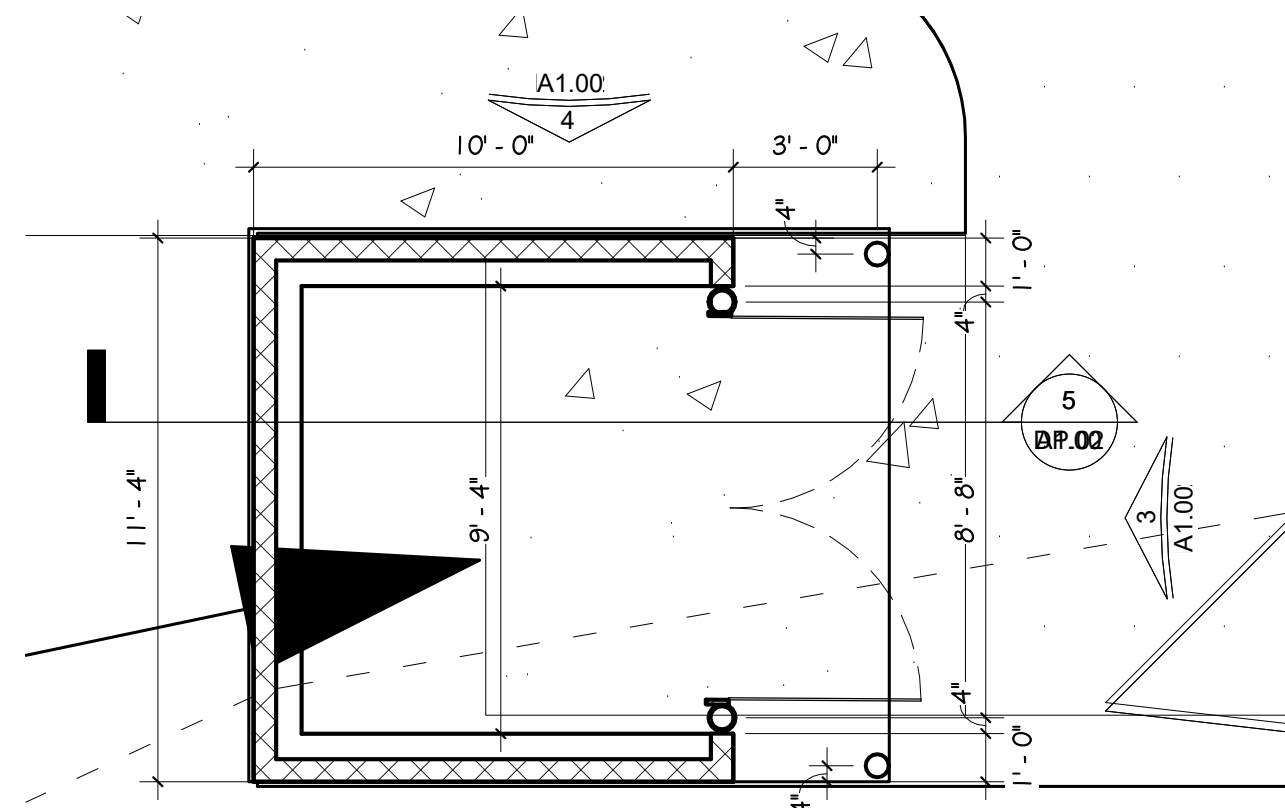
Colorado Commercial Construction, Inc.

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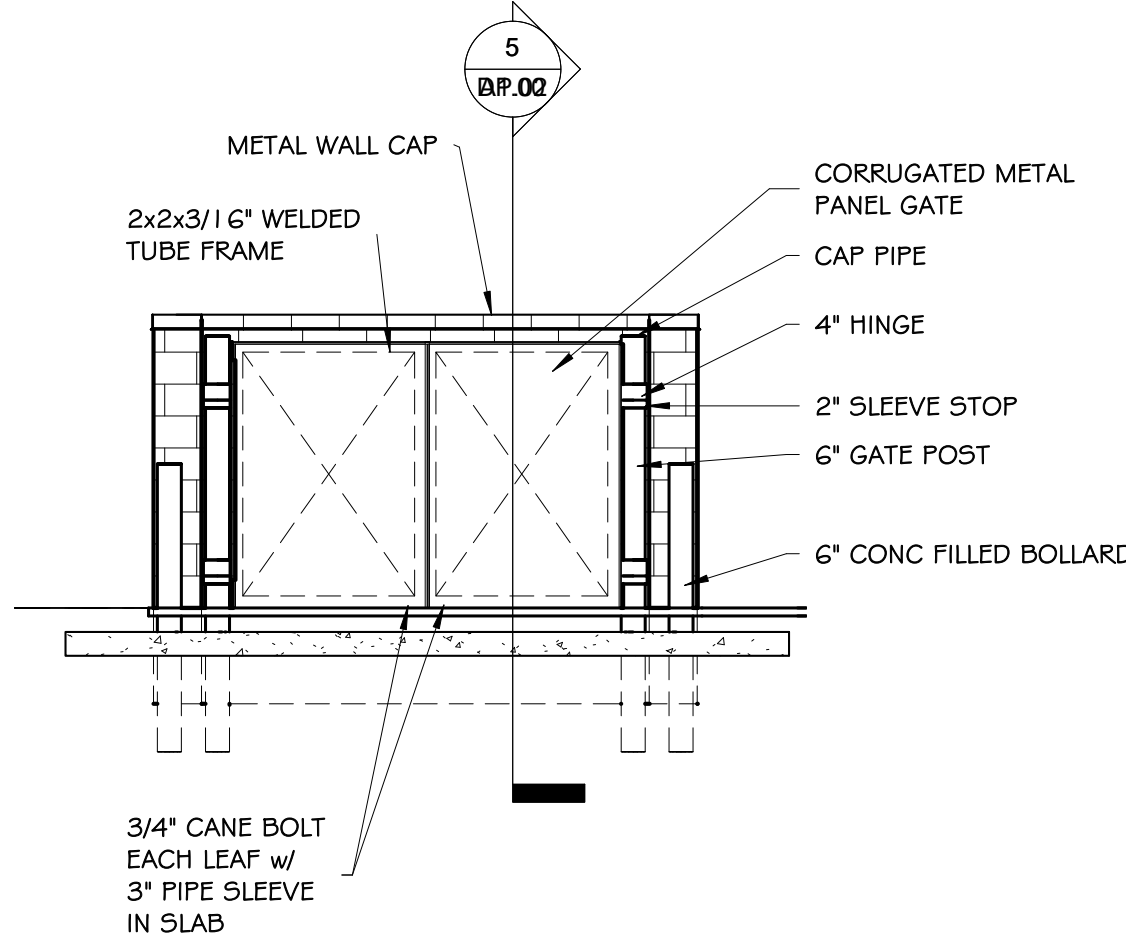
DEVELOPMENT PLAN COVER SHEET

DEVELOPMENT SET

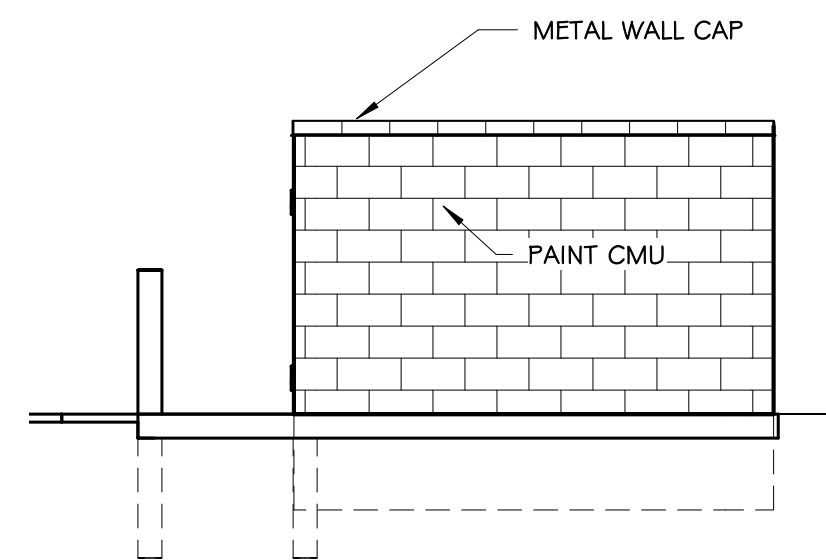
ARCHENG:	KEM
DRAWN:	JDZ
CHECKED:	km
DATE:	12.26.23
REVISION	DATE
JOB NO.	191726
SHEET NO.	DP.01



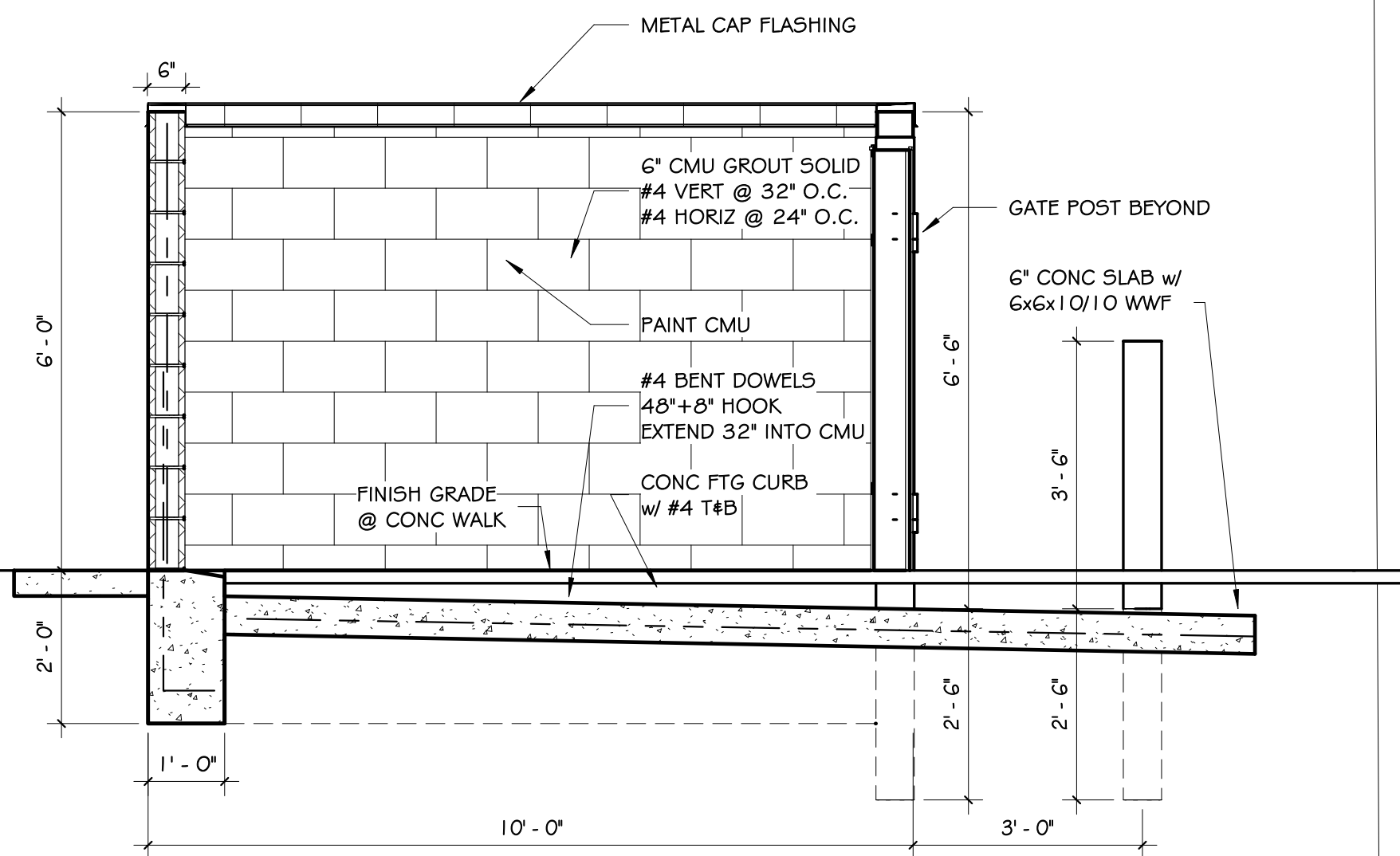
2 ENLARGED PLAN - DUMPSTER ENCLOSURE
DP.02 SCALE: 1/4" = 1'-0"



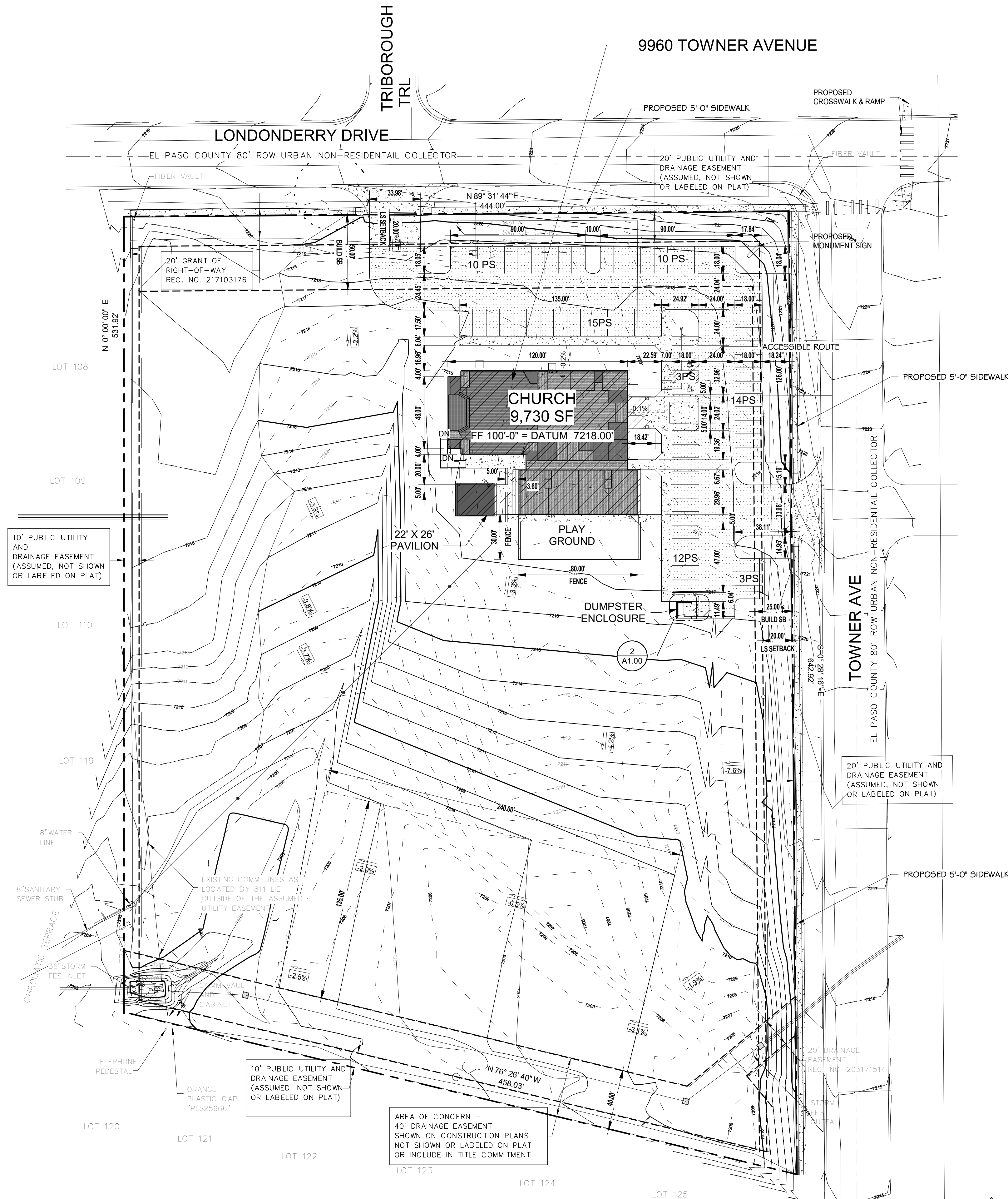
3 DUMPSTER FRONT ELEV
DP.02 SCALE: 1/4" = 1'-0"



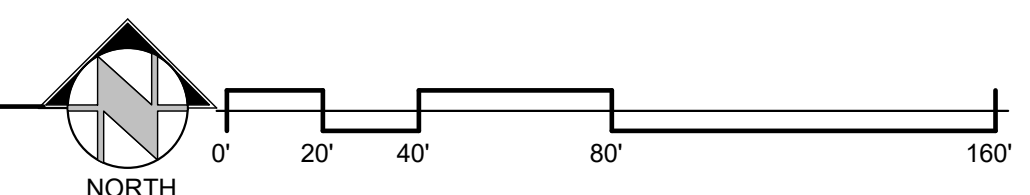
4 DUMPSTER SIDE ELEV
DP.02 SCALE: 1/4" = 1'-0"

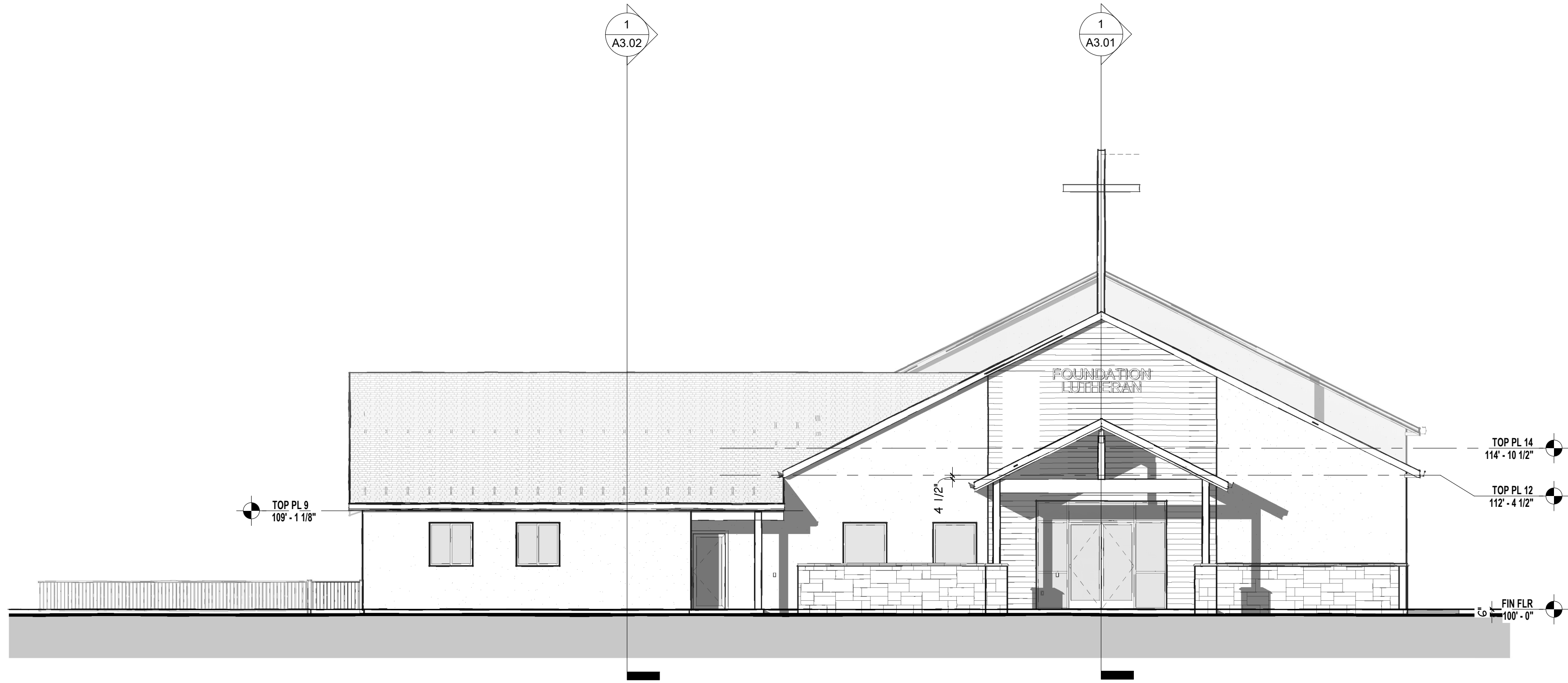


5 DUMPSTER SECTION
DP.02 SCALE: 1/2" = 1'-0"

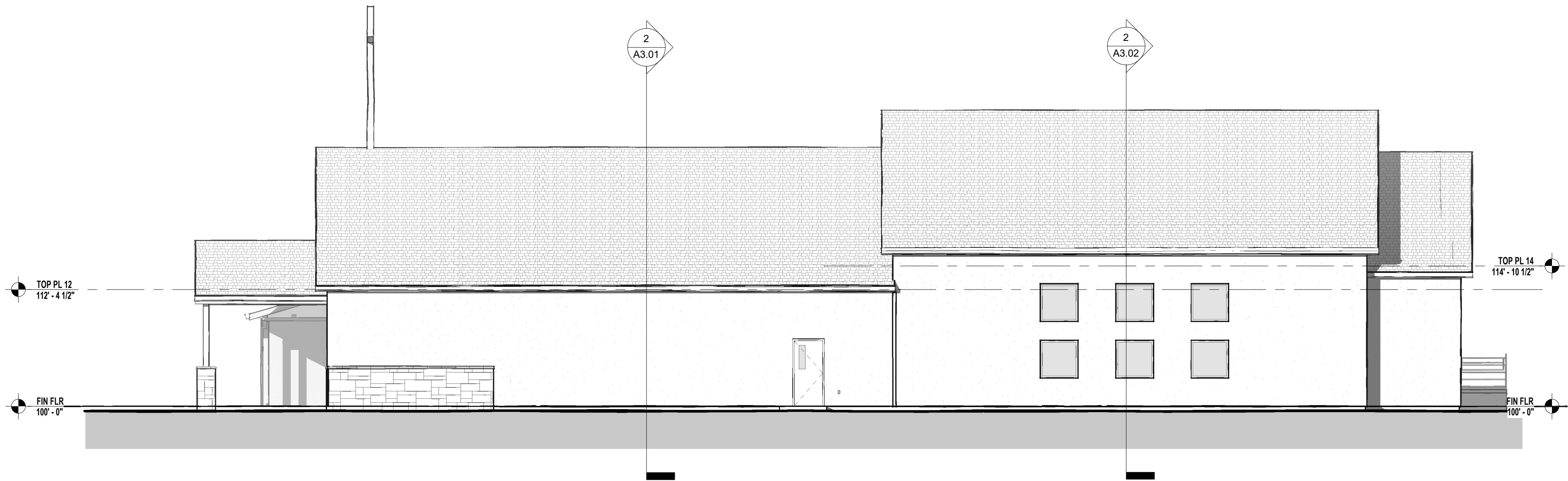


1 ARCHITECTURAL SITE PLAN
DP.02 SCALE: 1" = 40'-0"





1 DP ELEVATION - EAST
DP.03 SCALE: 1/8" = 1'-0"

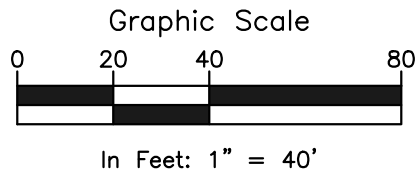
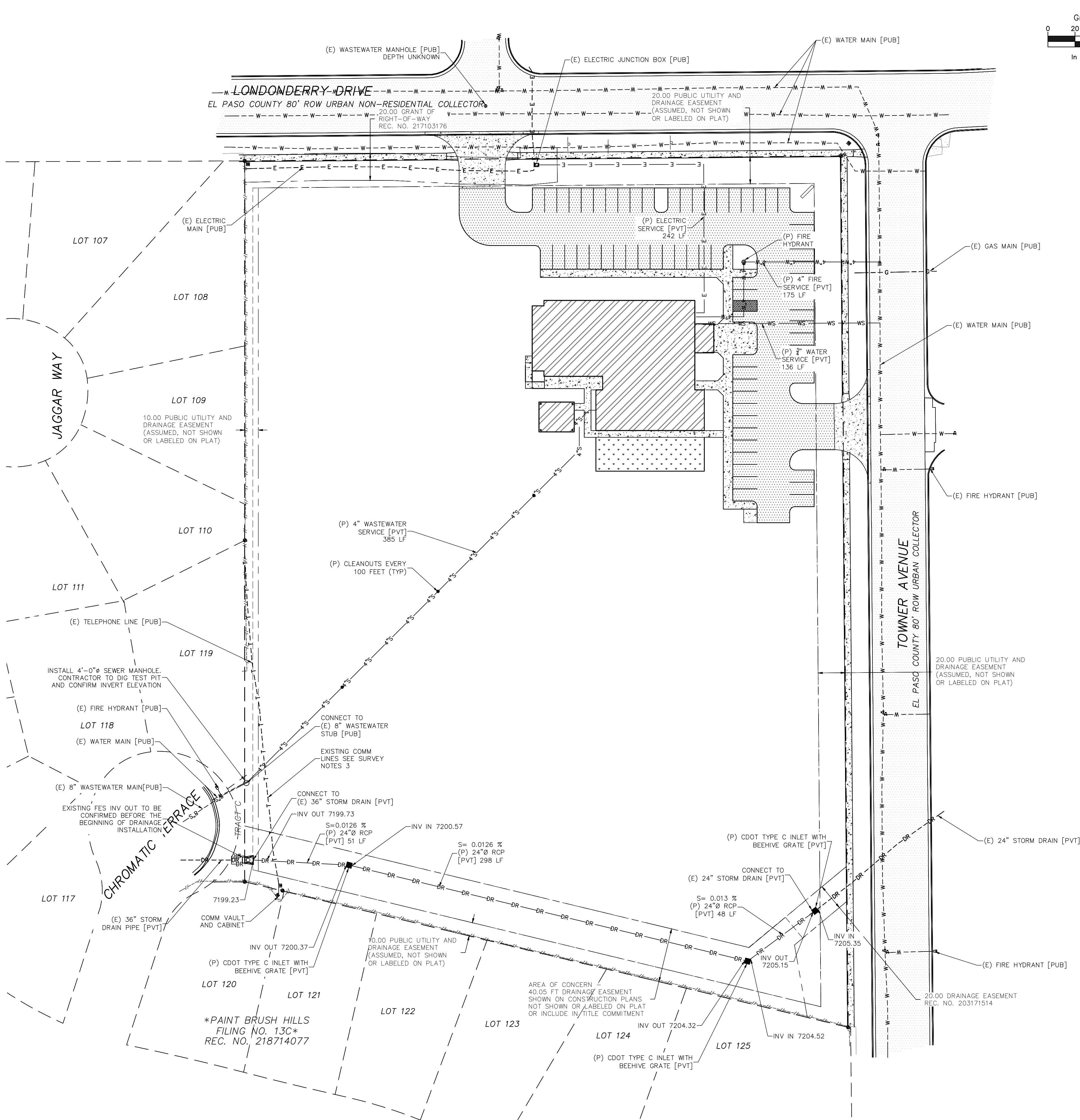


2 DP ELEVATION - NORTH
DP.03 SCALE: 1/8" = 1'-0"

<div>Architectural Standard Foreword</div> <div>RMG Engineers / Architects</div> <div>SOUTHERN COLORADO 5085 LIST DRIVE, STE 200, COLORADO SPRINGS, CO 80919 (719) 548-0600 ~ WWW.RMG-ENGINEERS.COM SOUTHERN COLORADO, DENVER METRO, NORTHERN COLORADO</div>	
<div></div> <div>COLORADO COMMERCIAL CONSTRUCTION 12255 ORACLE BLVD, STE 100 COLORADO SPRINGS, COLORADO 80901 719.261.8855</div>	
FOUNDATION LUTHERAN CHURCH	
9960 TOWNER AVE., PEYTON, COLORADO 80831	
Colorado Commercial Construction, Inc.	
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SHEET NAME	SDP ELEVATIONS
ARCHENG:	KEM
DRAWN:	-
CHECKED:	-
DATE	12.26.23
REVISION	DATE
JOB NO.	191726
SHEET NO.	DP.03



LAST SAVED: 12/27/2023 2:48:31 PM, PATH: T:\Projects\Site Specific\2023a-Colorado Commercial Construction, Inc.-12289905 Town Ave-10726\Civil\Drawings\From RMG\Sheet Sales\SDP10726_Ultheran Church\Utility Plan.dwg



LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE
---	SETBACK LINE
▲	PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
BM	
---	EXISTING WATER MAIN
6"W	EXISTING WATER MAIN (SIZE)
WS	EXISTING WATER SERVICE
WM	EXISTING WATER METER
WV	EXISTING WATER VALVE
HYD	EXISTING HYDRANT
G	EXISTING GAS LINE
TV	EXISTING CABLE LINE
T	EXISTING TELEPHONE LINE
E	EXISTING UNDERGROUND ELECTRIC
OH	EXISTING OVERHEAD ELECTRIC
8"S	EXISTING SANITARY SEWER
DR	EXISTING STORM DRAIN
TR	EXISTING TELEPHONE PEDESTAL
GM	EXISTING GAS METER
EM	EXISTING ELECTRIC METER
EJ	EXISTING ELECTRIC JUNCTION VAULT
S	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED WATER MAIN
6"W	PROPOSED WATER MAIN (SIZE)
WS	PROPOSED WATER SERVICE
WM	PROPOSED WATER METER
WV	PROPOSED WATER VALVE
WSO	PROPOSED WATER SERVICE SHUTOFF
HYD	PROPOSED HYDRANT
G	PROPOSED GAS LINE
TV	PROPOSED CABLE LINE
T	PROPOSED TELEPHONE LINE
E	PROPOSED UNDERGROUND ELECTRIC
OH	PROPOSED OVERHEAD ELECTRIC
S	PROPOSED SANITARY SEWER
DR	PROPOSED STORM DRAIN
EM	PROPOSED ELECTRIC METER
GM	PROPOSED GAS METER
@	PROPOSED SANITARY CLEANOUT
SD	PROPOSED STORM DRAIN MANHOLE
S	PROPOSED SANITARY MANHOLE

- SURVEY NOTES:
1. THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NGVD 1929.
 2. THE BASIS OF BEARINGS IS THE WEST LINE OF TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 13A" UNDER RECEPTION NO. 213713413 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00"E A DISTANCE OF 531.92 FEET.
 3. EXISTING COMMUNICATION LINES IN THE SOUTHEAST CORNER OF THE PROPERTY AS LOCATED BY 811 LIE OUTSIDE THE ASSUMED EASEMENT



THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE 719-668-4658 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

PCD FILE NO. PPR2321

Marking Testing Forecasts Civil / Planning

RMG

Architectural Structural Geotechnical

Engineers / Architects

SOUTHERN COLORADO OFFICE
2910 AUSTIN BLUFFS PKWY., SUITE 100, COLORADO SPRINGS, CO 80918
719-595-8500
SOUTHERN COLORADO DRIVEWAY NO. 100, TOWNERS AVENUE

COLORADO LICENSED
PROFESSIONAL ENGINEER
12/27/23
51909

FOUNDATION LUTHERAN CHURCH

9960 TOWNERS AVE
FALCON, COLORADO

COLORADO COMMERCIAL CONSTRUCTION, INC.

SHEET NAME
UTILITY PLAN

PROJECT STATUS
SITE DEVELOPMENT PLANS

ENG: DSW
DRAWN: AMH/PHZ
CHECKED: TPT

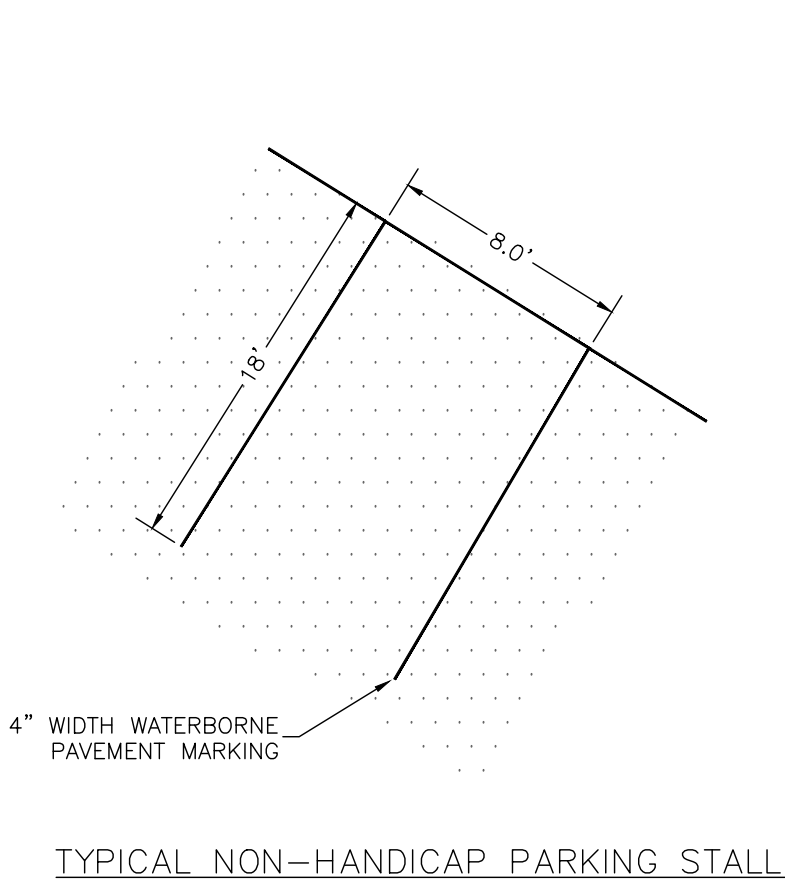
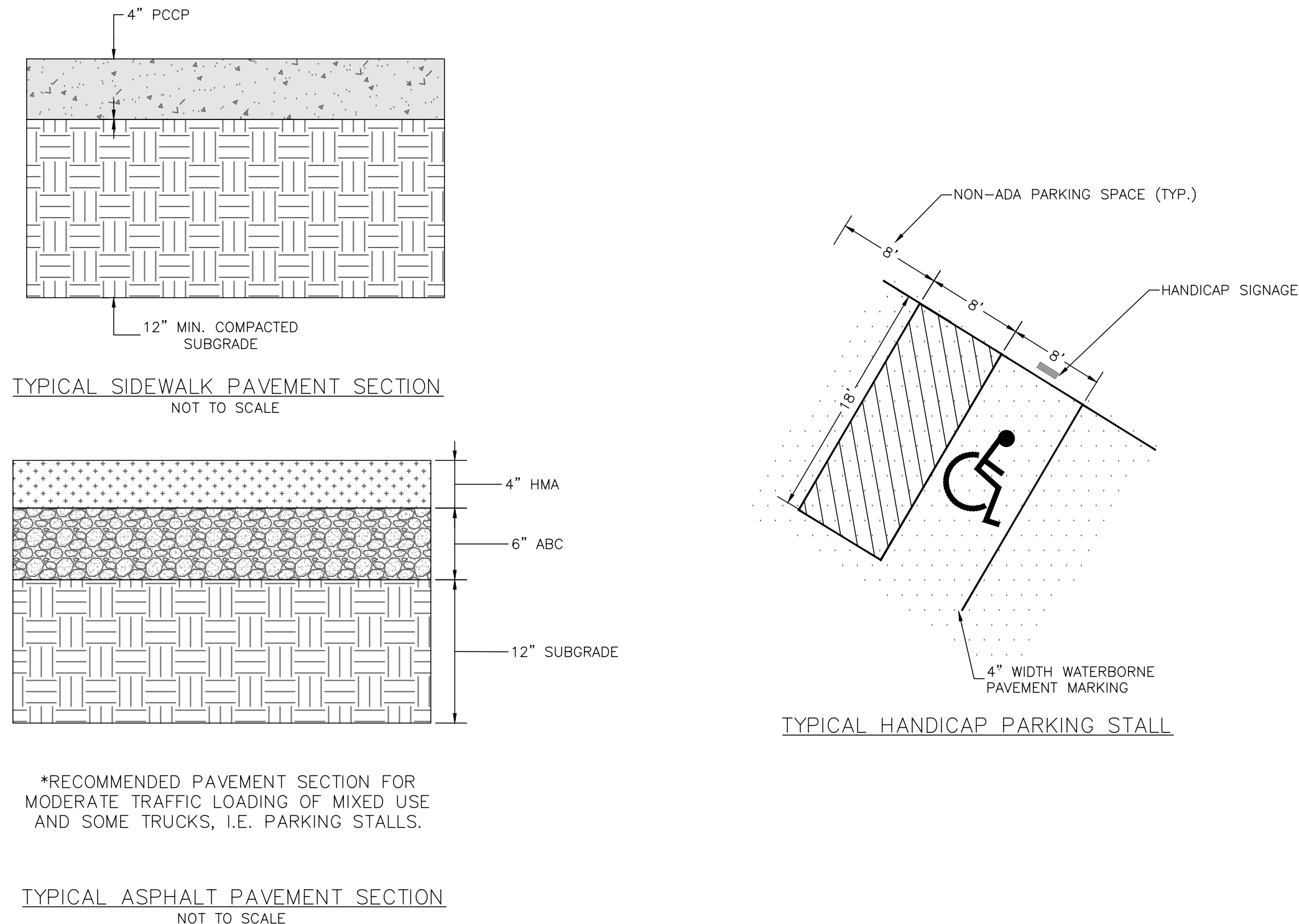
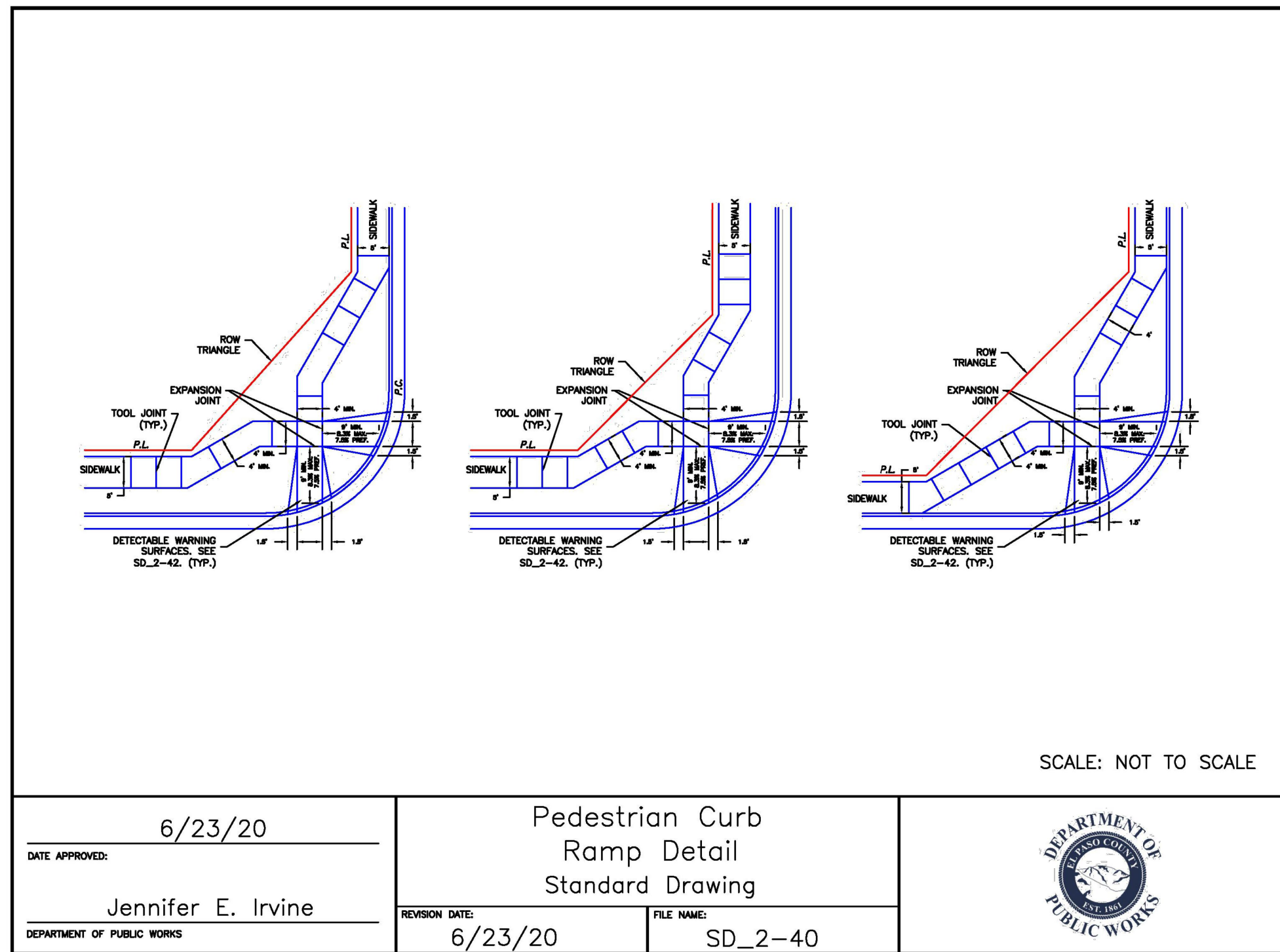
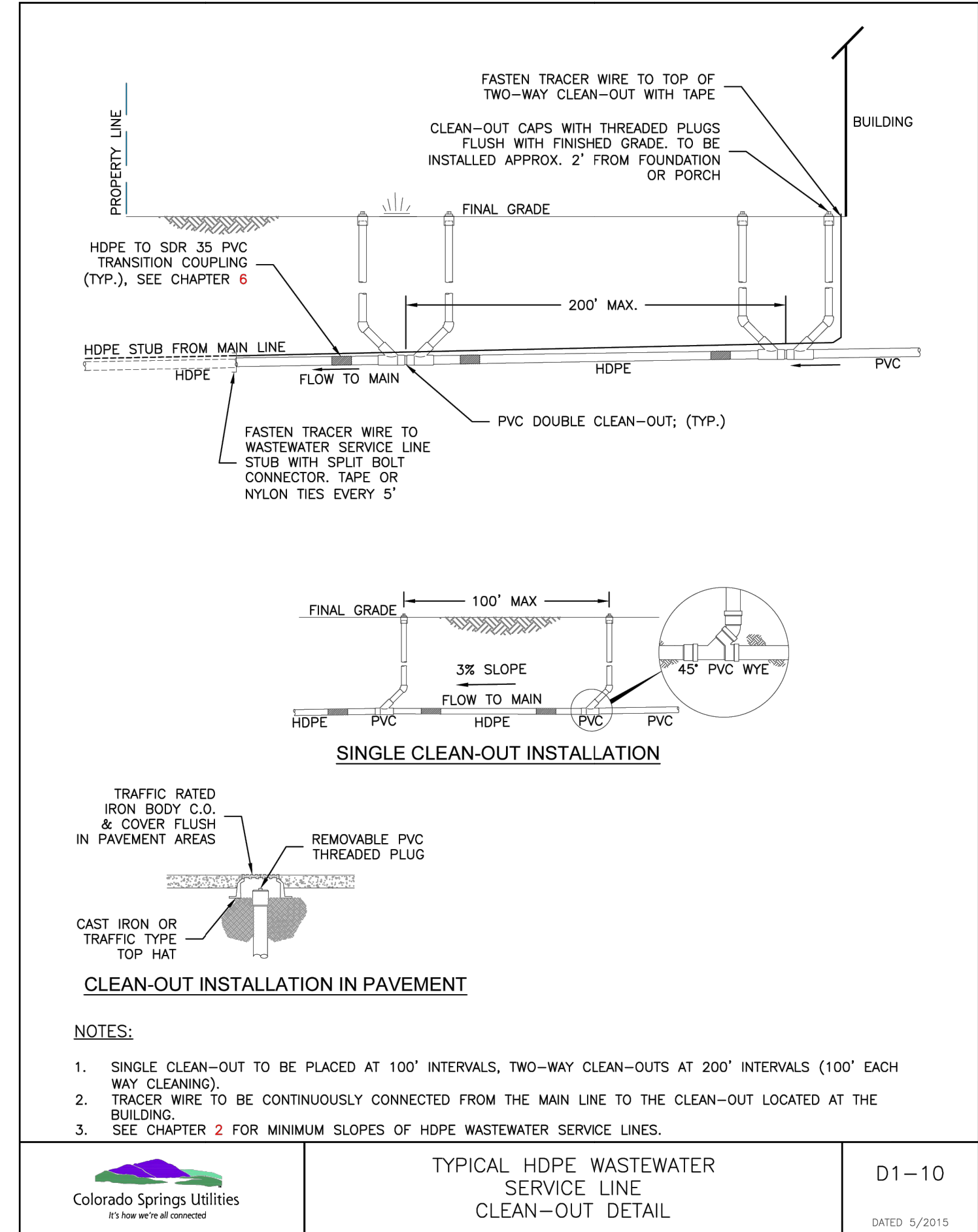
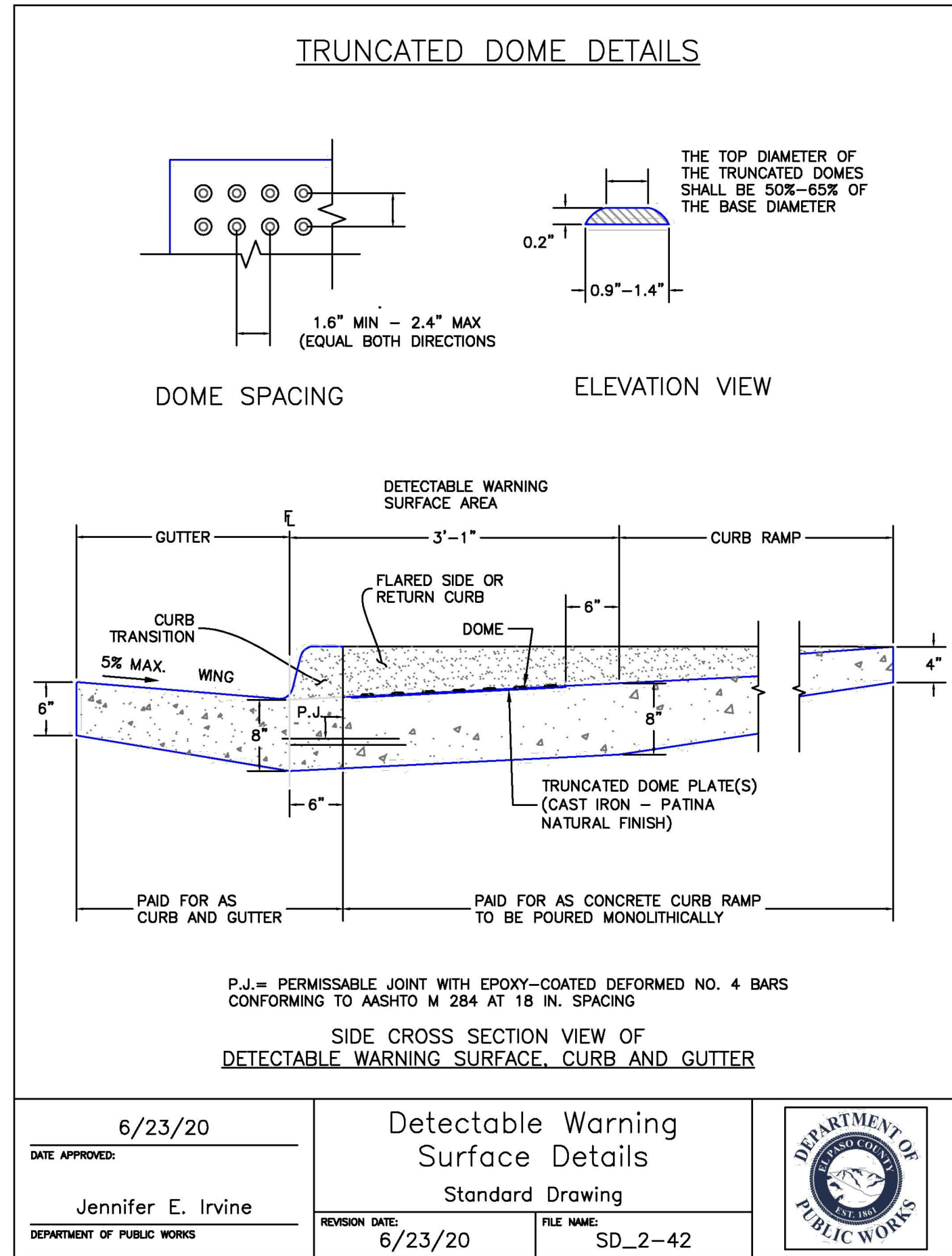
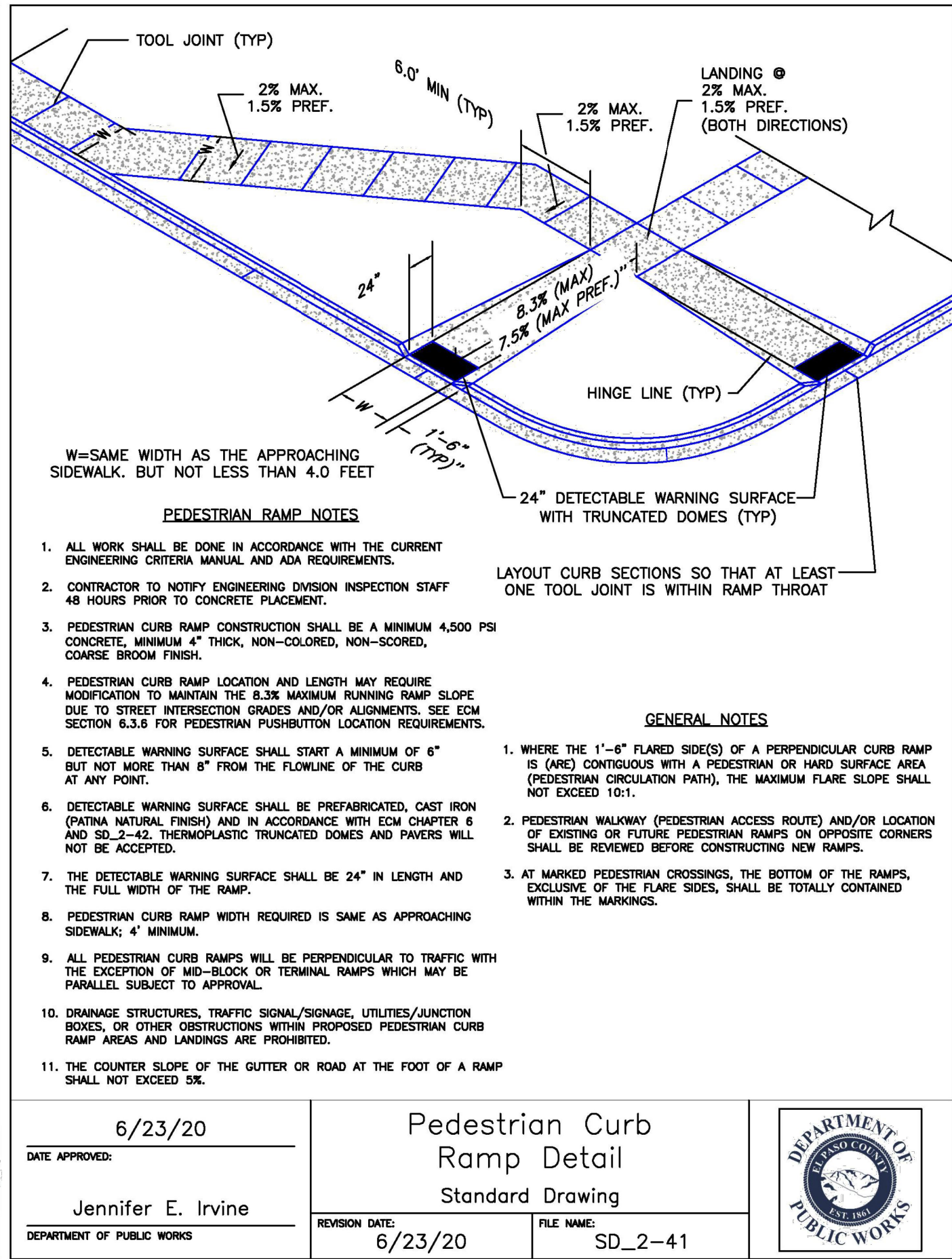
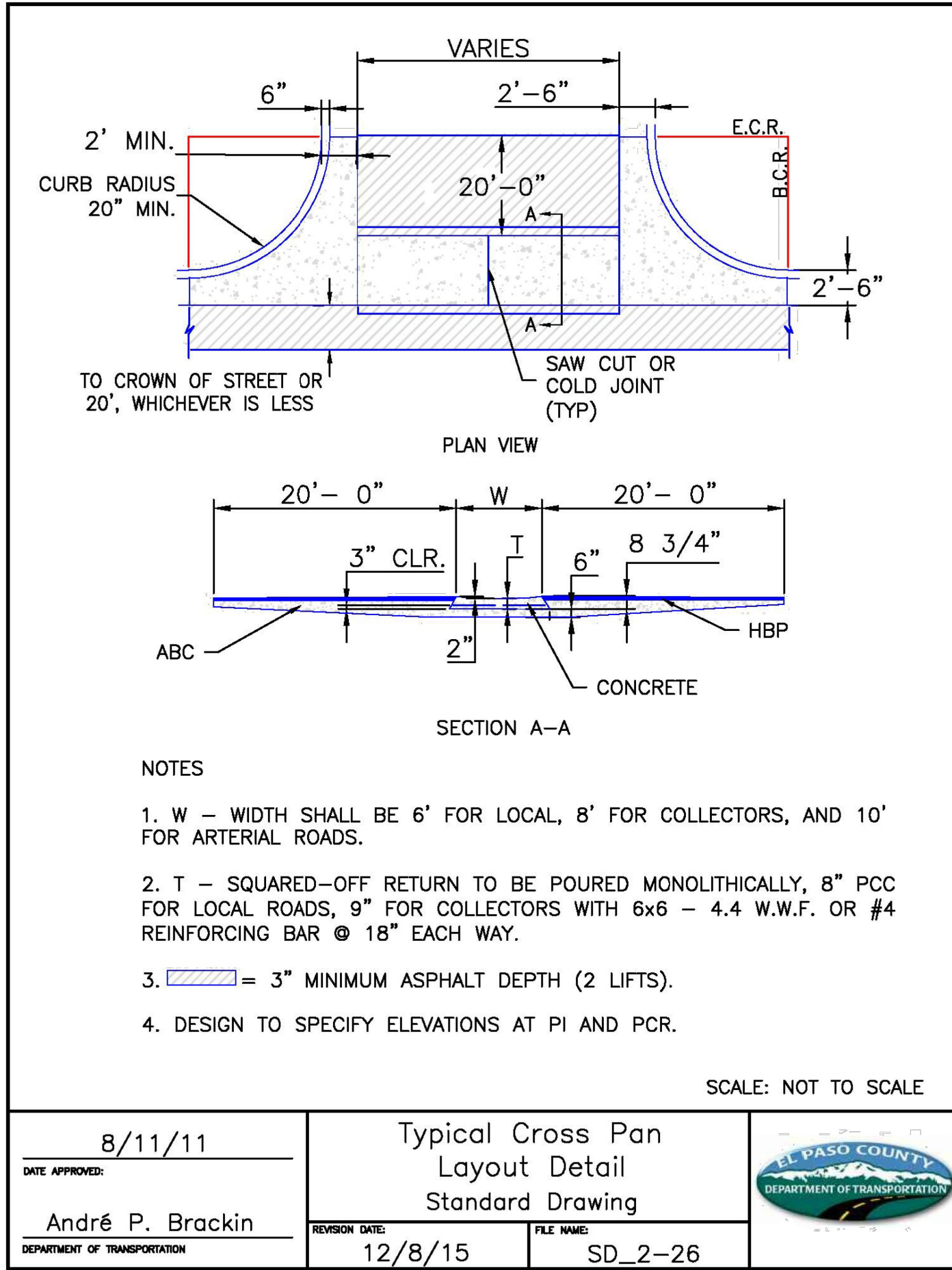
DATE
12/27/2023

#	REVISION	DATE

JOB NO.
191726

SHEET NO.
C-103

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RMG

Engineers / Architects

Architectural Structural Geotechnical

Materials Testing Forensics Civil / Planning

SOUTHERN COLORADO OFFICE

2910 AUSTIN BLUFFS PKWY., SUITE 100 COLORADO SPRINGS, CO 80918

719.575-8500

ENGINEERING@RMG.COM

WWW.RMG-ARCH.COM

SOUTHERN COLORADO DRIVEWAY DESIGN, CONSTRUCTION

12/27/23

51909

12/27/23

51909

FOUNDATION LUTHERAN CHURCH

TOWNERS AVE

FALCON, COLORADO

COLORADO COMMERCIAL CONSTRUCTION, INC.

PROJECT STATUS

SITE DEVELOPMENT PLAN

SHEET NAME

SITE DETAILS

ENG: DGW

DRAWN: AMH

CHECKED: TPT

DATE: 12/27/2023

#

REVISION

DATE

JOB NO.

191726

SHEET NO.

C-104

PCD FILE NO. PPR2321

SITE CATEGORY CALCULATIONS

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.	Setback Plant Abbr. Denoted on Plan
Londonderry Drive	Non-Arterial	15' / 22'	444'	1 / 15'	30 / 21	(LD)
Towner Avenue	Non-Arterial	10' / 20'	693'	1 / 30'	23 / 9	(TA)

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
67	5 / 5	(MV)	Londonderry Drive Towner Avenue	180' / 153'	120' / 101'

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
24 / 24 20 / 24	12 / 15 10 / 14	-	(LS) (TS)	75% / 75% 75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
258,746 s.f.	5%	12,937 s.f. / 19,500 s.f.	26 / 4 (Request Alternative Landscape Plan)

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan
40 / 40	(IN)

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft) Req. / Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req. (1/3) / Provided
West boundary	15' / 15'	532'	21 / 21	7 / 15
South boundary	15' / 15'	458'	18 / 18	6 / 12

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
464' / 464' (existing fence)	(WB)	75% / 100%
458' / 458' (existing fence)	(SB)	75% / 100%

ALTERNATIVE LANDSCAPE PLAN REQUEST-
The internal trees and shrubs provided have been calculated and provided based on the developed site area. Since a majority of the site is not being developed it is requested that internal trees and shrubs not be required for the entire site. All other landscape requirements are being met.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	HEIGHT
--------	------	-----	----------------	-------------	------	-------	--------

TREES

	ACE HOT	5	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	1" Cal.	B & B	15' to 20'
	CEL OCC	4	Celtis occidentalis	Common Hackberry	1.5" Cal.	B & B	30' to 40'
	CRA VIR	5	Crataegus viridis 'Winter King'	Winter King Hawthorn	1" Cal.	B & B	15' to 20'
	GLE SH2	3	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	1.5" Cal.	B & B	30' to 40'
	MAL SPR	3	Malus x 'Spring Snow'	Spring Snow Crab Apple	1" Cal.	B & B	20' to 25'
	PIC BAB	4	Picea pungens glauca 'Baby Blue Eyes'	Baby Blue Eyes Spruce	6" Ht.	B & B	25' to 30'
	PIN EDU	20	Pinus cembroides edulis	Pinyon Pine	6" Ht.	B & B	15' to 20'
	PIN NIG	9	Pinus nigra	Austrian Black Pine	6" Ht.	B & B	30' to 40'
	QUE RUB	1	Quercus rubra	Northern Red Oak	1.5" cal.	B & B	30' to 40'

SHRUBS

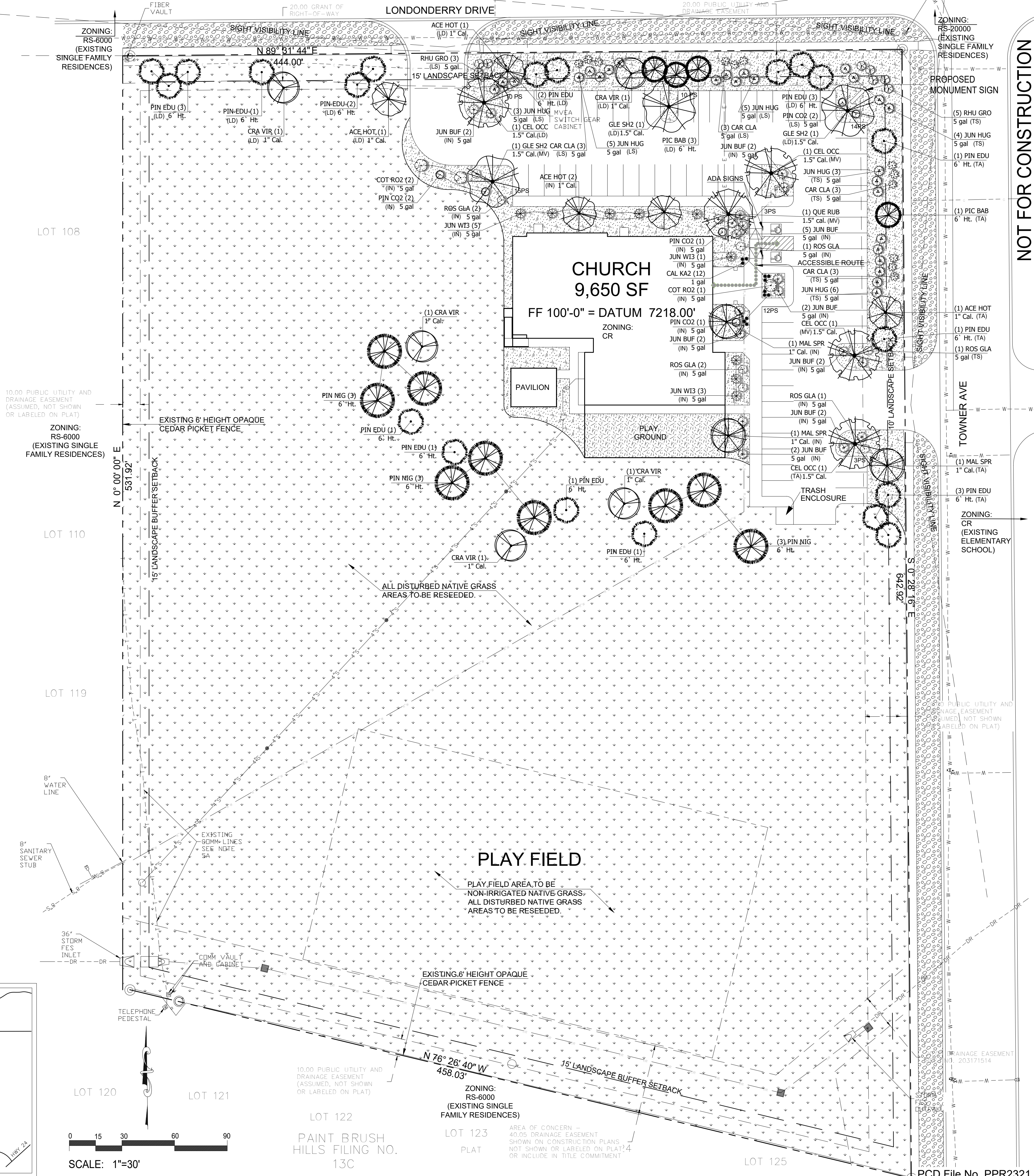
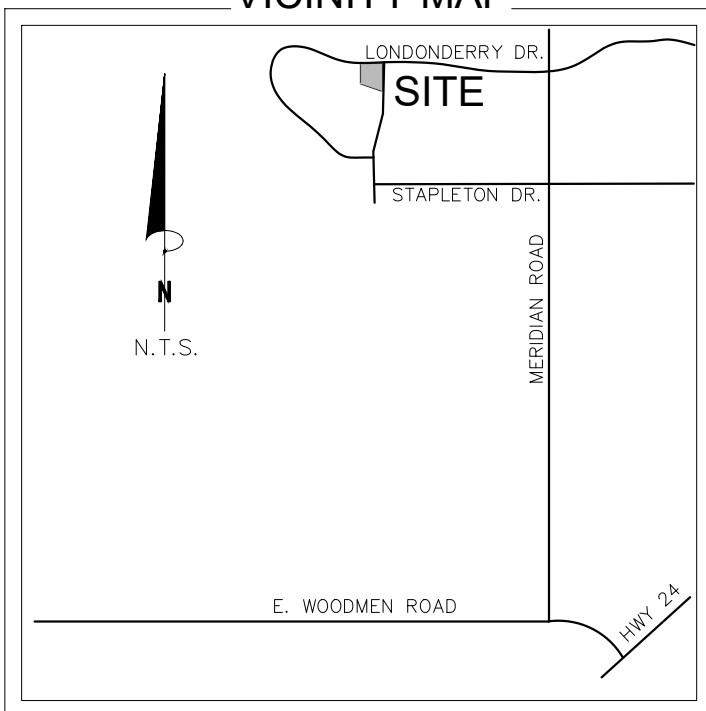
	CAR CLA	12	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal		3' to 4'
	COT RO2	3	Cotinus coggygia 'Royal Purple'	Royal Purple Smoke Tree	5 gal		5' to 8'
	JUN HUG	26	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal		1' to 2'
	JUN BUF	19	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal		1' to 2'
	JUN WI3	9	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	5 gal		12' to 15'
	PIN CO2	6	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3' to 5'
	RHU GRO	8	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal		1' to 2'
	ROS GLA	7	Rosa glauca	Redleaf Rose	5 gal		4' to 5'

ORNAMENTAL GRASSES

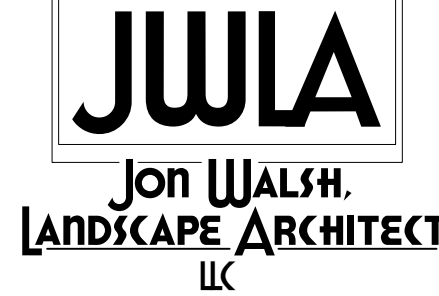
	CAL KA2	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal		3' to 4'
--	---------	----	--	--------------------	-------	--	----------

GROUND PLANE TREATMENT

SYMBOL	DESCRIPTION	QTY
	BLUE GRAY RIVER ROCK, 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	13,945 sf
	CLEAR CREEK GRANITE, 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	17,764 sf
	PLAYGROUND MULCH- 6" DEPTH	1,994 sf
	EXISTING NATIVE GRASS TO REMAIN. ALL DISTURBED NATIVE GRASS AREAS ARE TO BE RE-SEEDED.	202,469 sf



NOT FOR CONSTRUCTION



P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT FILE: fdnchurch-ftp-6-21-24.dwg

FOUNDATION LUTHERAN CHURCH

9950 & 9960 Towner Avenue
Falcon, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

DATE: March 24, 2023

August 24, 2023

November 3, 2023

June 21, 2024

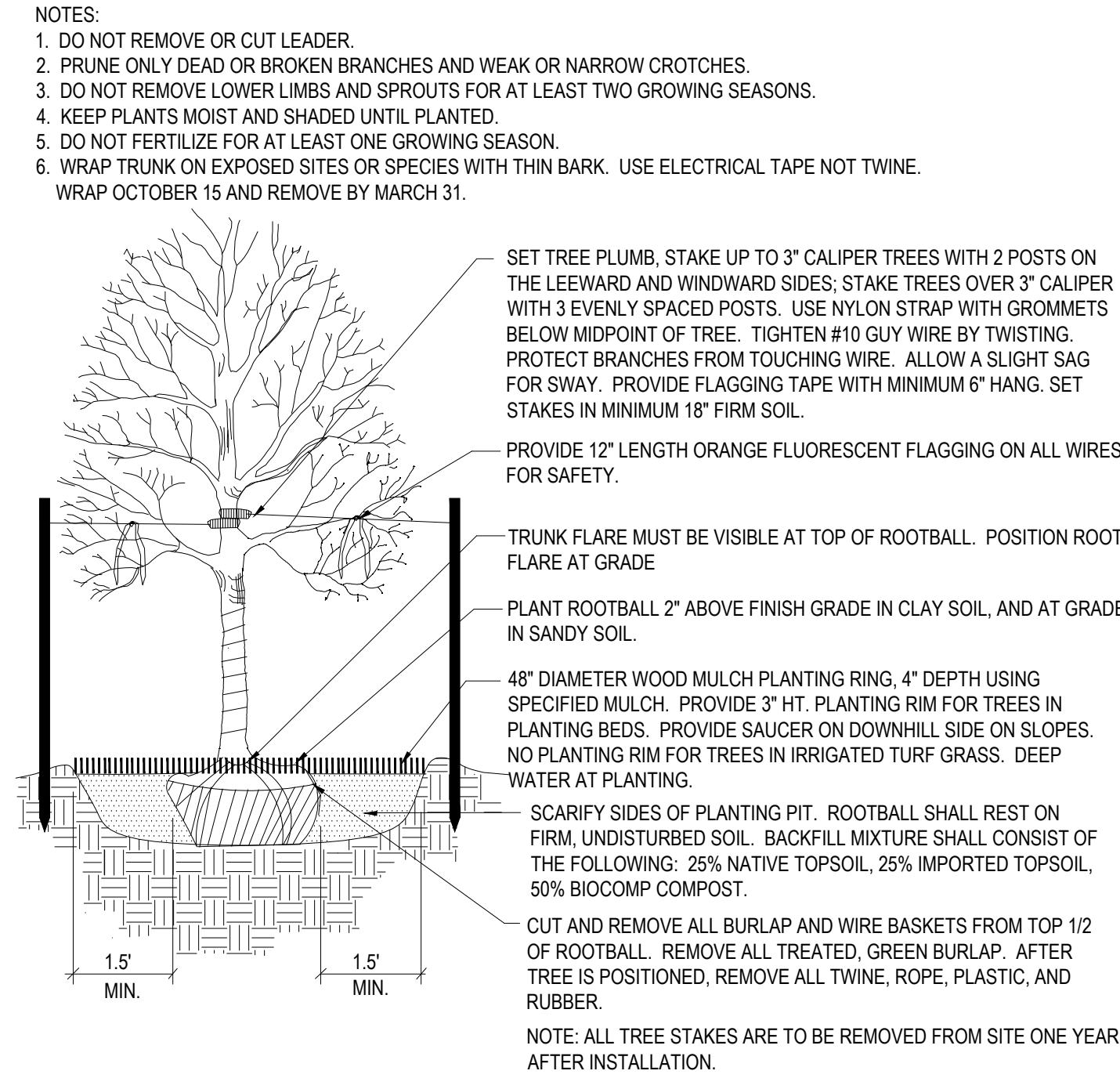
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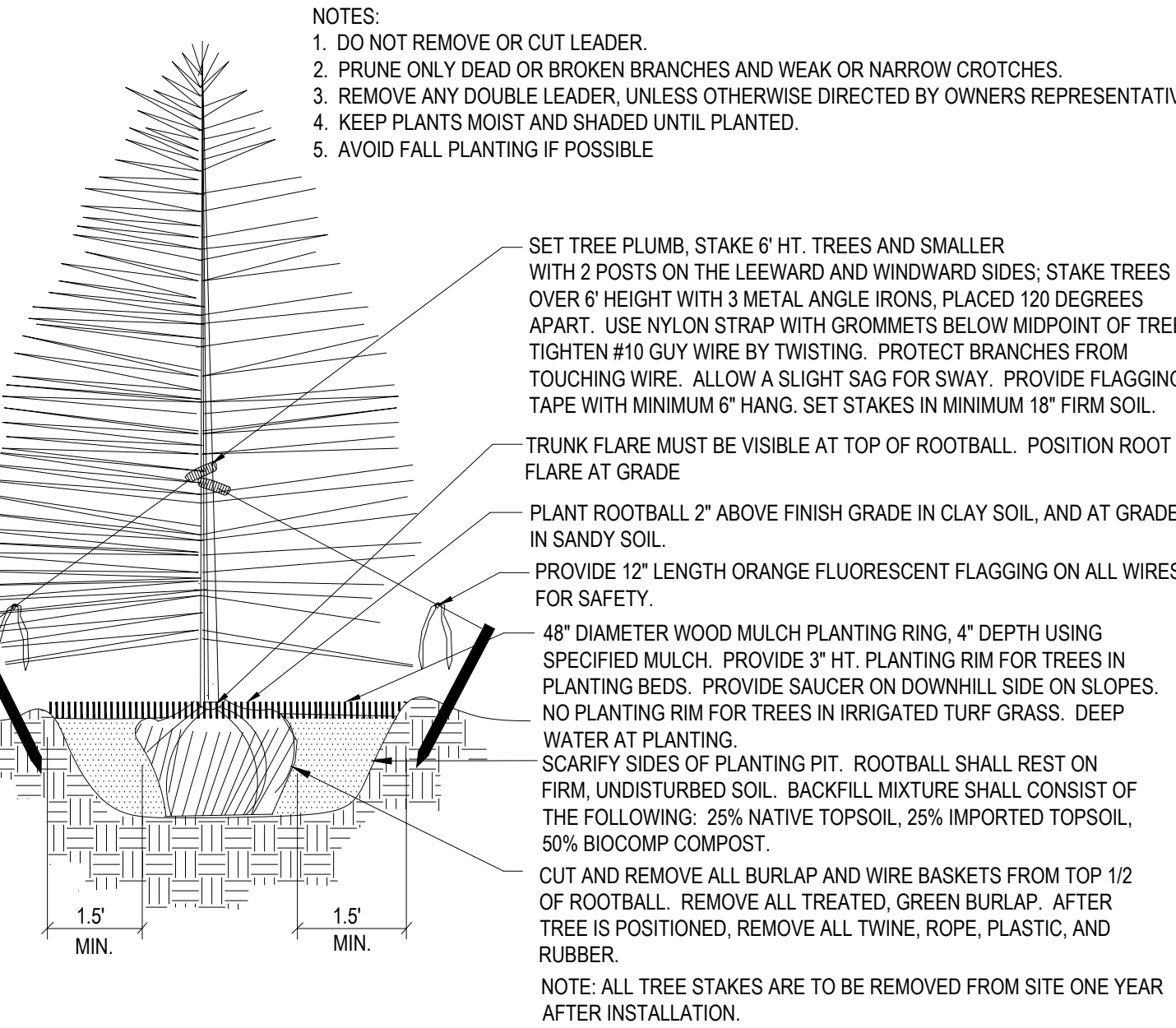
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PLANTING DETAILS



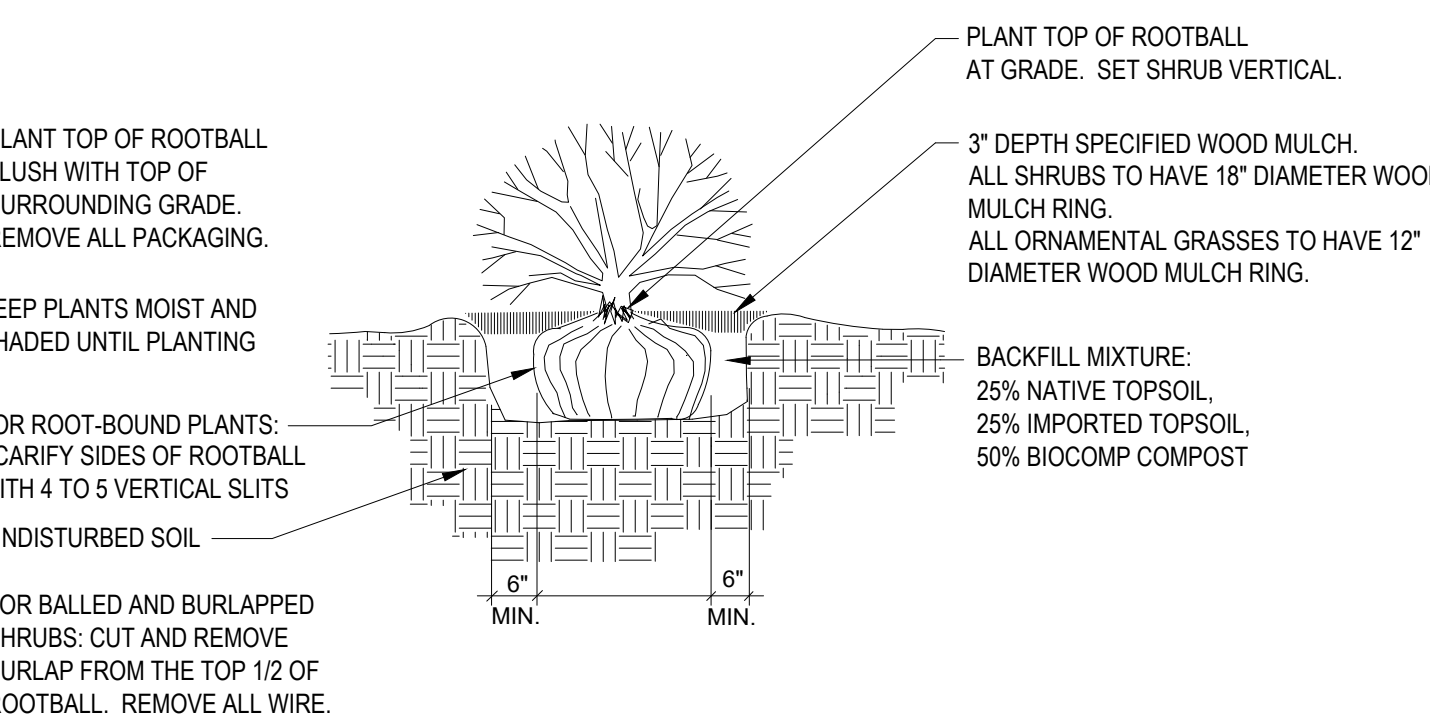
1 Deciduous Tree Planting Detail

NOT TO SCALE



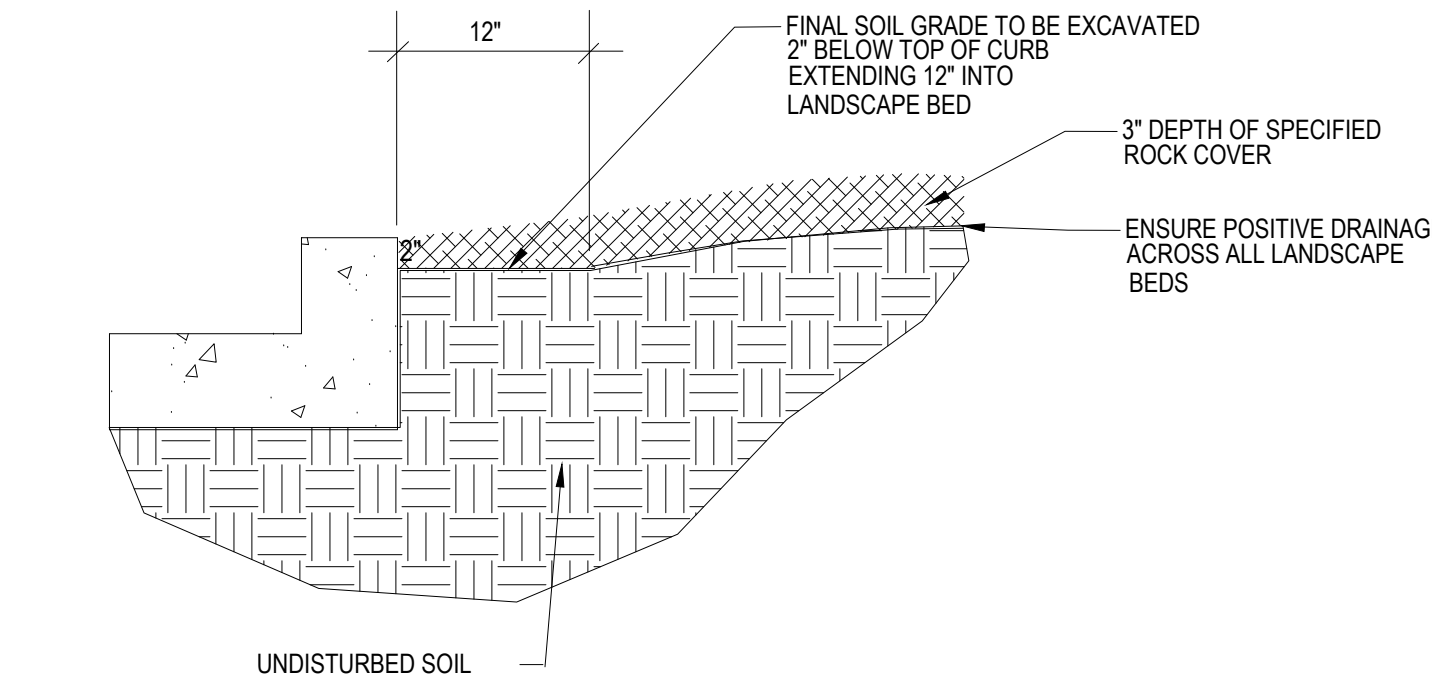
2 Coniferous Tree Planting Detail

NOT TO SCALE



3 Shrub Planting Detail

SCALE: NOT TO SCALE



4 Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS (PURE LIVE SEED)		
				-IRRIGATED BROADCAST -IRRIGATED HYDROSEEDED	-NON-IRRIGATED BROADCAST -NON-IRRIGATED HYDROSEEDED -IRRIGATED DRILLED	-NON-IRRIGATED DRILLED
BIG BLUESTEM	Buchloe dactyloides	WARM, SOD	20%	80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
GREEN NEEDLEGRASS	Nassella viridula	COOL, BUNCH	10%	2	1	0.5
WESTERN WHEATGRASS	Pascopyrum smithii	COOL, SOD	20%	6.4	3.2	1.6
SIDEOATS GRAMA	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
SWITCHGRASS	Panicum virgatum	WARM, BUNCH/ SOD	10%	0.8	0.4	0.2
PRAIRIE SANDREED	Calamovilfa longifolia	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIANGRASS	Sorghastrum nutans	WARM, SOD	10%	2	1	0.5
SEED RATE (LBS. PLS / ACRE)				19.3	9.7	4.8

NATIVE SEED ESTABLISHMENT

INITIAL PLANTING

STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6' X 6'.

OVER SEEDING

SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP ¼" TO ½" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.

PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
2" BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.
1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS INSIDE PROPERTY BOUNDARIES TO CONSIST OF 1.5" 'CLEAR CREEK GRANITE' CRUSHED GRANITE (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. RIGHT OF WAY AREAS TO CONSIST OF 1.5" BLUE GRAY RIVER ROCK, SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8' O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE GRASS AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX.. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.

SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

IRRIGATION NOTES

- ALL PROPOSED PLANT MATERIALS ARE TO BE WATERED BY A PROPOSED PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM. ALL SHRUBS TO HAVE (2) 1 GPH EMITTERS PLACED AT EDGE OF ROOTBALL ON OPPOSITE SIDES. ALL TREES TO HAVE (4) 1 GPH EMITTERS PLACED 90 DEGREES APART AROUND EDGE OF ROOTBALL.
- ALL SEEDED NATIVE GRASS AREAS TO BE ESTABLISHED BY A TEMPORARY SPRAY IRRIGATION ZONES CONNECTED TO THE AUTOMATIC IRRIGATION SYSTEM OR WITH PORTABLE SPRINKLER HEADS AND HOSES CONNECTED TO IRRIGATION SYSTEM QUICK COUPLERS AND/OR BUILDING HOSE BIBS.

GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. REMOVE SMALL SECTIONS OF STEEL EDGING WHEREVER DRAINAGE WILL NOT FREELY FLOW THROUGH EDGING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

NOT FOR CONSTRUCTION

JWLA
Jon Walsh.
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PROJECT FILE: fdnchurch-flp 11-3-23.dwg

FOUNDATION LUTHERAN CHURCH

9950 & 9960 Townner Avenue
Falcon, CO

PROJECT NAME:

FINAL LANDSCAPE PLAN

SHEET TITLE:

DATE: March 24, 2023

August 24, 2023

November 3, 2023

REVISIONS:

STAMP:

SHEET NO.

L2

Sheet 2 of 2

MARK	MANUFACTURER	MODEL	LAMPS PER FIXTURE			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS PER FIXTURE	QUANTITY OF EACH FIXTURE IN PROJECT
			QTY.	WATT	TYPE					
P1	LITHONIA	DSX1 LED P4 30K 80CRI T4M	2	124	LED	POLE MOUNT @ 20'	(2) AREA SITE POLE LIGHT @ 90'	120/277	248	1
P2	LITHONIA	DSX1 LED P4 30K 80CRI T4M	1	124	LED	POLE MOUNT @ 20'	AREA SITE POLE LIGHT	120/277	124	4
WP1	LITHONIA	WDGE2 LED P2 40K 80CRI T3M	1	19	LED	WALL MOUNT	ARCHITECTURAL WALLPACK	120/277	19	7
WP2	LITHONIA	WDGE3 LED P4 40K 80CRI R3	1	88	LED	WALL MOUNT	ARCHITECTURAL WALLPACK	120/277	88	2

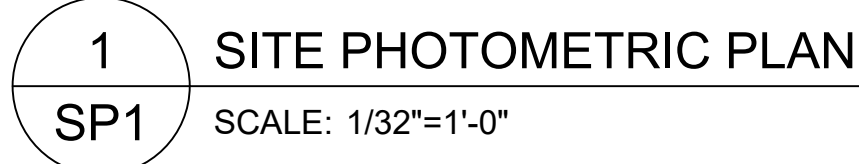
NOTES:

1) PROVIDE EMERGENCY BACKUP BATTERY.

2) CONFIRM ALL LIGHT FIXTURE SELECTIONS WITH TENANT PRIOR TO ORDERING. THIS INCLUDES COLORS, COLOR TEMPERATURES, MANUFACTURER, ETC.

CALCULATION ZONE STATISTICS						
DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	2.2	6.0	0.5	12.0:1	4.4:1

DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	2.2	6.0	0.5	12.0:1	4.4:1

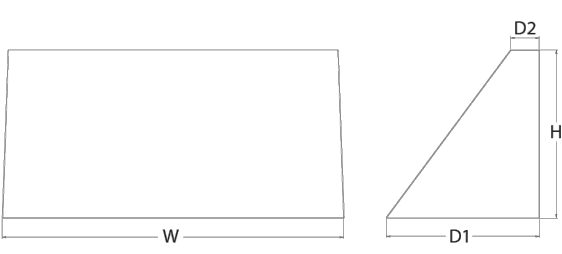


WDGE3 LED Architectural Wall Sconce



Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)



Catalog Number
Type
Notes
Type

Use the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped separately
WDGE3 LED	P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	70CRI 80CRI	R2 Type 2 R3 Type 3 R4 Type 4 RFT Forward Throw	MVOLT 347' 480'	SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry, left, right, central entry, use when there is no junction box available)	AWS 3/8" x 1/8" Architectural wall spacer PB8W Surface-mounted back box (dry, left, right, central entry, use when there is no junction box available)

Options	Finish
E1SWH Emergency battery backup, Certified in CA Title 20 MABES (10W, 5°C min)	DBRZ Dark bronze
E2DWC Emergency battery backup, Certified in CA Title 20 MABES (10W, 5°C min)	DBLK Black
PE1 Photocell, Button Type	DNAL Natural aluminum
DMG1 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DNWD White
RCE Bottom central entry for back box (PB8W), Total of 4 entry points.	DSND Sandstone
SP10W 10W Surge pack	DNBZ Textured dark bronze
BAA Buy America's Act Compliant	DNAL Textured natural aluminum
	DNWD Textured white
	DSND Textured sandstone

Accessories

WDGEWS DDBXD WDGE3 White Washcoat (RAL Spec) (specify finish)	1 347V and 480V not available with E1SWH and E2DWC.	3 DMG option not available with E1SWH and E2DWC.
WDGE3PBW DDBXD WDGE3 surface-mounted back box (specify finish)	2 PE not available in 480V and with sensor/controls	4 Not qualified for DLC. Not available with emergency battery backup or sensors/controls



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WDGE3 LED Rev. 11/21/22

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	50K (3000K, 70 CRI)	40K (4000K, 70 CRI)	30K (3000K, 70 CRI)
P1	52W	R2	7,837 136 1 0 1 7,649 148 2 0 1 7,649 148 2 0 1		
		R3	6,922 134 1 0 2 7,524 145 1 0 2 7,524 145 1 0 2		
		R4	7,133 138 1 0 2 7,753 150 1 0 2 7,753 150 1 0 2		
		RFT	6,985 135 1 0 2 7,592 147 1 0 2 7,592 147 1 0 2		
P2	59W	R2	7,968 135 2 0 1 8,661 147 2 0 1 8,661 147 2 0 1		
		R3	7,838 133 1 0 2 8,519 144 1 0 2 8,519 144 1 0 2		
		R4	8,077 137 1 0 2 8,779 149 1 0 2 8,779 149 1 0 2		
		RFT	7,909 134 1 0 2 8,597 146 2 0 2 8,597 146 2 0 2		
P3	71W	R2	9,404 132 2 0 1 10,221 143 2 0 1 10,221 143 2 0 1		
		R3	9,250 130 2 0 2 10,054 141 2 0 2 10,054 141 2 0 2		
		R4	9,532 134 2 0 2 10,361 145 2 0 2 10,361 145 2 0 2		
		RFT	9,334 131 2 0 2 10,146 142 2 0 2 10,146 142 2 0 2		
P4	88W	R2	11,380 129 2 0 1 12,369 140 2 0 1 12,369 140 2 0 1		
		R3	11,194 127 2 0 2 12,167 138 2 0 2 12,167 138 2 0 2		
		R4	11,535 131 2 0 2 12,538 142 2 0 2 12,538 142 2 0 2		
		RFT	11,295 128 2 0 2 12,277 139 2 0 2 12,277 139 2 0 2		

Electrical Load

Performance Package	System Watts	320V	208V	240V	277V	347V	480V
P1	52W	0.437	0.246	0.213	0.186	0.150	0.110
P2	59W	0.498	0.287	0.251	0.220	0.175	0.136
P3	71W	0.598	0.344	0.300	0.262	0.210	0.162
P4	88W	0.727	0.424	0.373	0.333	0.260	0.190

Lumen Output in Emergency Mode (4000K, 70 CRI)

Option	Dist. Type	Lumens
E1SWH	R2	3,185
	R3	3,133
	R4	3,229
	RFT	3,162
E2DWC	R2	3,669
	R3	3,609
	R4	3,719
	RFT	3,642

Lumen Multiplier for 80CRI

CRI	Multiplier
30K	0.891
40K	0.906
50K	0.906

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the anticipated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (based per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LFL, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.98	>0.97	>0.92



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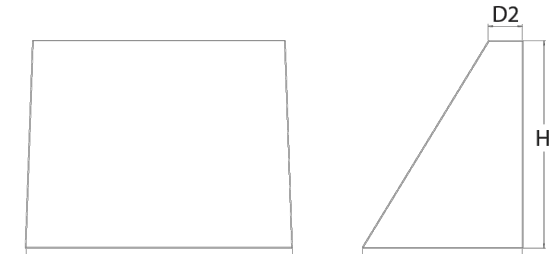
WDGE3 LED Rev. 11/21/22

WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs (without options)



Catalog Number
Type
Notes
Type

Use the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W	--	--	750	1,200	2,000	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--
WDGE4 LED	Precision Refractive	--	--	Standalone / nLight	--	12,000	16,000	18,000	20,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped separately
WDGE2 LED	P01 P11 P21 P31 P41	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB1 Amber	70CRI 80CRI LW Limited Wavelength	T15 Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium T5TM Forward Throw Medium	MVOLT 347' 480'	SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry, left, right, central entry, use when there is no junction box available)	AWS 3/8" x 1/8" Architectural wall spacer PB8W Surface-mounted back box (dry, left, right, central entry, use when there is no junction box available)

Options	Finish
E1SWH Emergency battery backup, Certified in CA Title 20 MABES (10W, 5°C min)	DBRZ Dark bronze
E2DWC Emergency battery backup, Certified in CA Title 20 MABES (10W, 5°C min)	DBLK Black
PE1 Photocell, Button Type	DNAL Natural aluminum
DMG1 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DNWD White
RCE Bottom central entry for back box (PB8W), Total of 4 entry points.	DSND Sandstone
BAA Buy America's Act Compliant	DNBZ Textured dark bronze
	DNAL Textured natural aluminum
	DNWD Textured white
	DSND Textured sandstone



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WDGE2 LED Rev. 11/21/22

Accessories

WDGEWS DDBXD WDGE2 White Washcoat (RAL Spec) (specify finish)

WDGE3PBW DDBXD WDGE2 surface-mounted back box (specify finish)

- NOTES
- P0 option not available with sensors/controls.
 - P1-P4 not available with AMB and LW.
 - AMB and LW always go together.
 - 70CRI only available with T3M and T4M.
 - 347V and 480V not available with E1SWH or E2DWC.
 - Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
 - DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)	30K (3000K, 80 CRI)	40K (4000K, 80 CRI)	50K (5000K, 80 CRI)	Author (Limited Wavelength)
P0	7W	T15	606 92 0 0 0 666 99 0 0 0 699 101 0 0 1 691 100 0 0 1 712 47 0 0 0 1				
		T3M	662 96 0 0 0 695 101 0 0 0 728 106 0 0 0 719 104 0 0 0 741 48 0 0 0 1				
		T4M	648 94 0 0 0 679 98 0 0 0 712 103 0 0 0 704 102 0 0 0 726 47 0 0 0 1				
		T5TM	652 95 0 0 0 683 99 0 0 0 717 104 0 0 0 706 103 0 0 0 730 48 0 0 0 1				
P1	11W	T15	1,105 99 0 0 1 1,157 104 0 0 1 1,225 109 0 0 1 1,200 107 0 0 1				
		T3M	1,150 103 0 0 1 1,204 108 0 0 1 1,264 113 0 0 1 1,240 112 0 0 1				
		T4M	1,150 103 0 0 1 1,205 108 0 0 1 1,265 113 0 0 1 1,250 112 0 0 1				
		T5TM	1,126 101 0 0 1 1,179 106 0 0 1 1,238 111 0 0 1 1,223 110 0 0 1				
P2	19W	T15	1,313 101 0 0 1 1,366 106 0 0 1 1,435 112 0 0 1 1,420 110 0 0 1				
		T3M	1,381 95 1 0 1 1,486 99 1 0 1 1,597 103 1 0 1 1,581 104 1 0 1				
		T4M	1,375 99 1 0 1 1,383 100 1 0 1 1,281 109 1 0 1 1,287 107 1 0 1				
		T5TM	1,376 99 1 0 1 1,384 100 1 0 1 1,282 109 1 0 1 1,288 107 1 0 1				
P3	32W	T15	1,836 97 1 0 1 1,932 101 1 0 1 1,278 106 1 0 1 1,294 105 1 0 1				
		T3M	1,847 97 1 0 1 1,934 102 1 0 1 1,280 107 1 0 1 1,286 106 1 0 1				
		T4M	1,847 97 1 0 1 1,294 102 1 0 1 1,280 107 1 0 1 1,286 106 1 0 1				
		T5TM	1,847 97 1 0 1 1,294 102 1 0 1 1,280 107 1 0 1 1,286 106 1 0 1				
P4	47W	T15	2,289 87 1 0 1 2,392 92 1 0 1 1,389 96 1 0 1 1,402 95 1 0 1				
		T3M	2,294 91 1 0 1 1,383 95 1 0 1 1,275 100 1 0 1 1,276 99 1 0 1				
		T4M	2,295 91 1 0 1 1,383 95 1 0 1 1,276 100 1 0 1 1,277 99 1 0 1				
		T5TM	2,289 90 1 0 1 1,375 94 1 0 1 1,266 99 1 0 1 1,278 97 1 0 1				

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)										30K (3000K, 70 CRI)										40K (4000K, 70 CRI)										50K (5000K, 70 CRI)									
			T	M	P	U	P	U	P	U	P	U	T	M	P	U	P	U	T	M	P	U	P	U	T	M	P	U	P	U												
P0	7W	T3M	727	107	0	0	0	760	111	0	0	0	822	119	0	0	802	121	0	0	802	121	0	0	1																	
		T4M	721	105	0	0	0	766	108	0	0	0	804	117	0	0	1	814	118	0	0	1																				
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,407	128	1	0	1	1,445	129	1	0	1																				
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1																				
		T5TM	1,287	110	1	0	1	1,330	114	1	0	1	1,337	123	1	0	1	1,337	124	1	0	1																				
		T6M	1,282	108	1	0	1	1,214	111	1	0	1	1,278	120	1	0	1	1,286	121	1	0	1																				
P2	13W	T3M	1,294	101	0	0	1	1,389	105	1	0	1	1,608	113	1	0	1	1,605	114	1	0	1																				
		T4M	1,168	90	1	0	1	1,297	91	1	0	1	1,504	101	1	0	1	1,504	101	1	0	1																				
P3	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2																				
		T4M	4,227	91	1	0	1	4,076	94	1	0	2	4,714	101	1	0	2	4,714	102	1	0	2																				