

FOUNDATION LUTHERAN CHURCH

9960 TOWNERS AVE
FALCON, COLORADO

GRADING AND EROSION CONTROL CONSTRUCTION DOCUMENTS

EL PASO COUNTY STANDARD NOTES:

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCES SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY SON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATION FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED DEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPED, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF THE WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION FOR INFILTRATION AND VEGETATIVE CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA THERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, ROCK, TRASH, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8, GRS), AND THE CLEAN WATER ACT (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM THE EARTHWORK EQUIPMENT AND WIND.
28. A SOILS REPORT WAS COMPLETED BY RMG ENGINEERS & ARCHITECTS DATED 9/26/23. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OF APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD-PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

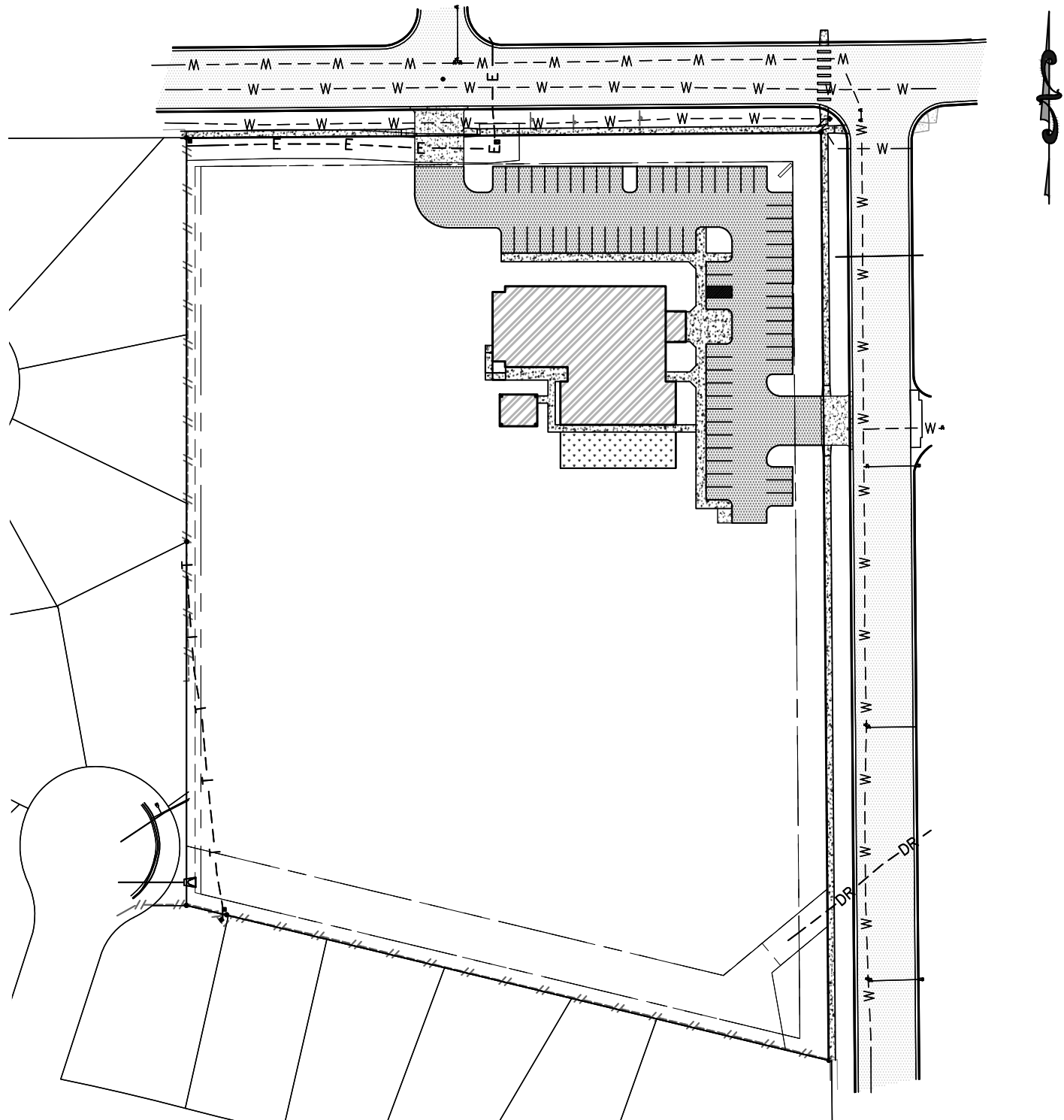
SURVEY NOTES:

1. THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NOV 1929.
2. THE BASIS OF BEARINGS IS THE WEST LINE OF TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 13A" UNDER RECEPTION NO. 213713413 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00E A DISTANCE OF 531.92 FEET.

PROPERTY DESCRIPTION:

TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 13A" UNDER RECEPTION NO. 213713413 IN THE RECORDS OF EL PASO COUNTY, COLORADO.

SAID PARCEL CONTAINS A CALCULATED AREA OF 259,865 SQUARE FEET (5.966 ACRES, MORE OR LESS).



SITE MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

PROJECT CONTACTS:

CLIENT:

FOUNDATION LUTHERAN CHURCH
PASTOR STEVEN PRAHL
10387 MOUNT EVANS DR
PEYTON, CO 80931
PASTOR@FOUNDATIONLUTHERAN.COM
719-396-1058

GENERAL CONTRACTOR:

COLORADO COMMERCIAL CONSTRUCTION, INC
DALE BEGGS
5410 POWERS CENTER PT, STE 210
COLORADO SPRINGS, CO
DBEGGS@COCOMMERCIAL.NET
719-264-6955

CIVIL ENGINEER:

RMG - ROCKY MOUNTAIN GROUP
DAVID WALKER, P.E.
DWALKER@RMG-ENGINEERS.COM
2910 AUSTIN BLUFFS PKWY, STE 100
COLORADO SPRINGS, CO 80918
719-548-0600

ARCHITECT:

RMG - ROCKY MOUNTAIN GROUP
KEITH MOORE
19375 BEACON LITE RD.
MONUMENT, CO 80907
719-548-0600

MEP ENGINEER:

MCSHEA CONSULTING, LLC
MICHAEL MCSHEA
MIKE@MCSHEACONSULTING.COM
719-358-8208

RESTORATION NOTES:

1. FURTHER DETAIL AND NOTES PROVIDED IN THE DRAINAGE CRITERIA MANUAL VOLUME III, CHAPTER 14.
2. SEE SEED MIX TABLES 14-9 THROUGH 14-14 FOR GIVEN GEOGRAPHIC AND GEOLOGIC CONDITIONS IN THE DRAINAGE CRITERIA MANUAL VOLUME III, CHAPTER 14.
3. UNLINED DRAINAGE FACILITIES AND AREAS DISTURBED DURING CONSTRUCTION SHOULD BE ACTIVELY REVEGETATED. SEED MIXES SHOULD BE SELECTED TO MATCH THE CONDITIONS WHERE THEY WILL BE USED. RECOMMENDED SEED MIXES FOR THE BOTTOM (WET SOILS) AND SIDE SLOPES OF DRAINAGE FACILITIES ARE INCLUDED IN TABLES 14-9 AND 14-10, RESPECTIVELY. SEED MIXES FOR ALKALI SOILS AND ALL OTHER SOIL CONDITIONS IN UPLAND AREAS ARE PROVIDED IN TABLES 14-11 AND 14-12, RESPECTIVELY. WILDFLOWER MIXES ARE PROVIDED IN TABLE 14-13. THE SEEDING RATES IN THESE MIXES ARE RECOMMENDED MINIMUM RATES FOR DRILL SEEDING. THESE RATES SHOULD BE DOUBLED FOR BROADCAST SEEDING AND HYDRO-SEEDING IN SMALL AREAS OR STEEP CONDITIONS WITH SLOPES GREATER THAN 3H:1V.

THE RECOMMENDED SEED MIXES ARE SUITABLE FOR THE COLORADO FRONT RANGE FOR SITES FROM 4,500 TO 7,000 FT IN ELEVATION. APPLICATIONS OUTSIDE THESE RANGES SHOULD BE MADE AFTER CONSULTATION WITH A QUALIFIED REVEGETATION SPECIALIST. FALL IS THE PREFERRED TIME FOR NON-IRRIGATED SEEDING. LATE SUMMER SEEDBED PREPARATION FOLLOWED BY INSTALLATION OF THE SEED IN THE FALL (OCTOBER) ALLOWS WINTER MONTHS FOR ADDITIONAL FIRMING OF THE SEEDBED BEFORE SPRING AND GERMINATION. FALL SEEDING BENEFITS FROM WINTER, SPRING MOISTURE, AND USUALLY ASSURES MAXIMUM SOIL MOISTURE AVAILABILITY FOR ESTABLISHMENT.

LATE WINTER TO EARLY SPRING (FEBRUARY TO EARLY APRIL) IS TYPICALLY THE NEXT MOST FAVORABLE TIME PERIOD FOR SEEDING. WINTER AND EARLY SPRING SEEDING SHOULD NOT BE CONDUCTED IF THE SOIL IS FROZEN, SNOW COVERED, OR WET (MUDDY). WHILE OF GREATER RISK, SPRING SEEDING (MID-APRIL INTO EARLY JUNE) CAN BE SUCCESSFUL, ESPECIALLY DURING MOIST YEARS. MID- TO LATE SUMMER SEEDING CAN BE SUCCESSFUL, WITH ADEQUATE PRECIPITATION CHAPTER 14 REVEGETATION MAY 2014 CITY OF COLORADO SPRINGS 14-21 DRAINAGE CRITERIA MANUAL, VOLUME 1 OR IRRIGATION TO WET AND SETTLE THE SEED BED. FIRMING OF THE SEEDBED FOLLOWING SEEDING WILL IMPROVE RESULTS DURING DRY OR WARM SEEDING TIMES.

4. CONTRACTOR SHALL BE FAMILIAR WITH THE CUT/FILL OF THE PROPOSED CONDITIONS IN ORDER TO MINIMIZE STOCKPILING OF EXCAVATED DIRT.

BATCH PLANT STATEMENT:

NO BATCH PLANTS ARE TO BE USED ON SITE

FEMA FLOODPLAIN STATEMENT:

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0551G DATED DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, PE COUNTY ENGINEER/ECM ADMINISTRATOR DATE

OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER, HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

DALE BEGGS, GENERAL CONTRACTOR DATE
COLORADO COMMERCIAL CONSTRUCTION, INC
5410 POWERS CENTER PT, STE 210
COLORADO SPRINGS, COLORADO

ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

DAVID WALKER, P.E. #51909 DATE

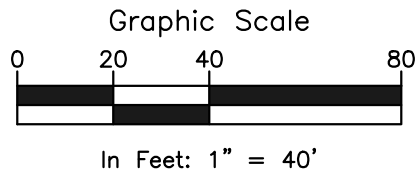
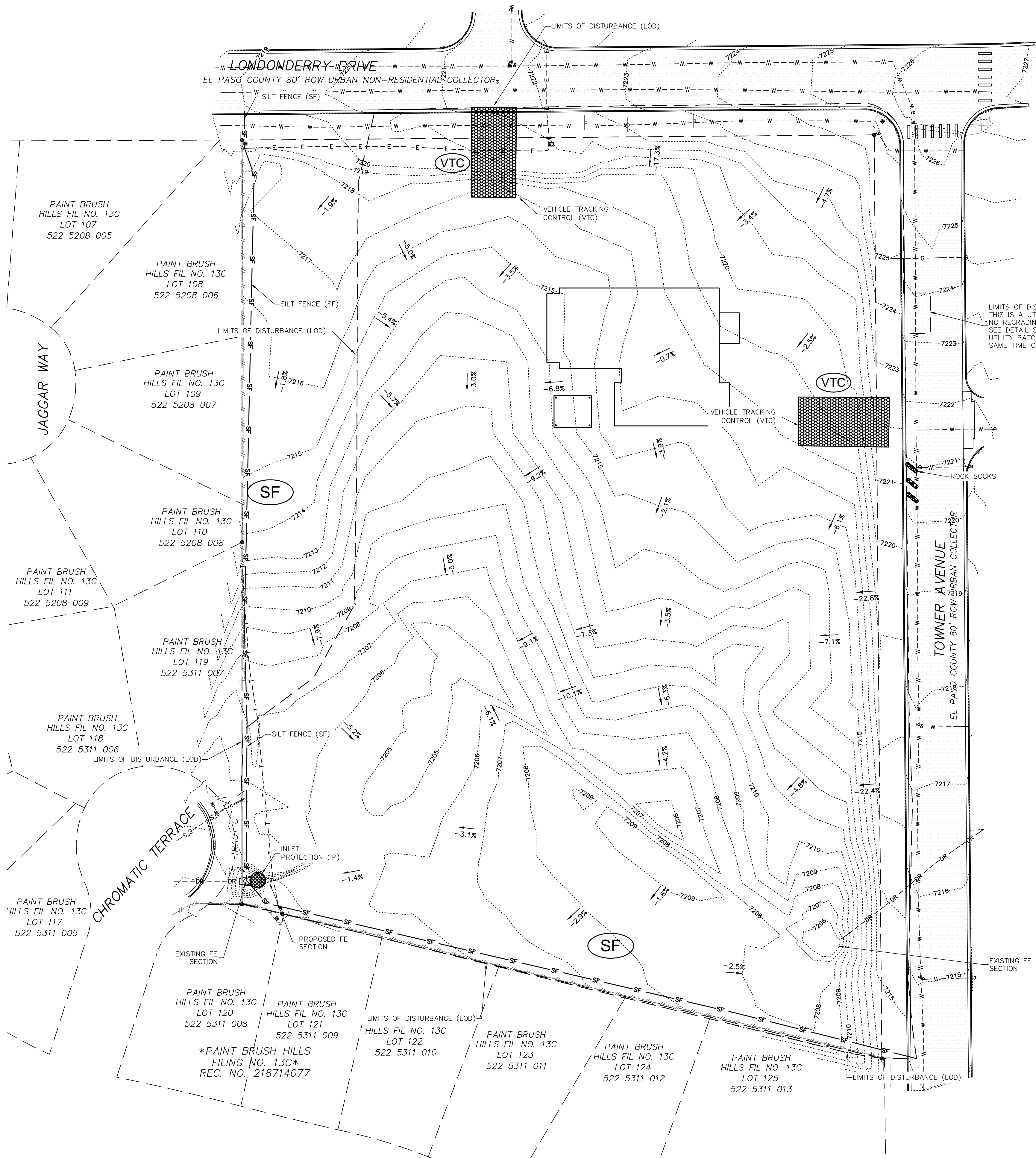
SHEET INDEX

SHEET NUMBER	SHEET TITLE
01	GEC COVER
02	INITIAL EROSION CONTROL PLAN
03	INTERIM EROSION CONTROL PLAN
04	FINAL EROSION CONTROL PLAN
05	CUT AND FILL PLAN
06	GRADING PLAN NORTH
07	GRADING PLAN SOUTH
08	GEC DETAILS
09	GEC DETAILS
10	GEC DETAILS

CAUTION - NOTICE TO CONTRACTORS:

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND ARE TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF THE SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT DRAWINGS AS REQUIRED FOR ACCEPTANCE OF WORK FROM ANY GOVERNING AGENCY.

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Please update legend. The existing linework does not match with the GEC plan shown.

- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - LIMITS OF DISTURBANCE / CONSTRUCTION
 - PROPERTY CORNER/MONUMENT, BENCHMARK OR TEMPORARY BENCHMARK
 - SHEET FLOW/DRAINAGE DIRECTION
 - PROPOSED MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - SPOT ELEVATION
 - LIMITS OF DISTURBANCE LINE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING WATER MAIN
 - EXISTING STORM DRAIN
 - EXISTING FENCE

- SITE HATCHING**
- PROP. ASPHALT PAVEMENT
 - PROP. CONCRETE PAVEMENT
 - PROP. STRUCTURE/BUILDING
 - PROP. RETAINING WALL
 - EX. CONCRETE PAVEMENT
 - EX. STRUCTURE/BUILDING

- EROSION CONTROL LEGEND**
- VTC: VEHICLE TRACKING CONTROL
 - SSA: STABILIZED STAGING AREA (INITIAL)
 - CWA: CONCRETE WASHOUT AREA
 - SF: SILT FENCE
 - PS: PERMANENT SEEDING & MULCHING
 - ECB: EROSION CONTROL BLANKET
 - RS: ROCK SOCKS
 - SP: STOCKPILE AREA PROTECTION (INTERNAL)

- GENERAL NOTES:**
- ANTICIPATED START: BEGINNING OF AUGUST 2023; COMPLETION TIME PERIOD OF SITE GRADING: 3-4 WEEKS.
 - EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: MARCH 2024.
 - TOTAL AREA TO BE CLEARED, EXCAVATED, OR GRADED: 225,205 SF (5.17 AC. MAX.)
 - RECEIVING WATERS: FALCON DRAINAGE BASIN
 - SOILS INFORMATION: USDA CLASSIFIED AS PRING COARSE SANDY LOAMS, HYDROLOGIC SOIL GROUP B.
 - FULL SPECTRUM DETENTION IS PROVIDED OFF-SITE AT DETENTION FACILITY B1 WHICH IS OWNED AND MAINTAINED BY PAINT BRUSH HILLS METRO DISTRICT.
 - EXISTING VEGETATION IS AN OPEN FIELD W/ GRASSES

- SURVEY NOTES:**
- THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NGVD 1929.
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Markus Towner
Firm President
Civil / Planning

RMG

Architectural
Structural
Geotechnical

Engineers / Architects

SOUTHERN COLORADO OFFICE
2910 AUSTIN BLUFFS PKWY., SUITE 100, COLORADO SPRINGS, CO 80918
719.575.8500
SOUTHERN COLORADO DRIVEWAY NO. 10, TOWNERS AVENUE

COLORADO LICENSE
PAINT BRUSH HILLS
51909

FOUNDATION LUTHERAN CHURCH
9960 TOWNERS AVE
FALCON, COLORADO

COLORADO COMMERCIAL CONSTRUCTION, INC.

SHEET NAME
INITIAL EROSION CONTROL PLAN

PROJECT STATUS
CONSTRUCTION DOCUMENTS

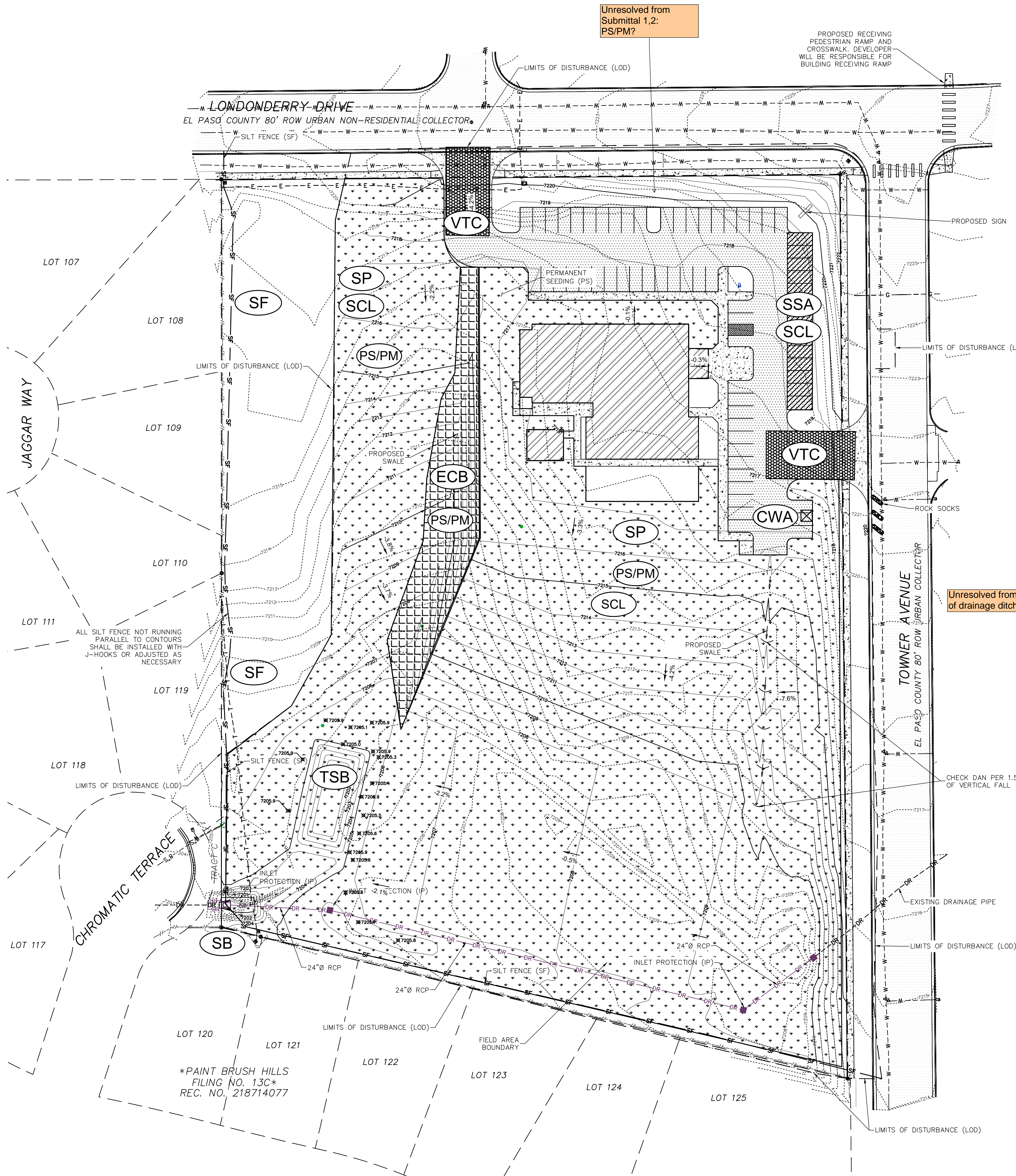
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12/20/2023

#	REVISION	DATE

JOB NO.
191726

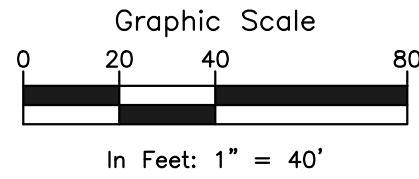
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Unresolved from Submittal 1, 2: PS/PM?

PROPOSED RECEIVING PEDESTRIAN RAMP AND CROSSWALK. DEVELOPER WILL BE RESPONSIBLE FOR BUILDING RECEIVING RAMP



LEGEND

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SITE HATCHING

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- PROP. CONCRETE PAVEMENT
- PROP. STRUCTURE/BUILDING
- PROP. LANDSCAPED AREA
- PROP. CONCRETE SIDEWALK
- PROP. GRASS FIELD
- PROP. RETAINING WALL
- EX. CONCRETE PAVEMENT
- EX. STRUCTURE/BUILDING
- EX. LANDSCAPED AREA

EROSION CONTROL LEGEND

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- CWA: CONCRETE WASHOUT AREA
- SF: SILT FENCE
- PS/PM: PERMANENT SEEDING & MULCHING
- ECB: EROSION CONTROL BLANKET
- RS: ROCK SOCKS
- SP: STOCKPILE AREA PROTECTION (INTERNAL)
- SB: SEDIMENTATION BASIN
- SCL: SEDIMENT CONTROL LOGS
- TSB: TEMPORARY SEDIMENTATION BASIN

GENERAL NOTES:
A. ANTICIPATED START: BEGINNING OF AUGUST 2023; COMPLETION TIME PERIOD OF SITE GRADING: 3-4 WEEKS.
B. EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: MARCH 2024.
C. TOTAL AREA TO BE CLEARED, EXCAVATED, OR GRADED: 225,205 SF (517 AC. MAX.)
D. RECEIVING WATERS: FALCON DRAINAGE BASIN
E. SOILS INFORMATION: USDA CLASSIFIED AS PRING COARSE SANDY LOAMS, HYDROLOGIC SOIL GROUP B.
F. FULL SPECTRUM DETENTION IS PROVIDED OFF-SITE AT DETENTION FACILITY B1 WHICH IS OWNED AND MAINTAINED BY PAINT BRUSH HILLS METRO DISTRICT.
G. THE USE OF CONSTRUCTION TRAILERS REQUIRE PCD PERMITTING

SURVEY NOTES:

- THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION - 7136.34, NGVD 1929.
- THE BASIS OF BEARINGS IS THE WEST LINE OF TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 13A" UNDER RECEPTION NO. 213713413 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00E A DISTANCE OF 531.92 FEET.

PCD FILE NO. PPR2321

Marking Testing
Foreman
Civil / Planning

RMG

Architectural
Structural
Geotechnical

Engineers / Architects

SOUTHERN COLORADO OFFICE
2910 AUSTIN BLUFFS PKWY., SUITE 100, COLORADO SPRINGS, CO 80918
719.575.8500
SOUTHERN COLORADO DRIVEWAY NO. 100, TOWNERS AVENUE

COLORADO LICENSE
12/20/23
51909

FOUNDATION LUTHERAN CHURCH
9960 TOWNERS AVE
FALCON, COLORADO

COLORADO COMMERCIAL CONSTRUCTION, INC.

SHEET NAME
INTERIM EROSION CONTROL
PLAN

PROJECT STATUS
CONSTRUCTION DOCUMENTS

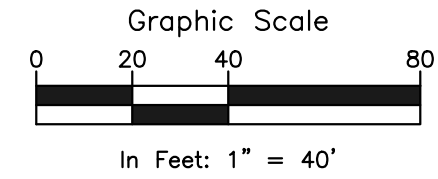
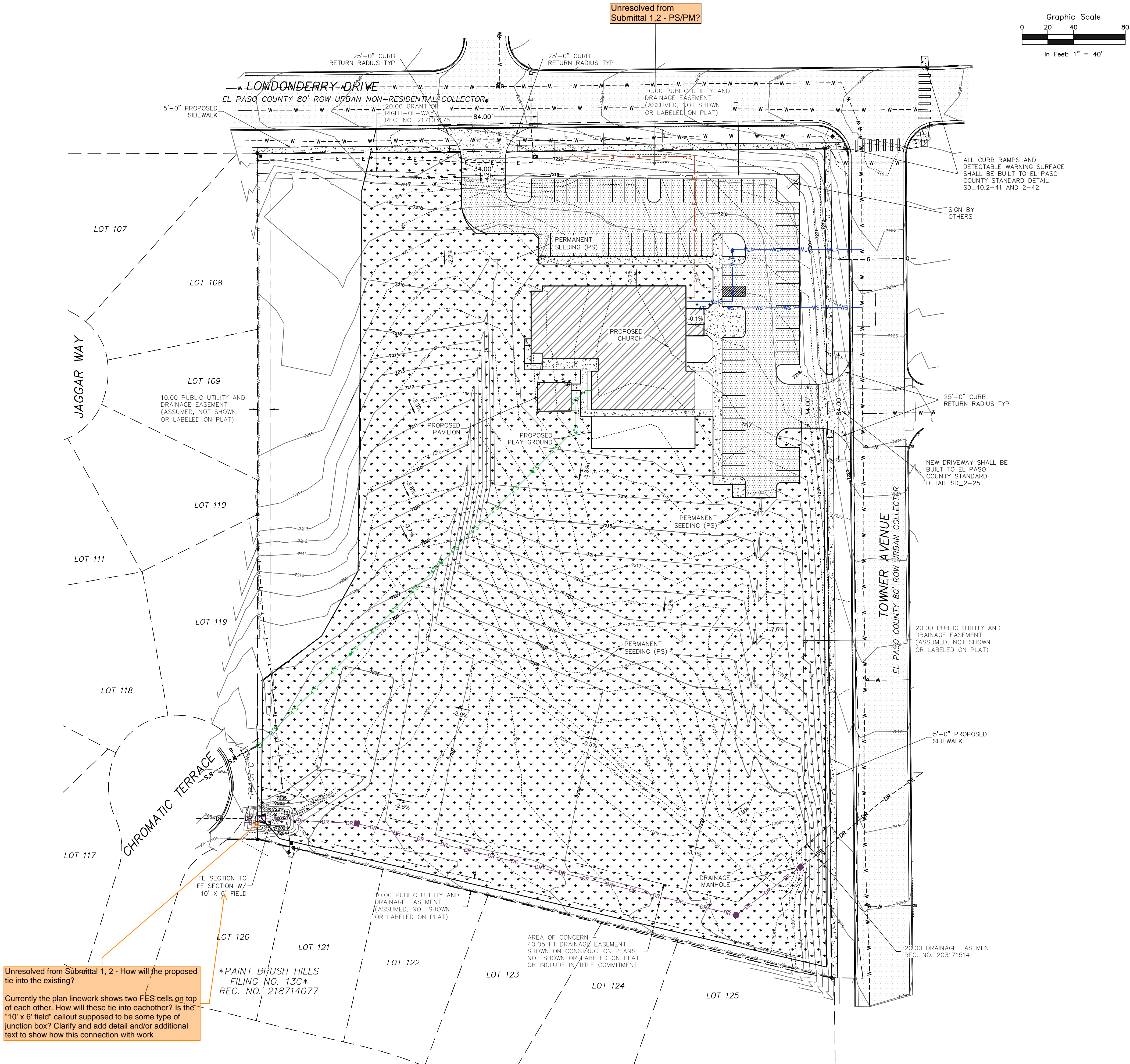
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DRAWN: AMH
CHECKED: TPT
DATE
12/20/2023

#	REVISION	DATE

JOB NO.
191726

SHEET NO.
03
of 10

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LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- LIMITS OF DISTURBANCE / CONSTRUCTION
- BM
- SHEET FLOW/DRAINAGE DIRECTION
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- SPOT ELEVATION
- E --- E --- E --- E --- E --- PROPOSED UNDERGROUND ELECTRIC
- W --- W --- W --- W --- W --- PROPOSED WATER MAIN
- DR --- DR --- DR --- DR --- DR --- PROPOSED STORM DRAIN
- S --- S --- S --- S --- S --- PROPOSED SEWER MAIN
- EXISTING FENCE

Update legend
proposed linework
does not match what
is shown on the plan.

- GENERAL NOTES:**
- ANTICIPATED START: BEGINNING OF AUGUST 2023; COMPLETION TIME PERIOD OF SITE GRADING: 3-4 WEEKS.
 - EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: MARCH 2024.
 - TOTAL AREA TO BE CLEARED, EXCAVATED, OR GRADED: 225,205 SF (5.17 AC. MAX.)
 - RECEIVING WATERS: FALCON DRAINAGE BASIN
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- SURVEY NOTES:**
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 - REMOVE EXISTING FLARED END SECTIONS. INSTALL DRAIN MANHOLE TO EXISTING DRAIN PIPE FROM UNDER TOWNER AVENUE MADE EXISTING PIPE FOR SIZE AND MATERIAL. SHEET NEW PIPE FROM DRAIN MANHOLE OUTLET

Markable: Testing
Fragments
Civil / Planning

RMG

Architectural
Structural
Geotechnical

Engineers / Architects

SOUTHERN COLORADO OFFICE
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COLORADO LICENSED
PAINT BRUSH HILLS
51909

12/20/23

FOUNDATION LUTHERAN CHURCH
9960 TOWNERS AVE
FALCON, COLORADO

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SHEET NAME
FINAL EROSION CONTROL PLAN

PROJECT STATUS
CONSTRUCTION DOCUMENTS

ENG: DSW
DRAWN: AMH
CHECKED: TPT

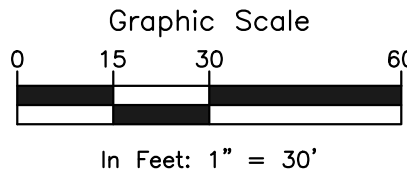
DATE
12/20/2023

REVISION DATE

JOB NO.
191726

SHEET NO.
04
of 10

PCD FILE NO. PPR2321



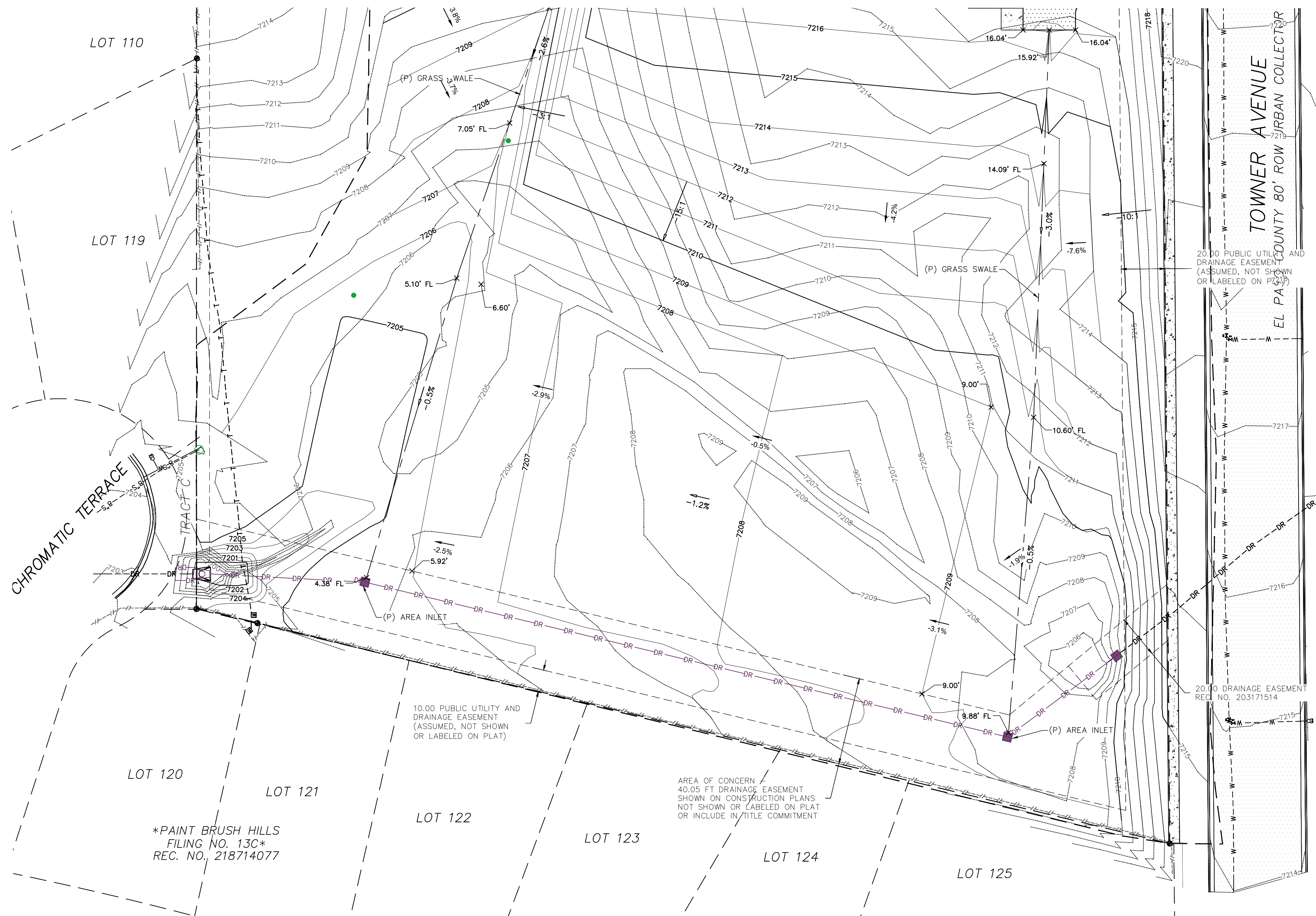
Please update drawings to reflect changes to curb returns.

- NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
- NO DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSMP.
- INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN ISSUED. "CONDITIONS OF THE GEC PERMIT" SHALL BE STRICTLY ADHERED TO. IF THE GEC PERMIT IS VIOLATED, THE CITY MAY SCHEDULE AN 8-HOUR PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND ENFORCED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL, IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
- ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IN PLACE. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSURE.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR SURFACE WATER OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- BUILDING MATERIALS, CONSTRUCTION MATERIALS, AND OTHER MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF STORAGE IS NECESSARY TO PROTECT THE PUBLIC FROM UNDESIRABLE CONDITIONS (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
- ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY OF THE ADJACENT AS, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM.
- SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM. SPILLS OF OIL, GREASE, AND OTHER LIQUIDS SHALL BE IMMEDIATELY CLEANED UP. OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
- ALL OIL AND GREASE SPILLS SHALL BE IMMEDIATELY CLEANED UP. REGARDLESS OF SIZE OF THE SPILL, THE SITE SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
- NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- CONSTRUCTION MEASURES SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED, OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL HAVE SEEDS OR MULCH APPLIED TO THE AREA. THE CITY ENGINEER SHALL ACCEPT OR REJECT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
- THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENGINEER SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN THIRTY (30) DAYS OF PERMIT APPROVAL OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE TO PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
- APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT CONSTITUTE AN APPROVAL OF THE DEVELOPER'S AUTHORITY TO CONSTRUCT IMPROVEMENTS.
- ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE NOT CONSIDERED TO BE COVERED BY THE STORMWATER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.
- ALL STORM DRAIN PIPE WILL BE PRIVATE ON THE PROPERTY AND PUBLIC IN THE RIGHT OF WAY.

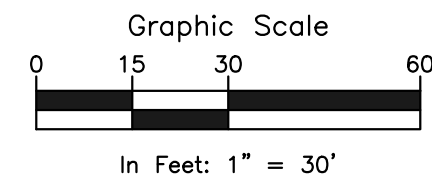
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- E. SOILS INFORMATION: USDA CLASSIFIED AS PRING COARSE SANDY LOAMS, HYDROLOGIC SOIL GROUP B.
- F. FILL SPECTRUM DETENTION IS PROVIDED OFF-SITE AT DETENTION FACILITY, WHICH IS OWNED AND MAINTAINED BY PAINT BRUSH HILLS METRO DISTRICT.

1. THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE MONUMENTED AS SHOWN HEREON. THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT. NO TOPOGRAPHIC SURVEY DATA SHOWS THE RESULT OF AN ANALYSIS ON THE GROUND SURFACE OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE FOOT. THE BENCHMARK IS THE SOUTHWEST CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NVD# 1929.
2. THE BASIS OF BEARINGS IS THE WEST LINE OF THE TRACT OR LOTS AS SHOWN ON THE PLAT OF "PAINT BRUSHES FILING NUMBER 88-102-001-002, 21373413 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00"E AT A DISTANCE OF 531.92 FEET

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Comment Generated due to Changes from the last Submittal - show cuts and fill limits.



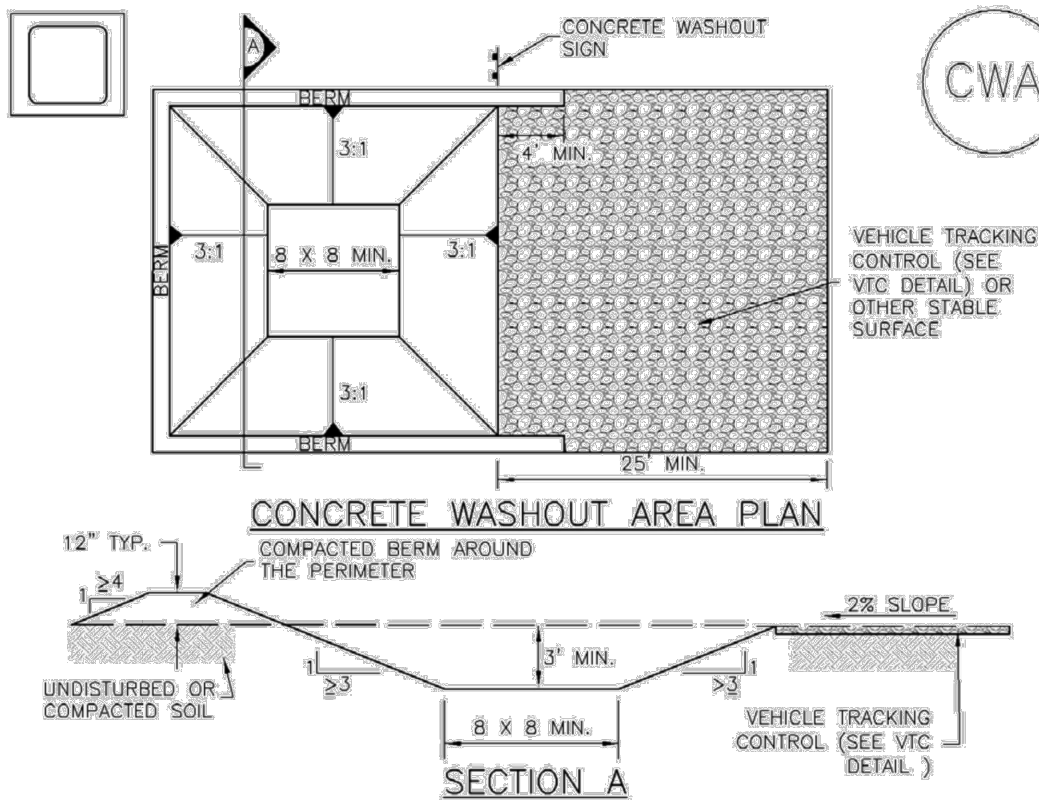
1. NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN OBTAINED.
2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSMP.
3. ALL CONSTRUCTION CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED" CALL CITY STORMWATER INSPECTIONS, 385-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL. NOTICE OF CONSTRUCTION SHALL BE PROVIDED TO THE CITY OF WASHINGTON (BY MAIL OR E-MAIL) (ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT. STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND THE CITY'S MS4 PERMIT, THE CITY'S MS4 PERMIT SHALL BE THE MORE RESTRICTIVE. CITY OF WASHINGTON, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
4. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE EXCESSIVE CONCENTRATIONS OF POLLUTANTS TO EXCEED THE CITY'S MS4 PERMIT.
5. ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSURE.
6. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
7. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
8. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT ANY CONSTRUCTION SITE.
9. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
10. THE CITY OF WASHINGTON SHALL HAVE THE RIGHT TO STOP THE CONSTRUCTION OF THE PROJECT, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER.
11. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEMS. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED FOR ALL OILS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS OR THE CITY'S MS4 PERMIT SHALL BE USED TO DETERMINE THE MOST APPROPRIATE METHODS.
12. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
13. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, THE CITY OF WASHINGTON MAY IMPOSE ADDITIONAL CONDITIONS.
14. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL NOT BE REFINISHED, MULCHED, OR RESEED, OR STABILIZED, OR COVERED WITH TOPSOIL WITHIN FORTY DAYS AFTER THE DISTURBED AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE RESEED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
15. THE GEC PLAN SHALL BE REVIEWED AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDEAL FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS CHANGES IN THE CONSTRUCTION PLAN.
16. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSMP DOES NOT SATISFY THIS REQUIREMENT. THE PERMITTEE, THE CITY OF WASHINGTON, OR THE CITY OF WASHINGTON, ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
17. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.
18. ANY DISTURBANCE OF THE CITY'S RIGHT-OF-WAY OR LIMITS OF DISTURBANCE ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN SHALL BE CONSIDERED SEPARATE PLANS. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.
19. ALL STORM DRAIN PIPE SHALL BE PRIVATE ON THE PROPERTY AND PUBLIC IN THE RIGHT OF WAY.

- | GENERAL NOTES: | |
|----------------|--|
| A. | ANTICIPATED START-BEGINNING OF AUGUST 2023; COMPLETION TIME PERIOD OF SITE GRADING: 3-4 WEEKS. |
| B. | ANTICIPATED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED: MARCH 2024. |
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| F. | FULL SPECTRUM DETENTION IS PROVIDED OFF-SITE AT DETENTION FACILITY B1 WHICH IS OWNED AND MAINTAINED BY PAINT BRUSH HILLS METRO DISTRICT. |

- SURVEY NOTES:**
- THE PROPERTY WAS SURVEYED ON THE GROUND DECEMBER 14-16, 2020, AND WAS FOUND TO BE UNDEVELOPED. AS SHOWN HEREON, THE LEGAL UNITS WITHIN THIS SURVEY IS THE U.S. SURVEY FOOT. THE TOPOGRAPHIC SURVEY DATA SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY OF THE TOPOGRAPHIC FEATURES OF THE SUBJECT PROPERTY. THE CONTOUR INTERVAL IS ONE HUNDRED FEET. THE CORNER OF SECTION 25, A 3 1/4" ALUMINUM CAP, ELEVATION = 7136.34, NGVD 1929.
2. THE BASIS OF BEARINGS IS THE WEST LINE OF TRACT C AS SHOWN ON THE PLAT OF "PAINT BRUSH HILLS FILING NO. 134" UNDER RECEPTION NO. 2137134/34 OF THE RECORDS OF EL PASO COUNTY, COLORADO. SAID LINE IS ASSUME TO BEAR N00°00'00"E A DISTANCE OF 531.92 FEET.

Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (1.5 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES. LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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MM-1

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

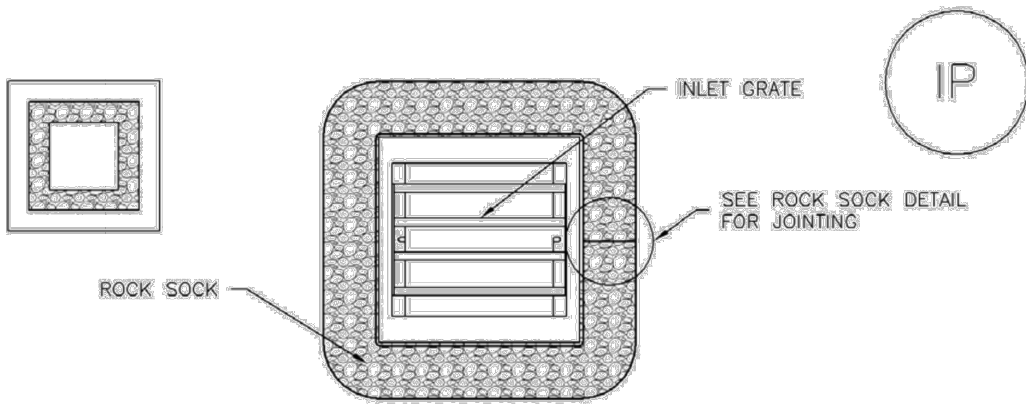
(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Inlet Protection (IP)

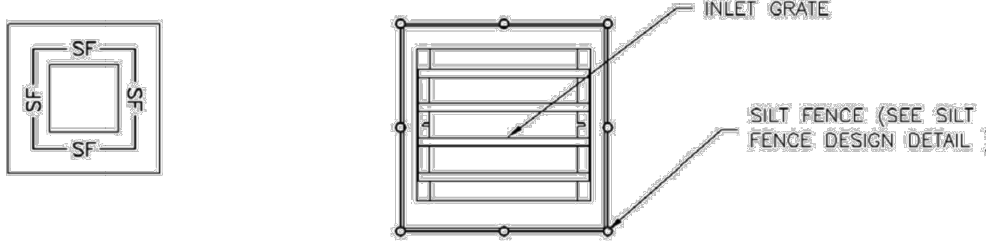
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

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Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF INLET PROTECTION
-TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY. A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

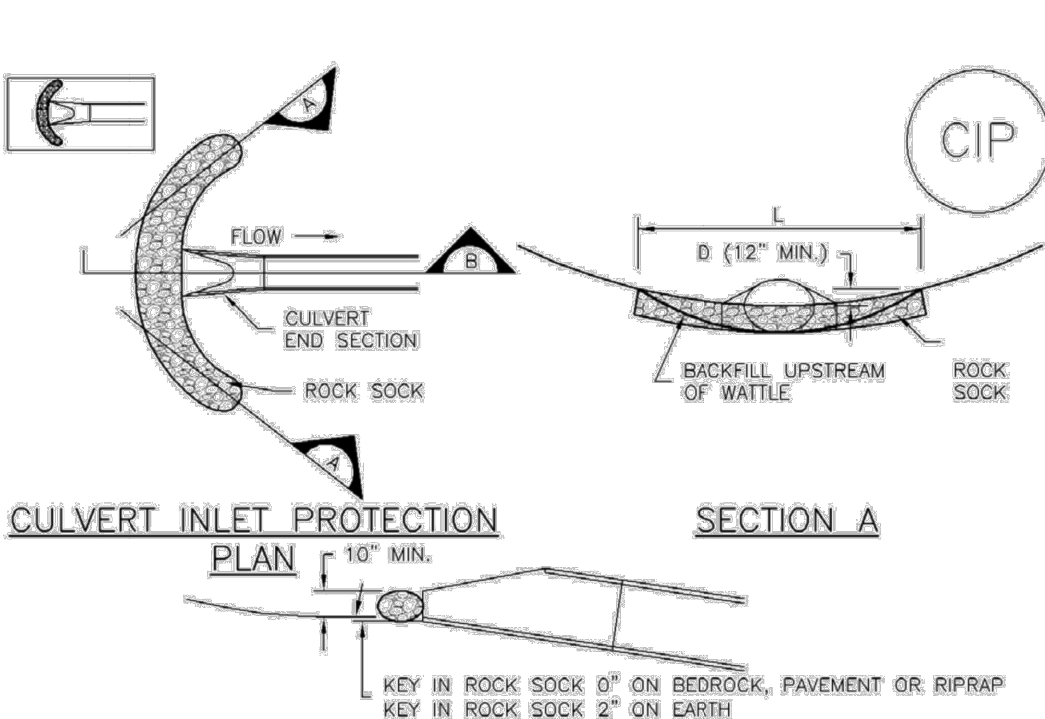
NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWAMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

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Inlet Protection (IP)

SC-6



CIP-1. CULVERT INLET PROTECTION

CULVERT INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF CULVERT INLET PROTECTION.
2. SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINTING DETAIL.

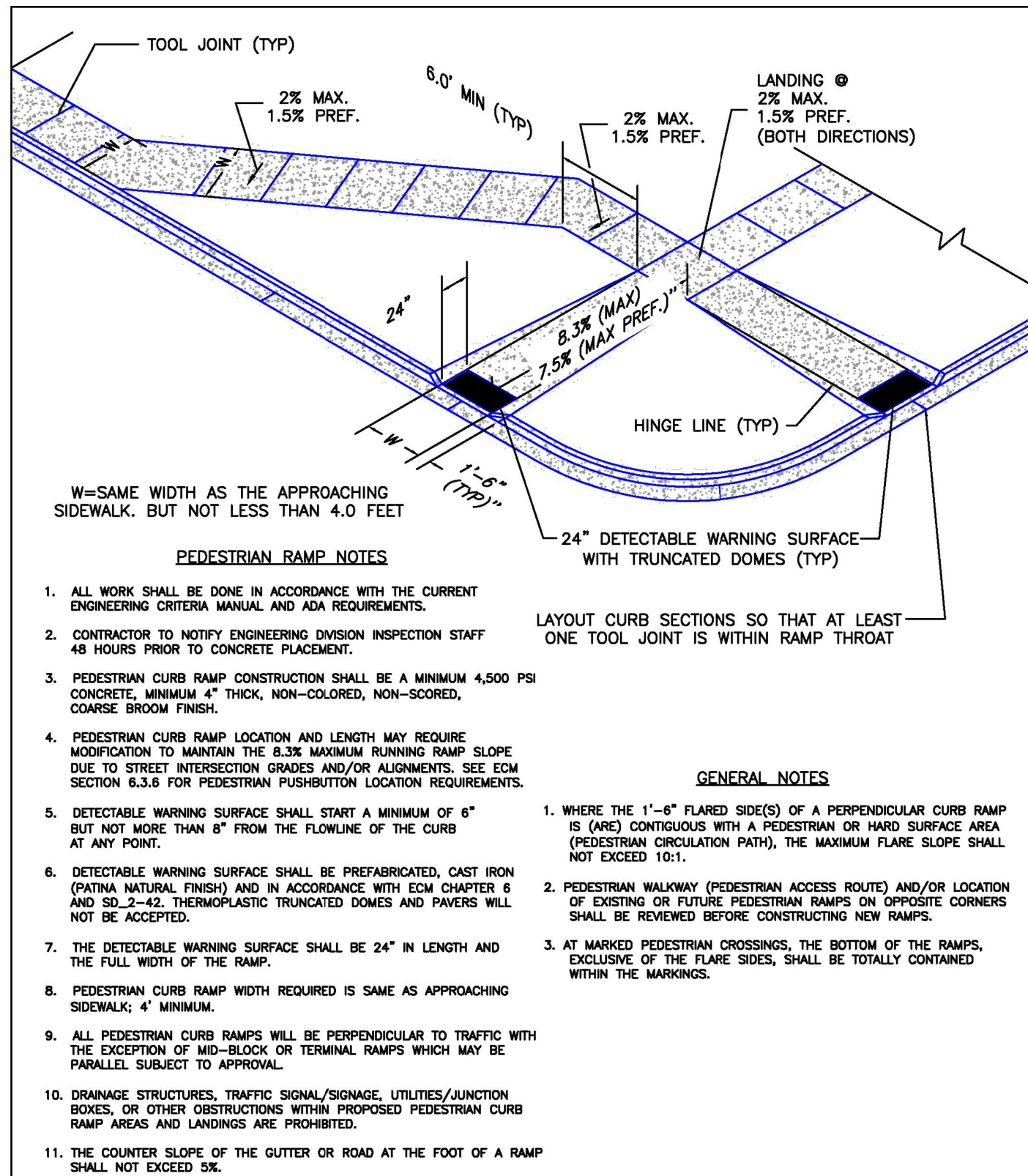
CULVERT INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
5. CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

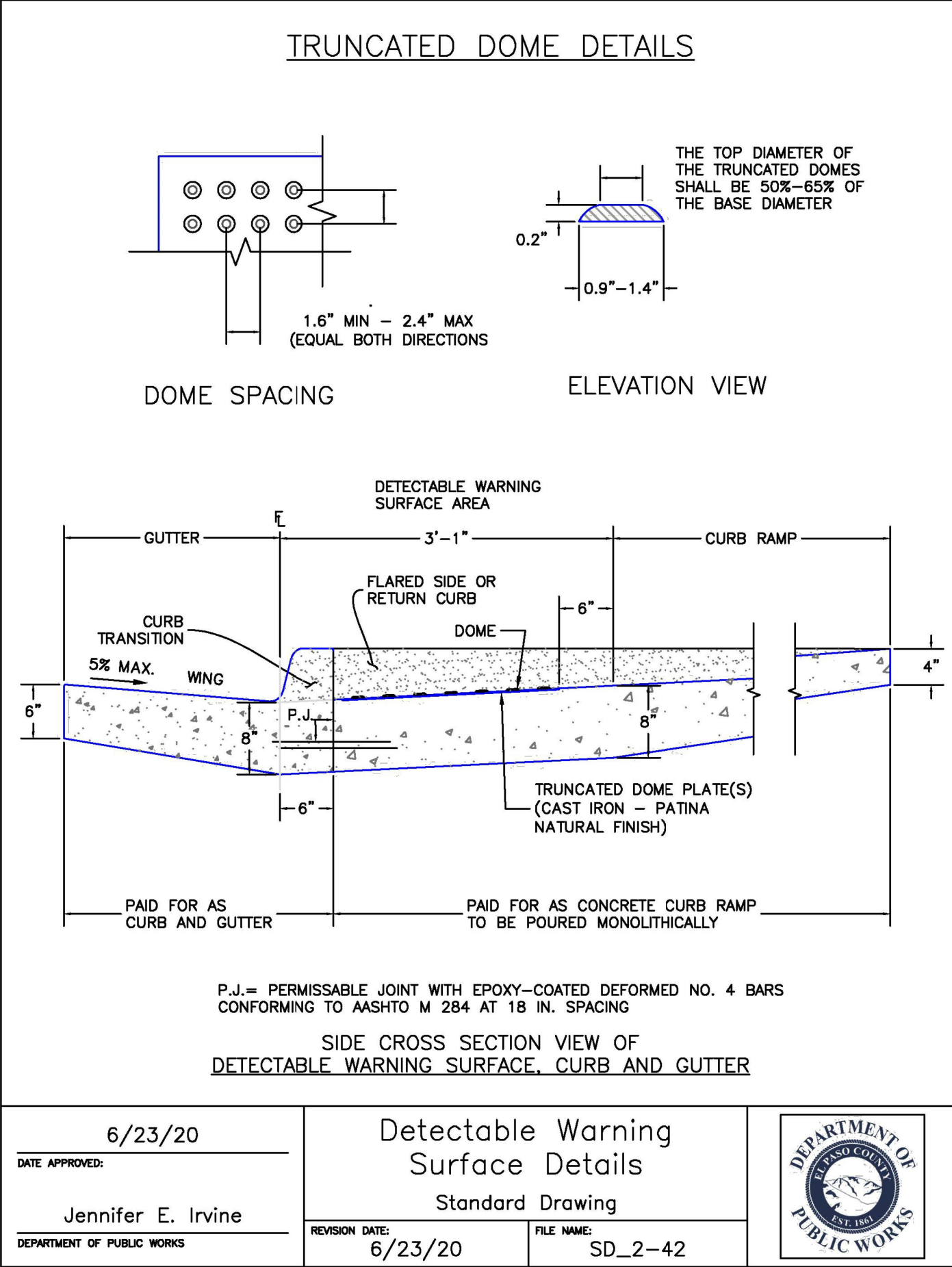
(DETAILS ADAPTED FROM AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

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6/23/20	Pedestrian Curb Ramp Detail	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-41
Jennifer E. Irvine	Standard Drawing	



6/23/20	Detectable Warning Surface Details	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-42
Jennifer E. Irvine	Standard Drawing	

PCD FILE NO. PPR2321

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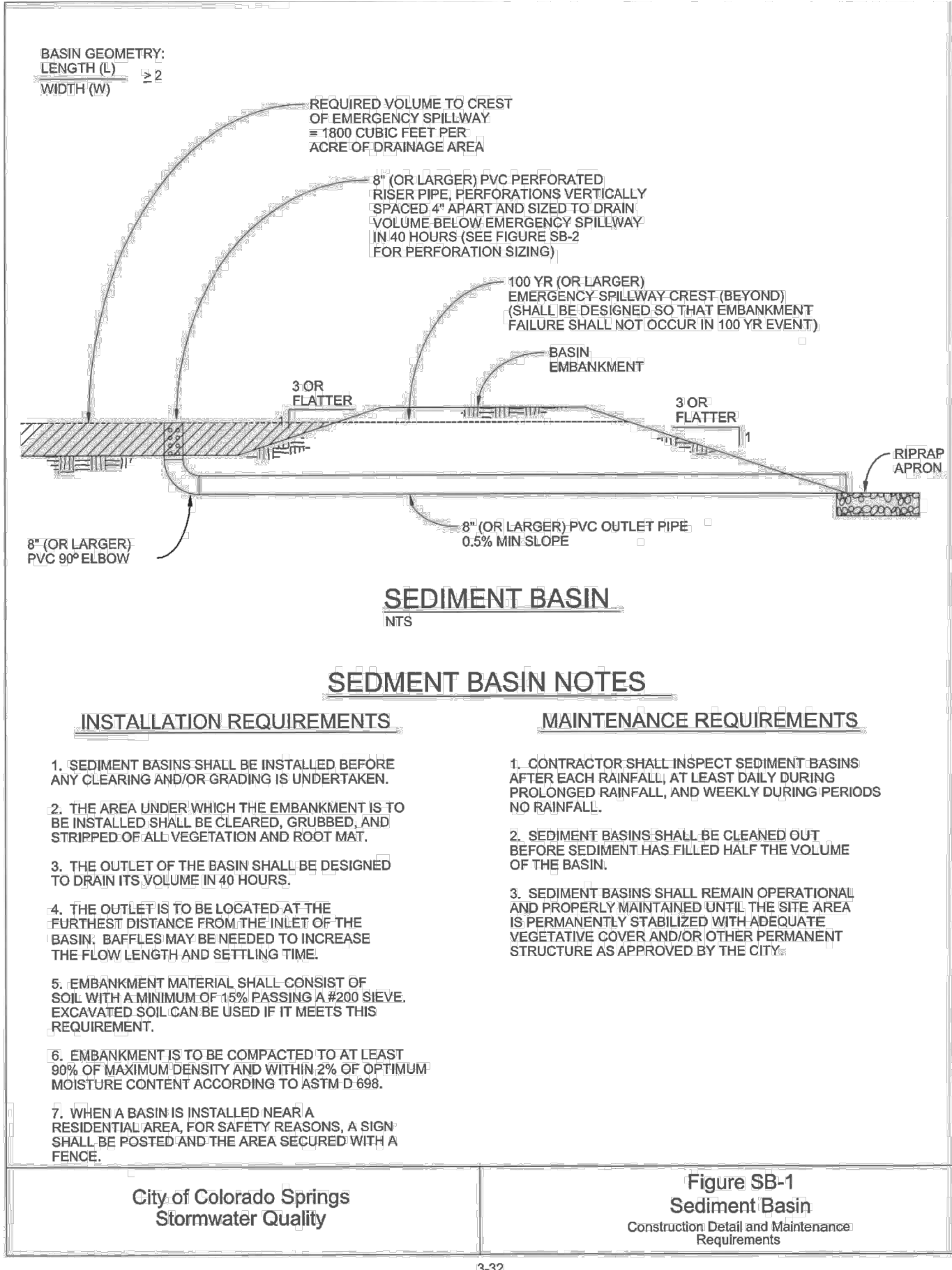
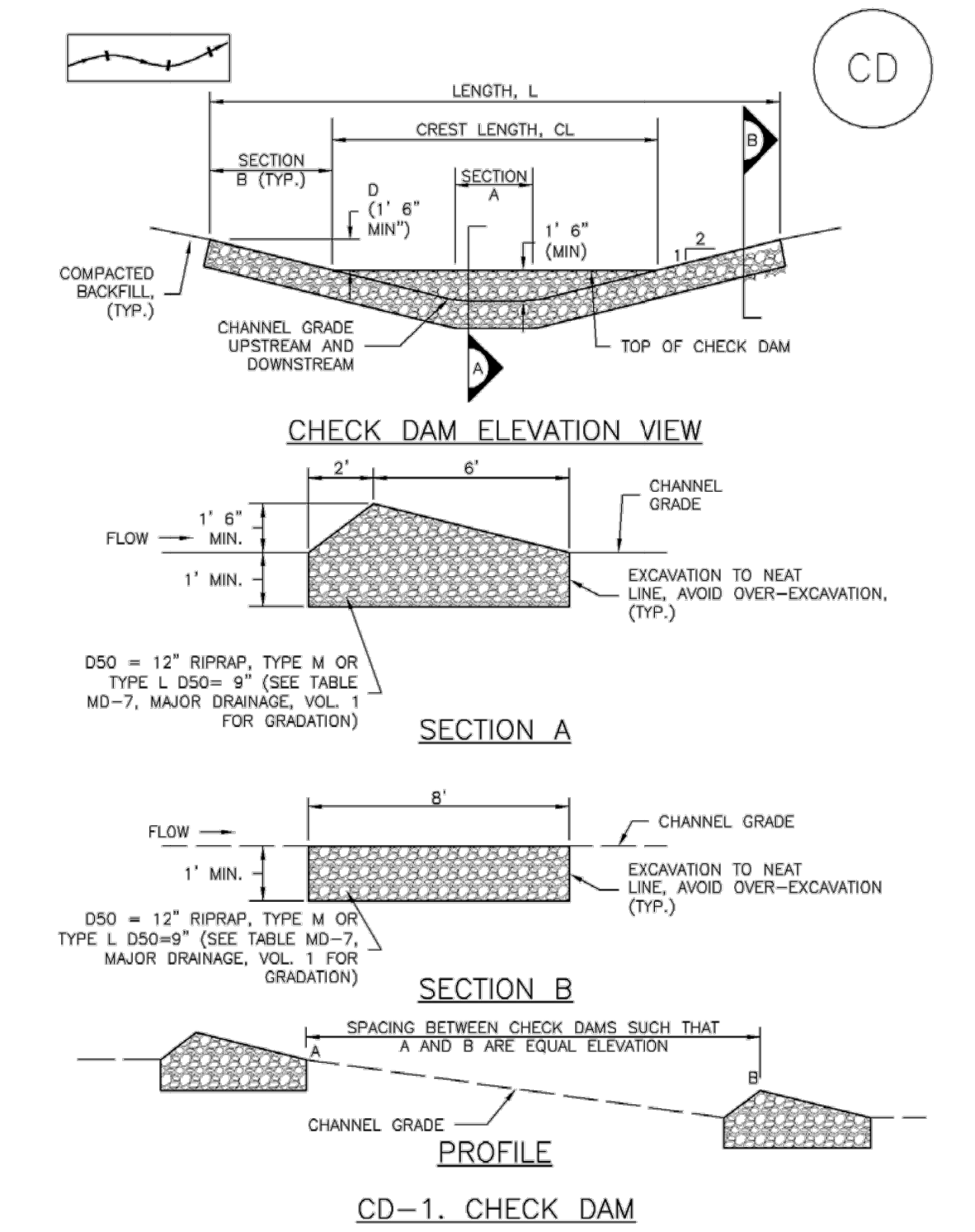
PROJECT STATUS
CONSTRUCTION DOCUMENTS

ENG:	DOV	
DRAWN:	AMH	
CHECKED:	TPT	
DATE:	12/20/2023	
#	REVISION	DATE
JOB NO.	191726	
SHEET NO.	08	

of 11

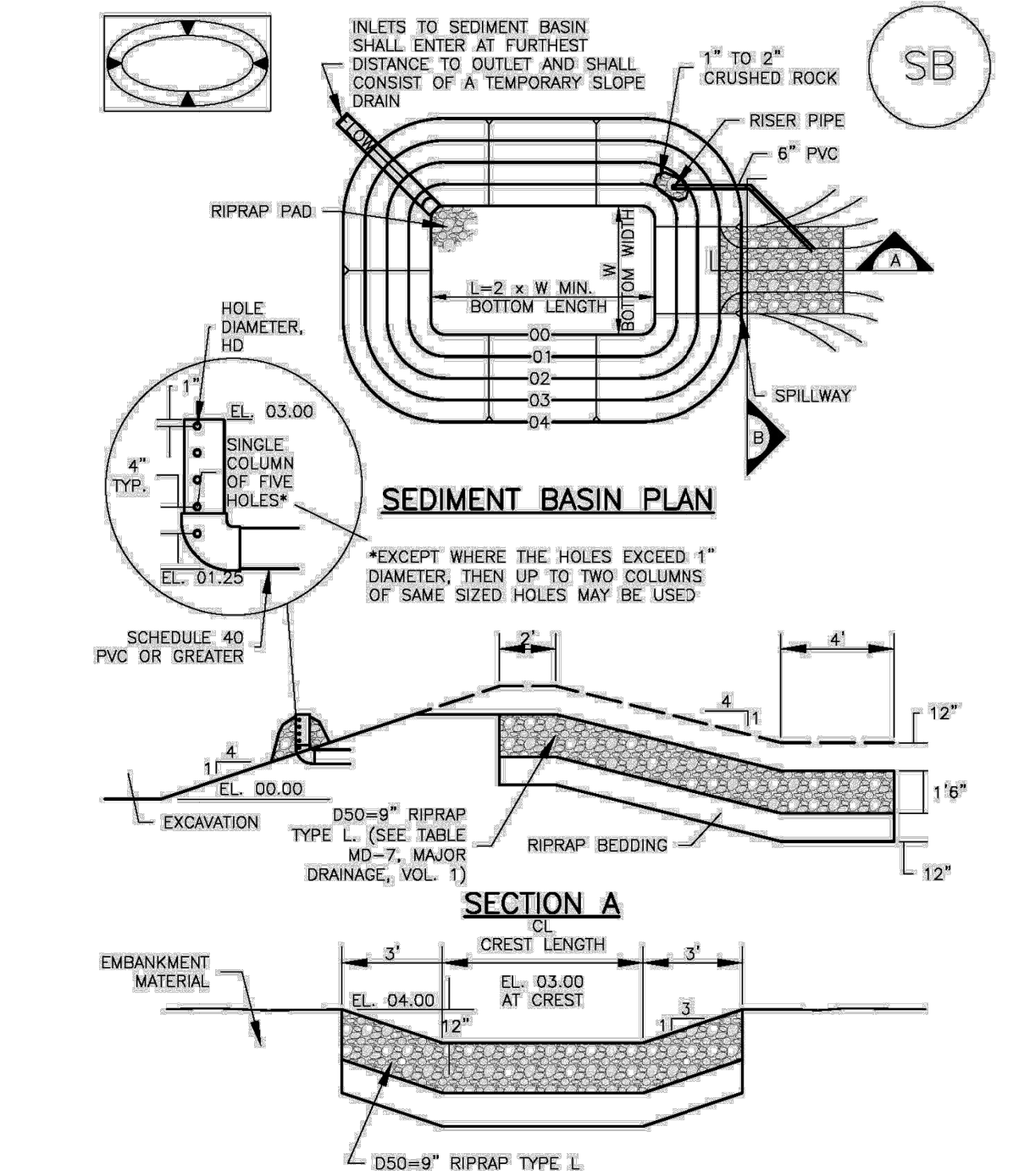
Check Dams (CD)

EC-12



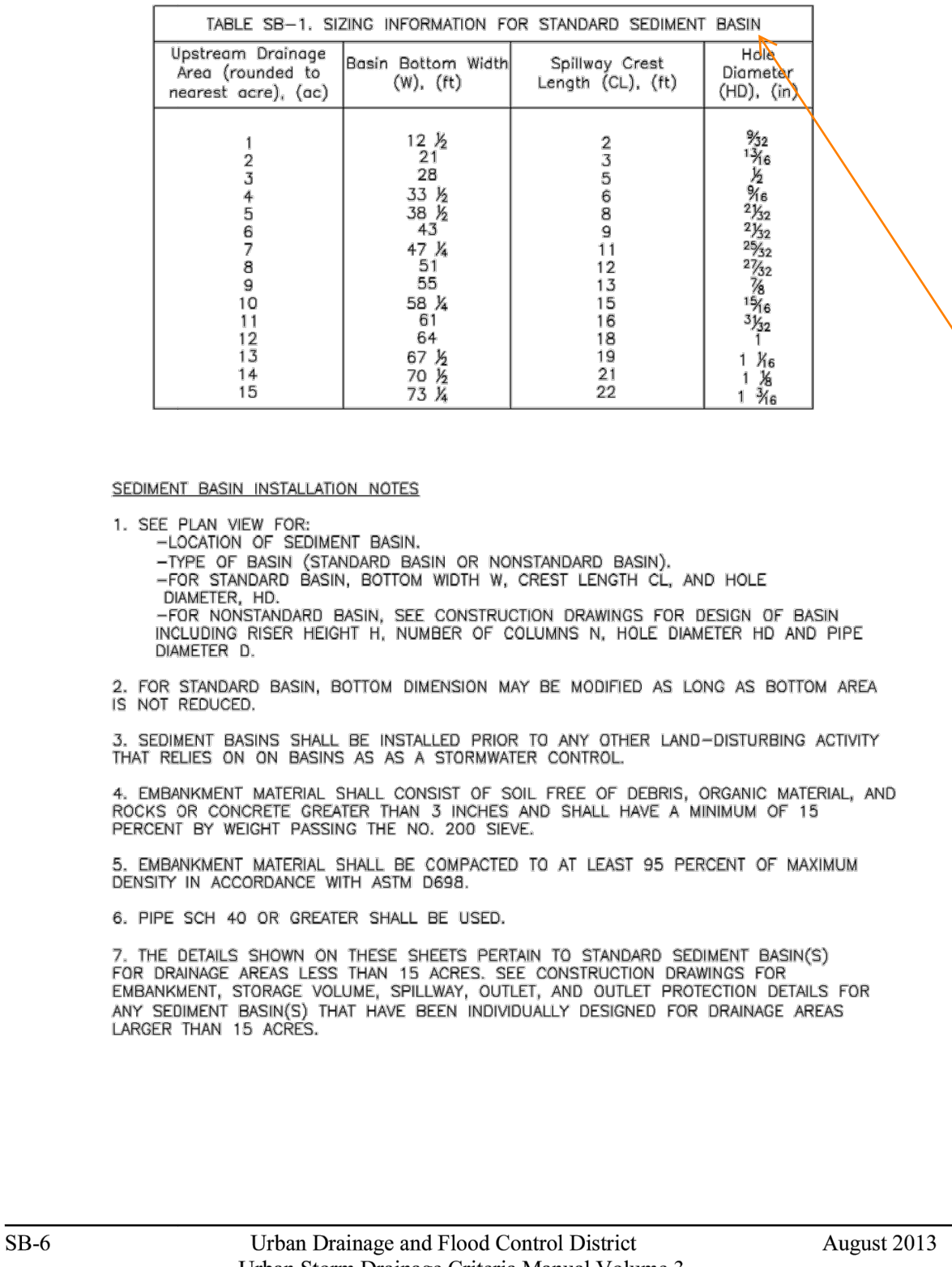
Sediment Basin (SB)

SC-7



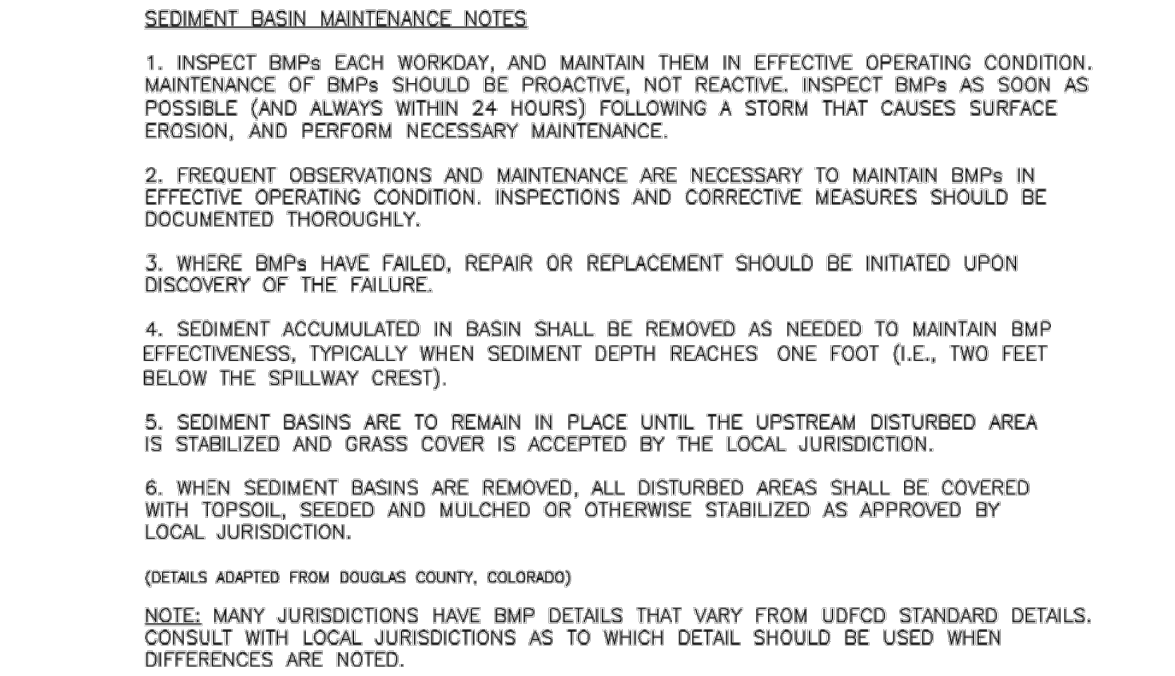
SC-7

Sediment Basin (SB)



Sediment Basin (SB)

SC-7



Design Volume (ac-ft)		Depth at Outlet (ft)							
		1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5
2	15.04	7.71	5.10	3.76	2.95	2.41	2.02	1.73	
1	7.52	3.86	2.55	1.88	1.48	1.21	1.01	0.87	
0.6	4.51	2.31	1.53	1.13	0.89	0.72	0.61	0.52	
0.4	3.01	1.54	1.02	0.75	0.59	0.48	0.40	0.35	
0.2	1.50	0.77	0.51	0.38	0.30	0.24	0.20	0.17	
0.1	0.75	0.39	0.26	0.19	0.15	0.12	0.10	0.09	
0.06	0.45	0.23	0.15	0.11	0.09	0.07	0.06	0.05	
0.04	0.30	0.15	0.10	0.08	0.06	0.05	0.04	0.03	
0.02	0.15	0.08	0.05	0.04	0.03	0.02	0.02	0.02	
0.01	0.08	0.04	0.03	0.02	0.01	0.01	0.01	0.01	

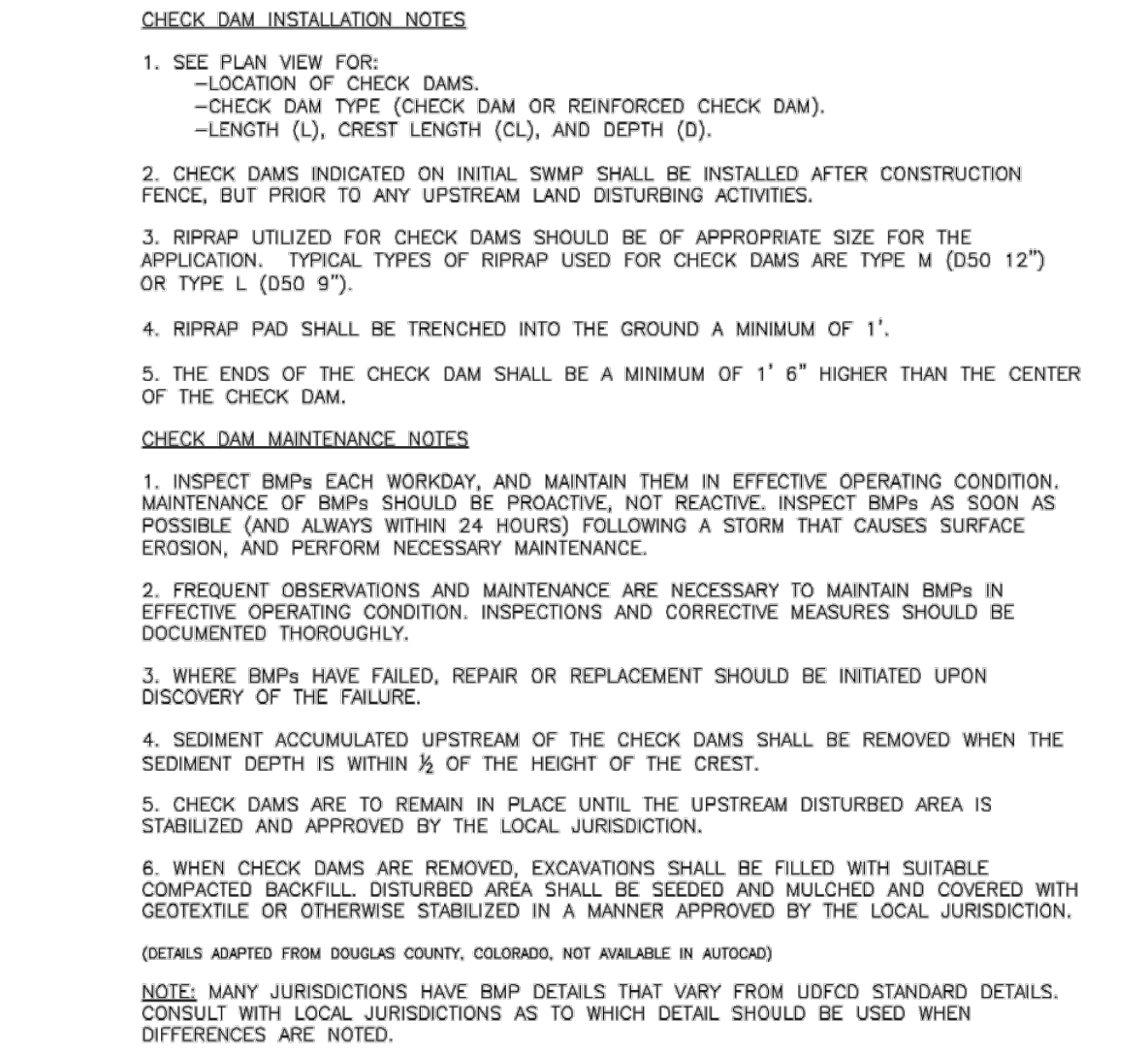
TABLE SB-1

Hole Diameter (in)		Area per Row (in ²)		
		n = 1	n = 2	n = 3
1/4	0.260	0.05	0.10	0.15
5/16	0.313	0.08	0.15	0.23
3/8	0.375	0.11	0.22	0.33
7/16	0.438	0.15	0.30	0.45
1/2	0.500	0.20	0.39	0.59
9/16	0.563	0.25	0.50	0.75
5/8	0.625	0.31	0.61	0.92
11/16	0.688	0.37	0.74	1.11
3/4	0.750	0.44	0.88	1.33
7/8	0.875	0.60	1.20	1.80
1	1.000	0.79	1.57	2.36
1 1/8	1.125	0.99	1.99	2.98
1 1/4	1.250	1.23	2.45	3.68
1 3/8	1.375	1.48	2.97	4.45
1 1/2	1.500	1.77	3.53	5.30
1 5/8	1.625	2.07	4.15	6.22
1 3/4	1.750	2.41	4.81	7.22
1 7/8	1.875	2.76	5.52	8.28
2	2.000	3.14	6.28	9.42
n = Number of columns of perforations				
Minimum steel plate thickness		1/4"	5/16"	3/8"

TABLE SB-2

EC-12

Check Dams (CD)



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