

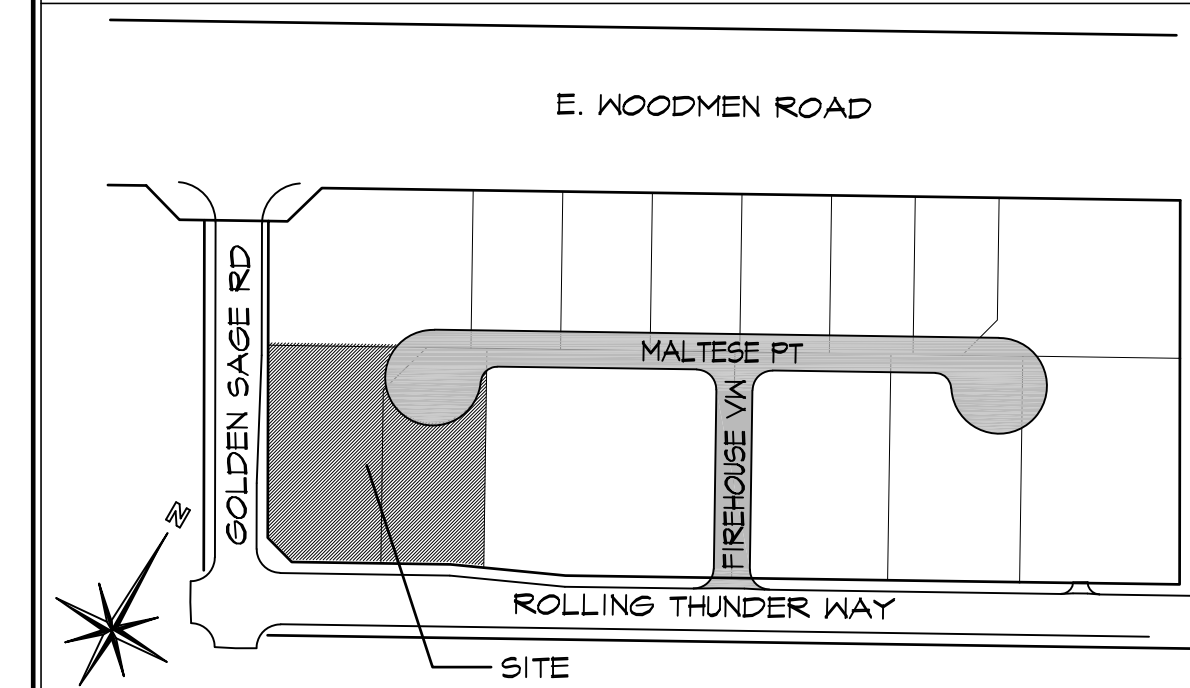
**GENERAL NOTES**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**DRAWING INDEX**

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- C1 OF 12 - GRADING & EROSION CONTROL NOTES
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- ES-2 OF 12 - PHOTOMETRIC DETAILS
- ES-3 OF 12 - PHOTOMETRIC DETAILS
- 12 OF 12 - BUILDING ELEVATIONS

NOT TO SCALE **VICINITY MAP**



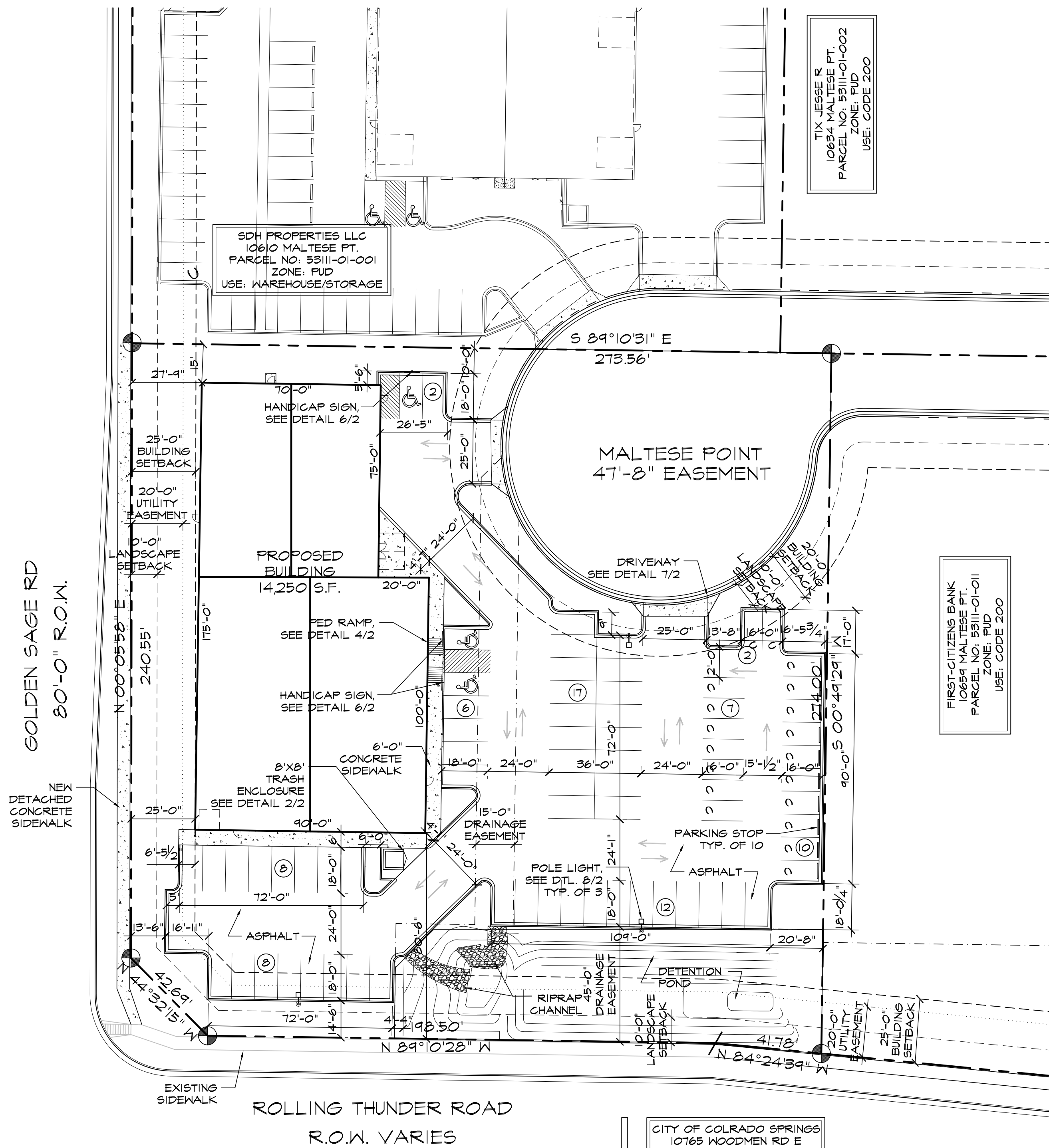
**PROJECT INFORMATION**

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	KUHL INVESTORS LLC 10611 MALTESE PT PEYTON, CO 80831
<b>LEGAL DESCRIPTION:</b> LOTS 4 & 10 OF ROLLING THUNDER BUSINESS PARK, FILING NO. 1	
PARCEL NUMBER:	53111-01-004 53111-01-010
LOT 4:	53111-01-004
LOT 10:	53111-01-010
ZONING:	PUD
LOT SIZE (410):	75,164 SF (1.68 ACRES)
LOT SIZE (1410):	VACANT
CURRENT USE:	ZONE X (MAP NO. 08041C0535F, DATED MARCH 13, 1997)
<b>FLOODPLAIN STATEMENT:</b>	
BUILDING INFORMATION	
NEW BUILDING AREA:	14,250 SF
BUILDING OCCUPANCY:	B/A-3
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	SPRINKLED
AREA SEPARATION WALLS:	NONE
<b>ZONING CODE STUDY</b>	
PROPOSED PRINCIPAL USE:	GYMNASTICS
STRUCTURAL COVERAGE OF LOT:	OFFICE
PAVEMENT COVERAGE:	17%
NEW BUILDING STRUCTURAL HEIGHT:	12%
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	25'-0"
<b>REQUIRED PARKING SPACES</b>	
*ALTERNATE PARKING PLAN HAS BEEN SUBMITTED	
GYMNASTICS-(1 SPACE/200 SF)	
14,250 / 200 SF	71
H.C.-(1 SPACE/25 REQ'D)	3
TOTAL PARKING SPACES REQUIRED:	74
TOTAL PARKING PROVIDED:	12
NEW STANDARD SPACES PROVIDED:	50
H.C. SPACES PROVIDED:	3
COMPACT PROVIDED:	0
PARALLEL PROVIDED:	0
LOADING SPACE PROVIDED:	0
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	FALL 2018
LANDSCAPING:	SPRING 2019
<b>DEVELOPMENT APPLICANT</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS, CO 80415 (719)-570-1549
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-1549
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

**SITE LEGEND**

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY EASEMENT
---	DRAINAGE EASEMENT
---	CONSTRUCTION LIMIT LINE
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6' HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W/ CONTROL JOINTS @ 5'-0" OC.
●	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
—	SIGN
○	MANHOLE
□	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
●	PROPOSED FIRE HYDRANT

**SITE PLAN**  
SCALE: 1"=30'-0"



BLH NO. 1, LLC  
11-B-65  
PARCEL NO. 53111-00-001  
ZONE: PUD  
USE: AG. GRAZING LAND

TIX LESSEE R.  
10634 MALTESE PT.  
PARCEL NO. 53111-01-002  
ZONE: PUD  
USE: CODE 200

FIRST-CITIZENS BANK  
10634 MALTESE PT.  
PARCEL NO. 53111-01-011  
ZONE: PUD  
USE: CODE 200

CITY OF COLORADO SPRINGS  
10765 WOODMEN RD E  
PARCEL NO. 5300-00-158  
ZONE: PUD  
USE: CODE 200

SDH PROPERTIES LLC  
10610 MALTESE PT.  
PARCEL NO. 53111-01-001  
ZONE: PUD  
USE: WAREHOUSE/STORAGE



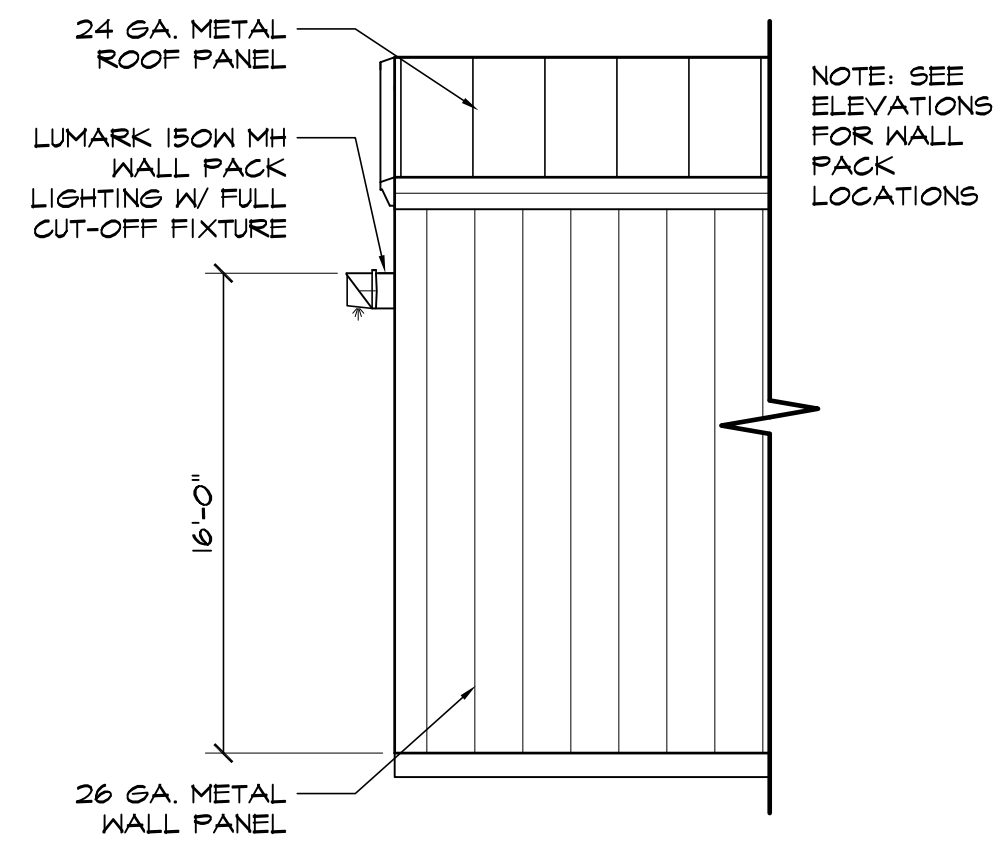
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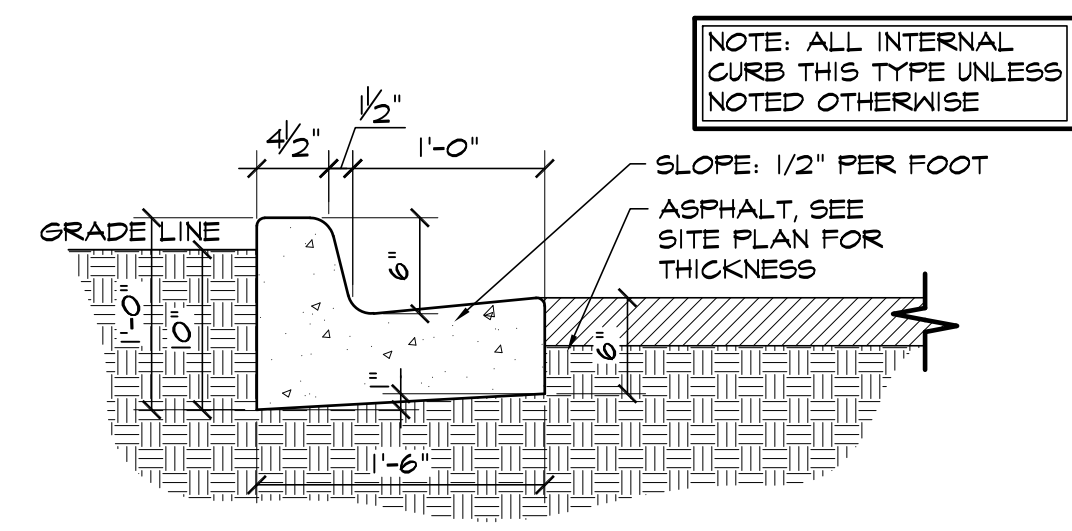
**PEAK GYMNASTICS**  
PEAK GYMNASTICS & FITNESS  
10611 MALTESE POINT  
PEYTON, CO 80831  
EL PASO COUNTY, COLORADO

DATE: JULY 9, 2018  
DRAWN BY: J. CANTERBERRY  
PROJ. MGR: Z. CRABTREE  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1059

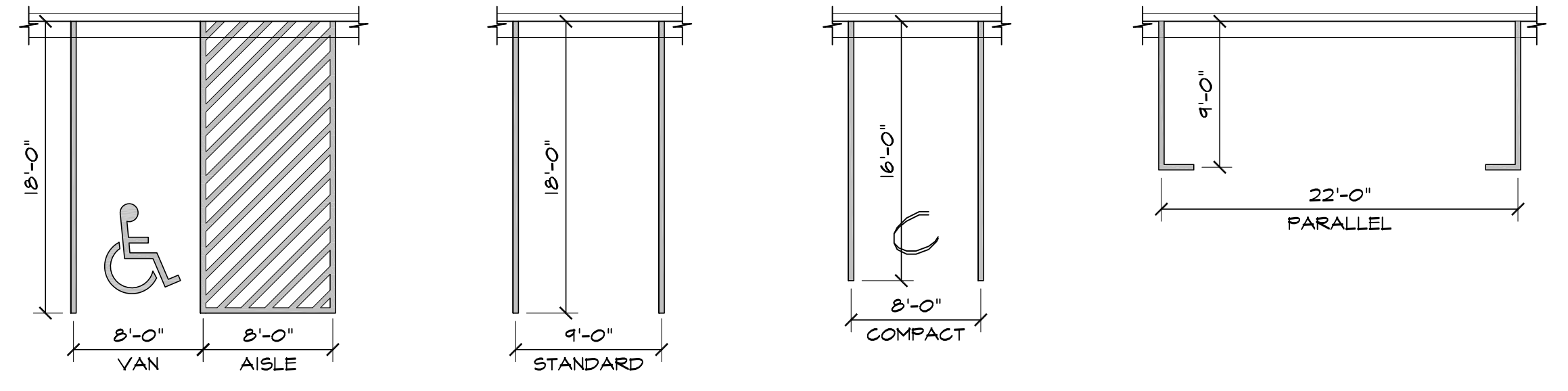
- △ RESUBMITTALS:
- △ 8-16-18/PARKING REQUEST
- △ 9-14-18/REVISED LAYOUT
- △ 10-17-18/COMMENTS 8-1-18
- △ 11-16-18/COMMENTS 11-7-18



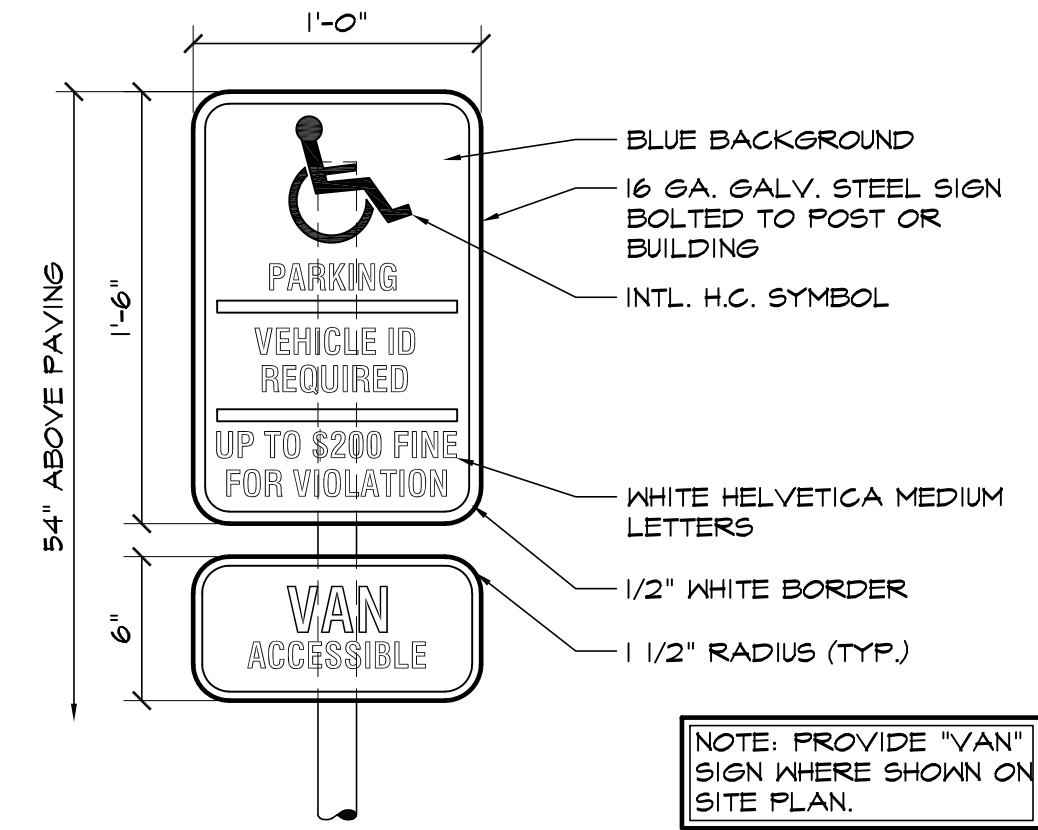
9 WALL PACK LIGHT DETAIL  
SCALE: 1/4"=1'-0"



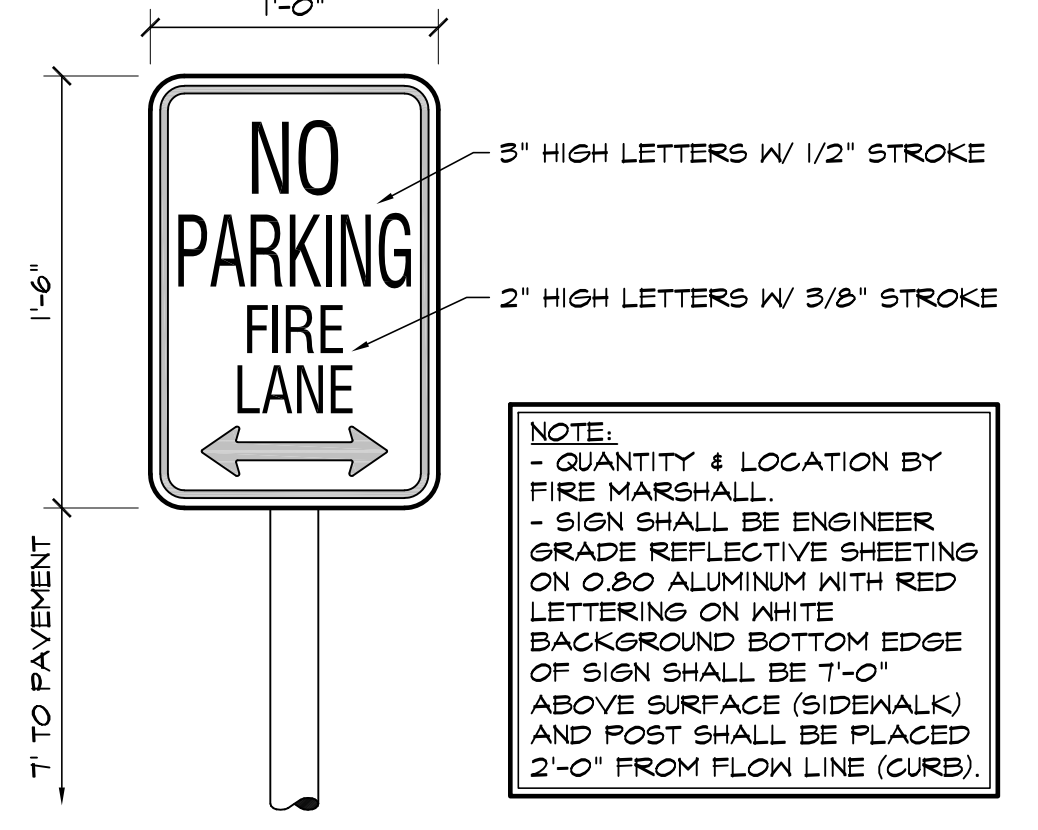
5 EPC TYPE B CURB  
SCALE: 1"=1'-0"



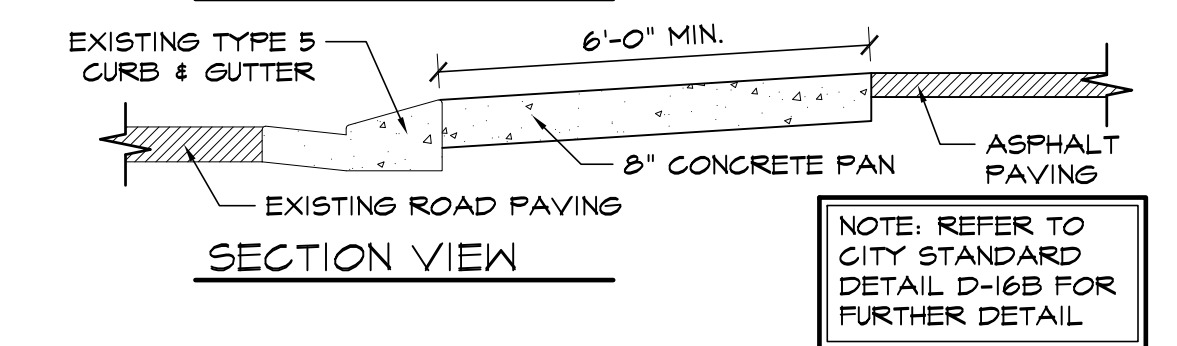
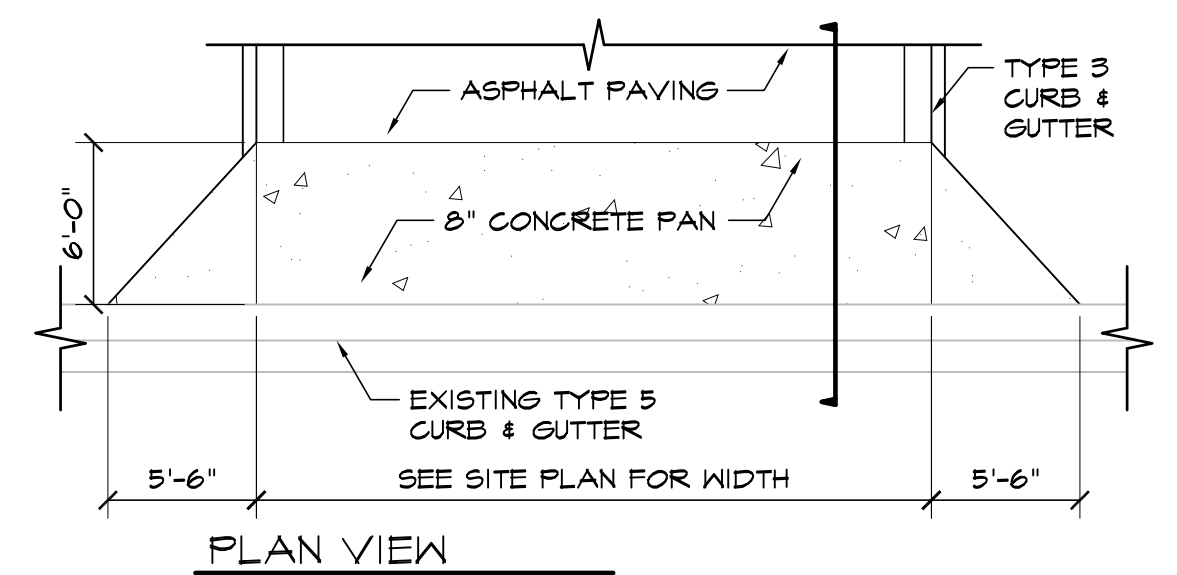
1 ADA / STANDARD PARKING  
SCALE: 1/8"=1'-0"



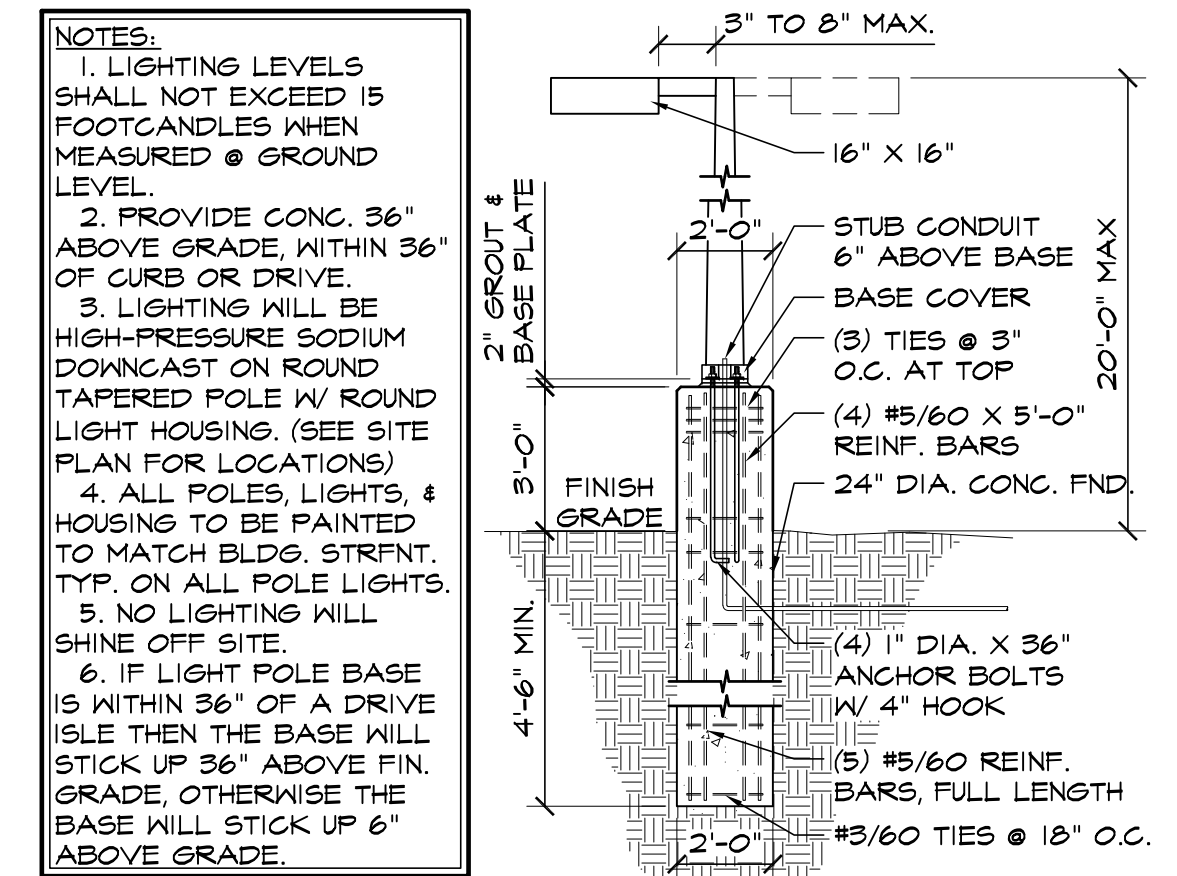
6 HANDICAPPED PARKING SIGN  
SCALE: 1 1/2"=1'-0"



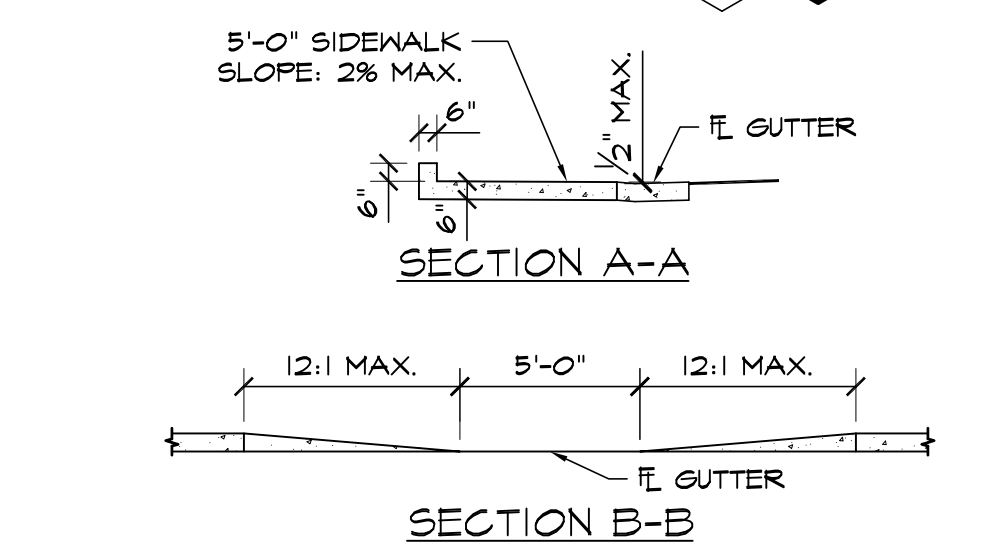
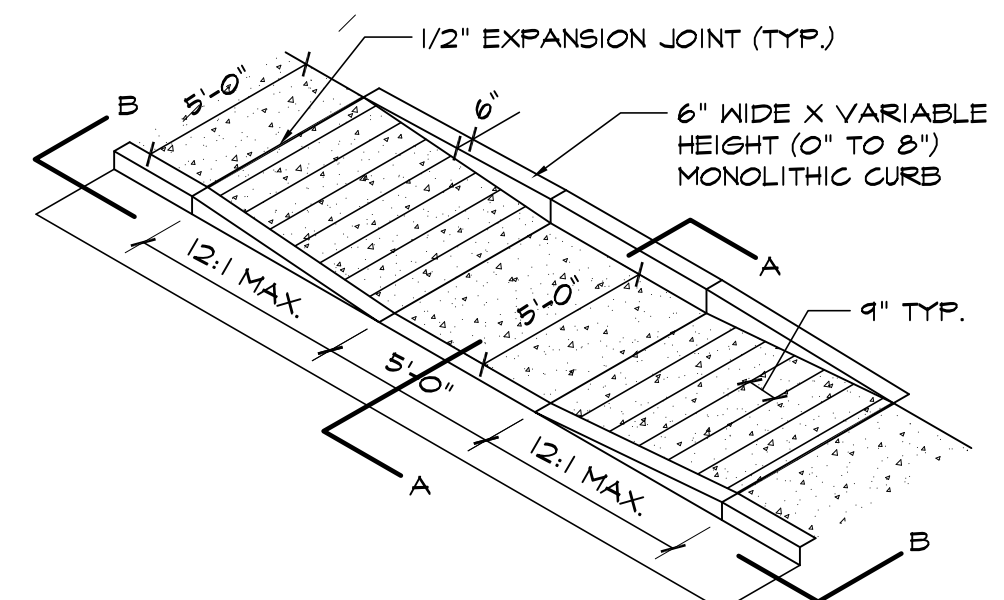
3 FIRE LANE SIGN  
SCALE: 1 1/2"=1'-0"



7 DRIVEWAY DETAIL  
NOT TO SCALE



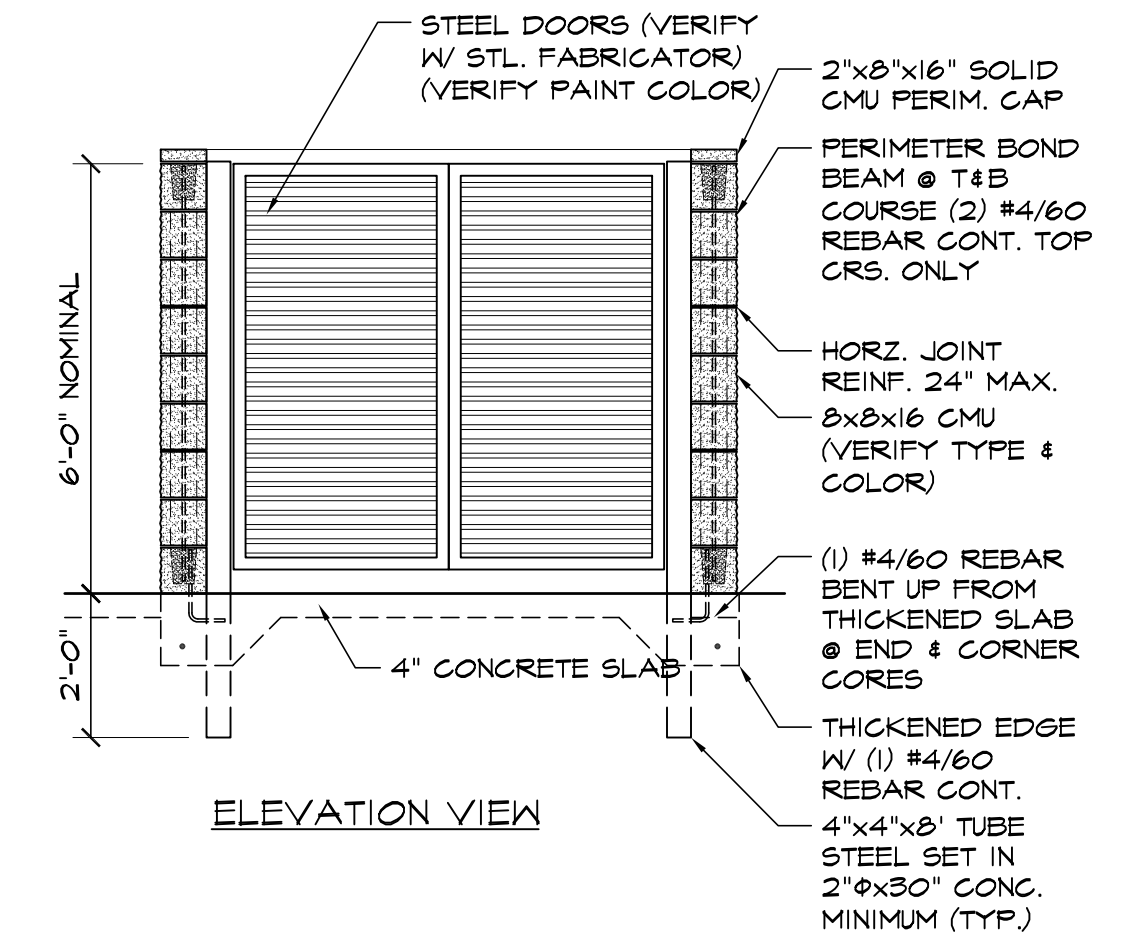
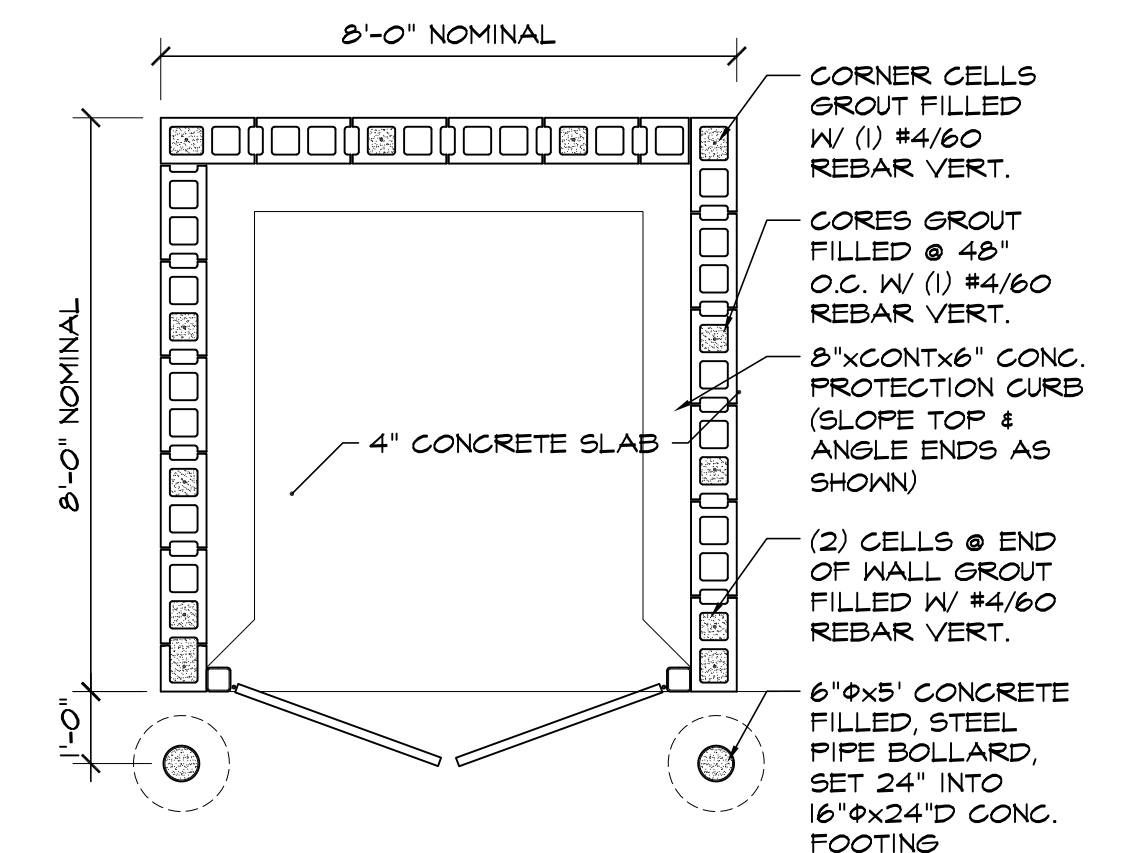
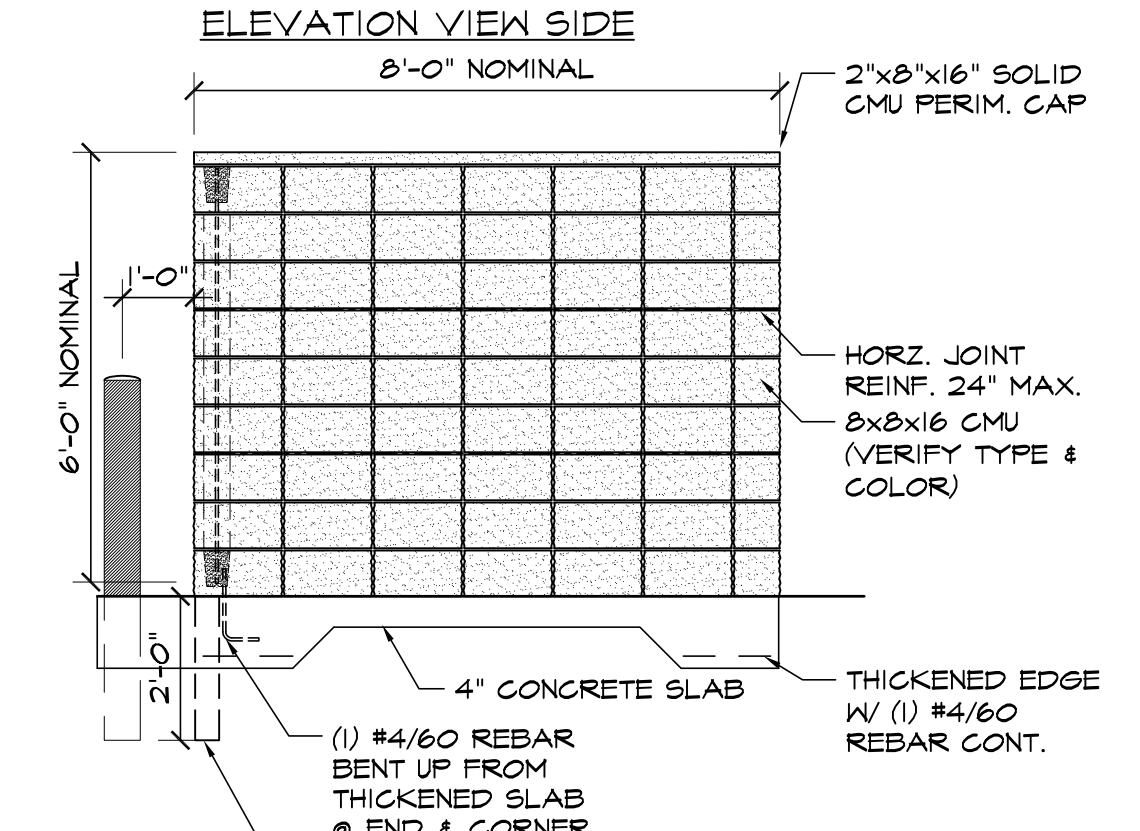
8 LIGHT POLE BASE DETAIL  
SCALE: 1/4"=1'-0"



**GENERAL NOTES:**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 904.05E OF THE STANDARD SPECIFICATIONS.
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.
8. SHADED AREA: 6" THICK CONCRETE

4 PEDESTRIAN RAMP DETAIL D-8J  
SCALE: 3/16"=1'-0"



2 CMU TRASH ENCLOSURE DTL  
SCALE: 3/8"=1'-0"

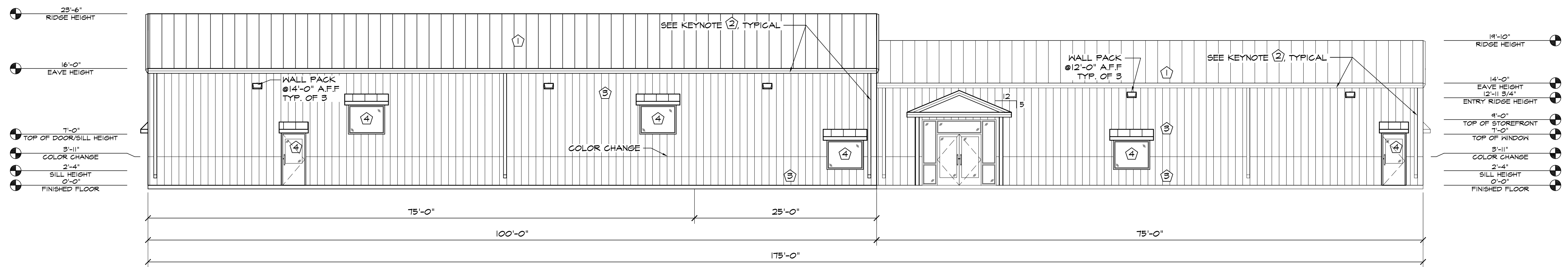
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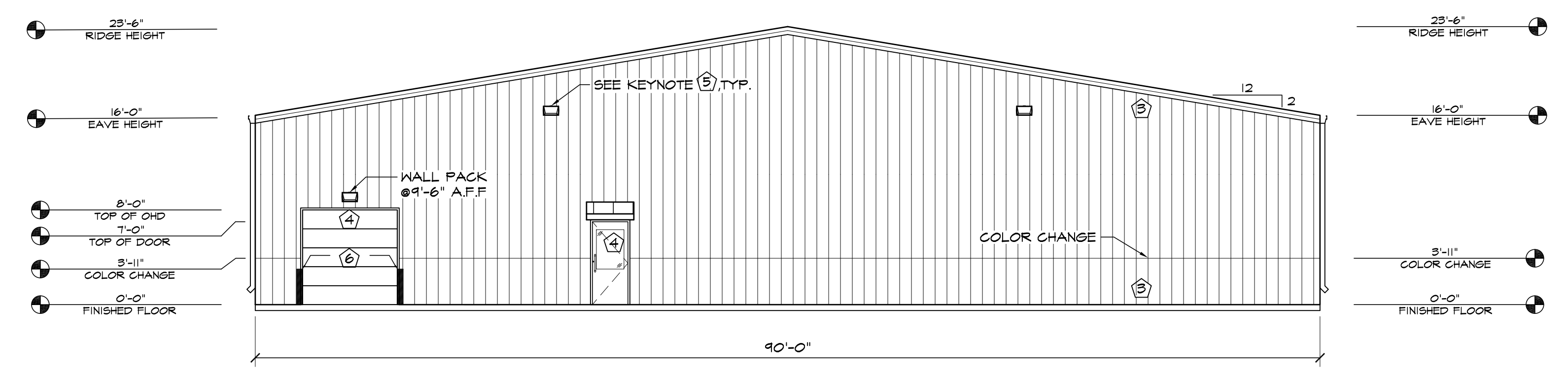
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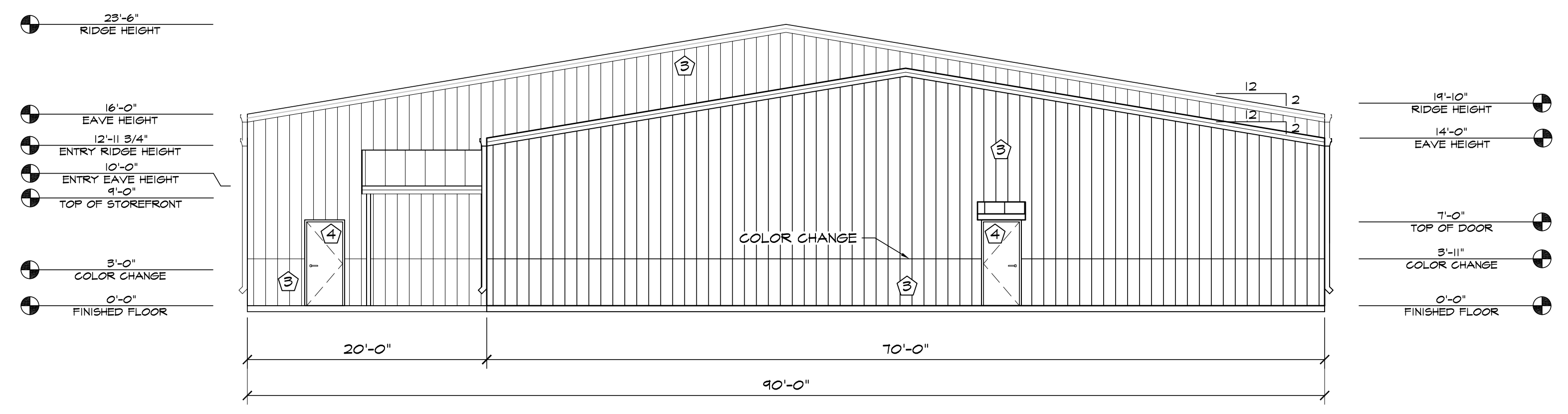
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**1 EAST ELEVATION**  
SCALE: 1/8"=1'-0"

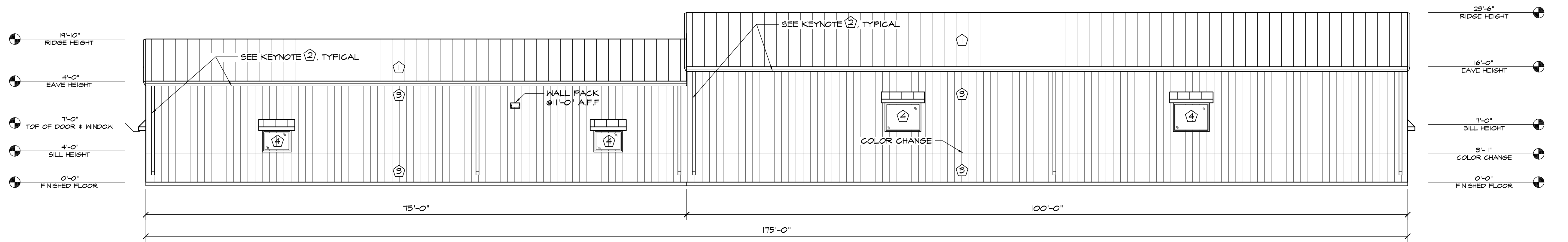


**2 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
1	PREFINISHED 24 GA. "PBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
2	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
3	PREFINISHED 26 GA. "PBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
4	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
5	WALL PACK LIGHT TOP OF LIGHT @ 16'-0" A.F.F. UNLESS NOTED OTHERWISE
6	PROTECTION POST @ 3'-0" A.F.F.

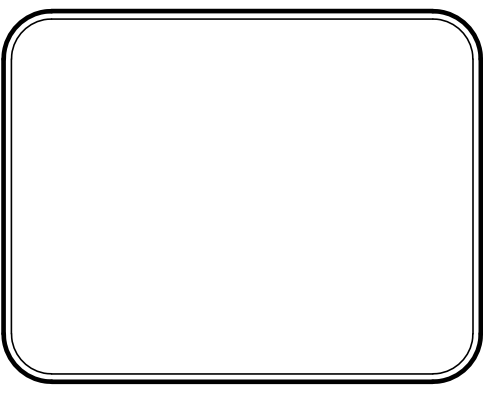
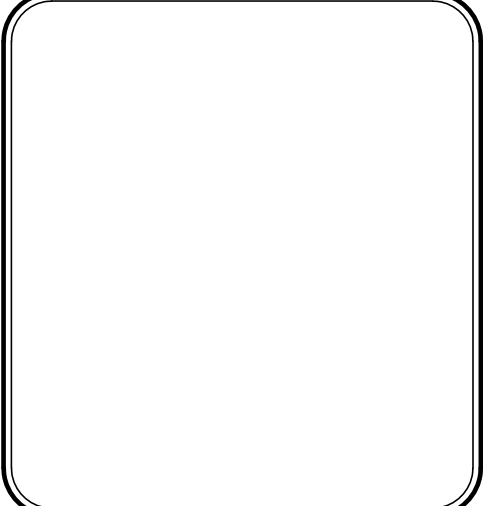


**4 WEST ELEVATION**  
SCALE: 1/8"=1'-0"

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