



# HAMMERS CONSTRUCTION, INC.

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I SPECIALIZING IN DESIGN / BUILD I

Steve Hammers, President  
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## Letter of Intent

### Alternate Parking Request

#### Owner Information

Kuhl Investors, LLC.  
10610 Maltese Point  
Peyton, CO 80831  
Project Name: Peak Gymnastics & Fitness

#### Owner Representatives

Hammers Construction, Inc.  
Zack Crabtree – Project Manager  
Lisa Peterson – Design (Applicant)  
1411 Woolsey Heights  
Colorado Springs, CO 80915  
(719) 570-1599

#### Site:

Legal: Lots 9 & 10, Filing 1, Rolling Thunder Business Park  
Address: 10611 Maltese Point  
Peyton, CO 80831  
Lot Size: 1.70 acres  
Zoned – PUD  
Parcel number: 5311-01-009 & 53111-01-010

#### Request and Justification

Request approval for an alternative parking request. We request that a gymnastics facility should be parked at 1 space / 200 sf. The zoning code is not real clear on the calculations per the uses listed in table 6-2. The use is not listed in a recreation center use and non of the uses that are listed are similar as it is not a space to come “hang out”. It is an organized group that is structured with classes offered at certain times in the day. They are also not a club as you don’t have to be a member to join, you just have to register for the class. A club is also something that you can visit or hang out anytime that it is open. This is not the case for a gymnastics center. Per other justification listed below, we feel that this really should be calculated at 1 space /250 sf as that is what City of Colorado Springs and Town of Monument calculate this use as. However, we have had other previous gymnastics uses approved at 1 space / 200sf. As mentioned below we feel this request will not be a detriment to the property or the surrounding neighborhood.

#### Existing and proposed facilities, structures and roads.

The lot will be entered from Maltese Point. The lot is currently vacant. A 14,250 sf building is being proposed on the property indicated above.

#### Traffic

The owner intends to occupy this building for the purpose of gymnastics/fitness, so we are proposing a typical gymnastics/retail business with 5-10 employees. Since the businesses will be consistent with other businesses in the park, we believe a traffic study is not required since we will be well below the 100 trip.



### Alternative Parking Request

**Continuity/Connectivity:** We feel this layout will not detract from the continuity or connectivity for pedestrians on the site. The site is configured with drive aisles to allow for ease of dropping off and picking up kids as well parking vehicles to come into the site. The site plan shows a sidewalk all along for the building for safe walking distances to the entrance.

**Visual Impact-Roads:** The parking lot is located on the internal portions of the property. Golden Sage Rd. is located on the west side of our site and no parking will be visible as our building elevation is all along this road. The southerly portion of the property is adjacent to Rolling Thunder Way and we have proposed to screen any parking along this street frontage. In addition, the water quality/detention pond for the entire Rolling Thunder Business Park is located on the south side which also acts as a screen from the parking. In addition, the site will be landscaped fully to EPC requirements that we feel will meet this criteria and present an aesthetically pleasing property.

**Visual Impact-Neighborhood:** As mentioned above, we will be landscaping this lot fully to the EPC zoning code requirements. This lot has been vacant since it was platted in 2008. A developed lot will enhance the neighborhood as it will be a finished product other than dirt and weeds. In addition, this use will be a great asset to the neighborhood as the owners have proved the need for the space in their current location and are able to challenge the kids to the next level with a bigger facility. Furthermore, the aesthetics of the building have been approved by the property owners in the park (see attached letter) and have no problems with this use or the look of the building.

**Alternate Modes of Transportation:** We feel this proposal will not impact alternate modes of transportation. Public transportation would not be affected at all as our site is located on a private street and is not serviced by buses. We are in close proximity to Woodmen and if a bus stop is located at this location it will not impact our site either for reasons already mentioned. We will be proposing sidewalk along Golden Sage and can support kids using this mode of transportation in the future or if they chose to ride their bike to the facility.

**Natural Features:** No natural features or areas were ever proposed for this property nor is it a requirement. We do have an existing detention pond/water quality and will not have any detrimental impact on this feature. In fact, we will be making improvements to this area and therefore should enhance this feature for the site.

**Handicap ratios:** We will maintain the correct number of handicap spaces per EPC requirements. Our site requires 3 and we are proposing 3. In addition, ADA access is provided to the building from these spaces per the ANSI and building codes.

### Additional Information

We are requesting an alternate parking requirement. A gymnastics facility is not an exact defined use within the El Paso County zoning regulations. In the past we have used 1



space 200 sf (and have had 2 other projects approved at this count, see attached), but we feel that 1 space per 250 sf is more adequate. Gymnastics studios normally have a drop off flow to the parking layout as parents usually don't wait for their kids to finish the class. They normally drop their kids off and pick up their kids when the class is over. In addition, 1 space to 250 sf is what the City of Colorado Springs and Town of Monument use for their parking guidelines for this type of use. We feel this would meet the requirement and allow us to better meet/fit the parking calculations for this use. Furthermore, if additional parking is needed, overflow parking is allowed on Maltese Point. Since this business usually has classes after 5 pm and on the weekends this will not affect other businesses in this Park since they are typically a M-F and 8-5 operation. We feel this is a reasonable request and would not be a detriment to the property or surrounding area.

In addition, this site is constrained to the drainage easements for the pond for the whole Rolling Thunder Business Park as well as the cul-de-sac of Maltese Pt. This drainage area has taken away approximately 7,300 sf of useable spaces. The cul-de-sac takes up 10,696 sf of useable space. This totals about 0.41 acres. This is a huge amount of space.

Furthermore, as you have seen from the floor plan, they have a rather large lobby area as they want this to be an inviting place for families to take their children. The lobby space is used for parents to sit and watch their kids. With this being said, counting this square footage is duplicating the requirement for parking since the child and the parent come together in the same vehicle. The lobby space is 1,750 sf

If allowed to use the 1 space / 200 sf. We are required to have 71 spaces. With the new site plan submitted, we show 72 spaces and would meet this requirement. Which in turn would keep us compliant.

We've submitted an alternative plan to allow more spaces (the 72 spaces shown), but we would request that you allow us to have 90 degree spaces on a one-way drive aisle. This design has allowed us to increase the parking to 7 more spaces. When we talked to the owners they were good to designate these spots to employees as they would be the last ones to leave and would not have problems maneuvering the spaces. Also, we not have internal curbs to back up into so we feel this is adequate even if customers park in these spaces as well.

In conclusion, we feel this request should be accepted for the reasons stated above. The owners already have a business in place and aren't looking to triple their business with this tripling the business they currently have. They need this space to make it a better and more enjoyable space for families. This new building will allow them to have more equipment and teach more efficiently for beginners as well as advanced students. Please



also see attached the owner's business model and calculations of their current business. The business is already established and there have not been any issues to date. This new building proposal will help the community and better streamline the parking and drop off plans. We appreciate your consideration of this proposal and look forward to moving this project forward

Sincerely,

Lisa Peterson  
Applicant