

GRAHAM RESIDENCE BARN ADDITION

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**BUCHER**  
**DESIGN STUDIO**  
architecture • planning

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Architect  
CO license no. C-4889

PROJECT TEAM

**OWNER**  
RICHARD GRAHAM  
14655 SUN HILLS DR.  
COLORADO SPRINGS, CO 80921  
(719) 440-9414

**ARCHITECT**  
BUCHER DESIGN STUDIO, INC.  
BRIAN K. BUCHER, AIA, NCARB  
12325 ORACLE BLVD. SUITE 101  
COLORADO SPRINGS, CO 80921  
(719) 484-0480

STRUCTURAL / FOUNDATION ENGINEERS

MIBAR ENGINEERING  
6825 SILVER PONDS HEIGHTS, SUITE 101  
COLORADO SPRINGS, CO 80908  
(719) 487-0812  
(719) 481-9204

CONTRACTOR

TBD

PROJECT DATA

PROJECT ADDRESS: 14655 SUN HILLS DRIVE  
COLORADO SPRINGS, CO

TAX PARCEL NO: 6132001019

LEGAL DESCRIPTION: LOT 17 BLK 5 SUN HILLS SUB 4

JURISDICTION: PIKES PEAK REGIONAL BLDG. DEPT.

PROJECT DESCRIPTION: NEW SINGLE STORY BARN

SITE AREA: 528 ACRES

BARN AREA: 2400 SF. - EXISTING  
3400 SF. - PROPOSED ADDITION  
5800 SF. TOTAL

A PROPOSED  
BARN ADDTN.  
for

MR. & MRS.  
GRAHAM

14655 Sun Hills Drive  
COLORADO SPRINGS, CO

Sheet Title:  
SITE PLAN/  
COVERSHEET  
PLAN

Drawing Status:  
CD SET

Revisions:  
No. Description By Date

1			

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Date: 6/5/25

Drawn by:

Checked by:

Scale: AS NOTED

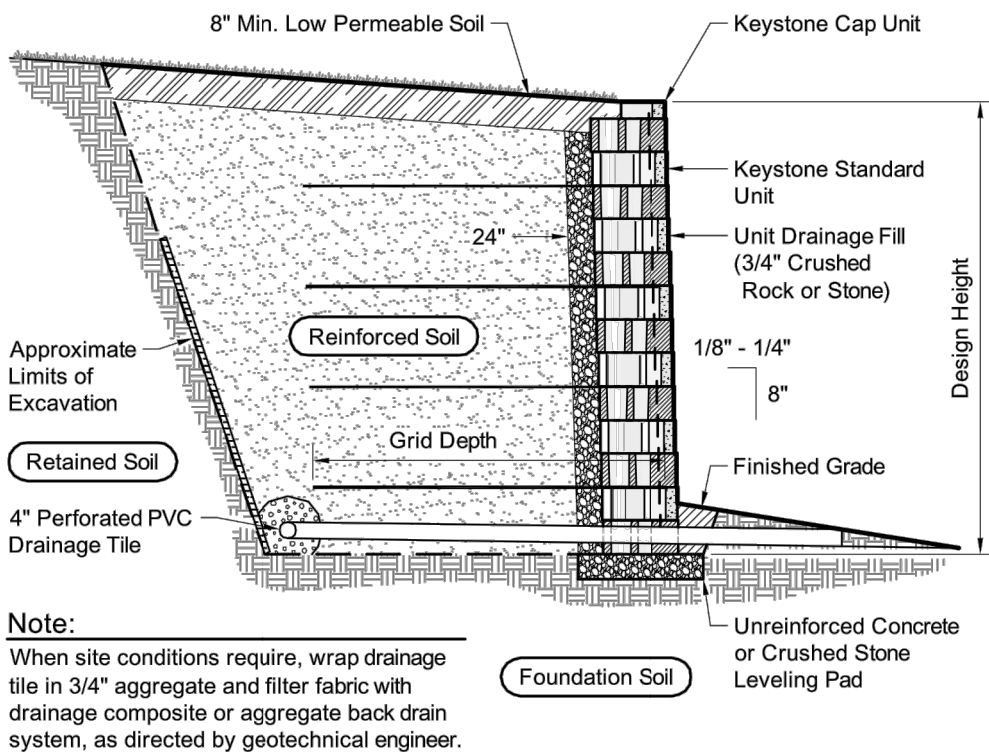
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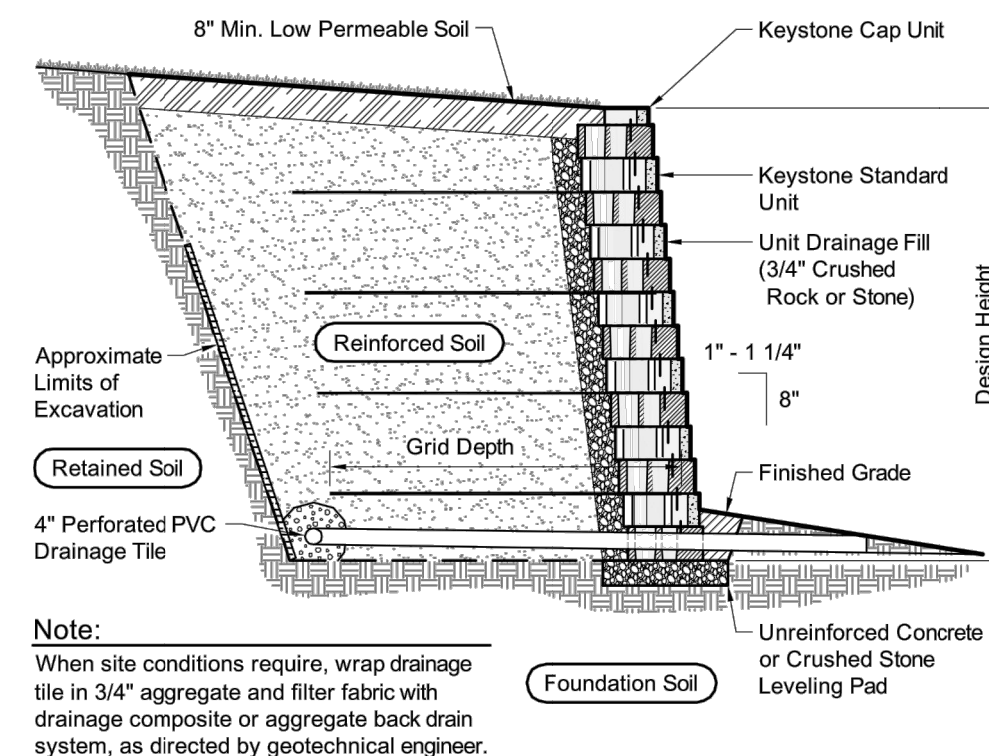
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GENERAL SITE NOTES

- VERIFY EXACT LOCATION & FINISH FLOOR HEIGHT OF RESIDENCE WITH CONTRACTOR AND ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE P.V.C. CONDUIT UNDER DRIVEWAY & WALKS FOR IRRIGATION & EXTERIOR LIGHTING, 2"Ø, SCH. 40, 24" DEEP.
- PROVIDE 4" THK. CONCRETE PAD FOR GROUND MOUNTED H.V.A.C. EQUIPMENT. VERIFY SIZE & LOCATION WITH MECH. CONTRACTOR.
- SLOPE GRADE MINIMUM 10% AWAY FROM RESIDENCE FOR FIRST 10'.
- PROVIDE RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE TO THE IFC PER URBAN WILDLAND INTERFACE AREA REQUIREMENTS.



Typical Reinforced Wall Section  
Standard Unit - Near Vertical Setback



Typical Reinforced Wall Section  
Standard Unit - 1" Setback

RETAINING WALL DTL.

SCALE: N.T.S.

For accessory structures 10 years old or older, Site Plan approval DOES NOT CONSTITUTE approval/compliance with the Building Code. A building permit may be required by PPRBD.

ADD25314

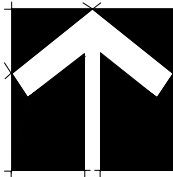
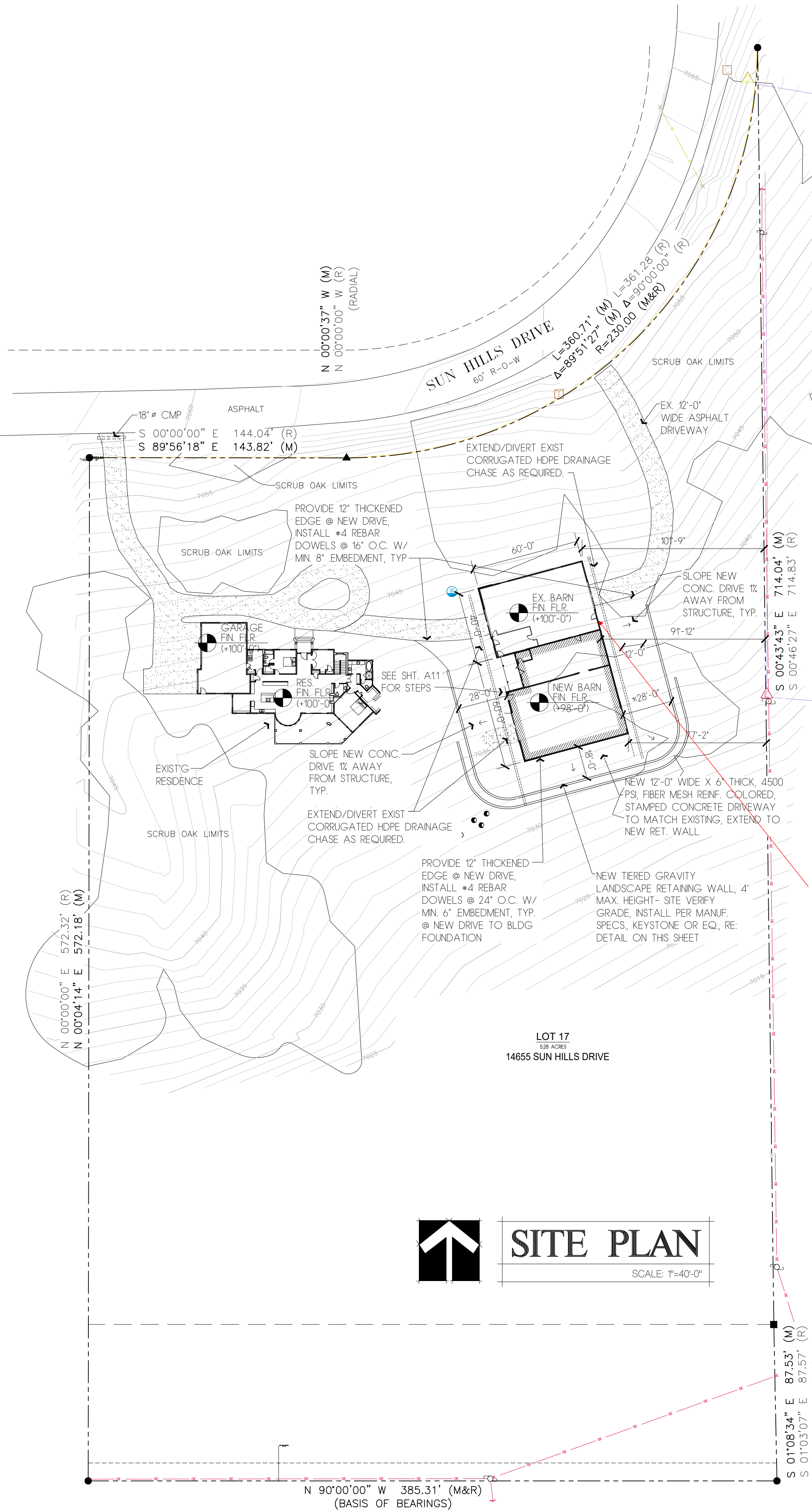
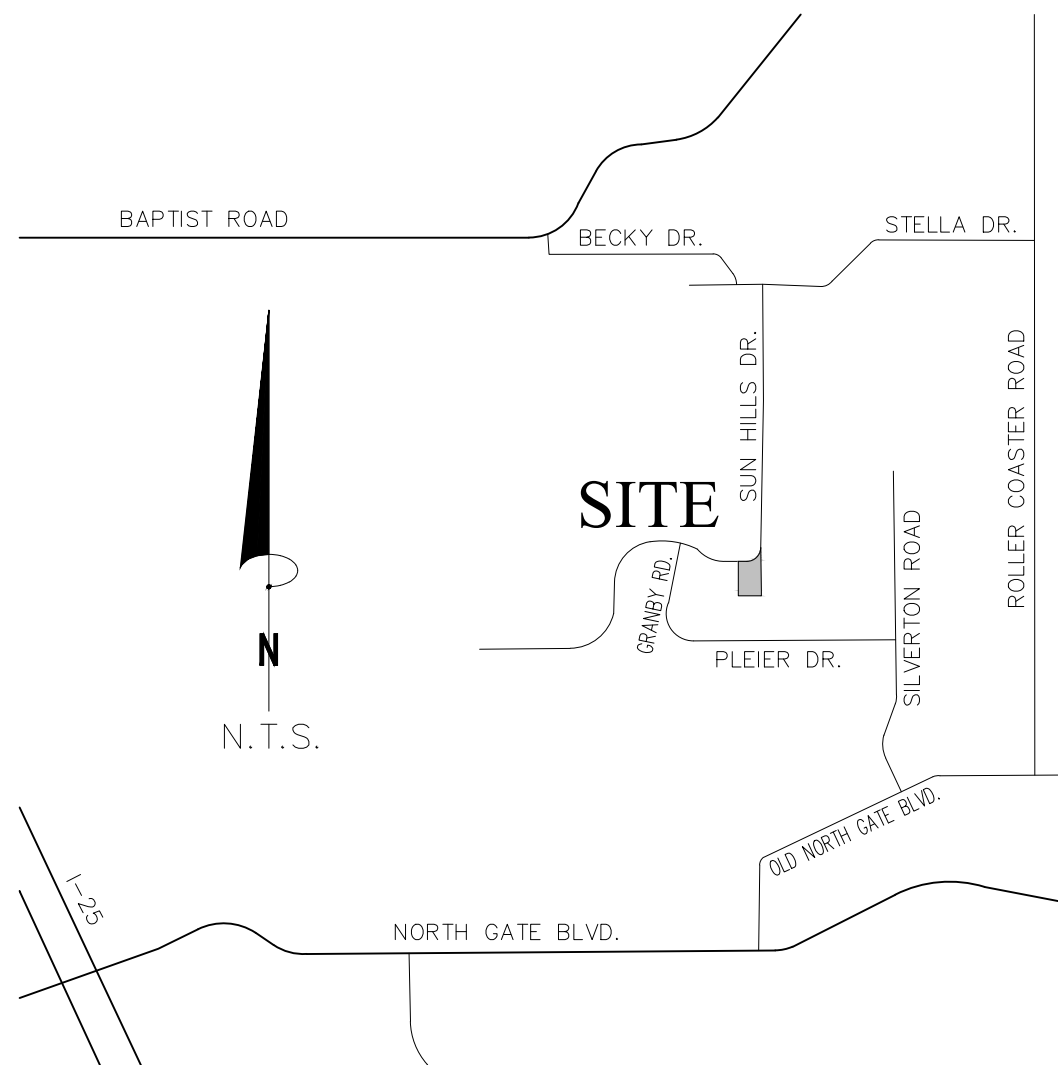
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06/17/2025 10:29:36 AM  
dsdyounger  
EPC Planning & Community  
Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

APPROVED  
Plan Review  
06/17/2025 10:29:36 AM  
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Development Department

ANY APPROVAL GIVEN BY PIKES PEAK COUNTY DOES NOT OBTAIN THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION.  
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.  
Division of floodage of any drainage way is not permitted without approval of the Planning & Community Development Department.

VICINITY MAP



SITE PLAN

SCALE: 1"=40'-0"



# RESIDENTIAL



**2023 PPRBC**  
**2021 IECC Amended**

**Address: 14655 SUN HILLS DR, COLORADO SPRINGS**

**Parcel: 6132001019**

**Plan Track #: 202668** 

**Received: 13-Jun-2025 (SIERRAC)**

## Description:

**GARAGE ADDITION**

Contractor:

Type of Unit:

## Required PPRBD Departments (5)

**Floodplain**

**(N/A) RBD GIS**

**Construction**

**Electrical**

**Mechanical**

**Plumbing**

**Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.**

## Required Outside Departments (1)

### County Zoning

**APPROVED**

**Plan Review**

*06/17/2025 10:30:23 AM*

*dsdyounger*

EPC Planning & Community  
Development Department